SURVEYOR: EDWARD G. MIHALCZO 24 BERKSHIRE RD., YONKERS, NY 10710 SURVEY DATED APRIL 13, 2007

OWNER: JAY ROBERT AND CATEY HILL 21 BELLAIR DR., DOBBS FERRY, NY TAX MAP: 3.160-144-3 ZONE: PROPERTY AND ADJACENT PROPERTIES ARE OF-5 ZONE.

ACREAGE: 0.16 BULK REQUIREMENTS - SEE SHEET A-2

- TOTAL FILL NEEDED: 30 CUBIC YARDS TOTAL SITE TO BE DISTURBED: 800 S.F.
- THERE WILL BE NO CHANGE TO THE DRIVEWAY RUNOFF. • THERE WILL BE NO CHANGE TO THE ROOF DRAINAGE / OR SEWER SYSTEM. THERE ARE NO CHANGES TO / NEEDED FOR SWALES, DRAINS, CULVERTS,
- CATCH BASINS, DRY WELLS, OR STORM WATER PIPES, • SINCE THIS PROJECT INVOLVES A BACKYARD PROJECT, THERE WILL BE NO CHANGES TO DRIVEWAYS, SITE DISTANCES, VEHICLE TURN-AROUNDS, OR PARKING AREAS.
- THERE IS A SMALL AREA OF DISTURBANCE SHOWN IN THE YEAR YARD FOR DOING REPAIR ON AN EXISTING PRESSURE TREATED RETAINING WALL AND INSTALLING PIER FOOTINGS FOR A NEW DECK.
- THERE ARE NO CHANGES TO THE EXISTING DRIVEWAY OR PAVED AREAS OR SLOPE OF ANY LAWN AREA.
- NONE OF THE "GENERAL" REQUIREMENTS TO THE PLANNING BOARD ARE APPLICABLE TO THIS PROJECT.

SITE PLAN NOTES:

- I. Should rock blasting be requires, a permit application in accordance with Chapter 125 - Blasting and Explosives of the Village of Dobbs Ferry Code must be submitted to the Village by the applicant for review/approval. 2. The Village Engineer may require additional erosion control measures if
- deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils. 3. Fill material imported to the site shall be certified in writing by a New York Licensed Professional Engineer as clean, non-contaminated fill suitable for
- the intended use. 4. before the site plan is signed by the Chairman of the Planning Board, the applicant shall be required to post a performance bond or other type of acceptable monetary quaranty which shall be in an amount determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney.

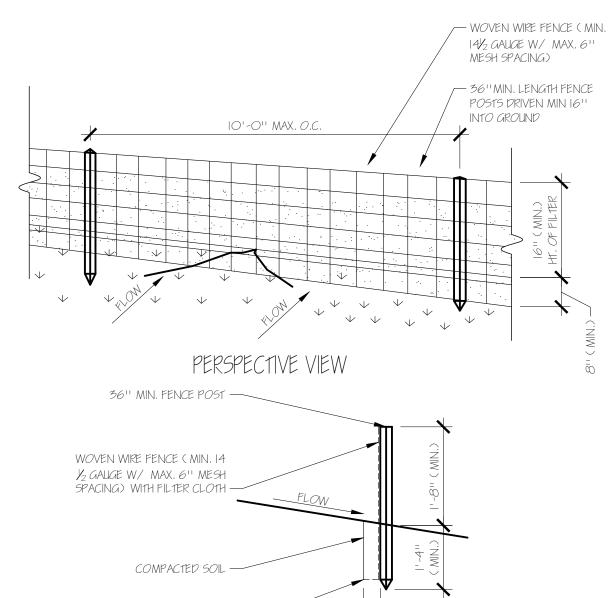
The applicant shall notify the Building Department or Village's Consulting Engineer in writing at least 48 hours before any of the following so that any inspection may be performed:

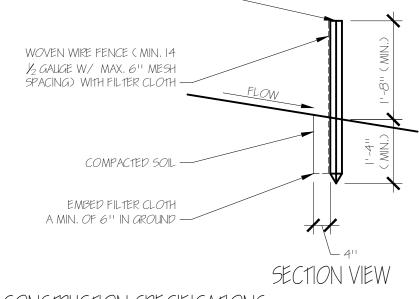
- 1. Start of construction.
- 2. Installation of sediment and erosion control measures.
- 3. Completion of site clearing. 4. Completion of rough grading.
- 5. Installation of SMP's.
- 6. Completion of final grading and stabilization of disturbed areas. 7. Closure of construction.
- 8. Completion of final landscaping; and
- 9. Successful establishment of landscaping in public areas

The owner or operator shall have a qualified inspector inspect and document the effectiveness of all erosion and sedimentation control practices and prepare inspection reports at least once a month. These reports must be kept on site and available for review.

