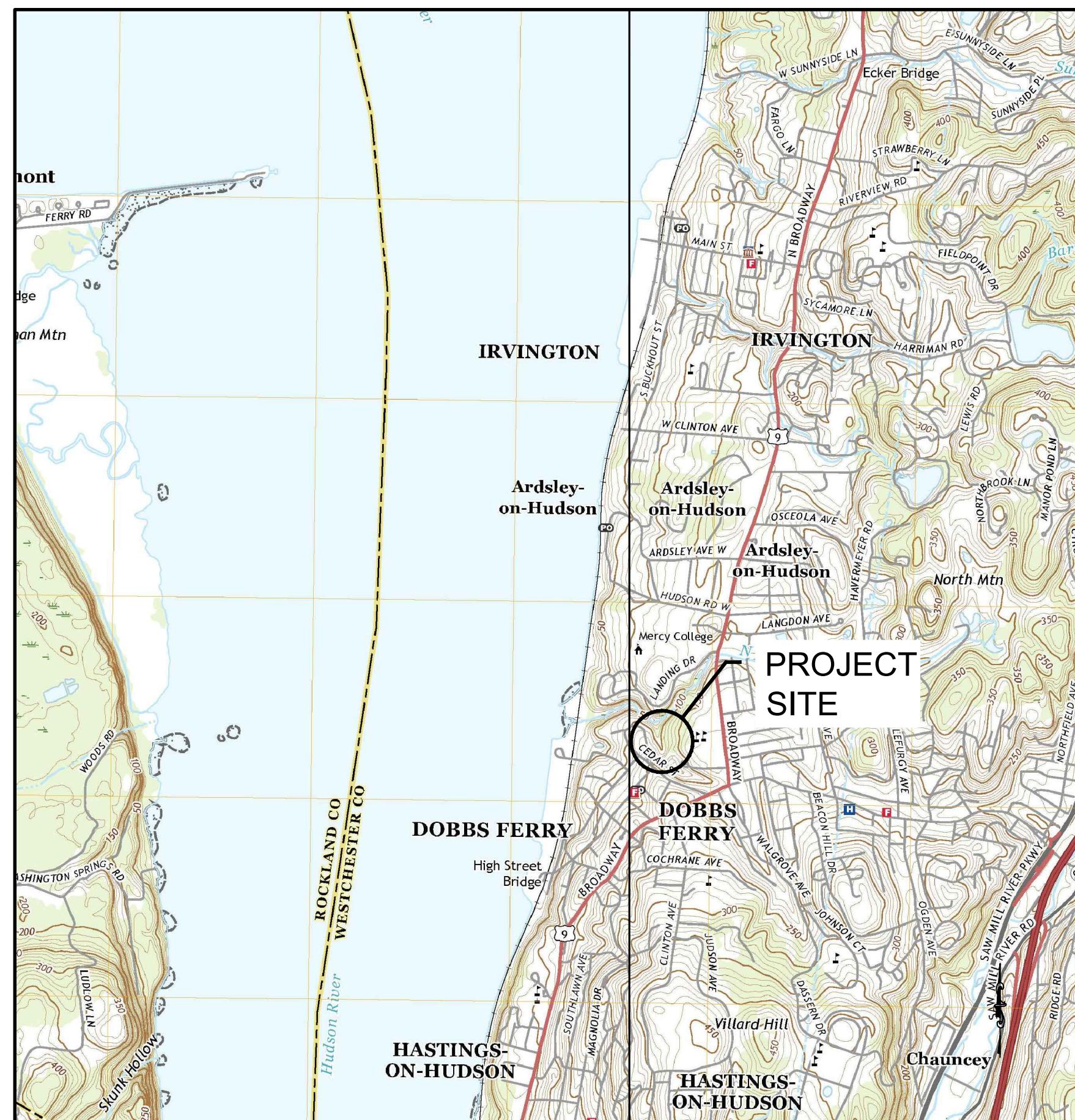


EMERGENCY BANK STABILIZATION

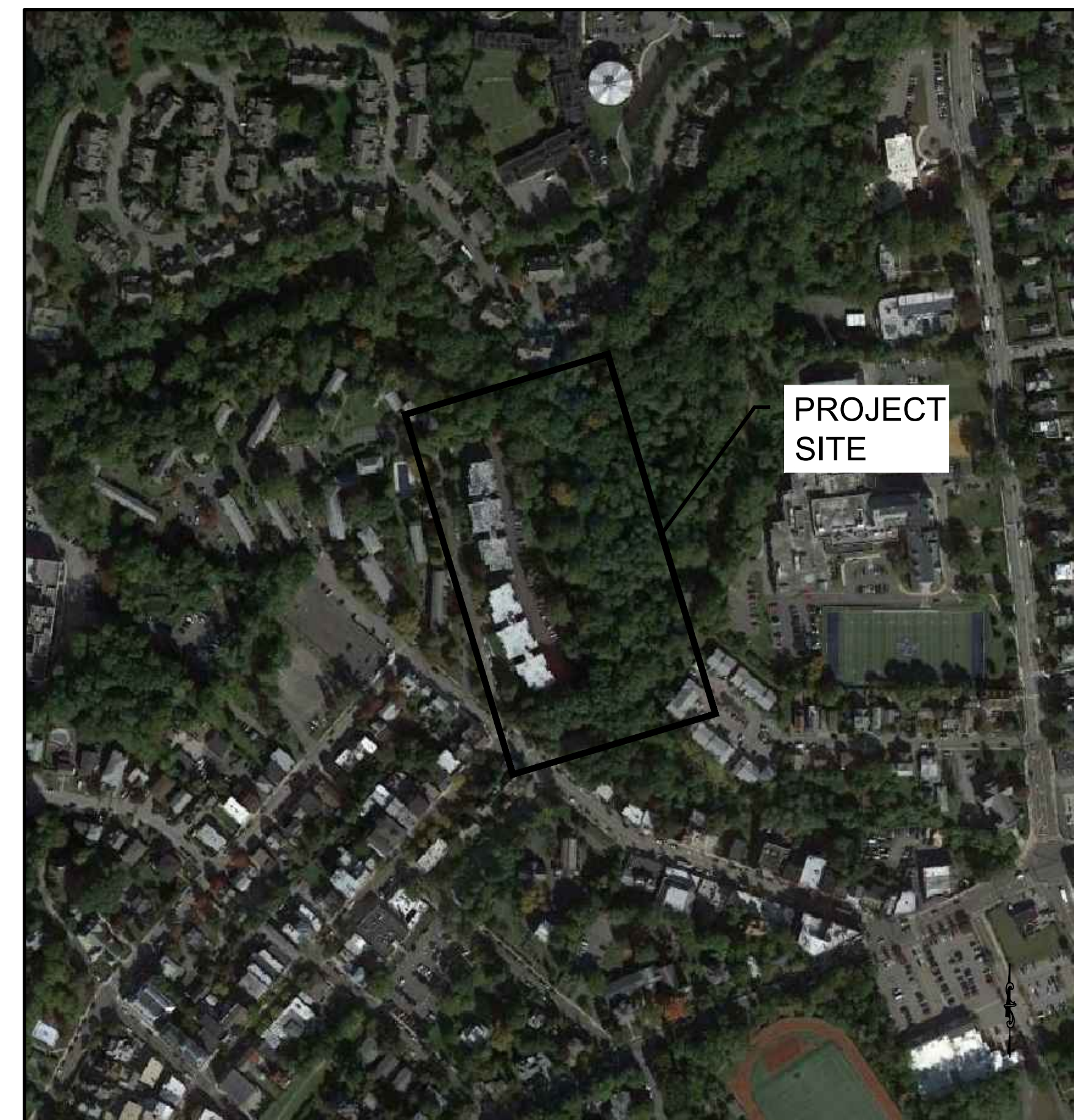
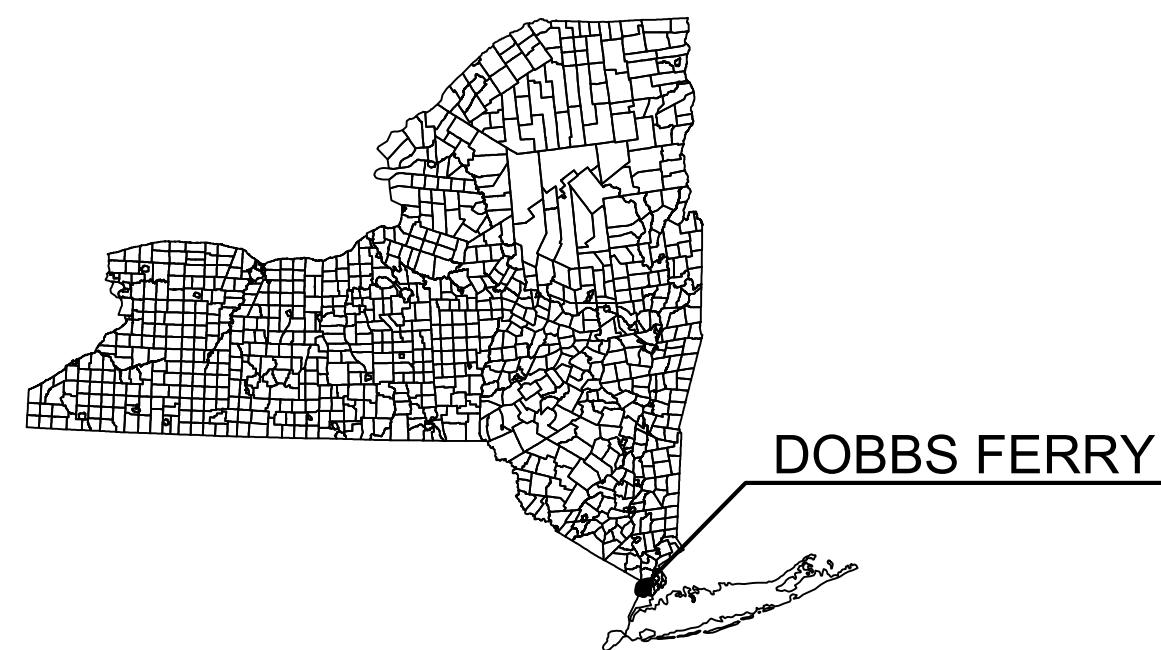
110-150 DRAPER OWNERS CORP.
C/O GARTHCHESTER REALTY
440 MAMARONECK AVE
HARRISON, NY 10528
11/18/2021

