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PRIOR TO REMOVAL OF ANY STRUCTURAL MEMBERS (JOISTS, BEAMS, ETC.), THE CONTRACTOR SHALL REMOVE THE EXISTING GYPSUM BOARD and/ or OTHER FINISH MATERIALS. SOME STRUCTURAL MODIFICATIONS INDICATED ON PLANS ARE BASED ON ASSUMED CONDITIONS THAT MUST BE VERIFIED BY THE G.C. WHO SHALL NOTIFY THE ARCHITECT AS TO THE EXACT EXISTING CONDITIONS REVEALED.

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EST. 1995

It is a violation of the New York State Education Law for any person to alter these plans, specifications or documents without the written consent of the Architect. The Architect is not responsible for the construction of the project. The Architect is not responsible for the construction of the project. The Architect is not responsible for the construction of the project.

NEW ADDITION FOR:  
HILL RESIDENCE  
21 BELLAIR DRIVE,  
DOBBS FERRY, NEW YORK

EXISTING SITE PLAN

DATE:  
March 15, 2022

PROJECT:  
21007 "Hill"

SHEET:  
S-2 of 3



PRIOR TO REMOVAL OF ANY STRUCTURAL MEMBERS (JOISTS, BEAMS, ETC.), THE CONTRACTOR SHALL REMOVE THE EXISTING GYPSUM BOARD AND/ OR OTHER FINISH MATERIALS. SOME STRUCTURAL MODIFICATIONS INDICATED ON PLANS ARE BASED ON ASSUMED CONDITIONS THAT MUST BE VERIFIED BY THE G.C. WHO SHALL NOTIFY THE ARCHITECT AS TO THE EXACT EXISTING CONDITIONS REVEALED.

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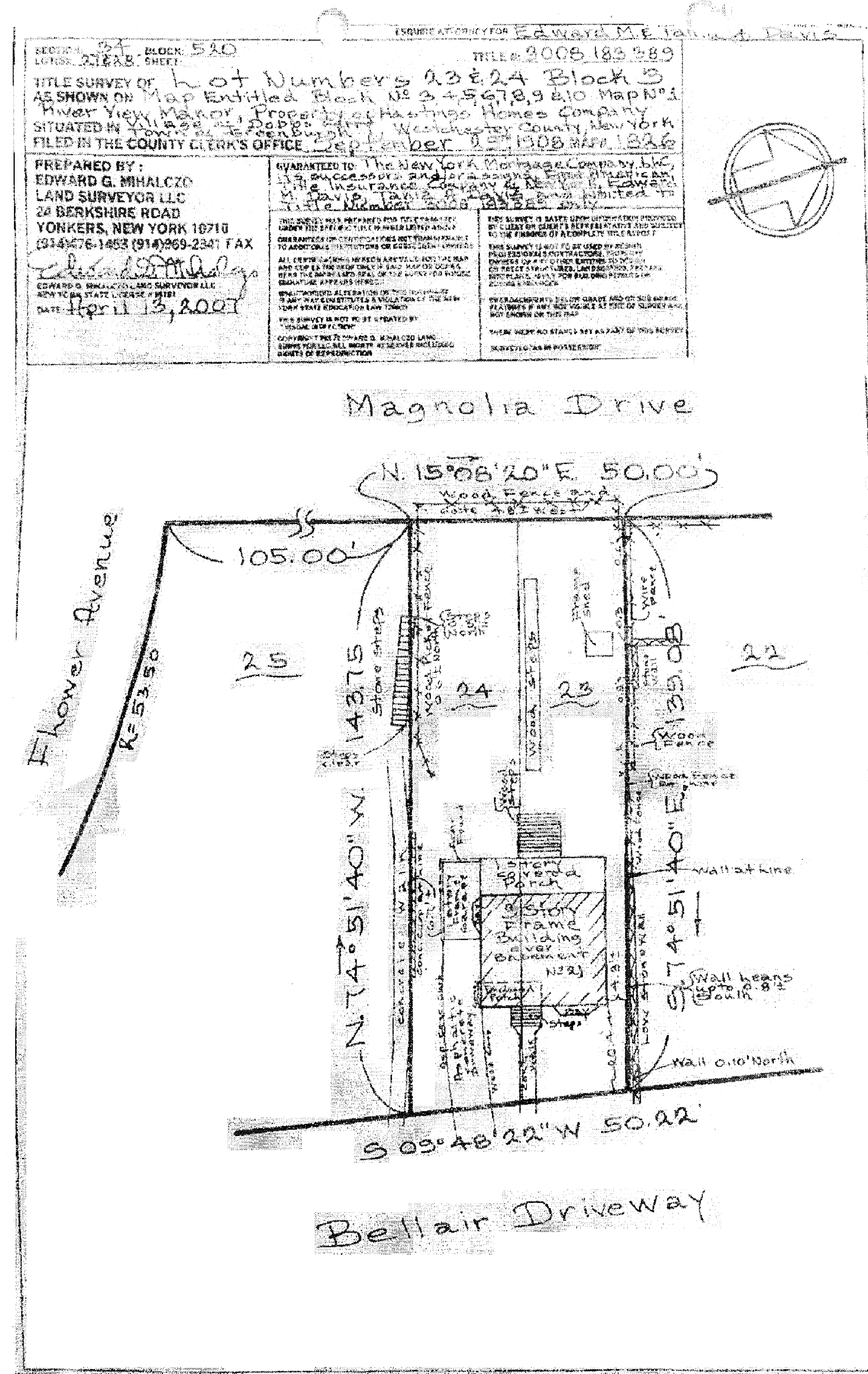
DATE:  
March 15, 2022

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PROJECT:  
21007 "Hill"

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SHEET:  
**S-3** of 3



## EXISTING SURVEY

SCALE:  $1'' = 20' - 0''$