SITE PLAN REVIEW NOTES:

- . All work to conform to the satisfaction of the Building Inspector.
- 2. Provide retaining walls on all slopes exceeding one (1) foot vertical on one and one-half (1h) feet horizontal.
- 3. The builder shall furnish 6" perforated CMP encased in stone wherever directed by the Building Inspector.
- 5. All grading to be performed to create positive drainage.
- 6. All driveways sloping down to garages shall have a drain inlet with a pipe
- extending beyond the rear of the house to carry rain run-off. 7. All driveways sloping down shall rise 6" the first 5' and then slope down.
- 8. A code 53 to be called in.





CONSTRUCTION SPECIFICATIONS

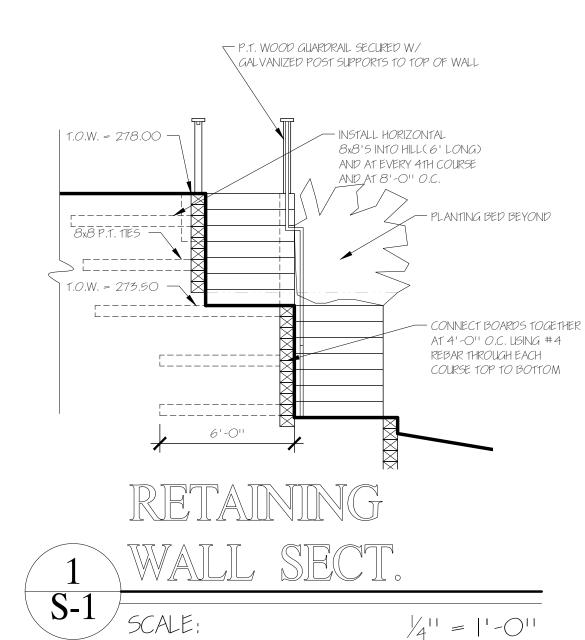
I. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.

2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12½ GAUGE, 6" MAXIMUM MESH OPENING.

3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI IOOX, STABILINKA 1140N, OR APPROVED EQUIVALENT.