LIST OF DRAWINGS

DWG. No.	DRAWING TITLE
1	TITLE SHEET, DRAWING LIST & VICINITY MAP
2	PROJECT NOTES & SITE PHOTOGRAPHS
3	EXISTING & PROPOSED SITE PLAN
4	EXISTING & PROPOSED SECTIONS



VICINITY MAP



AERIAL PHOTO



1	02-04-2022	REVISED FOR PLANNING BOARD REQUIREMENTS
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Prepared for	110-150 DRAPER OWNERS CORP. C/O GARTHCHESTER REALTY 440 MAMARONECK AVE HARRISON, NY 10528	
Project	EMERGENCY BANK STABILIZATION 110-150 DRAPER LANE DOBBS FERRY, NY 10522	
Drawing	TITLE SHEET, DRAWING LIST & VICINITY MAP	
Designed	HNS	Checked HNS
Job No.	2021121	Date 11/18/2021
		Drawing No. ADS
		1 of 4

NOT VALID WITHOUT ENGINEER'S SEAL

DESCRIPTION OF WORK:

- GENERAL NOTES:**
1. ELEVATIONS ARE REFERENCED TO DATUM NOTED ON PLAN.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LAYOUT THE STRUCTURES IN ACCORDANCE WITH THE PROJECT DRAWINGS.
 3. WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS, AND

4. EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND FABRICATION OR ORDERING OF ANY CONSTRUCTION MATERIALS.
5. SECTIONS AND DETAILS APPLY TO SAME AND SIMILAR CONDITIONS UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.

12. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN WRITING IF CONTRACTOR OBSERVES ANY DISCREPANCIES OR ERRORS WHICH WOULD MATERIALLY AFFECT THE PROJECT.
13. ANY STRUCTURES CONSTRUCTED IN POSITIONS OTHER THAN THE LOCATIONS DISTRICTED ON THE PROJECT PLANS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
14. THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

- UTILITIES:**

- ### **STONE REVETMENT:**

1. ARMOR STONE & FILTER STONE SHALL BE PLACED BY HAND OR MACHINE TO THE DESIGN LINES AND GRADES SPECIFIED IN THESE DRAWINGS. STONE SHALL BE PLACED IN A MANNER WHICH WILL PRODUCE A WELL-GRADED MASS OF STONE WITH THE MINIMUM PERCENTAGE OF VOIDS. THE TOP FINISH LAYER SHALL BE UNIFORMLY PLANAR. A TOLERANCE OF PLUS 8 INCHES AND MINUS 3 INCHES FROM THE SLOPE LINES AND GRADES SHOWN ON THE DRAWINGS WILL BE ALLOWED IN THE FINISHED SURFACE, EXCEPT THAT THE EXTREME OF THIS TOLERANCE SHALL NOT BE CONTINUOUS OVER AN AREA GREATER THAN 200 SQUARE FEET.
2. ARMOR AND FILTER STONE SHALL BE A DENSE, SOUND GNEISS, DIORITE, OR BASALT, CONFORMING TO THE WEIGHT AND GRADATION TABLES PROVIDED HEREIN. STONE SHALL BE FREE FROM LAMINATIONS, WEAK CLEAVAGES, UNDESIRABLE WEATHERING, OR BLASTING OR HANDLING FRACTURES. ADDITIONALLY, STONES SHALL BE FREE FROM FRACTURE ZONES WHICH SUBTEND MORE THAN 1/4 OF THE TOTAL CIRCUMFERENCE OF THE STONES ALONG THE PLACE OF FRACTURING. STONES SHALL BE CLEAN, FREE FROM EARTH, CLAY, LIME, OR COATINGS OF ANY KIND. CONCRETE OR ROUND STONES ARE NOT ACCEPTABLE. ARMOR STONE SHALL BE OF SUCH SHAPE TO ASSURE INTERLOCKING WITH ADJACENT ARMOR STONES.
3. FILTER STONE SHALL CONSIST OF CRUSHED DURABLE STONE, SCREENED TO THE GRADATION TABLE PROVIDED HEREIN.

4. THE TOP OF THE REVETMENT SHALL BE SET AT THE ELEVATION SHOWN ON THE DRAWINGS.
5. THE EXCAVATION DEPTH FOR THE PLACEMENT OF THE STONE REVETMENT SHALL BE TO KEEP TO THE MINIMUM DEPTH. THE CONTRACTOR SHALL ESTABLISH CONTROL POINTS PRIOR TO EXCAVATION OF EX. GRADE.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LIMIT THE AMOUNT OF EXPOSED STREAMBANK DURING CONSTRUCTION IN ORDER TO MINIMIZE THE CHANCE OF STREAMBANK RECESSION. SHOULD A STORM EVENT OCCUR DURING CONSTRUCTION, IN SUCH A CASE, THE CONTRACTOR SHALL TEMPORARILY PLACE STONE MATERIAL ALONG THE EXPOSED STREAMBANK.
7. STONES SHOULD BE KEYED AND FITTED, MAXIMIZING CONTACT ON ALL SIDES. THREE POINTS OF CONTACT (MINIMUM) ARE REQUIRED BETWEEN A STONE AND OTHER STONES IN THE SAME LAYER.
8. CONTRACTOR SHALL IDENTIFY QUARRY SOURCE FOR STONE MATERIALS AND PROVIDE INFORMATION FOR ENGINEER TO INSPECT STONE PRIOR TO SHIPMENT TO PROJECT SITE.
9. ACCEPTANCE OF A SOURCE OF STONE BY THE ENGINEER IS NOT TO BE CONSTRUED AS ACCEPTANCE OF ALL MATERIALS FROM THAT SOURCE.

