

GENERAL REQUIREMENTS

1. Related Documents: Drawings, Specifications and General Conditions of the Contract for Construction apply to Work of this Project.
2. Scope of Work: Includes all items described in Drawings & Specifications, verbally & graphically, with more stringent and /or costly items assumed in all cases of discrepancy.
3. All new construction shall adhere to the 2020 Residential Code of NYS. Notify Architect of any inadvertent noncompliance with Codes regarding information contained in Drawings and Specifications, with no Work to be performed knowingly in noncompliance with Code.
4. The General Contractor (G.C.) shall coordinate all work procedures w/ requirements of Local Authorities. Prior to commencement of Construction, the G.C. shall be responsible for the acquisition of a Building Permit and pay all fees required by Governing Agencies. The G.C. shall be responsible for calling for Inspections and Sign-offs of all Work, including Plumbing & Electrical, as required by Governing Agencies.
5. The G.C., Subcontractors, and all others working for Owner shall comply with National, State, and Local Laws and Regulations relating to insurance for work under this Contract. The following insurance policies shall be in force and copies shall be submitted to Architect prior to signing Agreement Between Owner and Contractor: Workman's Compensation & Unemployment Insurance as required by law, Contractor's Liability Coverage in the amount required by applicable Governing Agencies, & Liability Coverage for damages & uninstalled materials. The G.C. shall submit to the Owners, Insurance Certificates naming Owner as Additional Insured. All insurance shall be at Contractor's expense.
6. All Terms & Conditions laid out in the A.I.A. Standard Form Of General Conditions shall apply to the G.C. & to all of his Sub-Contractors.
7. The G.C. & Subcontractors shall attend regular job meetings as required by the Architect.

DIVISION 01: PROJECT REQUIREMENTS

1. The G.C. shall verify all Dimensions & Conditions in the field prior to Construction. Any discrepancies are to be brought to the attention of the Architect prior to work. The G.C. shall be responsible for Field Fit & Quality of all Work, whether by the G.C. or by Subcontractors. No allowances shall be made on behalf of the G.C. for any error or neglect on his part. Under no circumstances are the Drawings to be scaled for location of Work. G.C. shall verify all clearances & locations prior to installation including requirements for appliances, fixtures, or equipment.
2. Retain licensed Surveyor to mark site before beginning construction and to verify location of foundation and slab-on-grade formwork before pouring concrete. Verify that all work conforms to zoning requirements including all setbacks and yard requirements.
3. The G.C. shall be responsible for the protection of all new & existing Work, Owner's Property, Building, and its Premises from damage & dirt or dust.
4. Plumbing & Electrical Work shall be performed by Contractors licensed in their trade. G.C. shall be licensed to perform the Work as required.
5. The G.C. shall maintain at the Site one Record Copy of all Drawings, Clarification Sketches, Approved Shop Drawings, Approved Samples, and Change Orders continuously updated to record all changes during Construction. G.C. shall fully correct, at no additional expense, all Work wrongly constructed or materials wrongly ordered from obsolete Drawings.
6. Details not usually shown or specified, but necessary for proper construction on any part of the work shall be included as if they were indicated in the Drawings.
7. Architectural Drawings shall be Followed as closely as actual Field Conditions & the work of other trades permit. Any piping, wiring, or materials not specifically shown or specified but required to complete Work shall be deemed to be part of Work & shall be furnished & installed by the G.C.
8. G.C. shall prepare schedule for completion of Work prior to commencement and submit to Architect for approval. Contractor shall follow approved schedule and immediately notify Architect of any deviations from the approved schedule.
9. The G.C. must submit all Engineering & Shop Drawings (including Millwork) & cut sheets of all equipment, plumbing & electrical fixtures, hardware & accessories to the Architect for approval prior to Fabrication, Ordering and /or Construction. Shop Drawings shall be revised per Architect's instruction if required prior to approval.
10. The G.C. shall supervise & be solely responsible for all aspects of the Work, including Site Safety, maintenance of exit clearances & fire extinguishers as required by Code. The G.C. shall have sole responsibility for any damage or injuries caused by or during the execution of the Work.
11. The G.C. shall be responsible for demolition & safe removal from the Site of all materials that must be removed to enable completion of Work and occupation of the Premises. All removed materials shall be disposed of regularly in a legal manner.
12. All piping & wiring to be demolished shall be removed to a point of concealment & shall be properly capped or plugged.
13. The G.C. shall do all cutting, patching & repairing as required to perform all Work required to complete the Job. All patching where new construction occurs shall match existing adjacent or as indicated on the Drawings.
14. All new construction shall be laid-out in field for Architect's approval prior to starting construction.
15. No changes to approved layouts shall be made without Written Consent Of The Architect.
16. When "Approved Equal", "Equal To", "Similar" or other general qualifying terms are used, it shall be subject to final review by the Architect. There shall be no substitutions unless agreed upon in writing by the Architect.
17. The G.C. shall verify all equipment dimensions, locations & hook-ups with Manufacturer's Specifications whether the G.C. or Others supply the equipment.
18. All items noted "Furnished By Owner" shall be installed by the G.C. under this Contract as per Manufacturers' Specifications & industry standards. Wall reinforcement & all other requirements required to incorporate Owner furnished items shall be provided & coordinated by the G.C.
19. G.C. shall employ experienced workers or professional cleaners for final cleaning prior to request of inspection for Certificate of Substantial Completion.

NYS CODE COMPLIANCE

1. This design is in compliance with requirements of 2020 Energy Conservation Code of NYS, and the 2020 Residential Code of NYS.
2. Contractor shall perform all work in accordance with applicable codes listed above

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

SUFFOLK, NY: CLIMATE ZONE 4
Compliance by Prescriptive Method

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*										
CLIMATE ZONE	FENESTRATION U-FACTOR ¹	SKYLIGHT U-FACTOR ²	GLAZED FENESTRATION SHGC ^{3,4}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ⁵ WALL R-VALUE	SLAB ⁶ R-VALUE & DEPTH	CRAWL SPACE ⁷ WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.32	0.55	0.25	38	20 or 13 + 5 ⁸	8/13	19	5/13 ⁹	0	5/13
4 except Marine	0.32	0.55	0.40	49	20 or 13 + 5 ⁸	8/13	19	10/13	10, 2 ft	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13 + 5 ⁸	13/17	30 ⁹	15/19	10, 2 ft	15/19
6	0.30	0.55	NR	49	20 + 5 ⁸ or 13 + 10 ⁸	15/20	30 ⁹	15/19	10, 4 ft	15/19
7 and 8	0.30	0.55	NR	49	20 + 5 ⁸ or 13 + 10 ⁸	19/21	38 ⁹	15/19	10, 4 ft	15/19

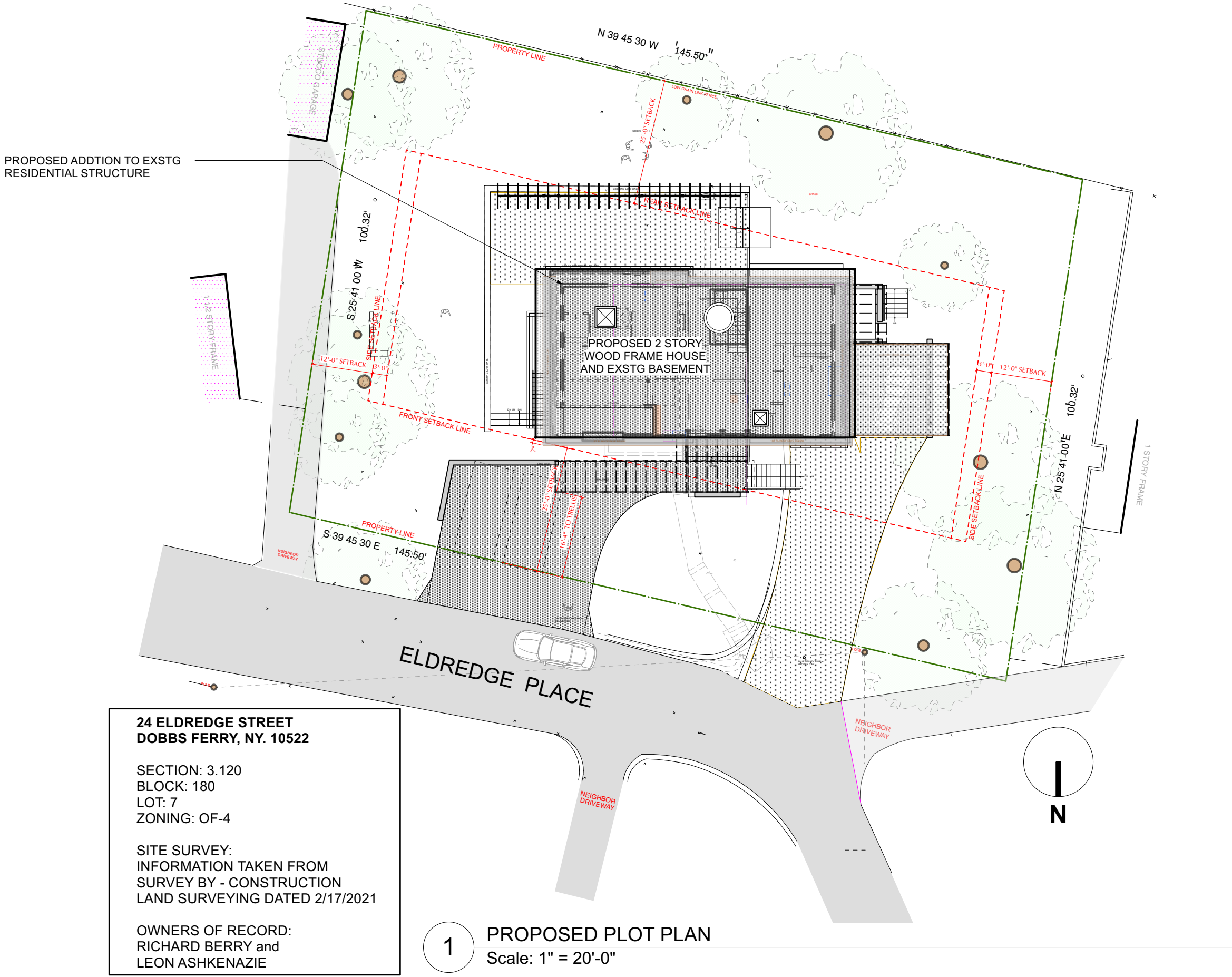
- For SI: 1 foot = 304.8 mm.
NR = Not Required.
- a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
 - b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
 - c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
 - d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
 - e. Reserved.
 - f. Reserved.
 - g. Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.
 - h. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
 - i. Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