5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

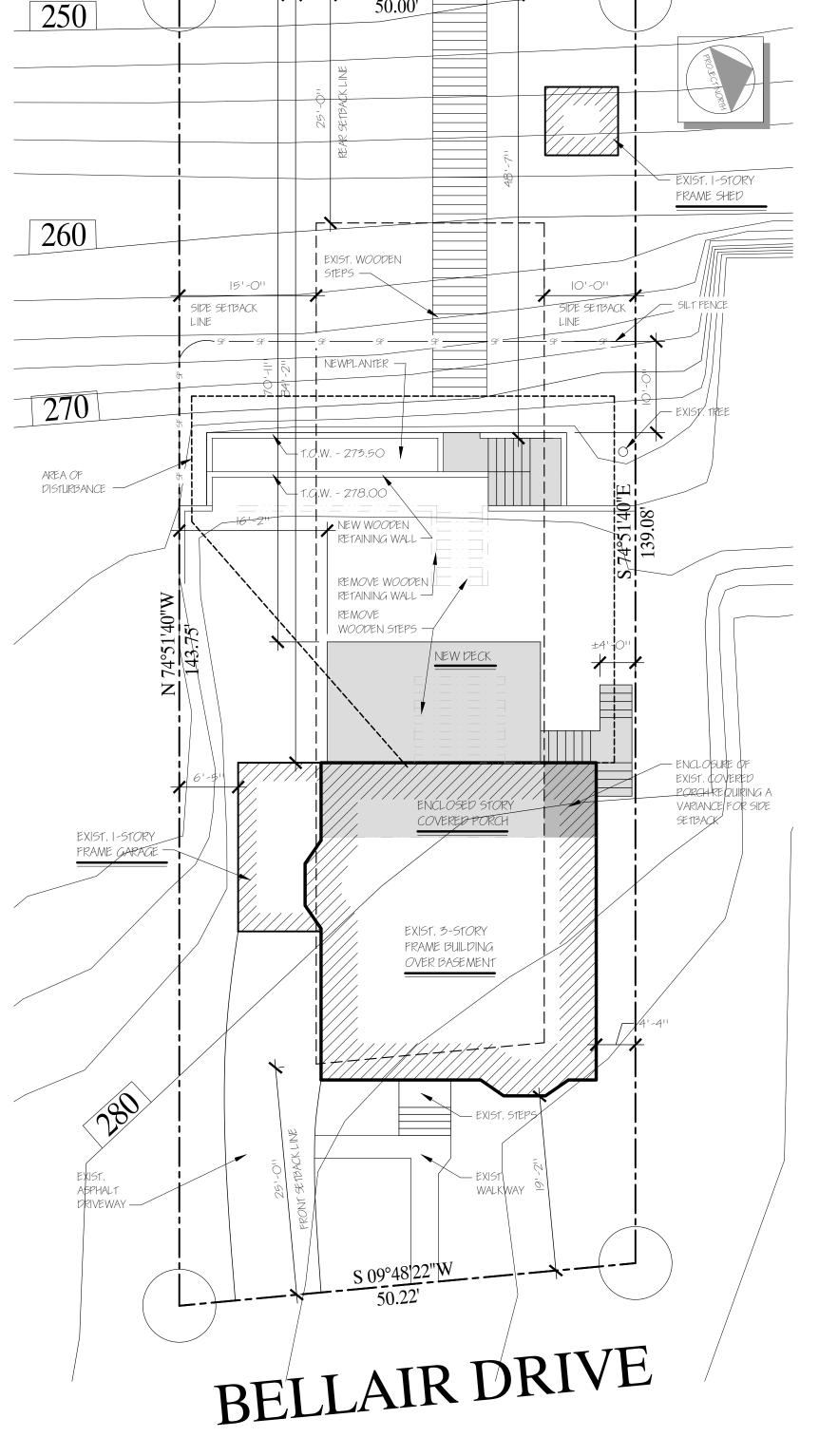




MAGNOLIA DRIVE

<u>N 15°08'20"E</u>

50.00'



PROPOSED SITE PLAN

SCALE:

CONSTRUCTION NOTES:

- I. ALL WORK TO CONFORM TO THE SATISFACTION OF THE BUILDING INSPECTOR. 2. PROVIDE RETAINING WALLS ON ALL SLOPES EXCEEDING ONE(1) FOOT VERTICAL ON
- ONE AND ONE-HALF (1/2) FEET HORIZONTAL 3. THE BUILDER SHALL FURNISH 6" PERFORATED CMP ENCASED IN STONE WHEREVER
- DIRECTED BY THE BUILDING INSPECTOR.

4. SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.

- 5. ALL GRADING TO BE PERFORMED TO CREATE POSITIVE DRAINAGE. 6. ALL DRIVEWAYS SLOPING DOWN TO GARAGES SHALL HAVE A DRAIN INLET WITH A PIPE
- EXTENDING BEYOND THE REAR OF THE HOUSE TO CARRY RAIN RUN-OFF.
- 7. ALL DRIVEWAYS SLOPING DOWN SHALL RISE 6'' 1HE FIRST 5' AND 1HEN SLOPE DOWN. 8. A CODE 53 TO BE CALLED IN.

ARE IN NO WAY INTENDED TO DEPICT ALL EXISTING CONDITIONS AT THE SITE THAT MAY OR MAY NOT EFFECT THE RENOVATIONS AS SHOWN IN THIS SET OF PLANS. THE GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS, AS THEY PERTAIN TO THE RENOVATIONS, PRIOR TO SUBMITTING A BID AND COMMENCEMENT OF CONSTRUCTION. ANY CONTRADICTIONS OR CONCERNS, AS IT RELATES TO THIS DRAWING SET, DISCOVERED BY THE GENERAL CONTRACTOR AFTER VERIFICATION OF THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION, IN WRITING, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

EXISTING PLANS ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY AND

PRIOR TO REMOVAL OF ANY STRUCTURAL MEMBERS (JOISTS, BEAMS, ETC.), THE CONTRACTOR SHALL REMOVE THE EXISTING GYPSUM BOARD and/or OTHER FINISH MATERIALS . SOME STRUCTURAL MODIFICATIONS INDICATED ON PLANS ARE BASED ON ASSUMED CONDITIONS THAT MUST BE VERIFIED BY THE G.C. WHO SHALL NOTIFY THE ARCHITECT AS TO THE EXACT EXISTING CONDITIONS REVEALED.