FILTER STONE GRADATION		
Percent less by size	Stone weight (pounds)	Approx. stone size (inches)
0	0.2	1.2
15	0.6	1.8
50	1.3	2.4
85	4.5	3.6
100	7.1	4.2

- ### **GEOTEXTILE FILTER FABRIC:**

1. GEOTEXTILE FILTER FABRIC SHALL BE MIRAFI FW700 BY TENCATE GEOSYNTHETICS OR ENGINEER APPROVED EQUIAL.
2. FILTER FABRIC ROLLS SHALL BE STORED OFF THE GROUND IN WEATHER-TIGHT STORAGE, AND PROTECTED TO ASSURE NO DAMAGE TO THE MATERIALS.
3. ATMOSPHERIC EXPOSURE OF THE GEOTEXTILE TO THE ELEMENTS FOLLOWING LAYDOWN SHALL BE LIMITED TO 10 DAYS TO PREVENT DAMAGE.
4. PREPARE SURFACES TO RECEIVE GEOTEXTILE TO SMOOTH CONDITION AS INDICATED OR AS DIRECTED BY THE ENGINEER. FILL DEPRESSIONS AND HOLES FLUSH WITH ADJACENT SURFACES AS REQUIRED.
5. REMOVE LARGE STONES, LIMBS, AND OTHER DEBRIS PRIOR TO PLACEMENT OF GEOTEXTILE.
6. THE GEOTEXTILE SHALL BE PLACED IN INTIMATE CONTACT WITH THE SOILS WITHOUT WRINKLES OR FOLDS AND ANCHORED ON SMOOTH GRADE SURFACE APPROVED BY THE ENGINEER. THE GEOTEXTILE SHALL BE PLACED IN SUCH A MANNER THAT PLACEMENT OF THE OVERLYING MATERIALS WILL NOT EXCESSIVELY STRETCH SO AS TO TEAR THE GEOTEXTILE. ANCHORING OF THE GEOTEXTILE SHALL BE ACCOMPLISHED THROUGH THE USE OF KEY TRENCHES OR APRONS AT THE CREST AND TOE OF SLOPE.
7. 450 MM (18 IN) ANCHORING PINS PLACED ON 600 TO 1800 MM (24 TO 45 IN) CENTERS, DEPENDING ON SLOPE OF THE COVERED AREA, MAY BE USED TO EXPEDITE CONSTRUCTION. IF USED, RETAINING PINS SHALL BE 4 MM (0.18 IN) DIAMETER X 450 MM (18 IN) LONG STEEL PINS, POINTED AT ONE END AND FITTED WITH 35 MM (1 IN) DIAMETER WASHER AT OTHER END.
8. THE GEOTEXTILE SHALL BE PLACED WITH THE MACHINE DIRECTION PARALLEL TO THE DIRECTION OF WATER FLOW WHICH IS NORMALLY PARALLEL TO THE SLOPE FOR EROSION CONTROL RUNOFF AND PARALLEL TO THE STREAM OR CHANNEL IN THE CASE OF STREAMBANK AND CHANNEL STABILIZATION. EITHER SEWING OR OVERLAPPING SHALL JOIN ADJACENT GEOTEXTILE SHEETS. OVERLAPPED SEAMS OF ROLL ENDS SHALL BE A MINIMUM OF 300 MM (12 IN) EXCEPT WHERE PLACED UNDER WATER. IN SUCH INSTANCES THE OVERLAP SHALL BE A MINIMUM OF 1 M (3 FT). OVERLAPS OF ADJACENT ROLLS SHALL BE A MINIMUM OF 300 MM (12 IN) IN ALL INSTANCES.
9. WHEN OVERLAPPING, SUCCESSIVE SHEETS OF GEOTEXTILE SHALL BE OVERLAPPED UPSTREAM OVER DOWNSTREAM, AND/OR UPSLOPE OVER DOWN SLOPE.
10. CARE SHALL BE TAKEN DURING INSTALLATION SO AS TO AVOID DAMAGE OCCURRING TO THE GEOTEXTILE AS A RESULT OF THE INSTALLATION PROCESS. SHOULD THE GEOTEXTILE BE DAMAGED DURING INSTALLATION, A GEOTEXTILE PATCH SHALL BE PLACED OVER THE DAMAGED AREA EXTENDING 1 M (3 FT) BEYOND THE PERIMETER OF THE DAMAGE.

11. THE ARMOR SYSTEM PLACEMENT SHALL BEGIN AT THE TOE AND PROCEED UP THE SLOPE. PLACEMENT SHALL TAKE PLACE SO AS TO AVOID STRETCHING AND SUBSEQUENT TEARING OF THE GEOTEXTILE. RIP RAP AND HEAVY STONE FILLING SHALL NOT BE DROPPED FROM A HEIGHT OF MORE THAN 300 MM (12 IN). STONE WITH A MASS OF MORE THAN 100 KG (225 LB) SHALL NOT BE ALLOWED TO ROLL DOWN THE SLOPE.
12. SLOPE PROTECTION AND SMALLER SIZES OF STONE FILLING SHALL NOT BE DROPPED FROM A HEIGHT EXCEEDING 1 M (3 FT), OR A DEMONSTRATION PROVIDED SHOWING THAT THE PLACEMENT PROCEDURES WILL NOT DAMAGE THE GEOTEXTILE. IN UNDERWATER APPLICATIONS, THE GEOTEXTILE AND BACKFILL MATERIAL SHALL BE PLACED THE SAME DAY. ALL VOID SPACES IN THE ARMOR STONE SHALL BE BACKFILLED WITH THE SMALL STONE TO ENSURE FULL COVERAGE.
13. FOLLOWING PLACEMENT OF THE ARMOR STONE, GRADING OF THE SLOPE SHALL NOT BE PERMITTED IF THE GRADING RESULTS IN MOVEMENT OF THE STONE DIRECTLY ABOVE THE GEOTEXTILE.
14. FIELD MONITORING SHALL BE PERFORMED TO VERIFY THAT THE ARMOR SYSTEM PLACEMENT DOES NOT DAMAGE THE GEOTEXTILE.
15. ANY GEOTEXTILE DAMAGED DURING BACKFILL PLACEMENT SHALL BE REPLACED AS DIRECTED BY THE ENGINEER, AT THE CONTRACTOR'S EXPENSE.

1. CONTRACTOR SHALL EXCAVATE TO THE REQUIRED DEPTHS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) REGULATIONS.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT NEIGHBORING PROPERTY'S, STRUCTURES, COMPLETED WORK, AND NATURAL RESOURCES FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE SHORING AND EXCAVATION PROTECTION AS NEEDED.

- 3.1. FREE-DRAINING MATERIAL SHALL CONSISTING OF A MIXTURE OF SAND, GRAVEL, GRAVEL ROCK FRAGMENTS, QUARRY RUN STONE AND SHALL NOT HAVE MORE THAN 70%, BY WEIGHT, PASSING THE NO. 40 SIEVE AND NOT MORE THAN 10%, BY WEIGHT, PASSING THE NO. 200 MESH SIEVE.
4. BACKFILL MATERIAL SHALL BE FREE OF ORGANICS, FROZEN SOIL, ICE, WOOD AND OTHER EXTRANEANEOUS MATERIAL.
5. MATERIAL REMOVED FROM THE EXCAVATION AND TEMPORARILY STOCKPILED ONSITE MAY BE USED AS BACKFILL PROVIDED IT MEETS THE ABOVE REQUIREMENTS AND NO PARTICLES ARE GREATER THAN 3" IN MAXIMUM DIMENSION. A SAMPLE AND GRADATION OF MATERIAL PROPOSED AS BACKFILL SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND ACCEPTANCE.
6. CRUSHED STONE SHALL BE CONSISTENT WITH THE MATERIAL REQUIREMENTS OF NYSDOT.
7. PLACE BACKFILL IN MAXIMUM 1 FT LIFTS. LIFT THICKNESS SHALL BE REDUCED IF NEEDED BASED ON EQUIPMENT USED. CONTRACTOR TO DRY OR MOISTEN SOIL AS NEEDED TO PROVIDE SUITABLE COMPACTION AND OPTIMUM MOISTURE CONTENT. THE DRY DENSITY OF EACH LAYER OF BACKFILL AFTER COMPACTION SHALL NOT BE LESS THAN 95% OF THE DRY DENSITY FOR THAT MATERIAL WHEN TESTED IN ACCORDANCE WITH AASHTO T 180, METHOD D.
8. PROCESSED AGGREGATE BASE SHALL BE PLACED IN LAYERS NOT TO EXCEED 6" IN LOOSE DEPTH.