Modifications to 24 ELDREDGE PLACE

PRIVATE RESIDENCE RESIDENCE
24 ELDREDGE PLACE
DOBBS FERRY, NY. 10522

DRAWING INDEX

NO.	SHEET	ISSUE DATE	REV. DATE
A-000.00	Title Sheet, Plot Plan	3/16/22	
A-001.00	Existing and Proposed Site + Landscape Plans, Zoning	3/16/22	
A-100.00	Existing Basement & 1st Floor Demolition Plans	3/16/22	
A-200.00	Proposed Basement Construction Plan	3/16/22	
A-201.00	Proposed 1st Construction Plan	3/16/22	
A-202.00	Proposed 2nd Floor Construction Plan	3/16/22	
A-203.00	Proposed Roof Construction Plan	3/16/22	
A-500.00	North (Front) Existing & Proposed Exterior Elevations	3/16/22	
A-501.00	East (Side) Existing & Proposed Exterior Elevations	3/16/22	
A-502.00	South (Rear) Existing & Proposed Exterior Elevations	3/16/22	
A-503.00	East (Side) Existing & Proposed Exterior Elevations	3/16/22	
A-703.00	HEC - Stormwater Plans		
A-703.00	HEC - Stormwater Details		



1 PROPOSED PLOT PLAN
Scale: 1" = 20'-0"
NOTE: THIS PLOT PLAN IS FOR REFERENCE, FOR EXISTING AND PROPOSED PLOT + LANDSCAPE PLAN - SEE SHEET A001.00

GENERAL CONDITIONS

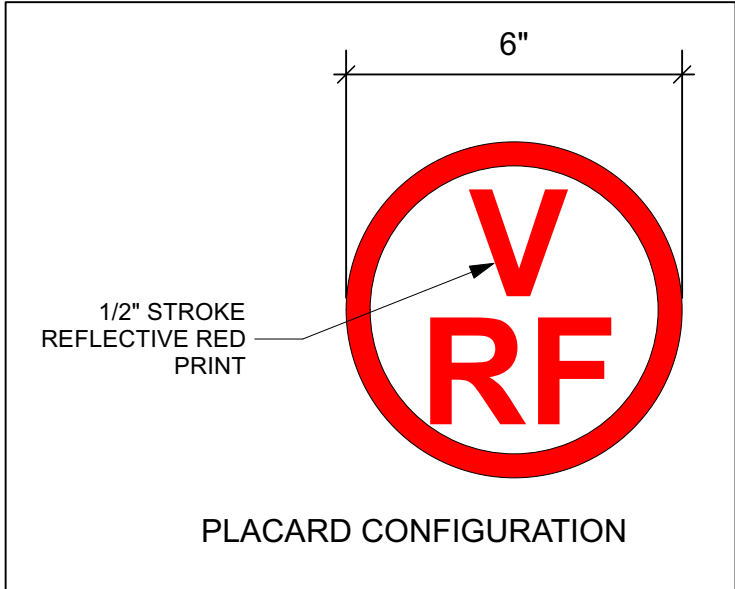
1. APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.
2. LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT

HIGH WIND CONNECTIONS

PROVIDE STRAPPING AS REQUIRED TO RESIST HIGH WIND AND UPLIFT FORCES TO BE IN COMPLIANCE WITH TABLE R802.11 OF THE NY STATE RESIDENTIAL CODE. USE TENSION TIES EQUAL TO SIMPSON MODEL # H2 OR AS INDICATED AT ALL POST-PLATE-RAFTER CONNECTIONS.

PRE-ENGINEERED WOOD PLACARDING

CONTRACTOR SHALL PROVIDE PLACARD AS REQUIRED BY CODE, 6" DIA. CIRCLE WITH RED REFLECTIVE PRINT ON WHITE BACKGROUND, INDICATING THAT PRE-ENGINEERED WOOD HAS BEEN USED IN CONSTRUCTION. PLACARD SHALL BE PLACED AT EXTERIOR ON OR NEAR ELECTRIC METER IN PLAIN VIEW AND INDICATE THAT PRE-ENGINEERED WOOD HAS BEEN USED FOR ROOF AND FLOOR SUPPORT IN THE BUILDING OF TYPE-V CONSTRUCTION.



CONTRACTOR NOTES

1. A number of items are to be bought by the Owner and installed by the Contractor. This may be indicated on the drawings with the abbreviation "BOIC" and includes the following items:
 - A. All lighting fixtures
 - B. All appliances
 - C. All plumbing fixtures

STRUCTURAL & LOADING NOTES

- Soil Bearing Capacity:**
Design bearing capacity of soil shall be 2,000 PSI in accordance with NY State Residential Code Table R401.4.1 for Sand, Silty Sand, Clayey Sand
- Concrete Compressive Strength**
Shall be Min. 3,000 PSI at exposed exterior walls; shall be Min. 2,500 PSI at basement slabs; and shall be Min. 3,500 PSI at horizontal surfaces exposed to the weather including porches, steps, walks, and garage floor slabs, all to be in compliance with the 2020 Residential Code of NYS

- Required Placard**
Provide exterior placard as required by code indicating that engineered lumber is used for roof support in a Class V structure. Placard is to be permanently mounted for display as required near electrical meter or as directed in field by Architect.
- High Wind Connections**
Provide strapping as required to resist high wind and uplift forces to be in compliance with table R802.11 of the Code. Use tension tie equal to Simpson model # HTT22 at all footing-post connections and equal to Simpson model #H2 at all post-plate-rafter connections.

NO. REVISIONS DATE

NO. ISSUE DATE

Planning Board 3/16/22

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PROJECT:
PRIVATE RESIDENCE
24 ELDREDGE PLACE
DOBB'S FERRY, NY 10522

TITLE SHEET
GENERAL NOTES

FILE NAME:

DRAWN BY: PG

SCALE: 1" = 20'-0"

DATE: 3/16/22

PROJECT ID: 2125A

DRAWING NUMBER
A000.00

ZONING CHART

LOT AND ZONING INFORMATION				
24 ELDREDGE STREET DOBBS FERRY, NY 10522				
Section: 3.120 Block - 108 Lot: 7				
ZONING DISTRICT: OF-4				
GENERAL LOT DIMENSIONS				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
LOT AREA	10,000 -12,000 SF	14,550 SF	NO CHANGE	YES
LOT WIDTH	100'0"	145'6"	NO CHANGE	YES
LOT DEPTH	100'0"	100'4"	NO CHANGE	YES
YARD SETBACKS (PRINCIPAL STRUCTURE)				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
FRONT	25'0"	29'0"	26'0"	YES
REAR	25'0"	30'11"	NO CHANGE	YES
SIDE ONE (EAST)	12'0"	56'5"	42'2"	YES
SIDE TWO (WEST)	12'0"	38'7"	21'10" (to Carport)	YES
TOTAL OF TWO SIDES	30'0"	95'0"	64'0"	YES
FRONT YARD WOOD TRELLIS	25'0"	NA	15'11"	NO
BUILDING HEIGHT				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
STORIES (ABOVE GRADE PLANE)	1	1	2	YES
FEET (ABOVE GRADE PLANE)	30'0"	19'4"	29'4"	YES
EAVE		18'7"	28'4"	YES
LOT COVERAGE				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
LOT AREA	10,000 SF	14,550 SF	NO CHANGE	NO CHANGE
BUILDING COVERAGE	MAX 20 % of 14,550 = 2,910 SF	1,407 SF	2,186 SF	YES
COVERAGE, IMPERVIOUS SURFACES	MAX 40% of 14,550 = 5,820 SF	1,448 SF	2,131 SF	YES
BLDG COVERAGE +IMPERVIOUS	-	2,855 SF	4,317 SF	YES
OCCUPANCY AND USE				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
CURRENT USE	SINGLE FAMILY	SINGLE FAMILY	NO CHANGE	NO CHANGE
BASMENT FLOOR AREA		1,407 SF	1,805 SF	YES
1ST FLOOR AREA		1,407 SF	1,834 SF	YES
2ND FLOOR AREA		NA - No 2nd Floor	1,540 SF	YES
FLOOR AREA TOTALS		2,814 SF	5,179 SF	YES

PARKING ANALYSIS

DOBBS FERRY MULTI-FAMILY PARKING REQUIREMENT		EXISTING	PROPOSED	
		2 SPOTS	DRIVEWAY SPOTS	2
			PORTE-COCHERE SPOT	1
			TOTAL SPOTS	3

VILLAGE NOTES:

1. ALL WORK TO CONFORM TO THE SATISFACTION OF THE BUILDING INSPECTOR
2. PROVIDE RETAINING WALLS ON ALL SLOPES EXCEEDING (1) FOOT VERTICAL ON (1 1/2) FEET HORIZONTAL.
3. THE BUILDER SHALL FURNISH 6" PERFORATED CMP ENCASED IN STONE WHEREVER DIRECTED BY THE BUILDING INSPECTOR
4. SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.
5. ALL GRADING TO BE PERFORMED TO CREATE POSITIVE DRAINAGE.
6. ALL DRIVEWAYS SLOPING DOWN TO GARAGES SHALL HAVE A DRAIN INLET WITH A PIPE EXTENDING BEYOND THE REAR OF THE HOUSE TO CARRY RAIN RUN-OFF.
7. ALL DRIVEWAYS SLOPING DOWN SHALL RISE 6" THE FIRST 5' AND THEN SLOPE DOWN.
8. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
9. OWNER OR CONTRACTOR SHALL NOTIFY BUILDING INSPECTOR PRIOR TO CHANGES OR MODIFICATIONS TO THE APPROVED PLANS.
10. ROCK REMOVAL BY BLASTING SHALL BE IN ACCORDANCE WITH CHAPTER 125 OF THE VILLAGE CODE.
11. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NY LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
12. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY WARRANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE & OTHER PROTECTIVE MEASURES AS REQUIRED AT LIMITS OF CONSTRUCTION.
 2. AREAS OF PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM OVER-COMPACTING DURING CONSTRUCTION. AREAS SHALL BE FENCED OFF DURING CONSTRUCTION OR THE AREA SHOULD BE DE-COMPACTED PRIOR TO INSTALLATION OF THE INFILTRATION UNITS.
 3. EXCAVATE FOR FOOTINGS AND SWRS, PREPARE GRADE FOR SLAB.
 4. INSTALL SWRS, REINFORCING & FORMWORK FOR FOOTINGS.
 5. INSTALL C.I.P. CONCRETE FOOTINGS.
 6. CONSTRUCT PROPOSED PORTE-COCHERE, GARAGE, AND BUILDING ADDITIONS.
 7. COMPLETE ALL FINISHES, DOORS, WINDOWS, FIXTURES, HARDWARE & EQMT.
 8. PROPOSED GUTTER LEADERS SHALL BE CONNECTED TO SWRS.
- NOTE: THE SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

SITE PLAN NOTES:

1. SURVEY INFORMATION TAKEN FROM SURVEY DATED 2/17/21, BY CONSTRUCTION LAND SURVEYING.
2. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

UTILITIES:

1. CONTRACTOR TO VERIFY LOCATION OF PUBLIC UTILITIES AND PROVIDE PROTECTION IF AS REQD.
2. CONTRACTOR TO COORDINATE SHUT OFF AND/OR DISCONNECTION OF UTILITIES IF / AS REQUIRED.
3. NO EXTG UTILITIES TO BE IMPACTED. NO EXTG UTILITIES RUN THROUGH AREA OF NEW WORK.
4. A CODE 53 WILL BE CALLED IN PRIOR TO CONSTRUCTION FOR SURVEY OF EXTG UNDERGROUND UTILITIES.