	ZONINO	ZONING TABLES			
ADDRESS	SBL	ZONE	USE		
21 BELLAIR DRIVE	0031600144003	OF-5	SINGLE FAMILY RESIDENCE		

		BLE 1: FLOOR A		
STORY	EXISTING AREA	EXISTING HABITABLE AREA	AREA OF RENOVATION	NEW AREA
BASEMENT	976 SF	803 SF	O SF (NO CHANGE)	803 SF
IST FLOOR	827 SF	827 SF	245 SF	1073 SF
2ND FLOOR	N/A (NO CHANGE)			
3RD FLOOR	N/A(NO CHANGE)			

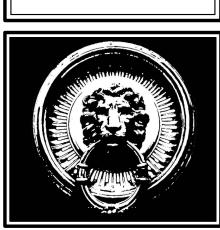
	EXISTING	PROPOSED	MINIMUM ALLOWABLE
LOT AREA (FT. ²)	7,070.75	7,070.75	7,500
LOT WIDTH (FT.)	50	50	75
LOT DEPTH (FT.)	144	144	100
COVERAGE BY BUILDING (%)	18.2	18.2	MAX. 25%
COVERAGE BY IMPERVIOUS SURFACES (%)	31.5	37.4	MAX. 44%
FRONT YARD SETBACK (FT.)	19.2	19.2	25
REAR YARD SETBACK (FT.)	84.2	84.2 (HOUSE) 70.6 (DECK)	25
SIDE YARD SET BACK, EACH (FT.)	(L) 4.3, (R) 6.7	(L) 4.3, (R) 6.7	10
SIDE YARD SETBACK, BOTH (FT.)	II		25

TABLE 3: HEIGHT				
	EXISTING	PROPOSED	ALLOWED	
NUMBER OF STORIES	3	3	3	
GRADE TO RIDGE (OF+ MDR-1)	32	32	35	
GRADE TO EAVE (OF+ MDR-1)	16	16	28	
GRADE TO MID-POINT OF ROOF (ALL OTHER)	N/A			



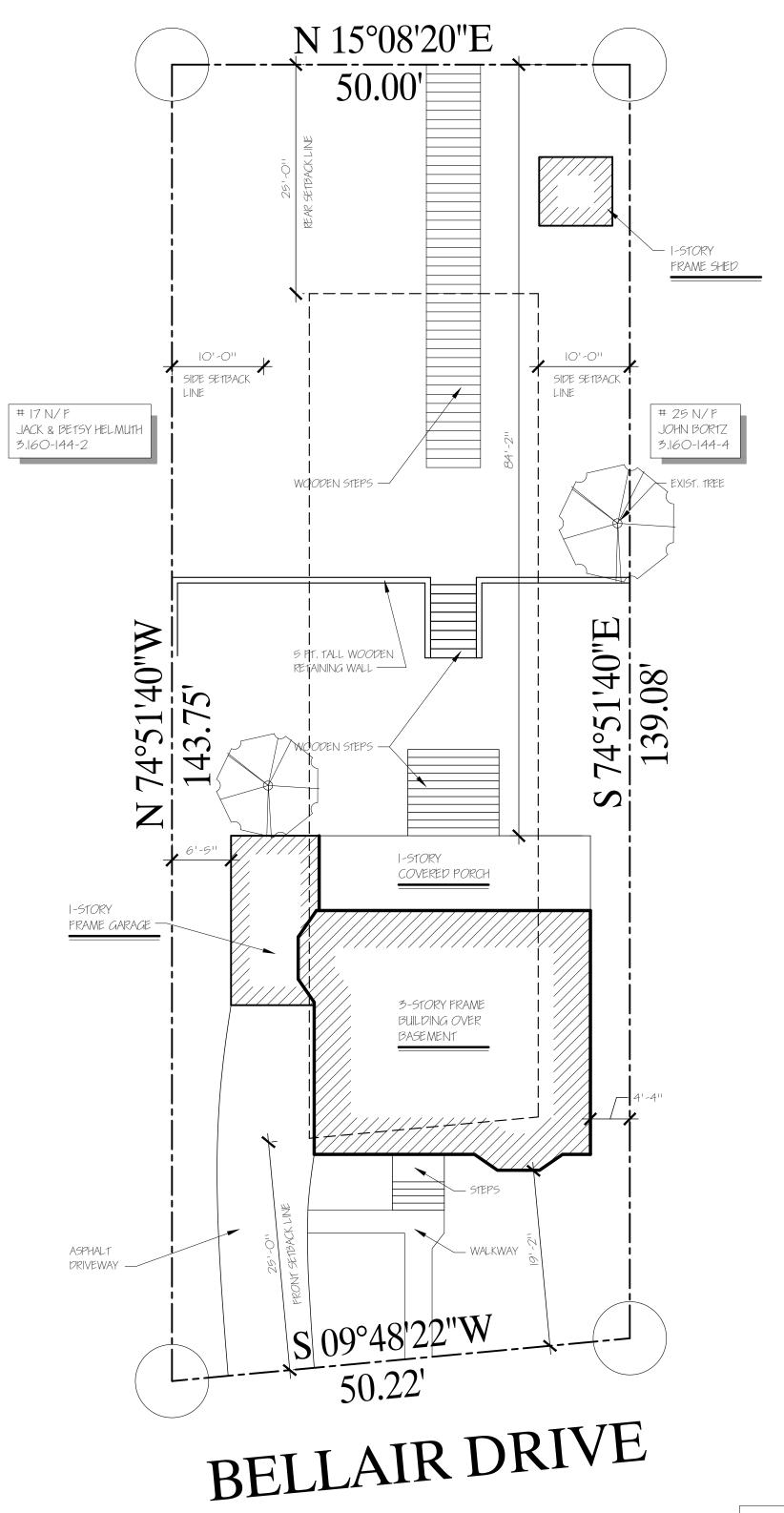
for an or relative to the definition of the definition of the project of the proj