9. BACKFILL SHALL BE PLACED EVENLY ALONG STRUCTURES, TO REQUIRED ELEVATIONS.
10. CONTRACTOR SHALL TAKE CARE TO PREVENT WEDGING ACTIONS OF BACKFILL AGAINST STRUCTURES BY CARRYING MATERIAL UNIFORMLY AROUND THE STRUCTURES TO APPROXIMATELY THE SAME ELEVATION OF EACH LIFT.
11. EXCAVATIONS WITHIN THE STREAM CHANNEL SHALL BE RESTORED TO ITS PRE-CONSTRUCTION CONDITIONS, WITH FUNCTIONS RESTORED. RESTORATION SHALL COMMENCE NO LATER THAN THE COMPLETION OF CONSTRUCTION.
12. EXCESS EXCAVATION MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND HAUL OFF-SITE FOR DISPOSAL.
13. SUPPLEMENTAL EXCAVATION AND FILL CONTROL MAY BE NECESSARY TO LIMIT SETTLEMENT BASED ON ACTUAL CONDITIONS EXPOSED DURING CONSTRUCTION.

1. UNLESS OTHERWISE INDICATED THE CONTRACTOR SHALL CUT OR REMOVE ALL BRUSH, SAPLINGS, VINES, LOGS, DEBRIS, ETC. AS REQUIRED TO COMPLETE THE WORK WITHIN THE PROJECT AREA AS SPECIFIED WITHIN THESE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL NOT REMOVE MATURE TREES 4-INCHES OR GREATER IN DIAMETER UNLESS THEY ARE WITHIN THE EXCAVATION AREA.
3. UNLESS OTHERWISE INDICATED WITHIN THESE CONTRACT DOCUMENTS THE CONTRACTOR SHALL COMPLETELY REMOVE ALL STUMPS AND ROOTS TO A DEPTH OF 18-INCHES.
4. DEPRESSIONS REMAINING FROM THE REMOVAL OF STUMPS SHALL BE FILLED WITH GRAVEL BORROW AND/OR CLEAN LOAM.
5. MATERIAL COLLECTED IN THE COURSE OF CLEARING AND GRUBBING, WHICH IS NOT TO REMAIN, SHALL BE DISPOSED IN A PROPER MANNER AWAY FROM THE SITE.

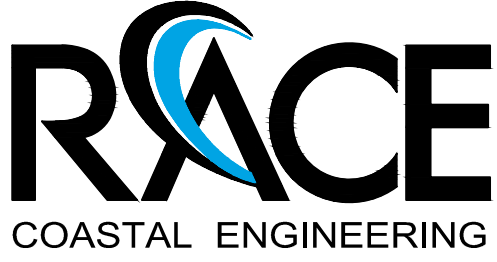
1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM, AS PRACTICABLE TO COMPLETE THE WORK.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE 2016 NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
4. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD AS NECESSARY AND REQUIRED.
5. THE CONTRACTOR SHALL UTILIZE APPROVED METHODS/MATERIALS FOR PREVENTING THE BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES ONTO ADJACENT PROPERTIES AND SITE AREAS.
6. THE CONTRACTOR SHALL MAINTAIN AN ADDITIONAL SUPPLY OF EROSION & SEDIMENTATION CONTROL ON SITE FOR EMERGENCY PURPOSES.
7. THE CONTRACTOR SHALL PROVIDE A PROJECT SPECIFIC PLAN FOR THE INSTALLATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES FOR THE PROJECT SITE AND SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF ALL CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.