LANDSCAPING NOTES

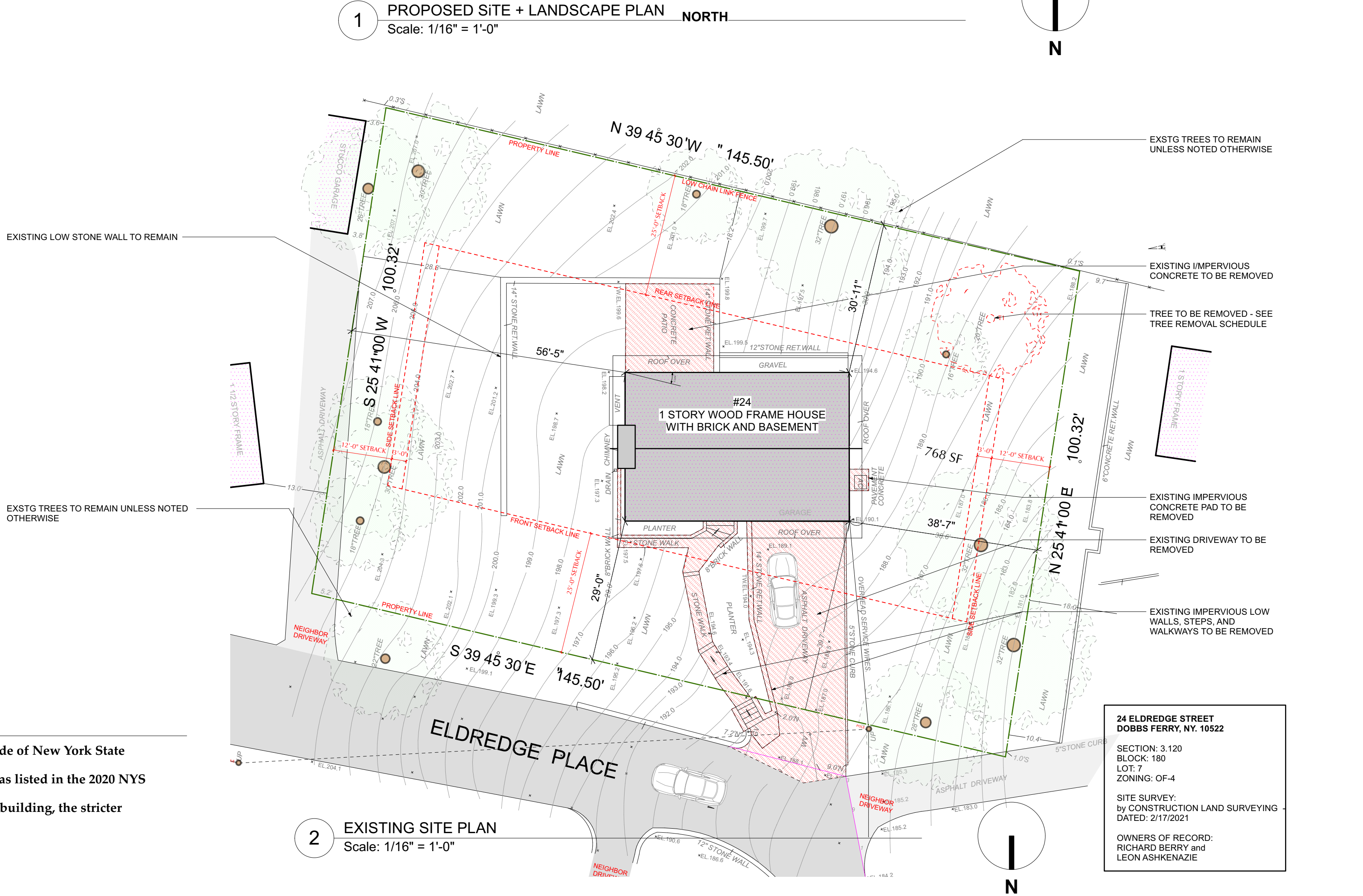
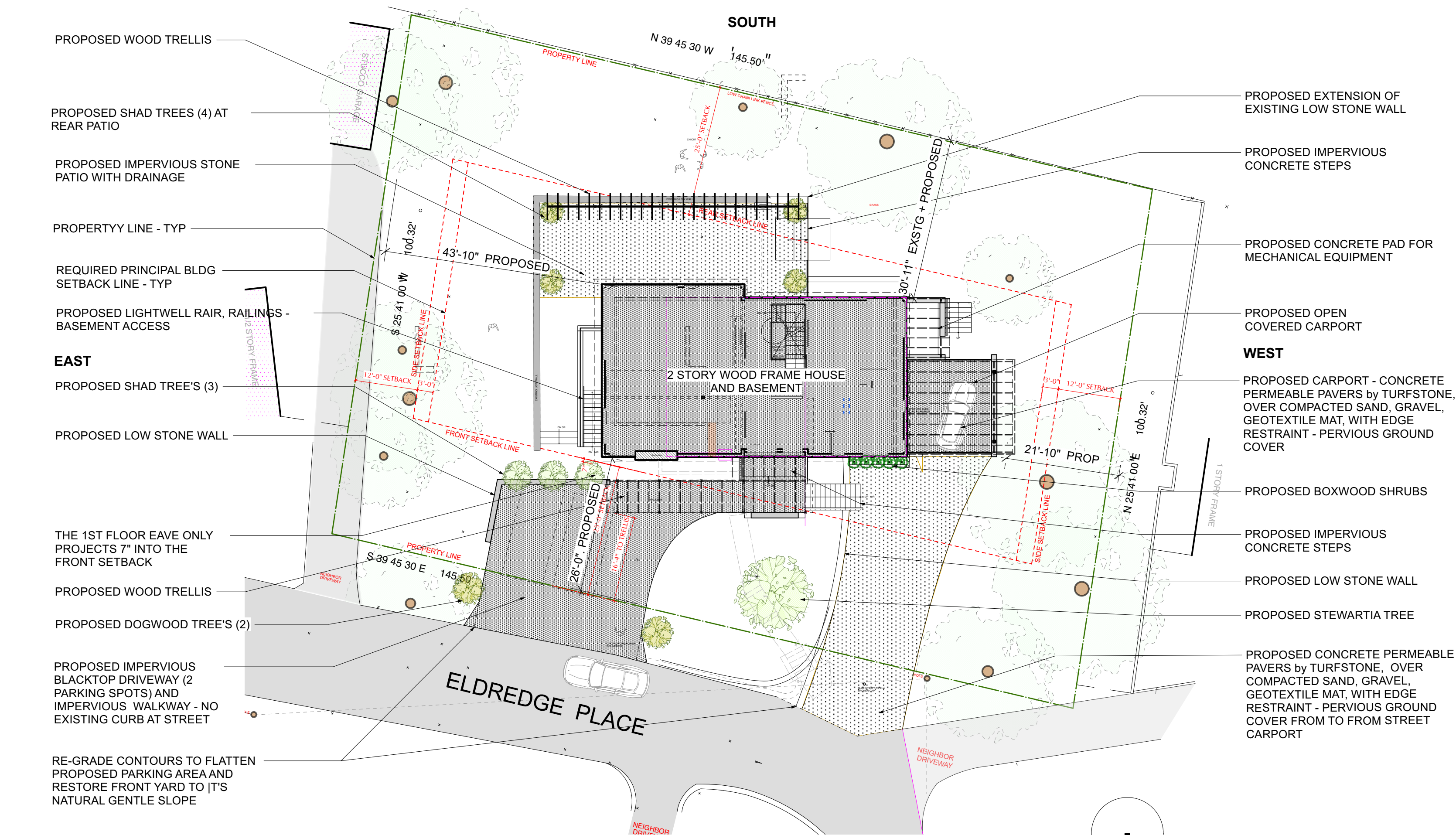
1. ALL LANDSCAPING OUTSIDE OF WORK AREA IS EXISTING TO REMAIN. ALL PLANTINGS INDICATED ON SITE PLAN ARE EXISTING TO REMAIN UNLESS NOTED.
2. REMOVE TOPSOIL AT DISTURBED WORK AREA AND STORE ON SITE. REPLACE REFURBISH TOPSOIL AT COMPLETION AND RE-SOD LAWN AS NEEDED.
3. NO TREES ARE PROPOSED TO BE REMOVED UNDER THIS APPLICATION EXCEPT AS INDICATED. EXCAVATE BY HAND WHERE REQUIRED TO PROTECT ROOT SYSTEMS OF EXISTING TREES.
4. UNLESS OTHERWISE DIRECTED, REMOVE EXISTING PLANTINGS AND SHRUBS BY HAND AND PROPERLY STORE ON SITE FOR REPLANTING UNDER SEPARATE APPLICATION

GENERAL SITE PLAN NOTE:

1. PREPARATION OF STORMWATER MANAGEMENT PLAN, EROSION CONTROL, LOCATION OF CONSTRUCTION LIMITS, SILT FENCE, SOIL STOCKPILE, ANTI-TRACKING PAD, AND OTHER SITE PROTECTION DETAILS CURRENTLY UNDERWAY BY HUDSON ENGINEERING & CONSULTING PC. TO BE SUBMITTED AS PART OF PUBLIC HEARING PLANNING BOARD DRAWING SET AND SUBMITTAL.
2. ALL EXISTING TREES AND LANDSCAPING TO REMAIN UNLESS OTHERWISE NOTED.