21 BELLAIR DRIVE, DOBBS FERRY, NEW YORK PROPOSED SITE PLAN HIILL



March 15, 2022 PROJECT: 21007 "Hill" SHEET:

MAGNOLIA DRIVE



SITTE PLAN

SCALE:

 $| \cdot | = | \cdot | \cdot | \cdot |$

EXISTING PLANS ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY AND ARE IN NO WAY INTENDED TO DEPICT ALL EXISTING CONDITIONS AT THE SITE THAT MAY OR MAY NOT EFFECT THE RENOVATIONS AS SHOWN IN THIS SET OF PLANS. THE GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS, AS THEY PERTAIN TO THE RENOVATIONS, PRIOR TO SUBMITTING A BID AND COMMENCEMENT OF CONSTRUCTION. ANY CONTRADICTIONS OR CONCERNS, AS IT RELATES TO THIS DRAWING SET, DISCOVERED BY THE GENERAL CONTRACTOR AFTER VERIFICATION OF THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION, IN WRITING, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PRIOR TO REMOVAL OF ANY STRUCTURAL MEMBERS (JOISTS, BEAMS, ETC.), THE CONTRACTOR SHALL REMOVE THE EXISTING GYPSUM BOARD and/or OTHER FINISH MATERIALS . SOME STRUCTURAL MODIFICATIONS INDICATED ON PLANS ARE BASED ON ASSUMED CONDITIONS THAT MUST BE VERIFIED BY THE G.C. WHO SHALL NOTIFY THE ARCHITECT AS TO THE EXACT EXISTING CONDITIONS REVEALED.



EXISTING SITE PLAN

NEW ADDITION FOR:
HILL RESIDENCE
21 BELLAIR DRIVE,
DOBBS FERRY, NEW YORK



March 15, 2022

EXISTING SURVEY

 $| \cdot | = 20' - 0''$ SCALE:

EXISTING PLANS ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY AND ARE IN NO WAY INTENDED TO DEPICT ALL EXISTING CONDITIONS AT THE SITE THAT MAY OR MAY NOT EFFECT THE RENOVATIONS AS SHOWN IN THIS SET OF PLANS, THE GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS, AS THEY PERTAIN TO THE RENOVATIONS, PRIOR TO SUBMITTING A BID AND COMMENCEMENT OF CONSTRUCTION. ANY CONTRADICTIONS OR CONCERNS, AS IT RELATES TO THIS DRAWING SET, DISCOVERED BY THE GENERAL CONTRACTOR AFTER VERIFICATION OF THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION, IN WRITING, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PRIOR TO REMOVAL OF ANY STRUCTURAL MEMBERS (JOISTS, BEAMS, ETC.), THE CONTRACTOR SHALL REMOVE THE EXISTING GYPSUM BOARD and/or OTHER FINISH MATERIALS. SOME STRUCTURAL MODIFICATIONS INDICATED ON PLANS ARE BASED ON ASSUMED CONDITIONS THAT MUST BE VERIFIED BY THE G.C. WHO SHALL NOTIFY THE ARCHITECT AS TO THE EXACT EXISTING CONDITIONS REVEALED.



HIILL

21 BELLAIR DRIVE, DOBBS FERRY, NEW YORK SURVEY

March 15, 2022 21007 "Hill"