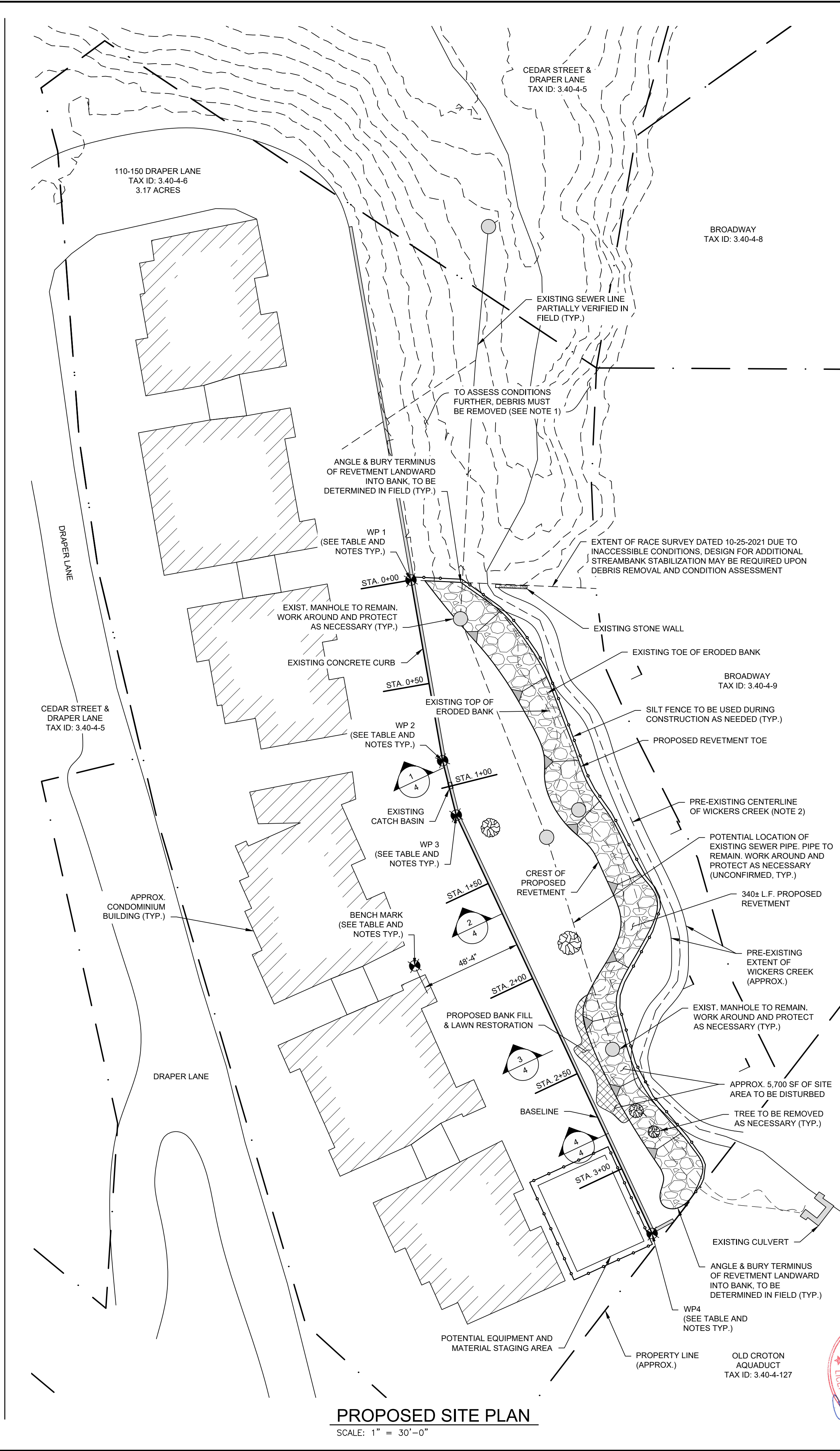
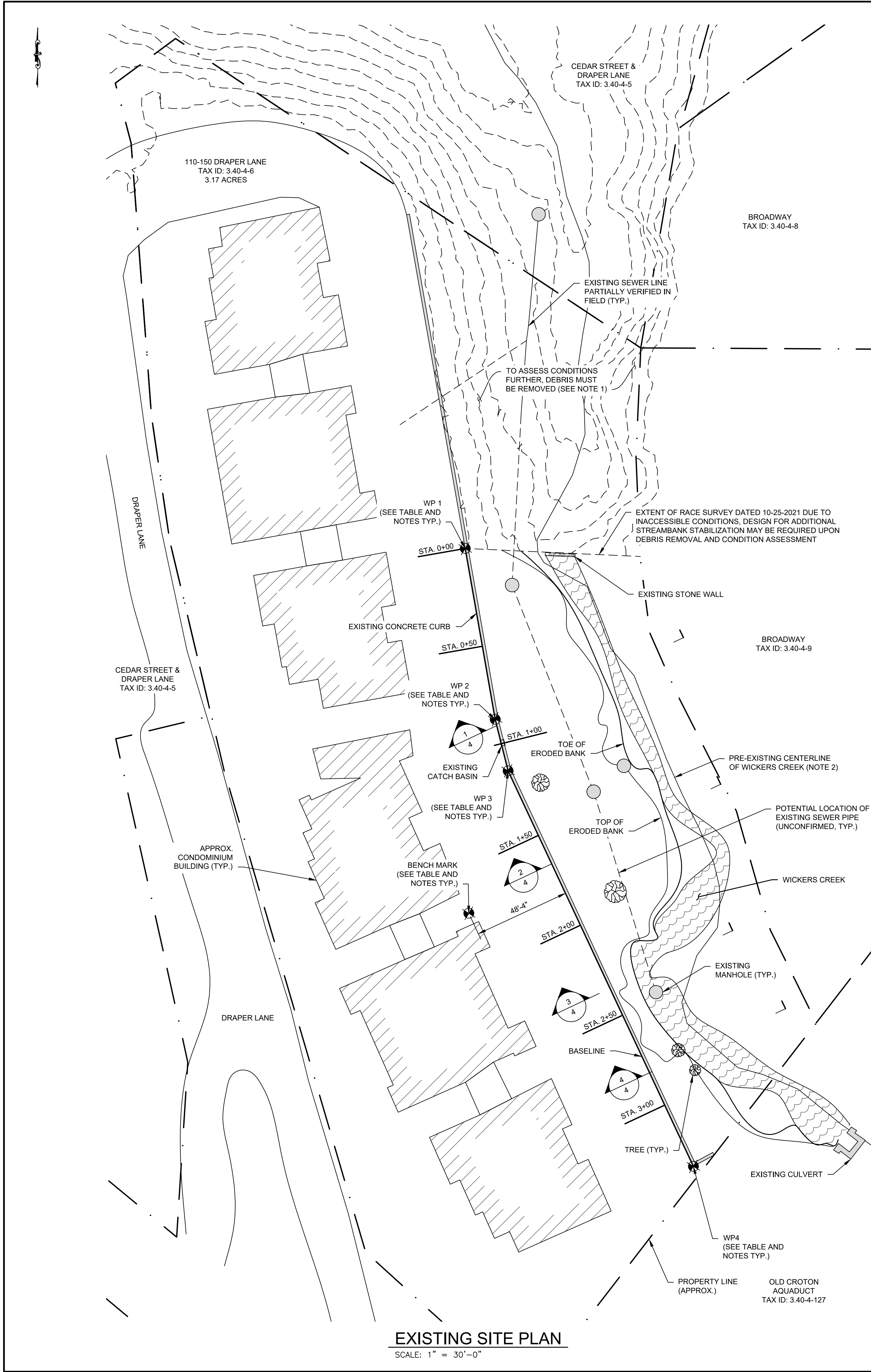
1. SELECTIVE DEMOLITION AND DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL PERMIT AND BUILDING CODE REQUIREMENTS.
2. THE CONTRACTOR SHALL REMOVE AND DISPOSE THOSE STRUCTURES AND DERELICT COMPONENTS REQUIRED TO PERFORM THE WORK.
3. SELECTIVE DEMOLITION INCLUDES BUT IS NOT LIMITED TO REMOVAL OF EXISTING MATERIALS, UTILITIES, AND OTHER COMPONENTS ESSENTIAL FOR A COMPLETE PROJECT.
4. THE CONTRACTOR SHALL TAKE REASONABLE CARE IN REMOVING ELEMENTS SELECTED TO BE DEMOLISHED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DAMAGE OR DESTRUCTION BY THE CONTRACTOR TO EXISTING ELEMENTS DESIGNATED TO REMAIN SHALL BE REPAIRED OR REPLACED IN-KIND AT THE DISCRETION OF THE OWNER AT NO ADDITIONAL COST.
5. ITEMS TO BE REMOVED AND REUSED SHALL BE PLACED IN A STAGING AREA ACCESSIBLE FOR INSPECTION BY THE OWNER.
6. PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION, THE CONTRACTOR SHALL SUBMIT A DISPOSAL PLAN FOR ITEMS TO BE DEMOLISHED. DEMOLITION MATERIAL DESIGNATED BY THE OWNER TO BE REMOVED FROM THE SITE SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE DEBRIS DISPOSAL PLAN SHALL ACKNOWLEDGE THIS OWNERSHIP AND SHALL IDENTIFY THE MEANS AND METHODS AND FINAL DISPOSITION FOR DISPOSAL MATERIALS.
7. PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR SHALL CLEARLY MARK THE LIMITS OF THE DEMOLITION FOR REVIEW AND APPROVAL BY THE ENGINEER.
8. COMPLETELY REMOVE ITEMS DESIGNATED LEAVING SURFACES CLEAN, SOUND, AND READY TO RECEIVE NEW MATERIALS AS SPECIFIED IN THE CONTRACT DOCUMENTS.
9. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE STABILITY OF THE STRUCTURES DURING THE COURSE OF DEMOLITION.
10. THE CONTRACTOR SHALL SUBMIT A DISPOSAL CERTIFICATE TO THE OWNER'S REPRESENTATIVE CERTIFYING LEGAL AND PROPER DISPOSAL.
11. ALL DEMOLITION AND CONSTRUCTION WASTE MATERIALS SHALL BE DISPOSED OF LEGALLY OFFSITE BY THE CONTRACTOR, AT THE EXPENSE OF THE CONTRACTOR.

1. IT IS ANTICIPATED THE CONTRACTOR WILL PREPARE THE SITE BY FURNISHING AND INSTALLING THE NECESSARY SEDIMENTATION & EROSION (S&E) CONTROL MEASURES ALONG THE ERODED BANK IN ACCORDANCE WITH THE NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL. S&E CONTROL MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO A CONSTRUCTION FENCE, SILT FENCE AND HAY BALES.
2. THE CONTRACTOR SHALL CLEAR THE SITE OF ALL NATURAL DEBRIS, DERELICT STRUCTURES AND THEIR COMPONENTS. DEBRIS AND UNWANTED DERELICT STRUCTURES AND COMPONENTS WILL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF AT AN AUTHORIZED WASTE FACILITY.
3. FOLLOWING CLEARING AND GRUBBING OF THE SITE, IT IS ANTICIPATED THE CONTRACTOR WILL ROUGH GRADE THE ERODED BANK SLOPE TO PREPARE FOR THE INSTALLATION OF THE RIPRAP REVEEMENT. EARTH MATERIAL WILL BE EXCAVATED AND REUSED AS BACKFILL MATERIAL IN ORDER TO GRADE THE BANK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. WHEN NOT IN USE, EXCAVATED MATERIAL WILL BE STAGED ON SITE AND SURROUNDED BY THE APPLICABLE S&E CONTROL MEASURES IN ACCORDANCE WITH NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENTATION CONTROL.
4. AFTER THE BANK HAS BEEN GRADED, IT IS ANTICIPATED THE CONTRACTOR WILL INSTALL THE GEOTEXTILE FILTER FABRIC, FILTER STONE AND ARMOR STONE ALONG THE BANK SLOPE. THE RIPRAP REVEEMENT AND ITS COMPONENTS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
5. FOLLOWING THE COMPLETION OF THE RIPRAP REVEEMENT, AREAS THAT HAVE BEEN DISTURBED WILL BE FURNISHED AND LANDSCAPED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. LANDSCAPING INCLUDES BUT IS NOT LIMITED TO INSTALLING TOP SOILS, RAKING TOP SOILS, SEEDING, PROVIDING PROTECTION AND WATERING.
6. UPON COMPLETION OF THE PROJECT, S&E CONTROL MEASURES WILL BE REMOVED AND THE CONTRACTOR WILL DEMOBILIZE FROM THE SITE.