NYS CODE COMPLIANCE

1. This design is in compliance with requirements of 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State.
2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020 NYS Code Books.
3. In the case of multiple codes applying to any area or component of the building, the stricter code shall apply.



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PRELIMINARY PLANTING SCHEDULE

As indicated on Proposed Site + Landscape Plan

Common Name	Botanical Name	Native
ORNAMENTAL TREES		
Shad Tree	Amelanchier canadensis spp.	Yes
American Dogwood	Cornus florida	Yes
Stewartia	Sewartia psuedocarnelia	Yes
SHRUBS		
Boxwood	Buxus varieties	Yes

TREE REMOVAL SCHEDULE

As indicated on Existing Plot Plan

ID	Type	Diameter ABH
T1	Maple	1'2"

NO. REVISIONS DATE

NO. ISSUE DATE

Planning Board 3/16/22

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PROJECT:
PRIVATE RESIDENCE
24 ELDREDGE PLACE
DOBBS FERRY, NY 10522

DRAWING TITLE:
SITE PLANS Exstg + Proposed

FILE NAME:

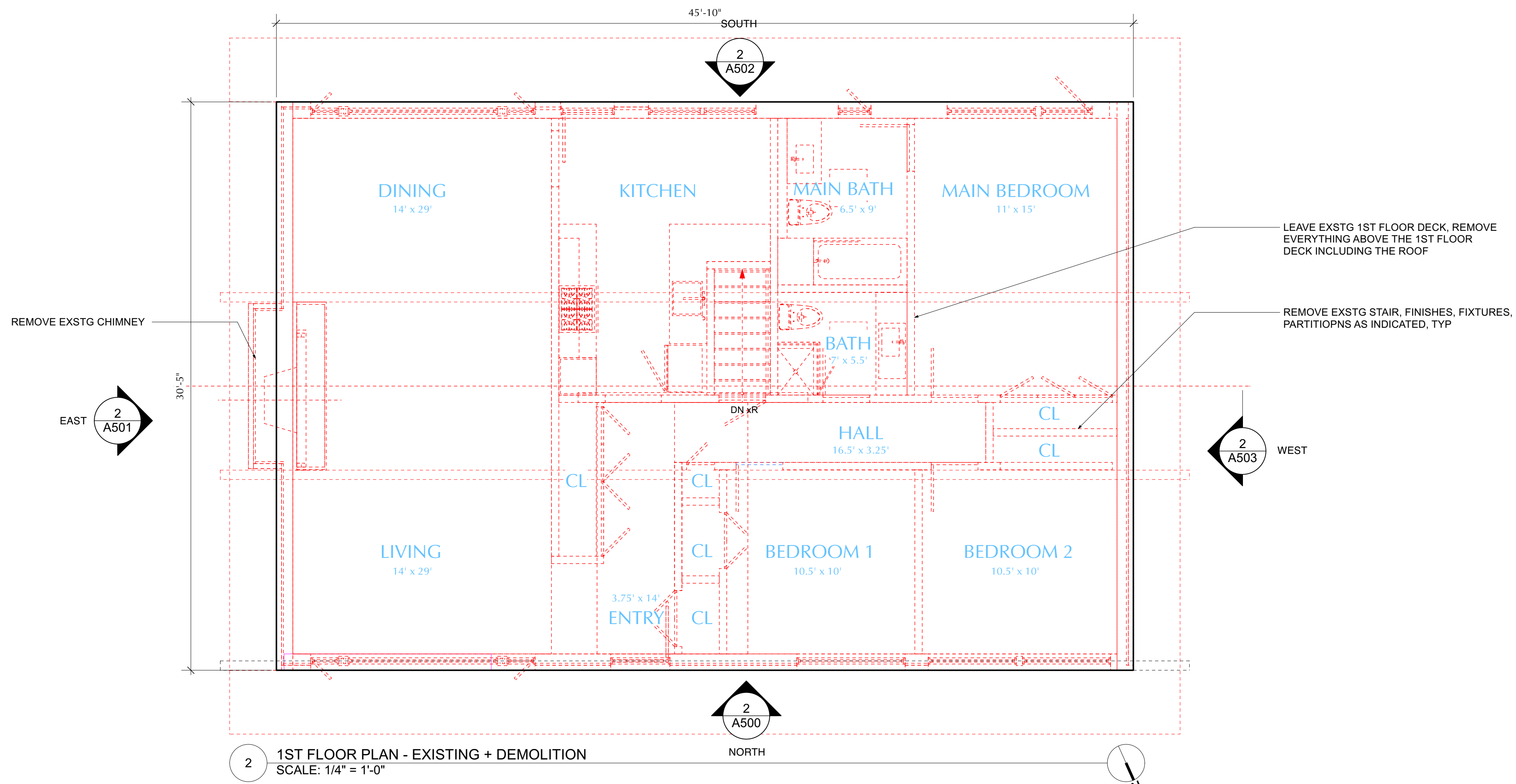
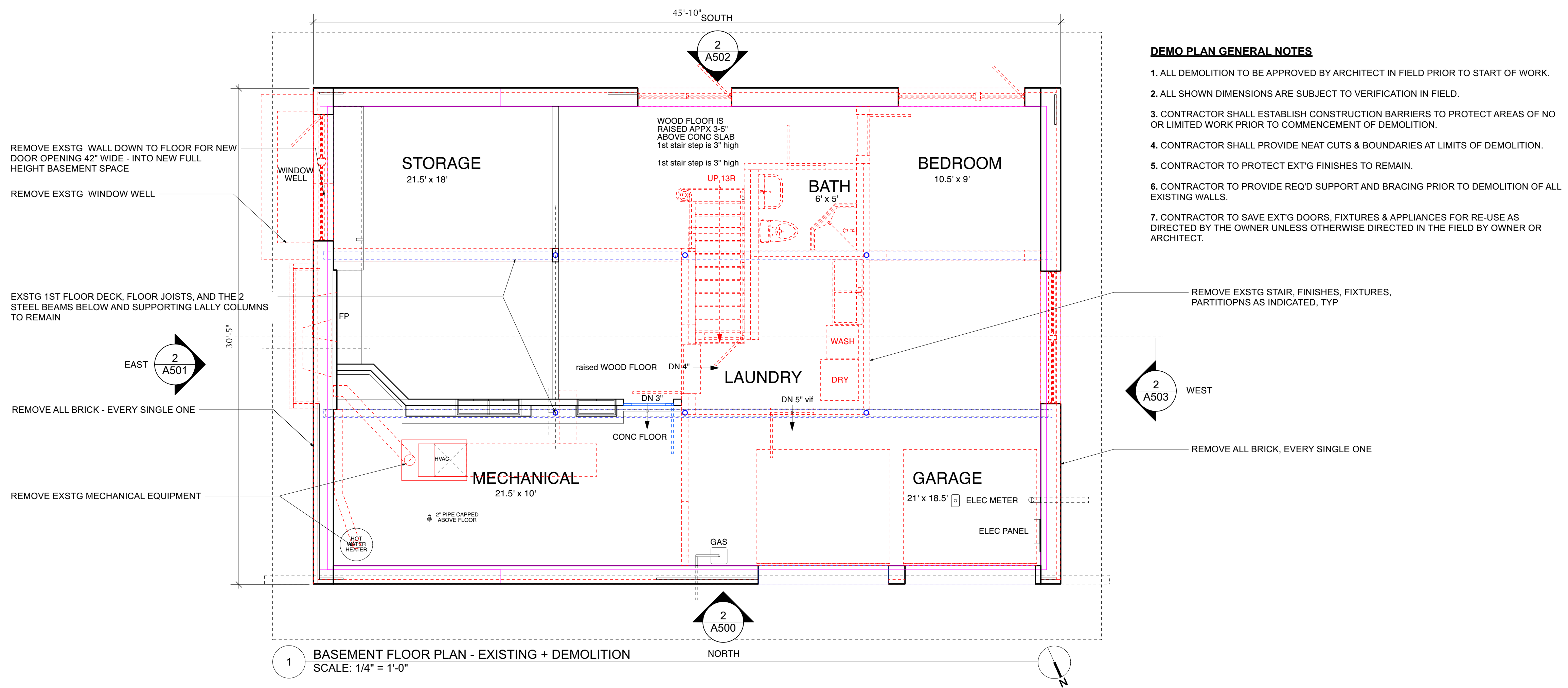
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SCALE: 1" = 16'-0"

DATE: 3/16/22

PROJECT ID: 2125A

A001.00



NO.	REVISIONS	DATE
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Planning Board	3/16/22
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PROJECT:
PRIVATE RESIDENCE
24 ELDREDGE PLACE
DOBB'S FERRY, NY 10522

EXSTG BASEMENT + 1ST FL
DEMOLITION PLANS

FILE NAME:	
DRAWN BY:	PG
SCALE:	1/4" = 1'-0"
DATE:	3/16/22
PROJECT ID:	2125A

DRAWING NUMBER

A100.00

CONSTRUCTION PLAN GENERAL NOTES

1. NEW EXTERIOR WALLS TO BE 2X6 STUDS, EXCEPT WHERE NOTED. STUDS @ 16" O.C. W/ 5/8" GWB INT FIN AND 5/8" PLYWOOD EXT SHEATHING, MOISTURE BARRIER, AND APPROVED CLADDING.
2. PROVIDE INSULATION AT ALL EXTERIOR WALLS AS SHOWN ON SECTION. PROVIDE R-20 WITH CLOSED CELL FOAM, U.O.N.. PROVIDE SOUND BATTEN INSULATION IN ALL NEW INTERIOR WALLS AND CEILINGS WHERE PRACTICABLE IN AREAS OF NEW WORK.
3. ALL INTERIOR PARTITIONS TO BE 1 LAYER OF 5/8" GWB ON EACH SIDE OF 2X4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
4. ALL GWB WALLS AND CEILINGS ARE TO BE FINISHED W/3 COAT SPACKLE AND PAINT UNLESS NOTED.
5. FLOORS AT AREAS OF NEW WORK ARE TO BE 2 1/4" SELECT WHITE OAK WOOD FLOORS UNLESS OTHERWISE NOTED. LEVEL ALL NEW FLOORS. SAND, STAIN & FINISH THROUGHOUT. REPLACE EXT'G SUBFLOOR AS REQUIRED W/APPROVED SUBSTRATE MATERIALS AND CONSTRUCTION.
6. ALL TILE FLOORS TO BE INSTALLED OVER REINFORCED CEMENT SETTING BED AND WATERPROOF MEMBRANE.
7. ALL INTERIOR MOULDINGS AND TRIM ARE TO BE PAINTED WOOD PER SPECIFICATIONS. CONTRACTOR TO SUBMIT PROFILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. PROVIDE NEW PAINTED TRIM.
8. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY BARRIERS TO PROTECT AREAS OUTSIDE OF WORK FROM DUST AND DEBRIS THROUGHOUT DURATION OF WORK, TYP. EXTENT OF BARRIERS TO BE VERIFIED IN FIELD.
9. CONTRACTOR TO SUPPLY ALL PAINT (ASSUME BENJAMIN MOORE) FOR THE PROJECT. OWNERS ARE TO SUPPLY PAINT COLORS AND FINISHES TO CONTRACTOR. ALL SPACES AFFECTED BY THE RENOVATION TO BE PAINTED OR REPAINTED. (NEW SPACES AND EXISTING SPACES). ALL WALLS, CEILINGS, ETC TO BE PRIMED AND PAINTED WITH MINIMUM 2 COATS OF PAINT.