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DATE		DESCRIPTION	
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Project	EMERGENCY BANK STABILIZATION 110-150 DRAPER LANE DOBBS FERRY, NY 10522		
Drawing			
PROJECT NOTES & SITE PHOTOGRAPHS			
Designed	HNS	Drawn	HNS
Checked			
Job No.	2021121	Date	11/18/2021
Drawing No.			2



- NOTES:
1. CONTOURS ARE TAKEN FROM 2011-2012 NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LIDAR: COASTAL NEW YORK (LONG ISLAND AND ALONG THE HUDSON RIVER) AND ARE AT 5 FT INTERVALS.
 2. PRE-EXISTING CENTERLINE OF WICKERS CREEK TAKEN FROM WESTCHESTER COUNTY GIS - STREAMS DATASET PUBLISHED MAY 1, 2019 AND UPDATED MARCH 25, 2021.
 3. WORKING POINT ELEVATIONS WERE TAKEN BY RACE COASTAL ENGINEERING, PC ON OCTOBER 25, 2021. ELEVATIONS ARE REFERENCED TO LOCAL BENCHMARK ELEVATION TAKEN ON SUCH DATE.
 4. NORTHING AND EASTING COORDINATES ARE REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (0600).
 5. SITE INFORMATION HAS BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY PREPARED FOR DRAPER ASSOCIATES IN THE VILLAGE OF DOBBS FERRY, TOWN OF GREENBURGH, WESTCHESTER COUNTY, NY" PREPARED BY KULHANEK AND PLAN LAND SURVEYORS, P.C. DATED 08-22-1973 AND REVISED 07-09-1996.

WORKING POINT (WP)	EASTING	NORTHING	ELEVATION (FT)
BENCHMARK (BM)	665000.43	796023.97	+10.0
WP1	664998.89	796195.14	-
WP2	665013.74	796121.63	+5.7
WP3	665020.24	796095.68	+6.1
WP4	665113.53	795896.52	+8.9

ESTIMATED QUANTITIES OF MATERIALS (CY)	
ARMOR STONE	680
FILTER STONE	190
BANK FILL	100
BANK CUT	650

2	03-17-2022	REVISED FOLLOWING PLANNING BOARD MEETING 3-3-2022
1	02-04-2022	REVISED FOR PLANNING BOARD REQUIREMENTS
REV	DATE	DESCRIPTION

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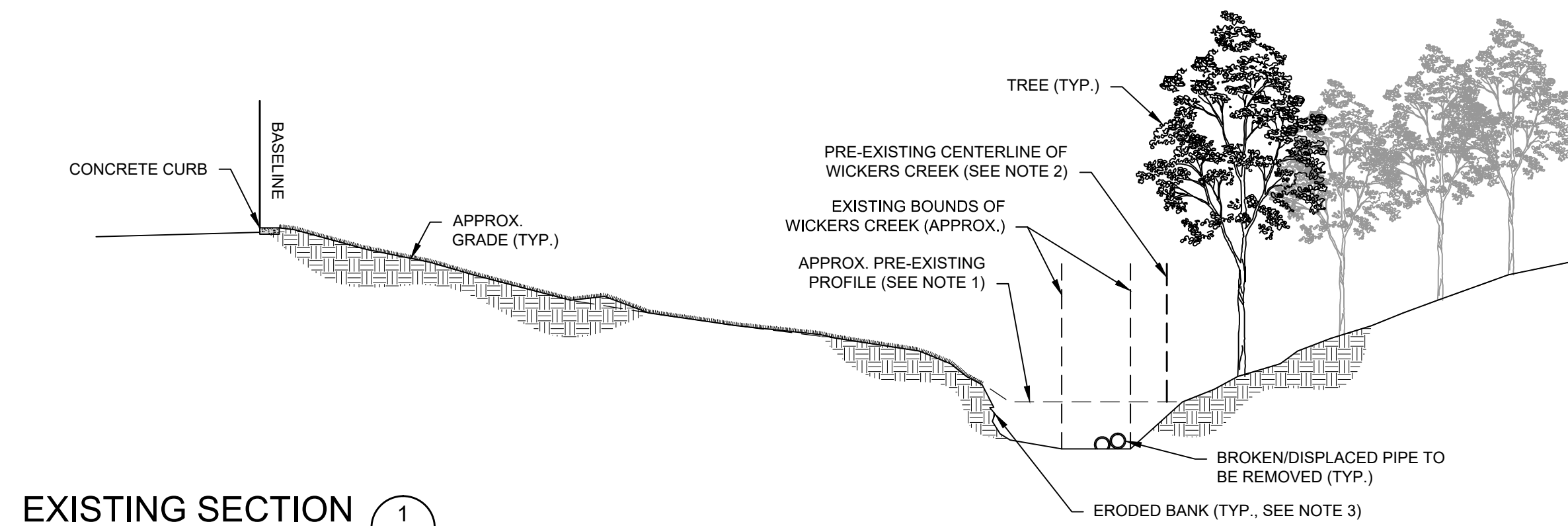
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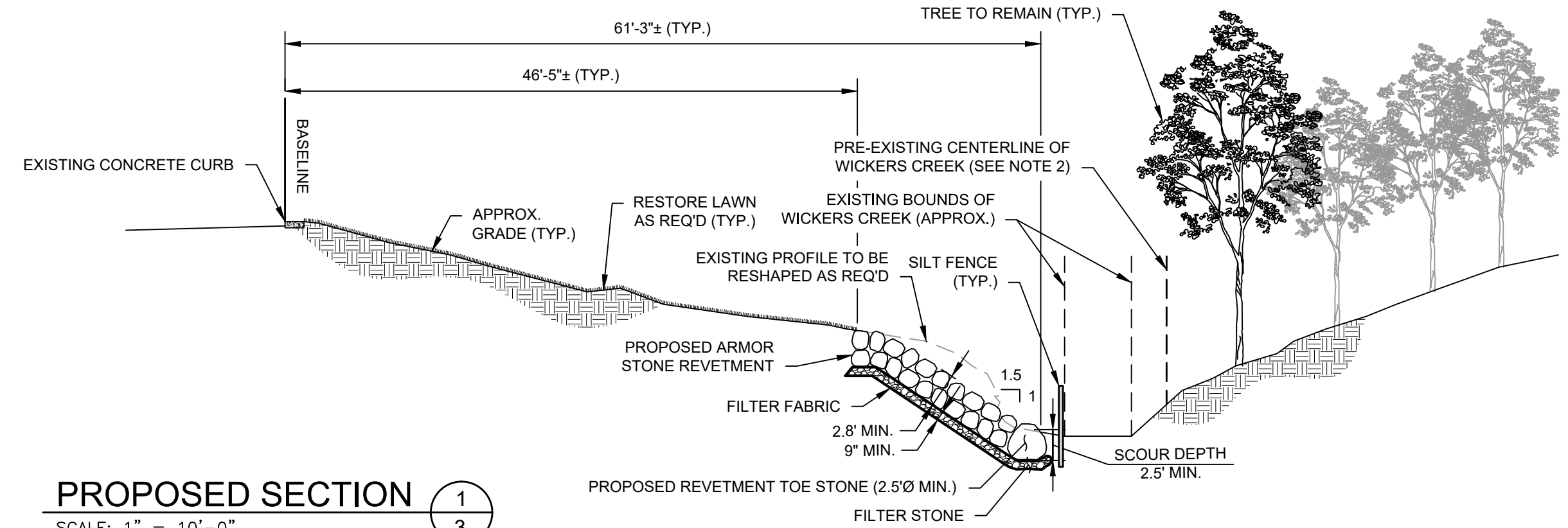
Drawing
EXISTING & PROPOSED SITE PLAN

Designed	HNS	Drawn	HNS	Checked	ADS
Job No.	2021121	Date	11/18/2021	Drawing No.	3 of 4