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CONSTRUCTION PLAN LEGEND

EXISTING STONE WALL TO REMAIN

EXISTING MASONRY WALL TO REMAIN

EXISTING EXTERIOR FRAME WALL TO REMAIN

EXISTING INTERIOR FRAME WALL TO REMAIN

NEW MASONRY WALL

NEW C.I.P. CONCRETE WALL

NEW EXTERIOR FRAME WALL

NEW INTERIOR FRAME WALL

OBJECTS ABOVE

WINDOW ID

DOOR ID

WALL TYPE ID

BUILDING SECTION KEY

EXTERIOR ELEVATION KEY

DETAIL KEY

INTERIOR ELEVATION KEY

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
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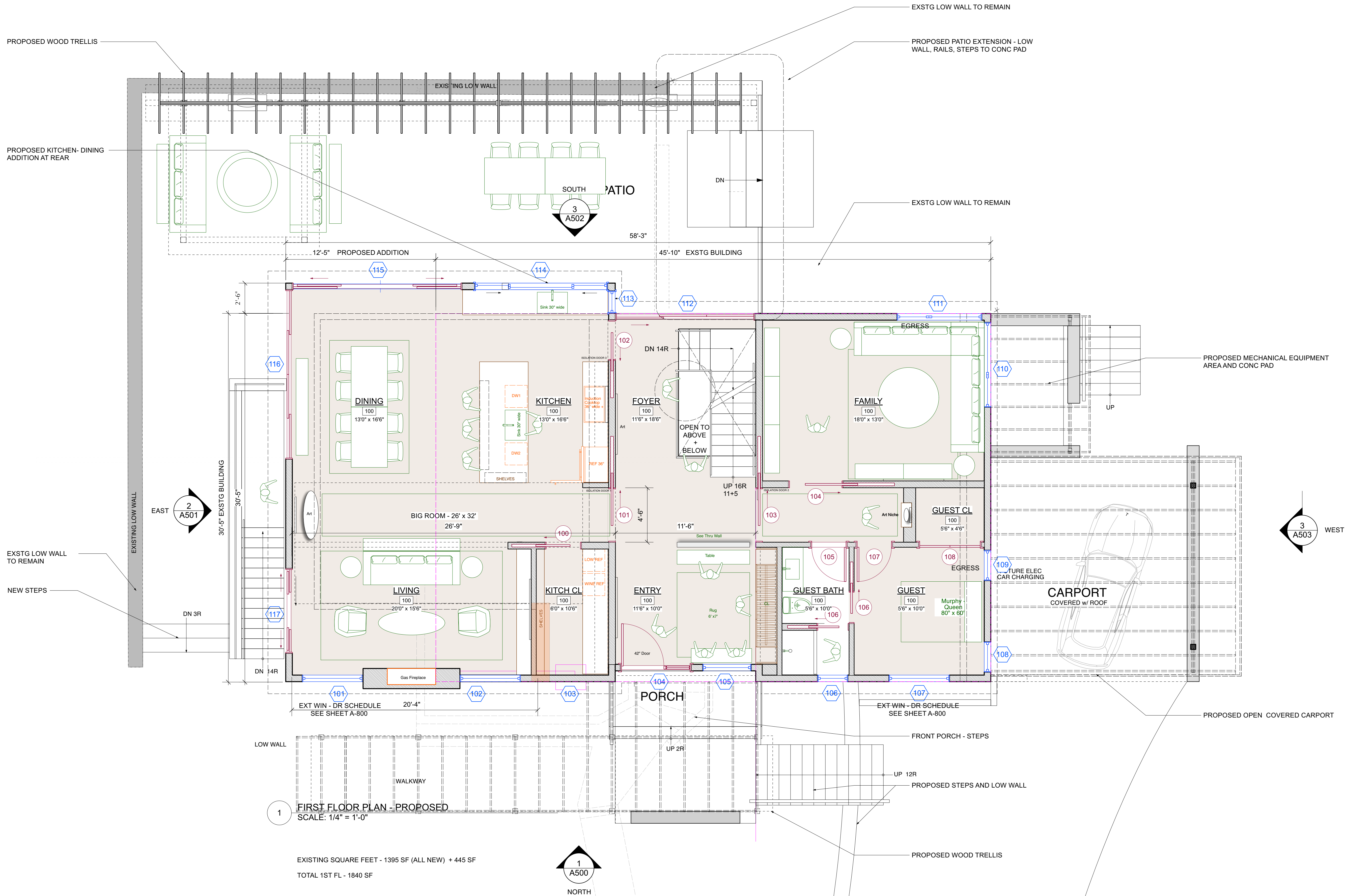
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PROJECT:
PRIVATE RESIDENCE
24 ELDREDGE PLACE
DOBB'S FERRY, NY 10522

DRAWING TITLE:
PRPS'D BASEMENT
FLOOR PLAN

FILE NAME:	
DRAWN BY:	PG
SCALE:	1/4" = 1'-0"
DATE:	3/16/22
PROJECT ID:	2125A
DRAWING NUMBER	
A200.00	



CONSTRUCTION PLAN LEGEND	
	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	NEW MASONRY WALL
	NEW C.I.P. CONCRETE WALL
	NEW EXTERIOR FRAME WALL
	NEW INTERIOR FRAME WALL
	OBJECTS ABOVE
	WINDOW ID
	DOOR ID
	WALL TYPE ID
	BUILDING SECTION KEY
	EXTERIOR ELEVATION KEY
	DETAIL KEY
	INTERIOR ELEVATION KEY
NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION	

NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
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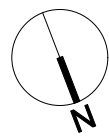
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














PROJECT:
PRIVATE RESIDENCE
24 ELDREDGE PLACE
DOBB'S FERRY, NY 10522

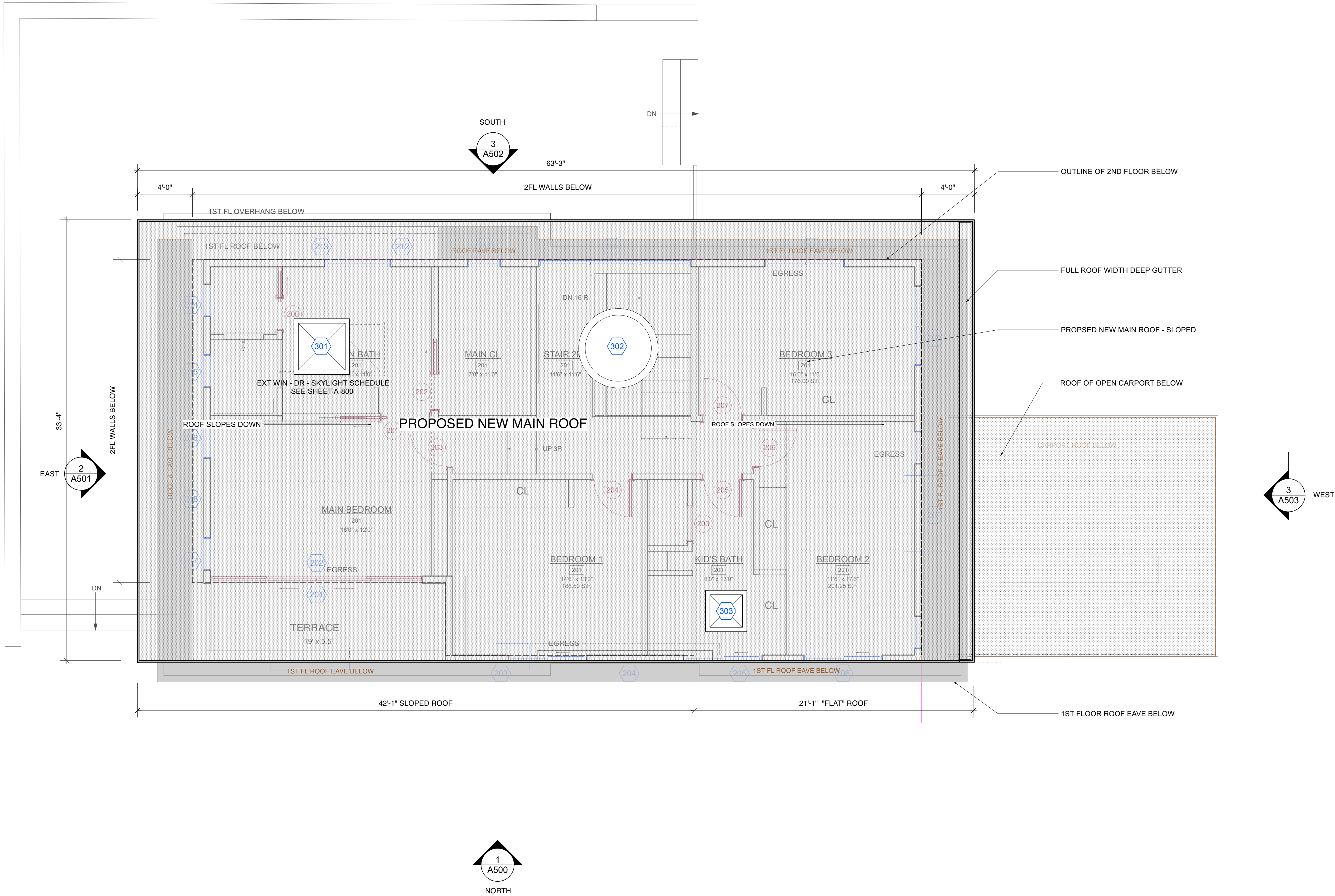
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FIRST FLOOR FINISH PLAN