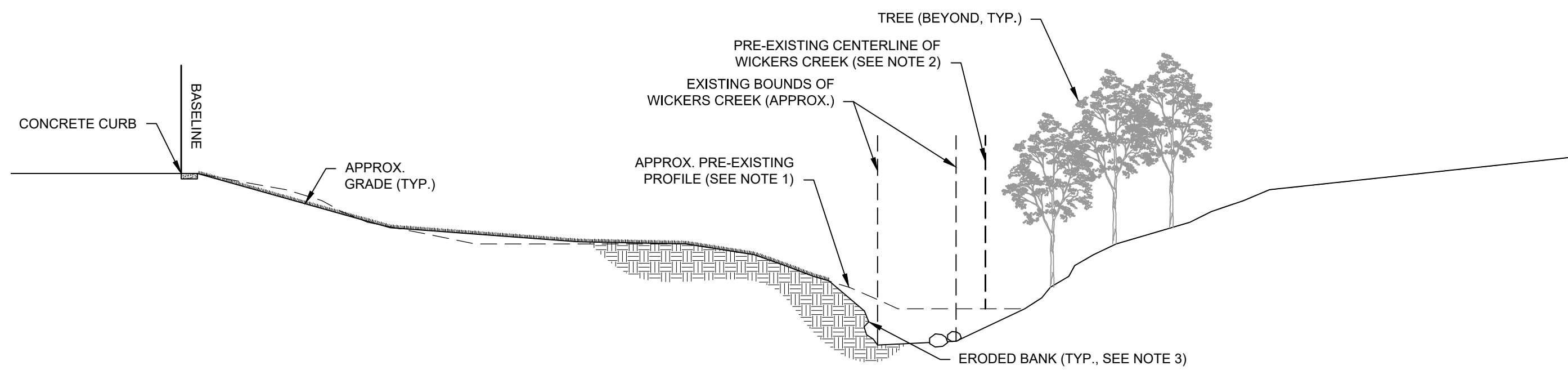




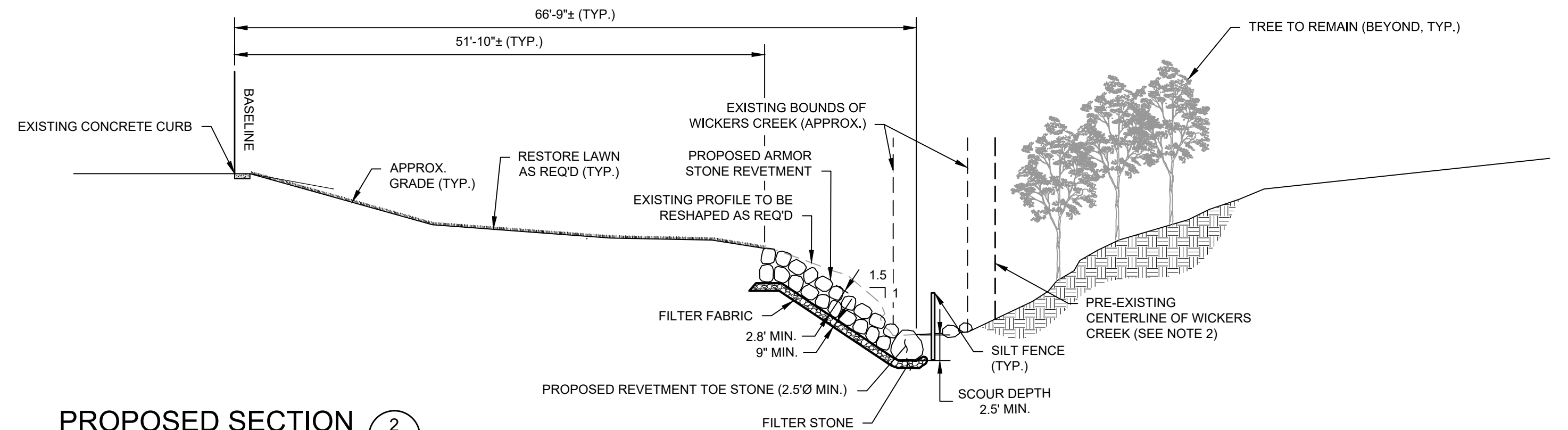
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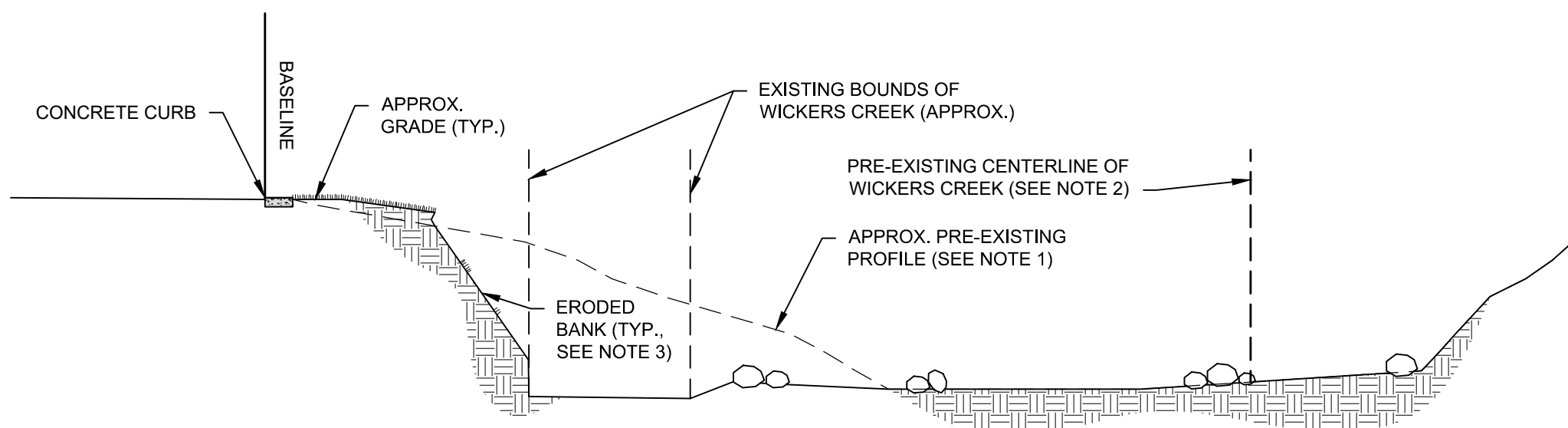
PROPOSED SECTION 1
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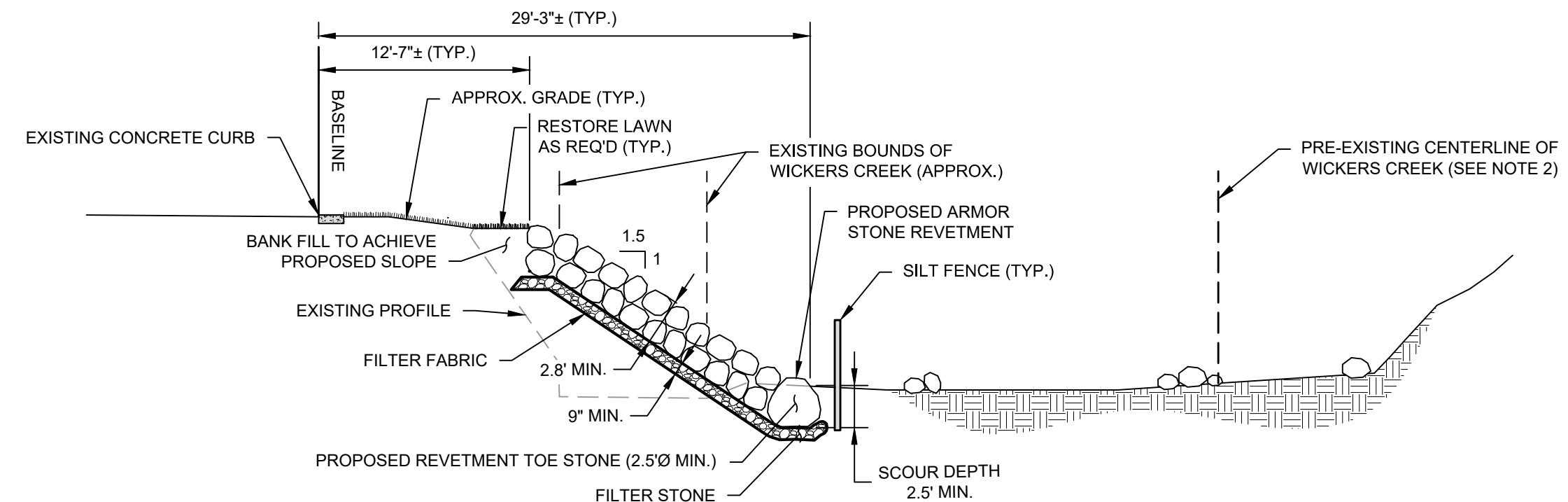
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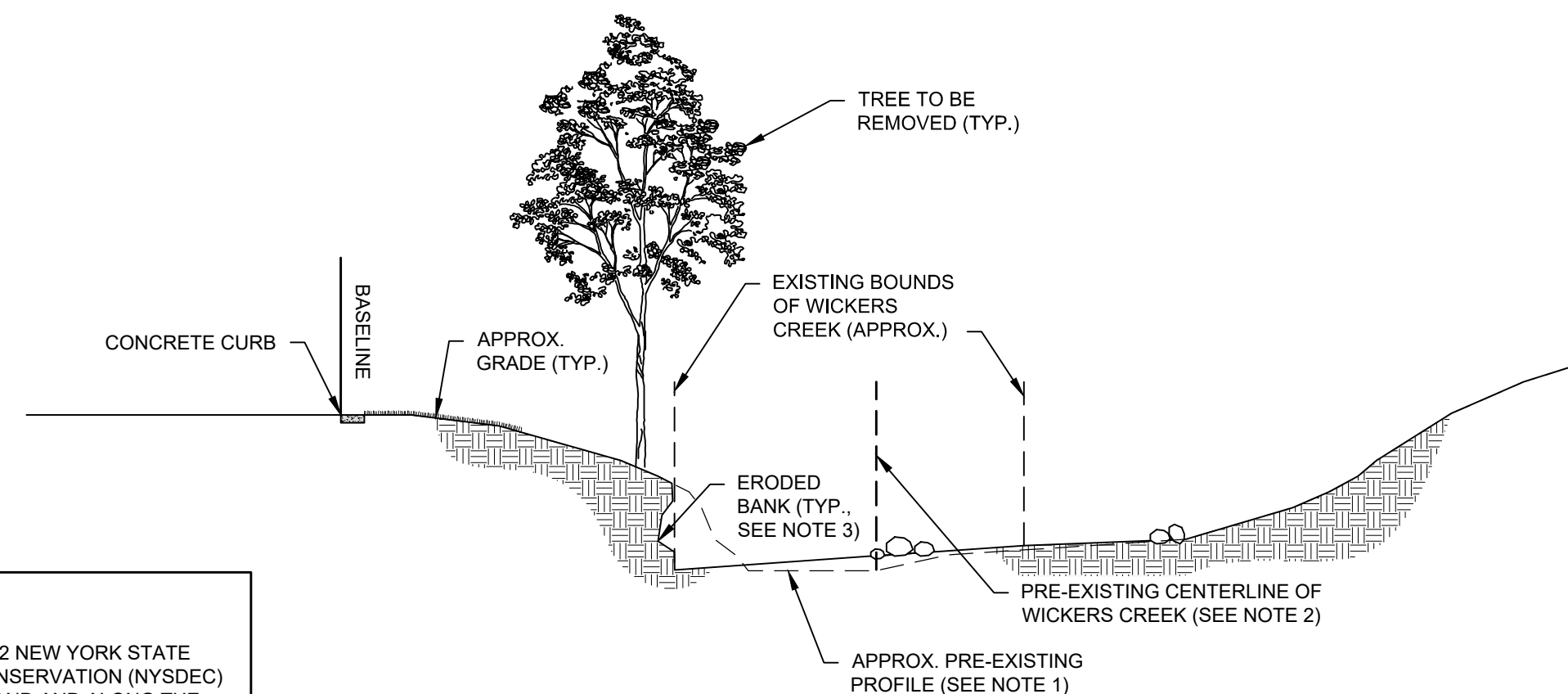
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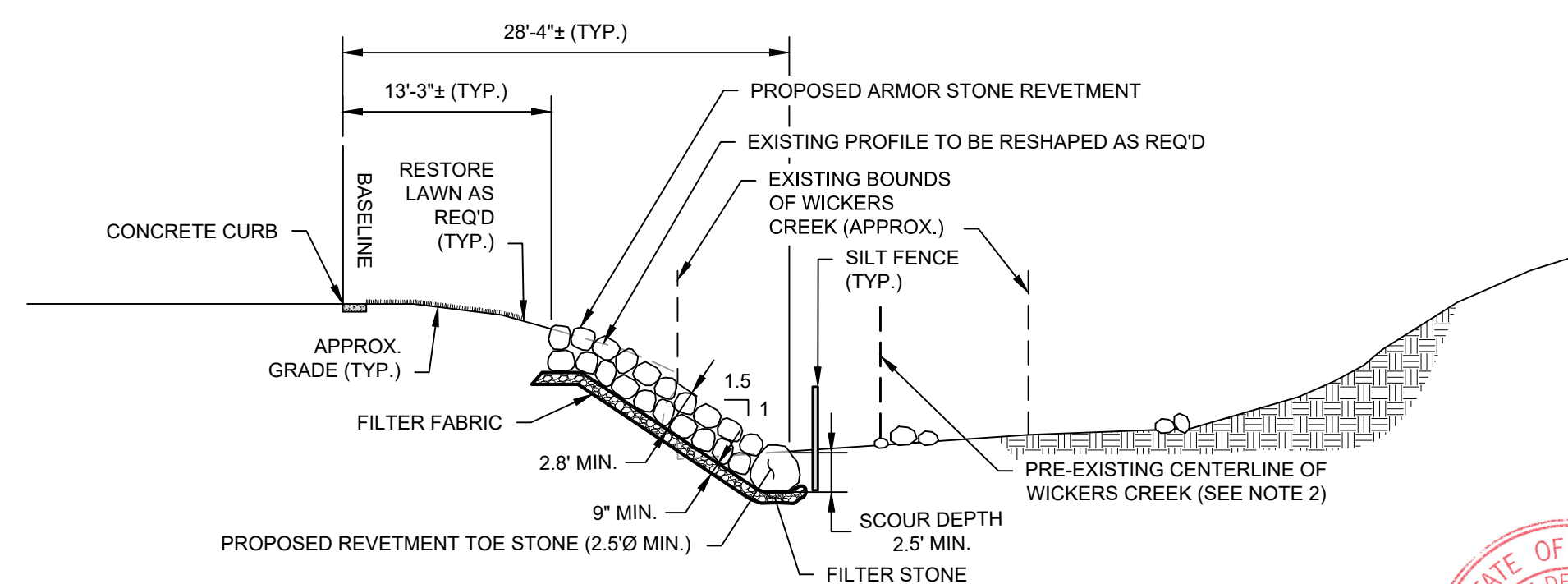
EXISTING SECTION 3
SCALE: 1" = 8'-0"