FILE NAME:

DRAWN BY:	PG	DRAWING NUMBER
SCALE:	1/4" = 1'-0"	A201.01
DATE:	3/8/22	
PROJECT ID:	2125A	



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<div>CONSTRUCTION PLAN LEGEND</div> <div><div></div><div>EXISTING STONE WALL TO REMAIN</div></div> <div><div></div><div>EXISTING MASONRY WALL TO REMAIN</div></div> <div><div></div><div>EXISTING EXTERIOR FRAME WALL TO REMAIN</div></div> <div><div></div><div>EXISTING INTERIOR FRAME WALL TO REMAIN</div></div> <div><div></div><div>NEW MASONRY WALL</div></div> <div><div></div><div>NEW C.I.P. CONCRETE WALL</div></div> <div><div></div><div>NEW EXTERIOR FRAME WALL</div></div> <div><div></div><div>NEW INTERIOR FRAME WALL</div></div> <div><div></div><div>OBJECTS ABOVE</div></div> <div><div></div><div>WINDOW ID</div></div> <div><div></div><div>DOOR ID</div></div> <div><div></div><div>WALL TYPE ID</div></div> <div><div></div><div>BUILDING SECTION KEY</div></div> <div><div></div><div>EXTERIOR ELEVATION KEY</div></div> <div><div></div><div>DETAIL KEY</div></div> <div><div></div><div>INTERIOR ELEVATION KEY</div></div> <div><div>NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION</div></div>		
NO. REVISIONS		DATE
NO. ISSUE		DATE
Planning Board		3/16/22
<div>Michael Lewis Architects PC</div> <div>145 Palisade St. Suite #307</div> <div>Dobbs Ferry, NY 10522</div> <div>tel 914-231-7700, fax 914-231-7701</div> <div>info@mlarchitect.com</div> <div>www.mlarchitect.com</div>		
<div>PROJECT:</div> <div>PRIVATE RESIDENCE</div> <div>24 ELDREDGE PLACE</div> <div>DOBB'S FERRY, NY 10522</div>		
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<div>SCALE: 1/4" = 1'-0"</div>		<div>A202.00</div>
<div>DATE: 3/16/22</div>		
<div>PROJECT ID: 2125A</div>		



1 ROOF PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

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CONSTRUCTION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
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NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

NO. REVISIONS DATE

NO. ISSUE DATE

Planning Board 3/16/22

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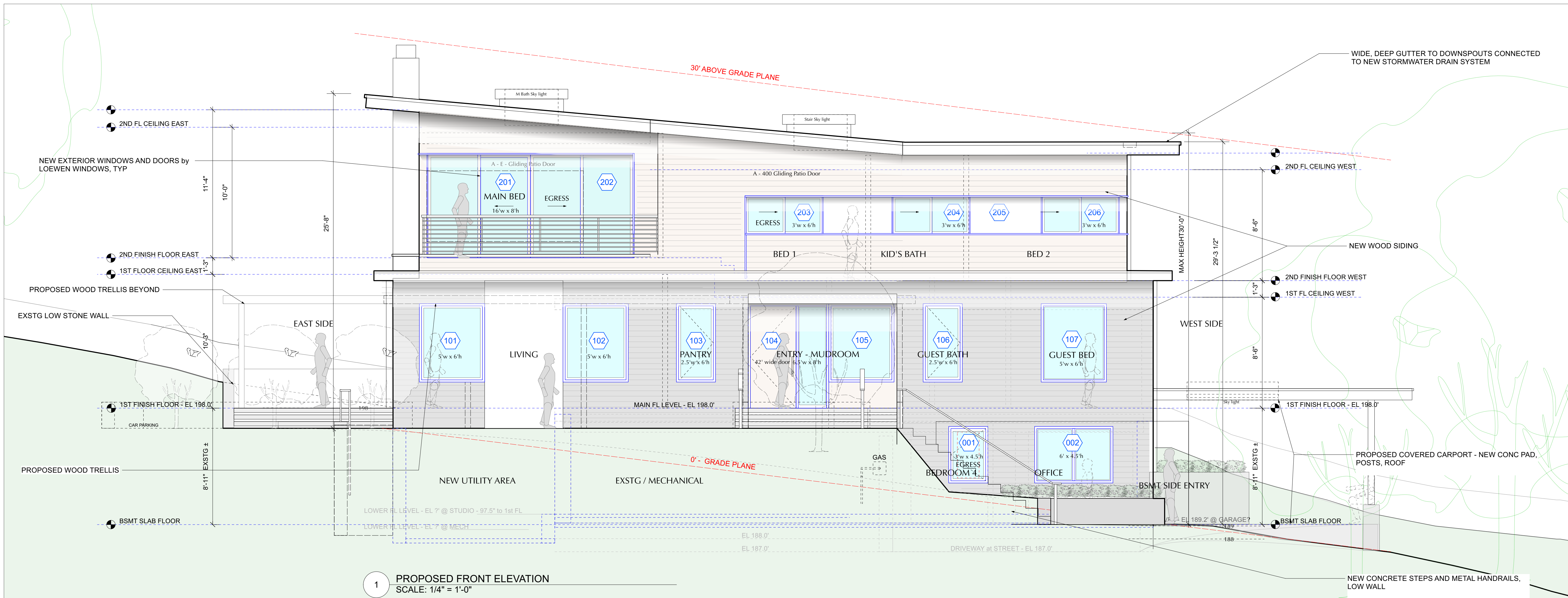
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DRAWING TITLE:
PRPS'D ROOF PLAN

FILE NAME:

DRAWN BY:	PG	DRAWING NUMBER
SCALE:	1/4" = 1'-0"	A203.00
DATE:	3/16/22	
PROJECT ID:	2125A	



NO.	REVISIONS	DATE
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PROJECT:
PRIVATE RESIDENCE
24 ELDREDGE PLACE
DOBB'S FERRY, NY 10522

DRAWING TITLE:
EXSTG & PROPOSED
FRONT ELEVATIONS

FILE NAME:

DRAWN BY:	PG
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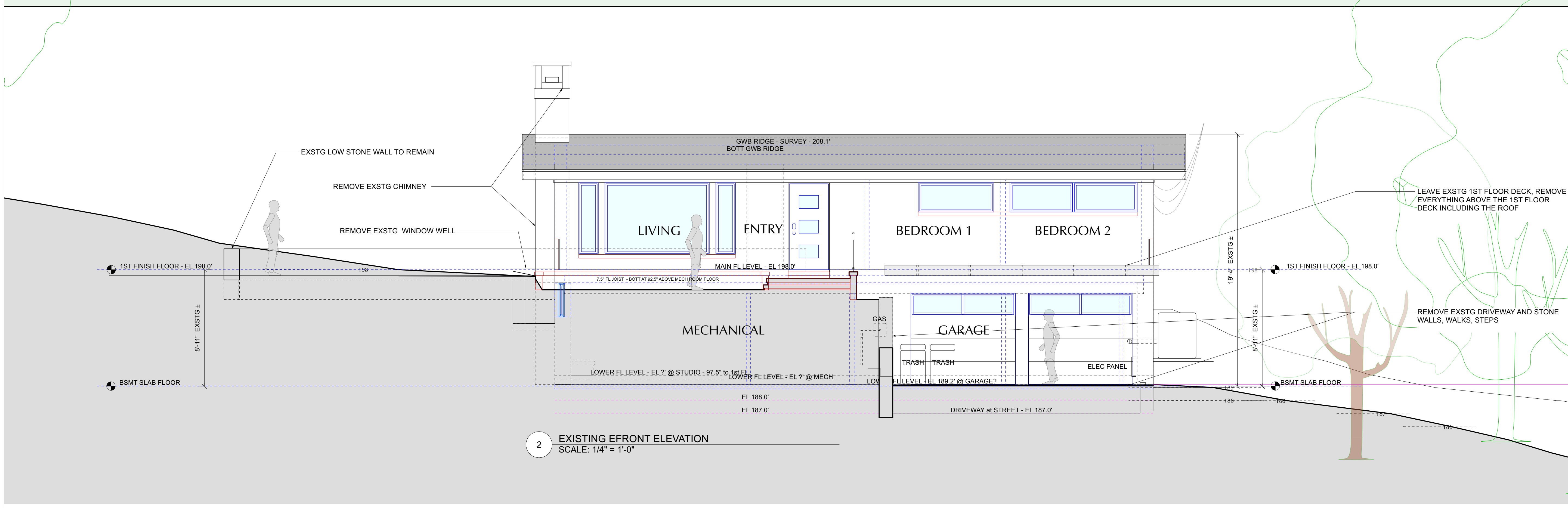
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DATE:	3/16/22
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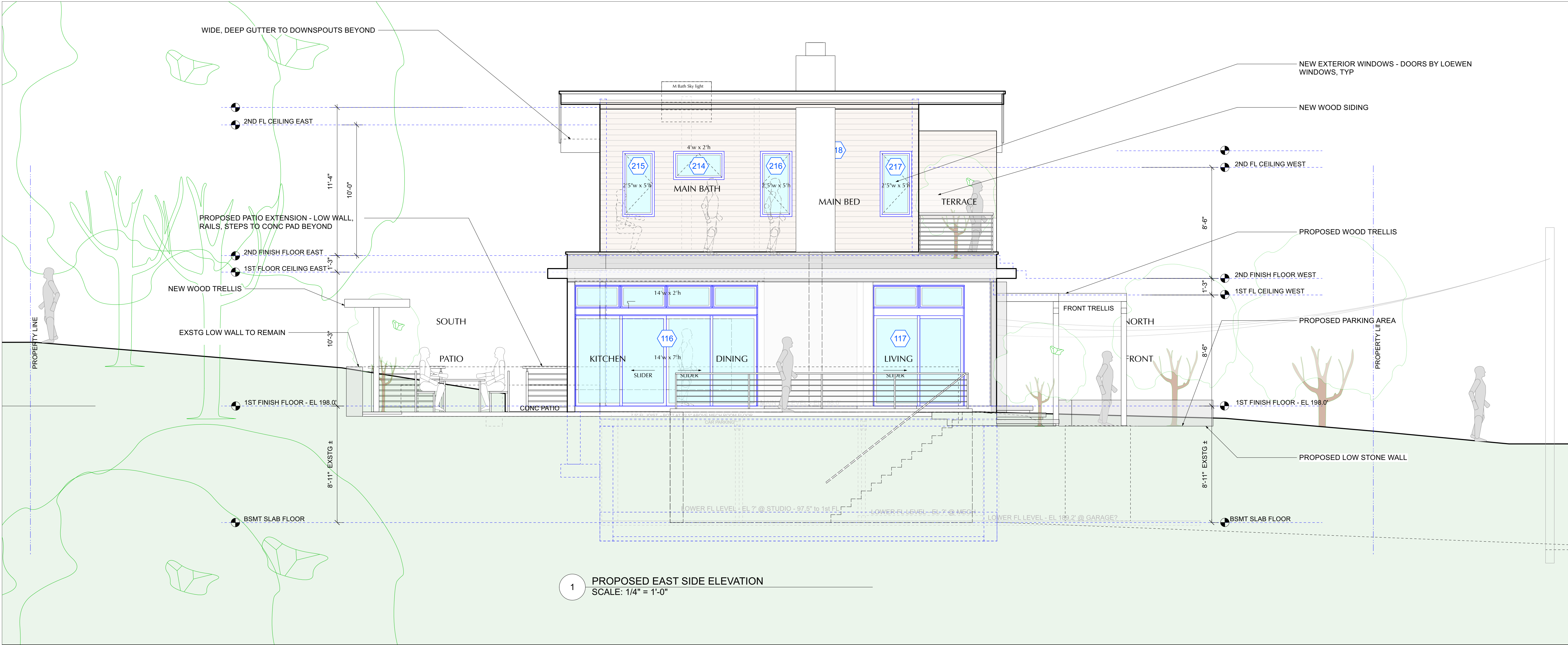
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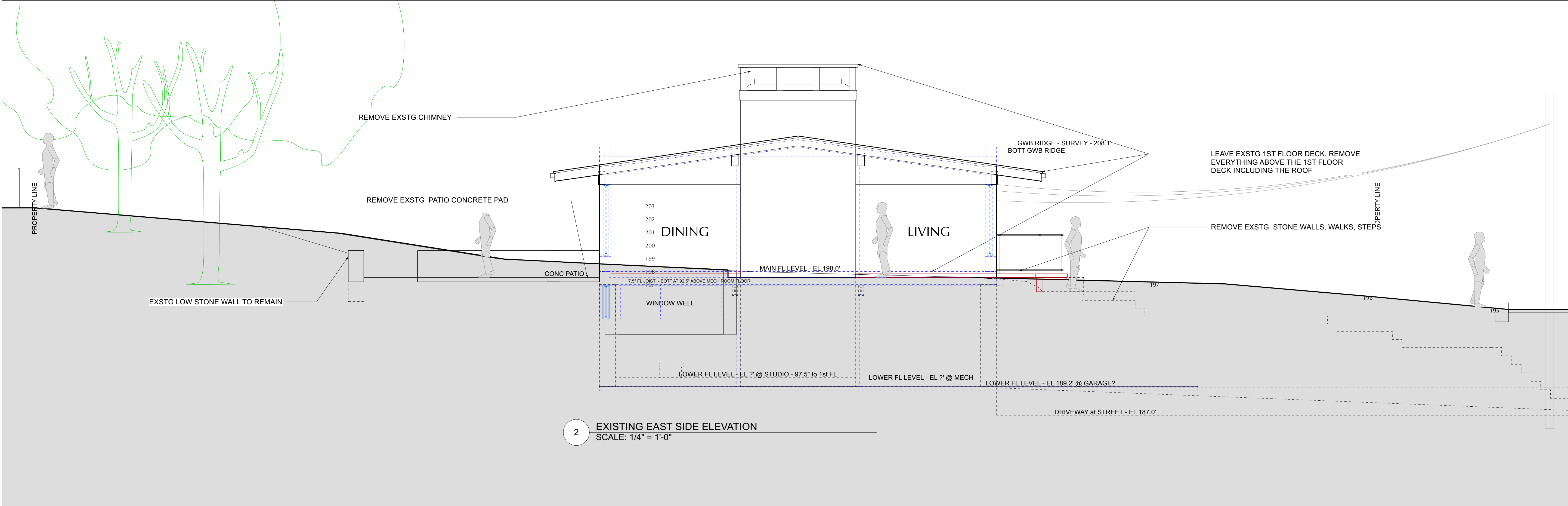
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1 PROPOSED EAST SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING EAST SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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NO. REVISIONS DATE

NO. ISSUE DATE

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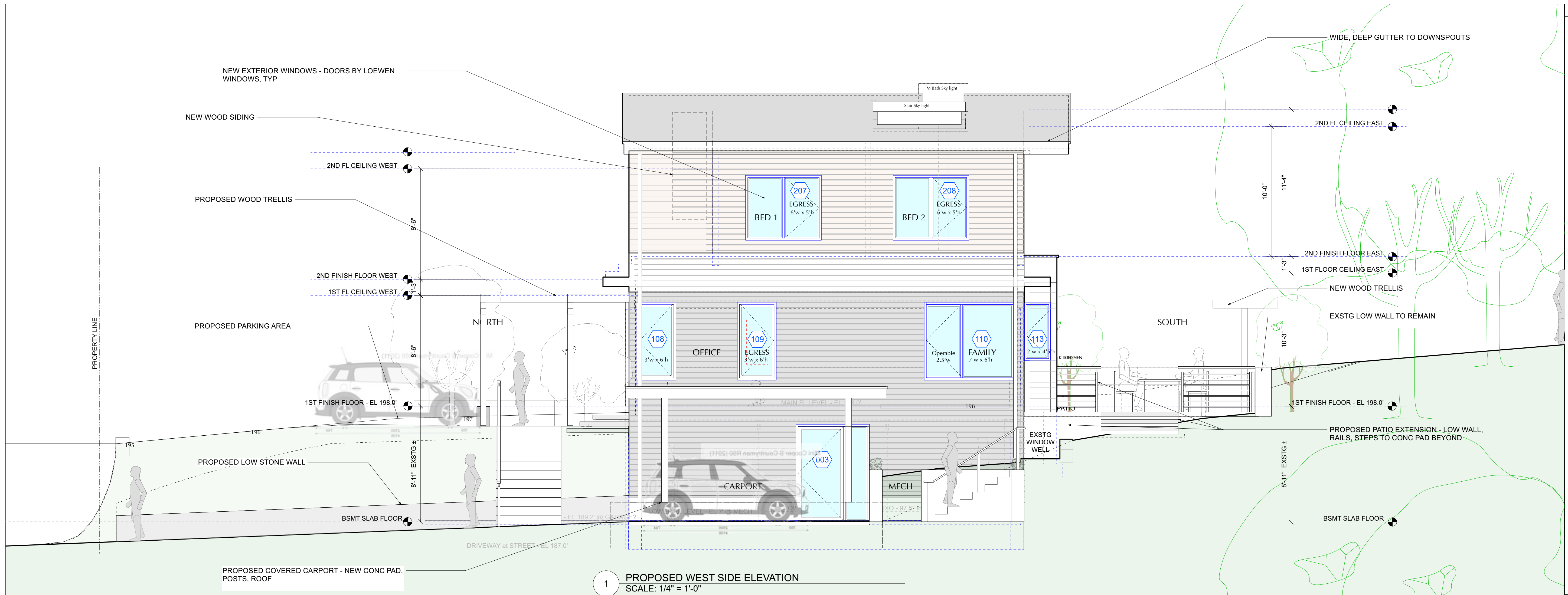
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EXSTG & PROPOSED
SIDE ELEVATIONS

FILE NAME:

DRAWN BY:	PG	DRAWING NUMBER
SCALE:	1/4" = 1'-0"	A501.00
DATE:	3/16/22	
PROJECT ID:	2125A	

2 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"

NO. REVISIONS		DATE
NO.	ISSUE	DATE
	Planning Board	3/16/22
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PROJECT: PRIVATE RESIDENCE 24 ELDREDGE PLACE DOBB'S FERRY, NY 10522		
DRAWING TITLE: EXTG & PROPOSED REAR ELEVATIONS		
FILE NAME:		
DRAWN BY:	PG	DRAWING NUMBER A502.00
SCALE:	1/4" = 1'-0"	
DATE:	3/16/22	
PROJECT ID:	2125A	



NO.	REVISIONS	DATE
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Planning Board 3/16/22

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PROJECT:
PRIVATE RESIDENCE
24 ELDREDGE PLACE
DOBB'S FERRY, NY 10522

DRAWING TITLE:
EXSTG & PROPOSED
SIDE ELEVATIONS

FILE NAME:

DRAWN BY:	PG	DRAWING NUMBER
SCALE:	1/4" = 1'-0"	A503.00
DATE:	3/16/22	
PROJECT ID:	2125A	

LOT AND ZONING INFORMATION

Section: 3.120 Block - 108

Lot:

GENERAL LOT DIMENSIONS

GENERAL LOT DIMENSIONS				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
LOT AREA	10,000 -12,000 SF	14,550 SF	NO CHANGE	YES
LOT WIDTH	100'0"	145'6"	NO CHANGE	YES
LOT DEPTH	100'0"	100'4"	NO CHANGE	YES

YARD SETBACKS (PRINCIPAL STRUCTURE)		EXISTING	PROPOSED	COMPLIANT
FRONT	25'0"	29'0"	26'0"	YES
REAR	25'0"	30'11"	NO CHANGE	YES
SIDE ONE (EAST)	12'0"	56'5"	42'2"	YES
SIDE TWO (WEST)	12'0"	38'7"	21'10" (to Carport)	YES
TOTAL OF TWO SIDES	30'0"	95'0"	64'0"	YES
FRONT YARD WOOD TRELLIS	25'0"	NA	15'11"	NO

BUILDING HEIGHT	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
STORIES (ABOVE GRADE PLANE)	1	1	2	YES
FEET (ABOVE GRADE PLANE)	30'0"	19'4"	29'4"	YES
EAVE		18'7"	28'4"	YES

LOT COVERAGE				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
LOT AREA	10,000 SF	14,550 SF	NO CHANGE	NO CHANGE
BUILDING COVERAGE	MAX 20 % of 14,550 = 2,910 SF	1,407 SF	2,186 SF	YES
COVERAGE, IMPERVIOUS SURFACES	MAX 40% of 14,550 = 5,820 SF	1,448 SF	2,131 SF	YES
BLDG COVERAGE +IMPERVIOUS	-	2,855 SF	4,317 SF	YES