PROPOSED SECTION 3
SCALE: 1" = 8'-0"



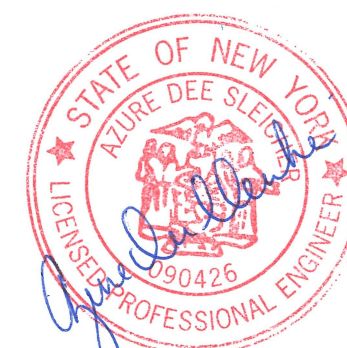
EXISTING SECTION 4
SCALE: 1" = 10'-0"



PROPOSED SECTION 4
SCALE: 1" = 10'-0"

- NOTES:
1. CONTOURS ARE TAKEN FROM 2011-2012 NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LIDAR: COASTAL NEW YORK (LONG ISLAND AND ALONG THE HUDSON RIVER).
 2. PRE-EXISTING CENTERLINE OF WICKERS CREEK TAKEN FROM WESTCHESTER COUNTY GIS - STREAMS DATASET PUBLISHED MAY 1, 2019 AND UPDATED MARCH 25, 2021.
 3. EXISTING SITE PHOTOGRAPHS LOCATED ON SHEET 2 OF 4 ARE CORRELATED WITH EXISTING SECTIONS.

1	03-17-2022	REVISED FOLLOWING PLANNING BOARD MEETING 3-3-2022
REV	DATE	DESCRIPTION
ISSUED FOR PERMIT		
RACE COASTAL ENGINEERING		
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Project	EMERGENCY BANK STABILIZATION 110-150 DRAPER LANE DOBBS FERRY, NY 10522	
Drawing	EXISTING & PROPOSED SECTIONS	
Designed	HNS	Checked ADS
Job No.	2021121	Date 11/18/2021
Drawing No.		4 of 4



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