OCCUPANCY AND USE		EXISTING	PROPOSED	COMPLIANT
CURRENT USE	REQUIRED/ALLOWED	SINGLE FAMILY	NO CHANGE	NO CHANGE
BASMENT FLOOR AREA		1,407 SF	1,805 SF	YES
1ST FLOOR AREA		1,407 SF	1,834 SF	YES
2ND FLOOR AREA		NA - No 2nd Floor	1,540 SF	YES
FLOOR AREA TOTAL		2,814 SF	5,179 SF	YES

—ORNAMENTAL TREES

DOBBS FERRY MULTI-FAMILY PARKING REQUIREMENT		EXISTING	PROPOSED	
		2 SPOTS	DRIVEWAY SPOTS	2
			PORTE-COCHERE SPOT	1
			TOTAL SPOTS	3

1. ALL WORK TO CONFORM TO THE SATISFACTION OF THE BUILDING INSPECTOR
2. EXISTING RETAINING WALLS ON ALL SLOPES EXCEEDING (1) FOOT VERTICAL ON (1 1/2) FEET HORIZONTAL.
3. THE BUILDER SHALL FURNISH 6" PERFORATED CMP ENCASED IN STONE WHEREVER DIRECTED BY THE BUILDING INSPECTOR.
4. SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.
5. ALL GRADING TO BE PERFORMED TO CREATE POSITIVE DRAINAGE
6. ALL DRIVEWAYS SLOPING DOWN TO GARAGES SHALL HAVE A DRAIN INLET WITH A PIPE EXTENDING BEYOND THE REAR OF THE HOUSE TO CARRY RAIN RUN-OFF.
7. ALL SLOPES SLOPING DOWN SHALL RISE 6" THE FIRST 5' AND THEN SLOPE DOWN.
8. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
9. THE VILLAGE ENGINEER OR HIS AUTHORIZED CERTIFIED BUILDING INSPECTOR PRIOR TO CHANGES OR MODIFICATIONS TO THE APPROVED PLANS.
10. ROCK REMOVAL BY BLASTING SHALL BE IN ACCORDANCE WITH CHAPTER 125 OF THE VILLAGE CODE.
11. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A LICENSED CIVIL OR GEOTECHNICAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
12. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTEE IN WHICH THE VILLAGE ENGINEER IS DETERMINED BY THE PLANNING BOARD AND VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE AUTHORITY.

1. SURVEY INFORMATION TAKEN FROM SURVEY DATED 2/17/21 BY CONSTRUCTION LAND SURVEYING.
2. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

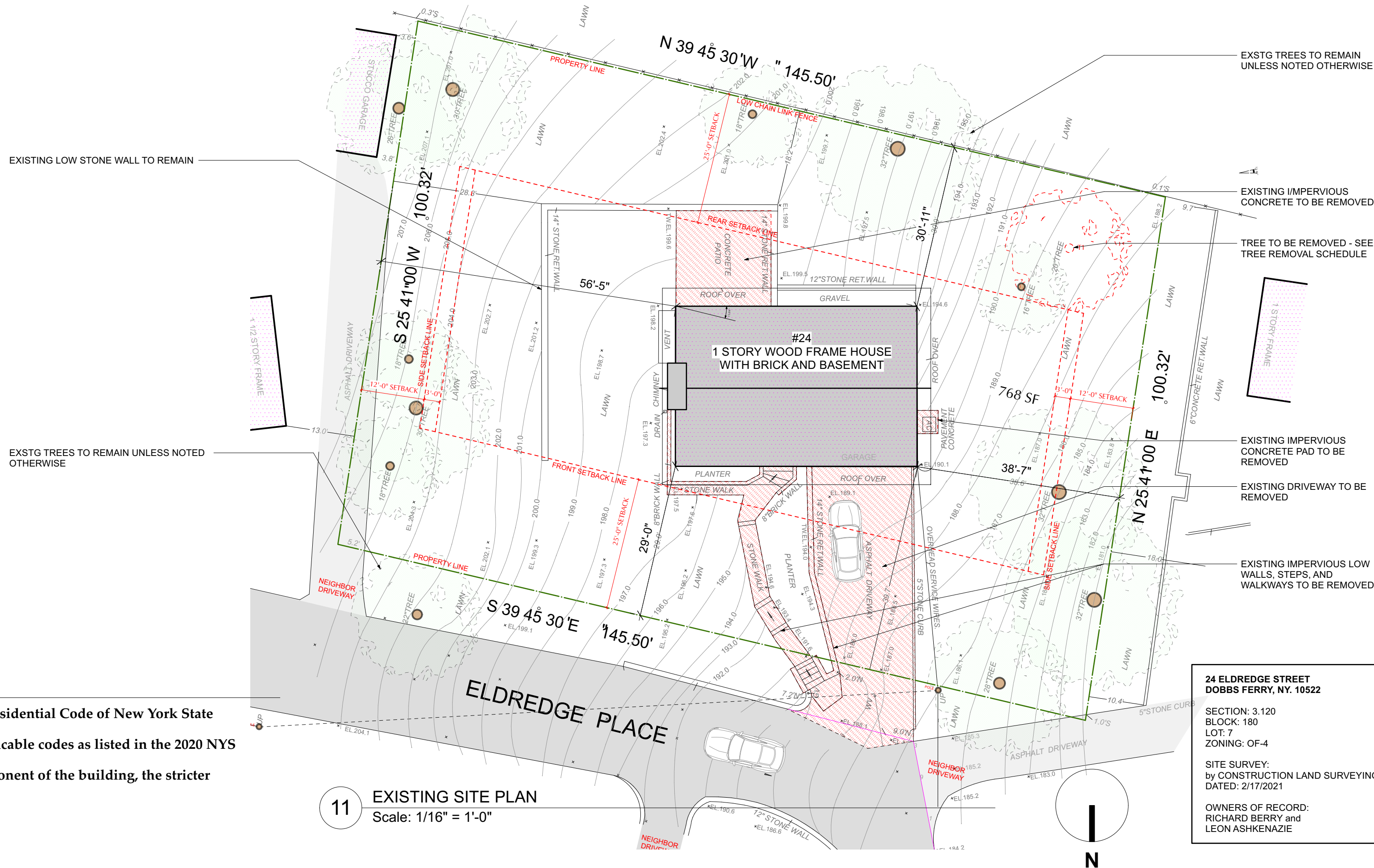
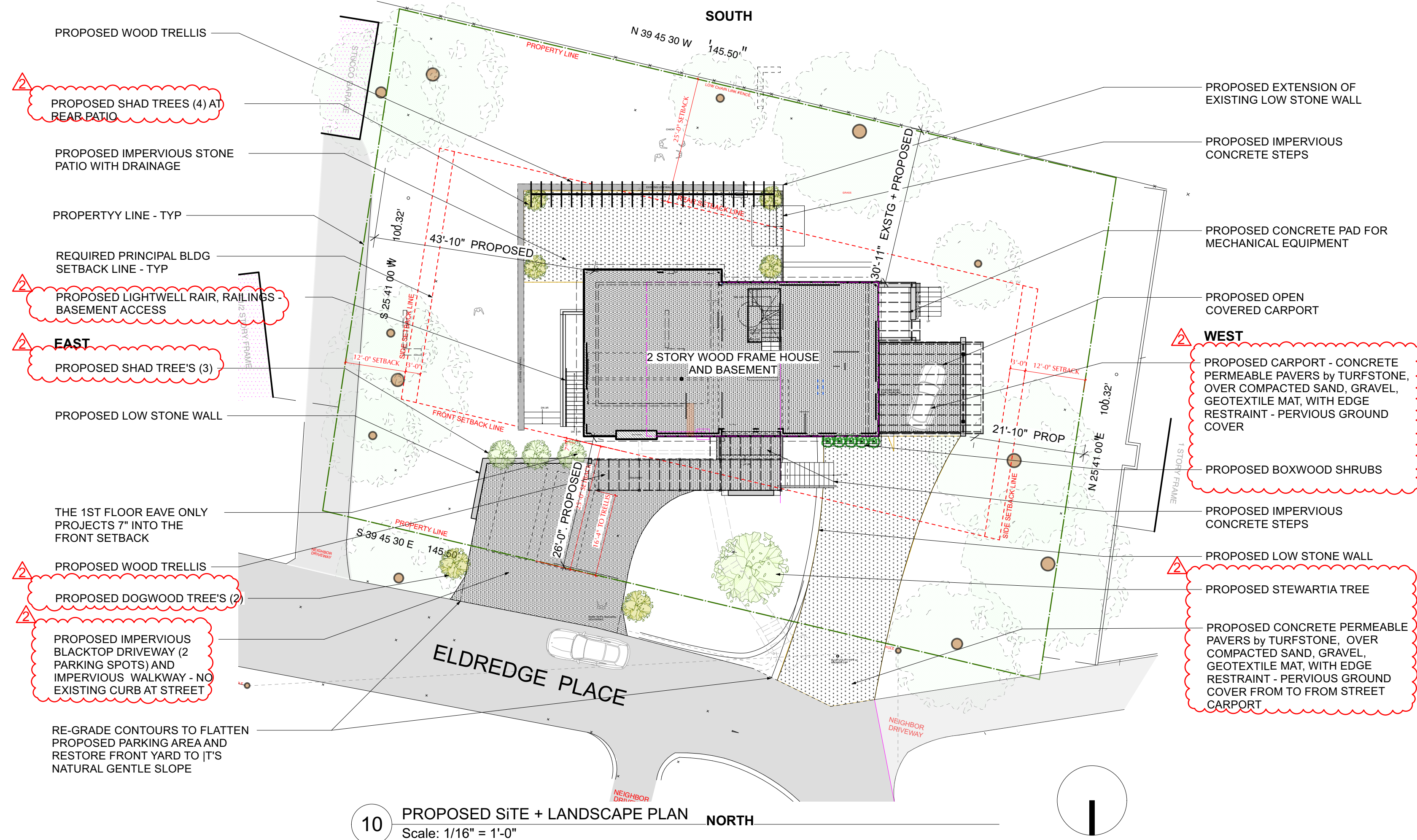
1. CONTRACTOR TO VERIFY LOCATION OF PUBLIC UTILITIES AND PROVIDE PROTECTION IF /AS REQ'D.
2. CONTRACTOR TO COORDINATE SHUT OFF AND/OR DISCONNECTION OF UTILITIES IF /AS REQUIRED.
3. NO EXTG UTILITIES TO BE IMPACTED. NO EXTG UTILITIES RUN THROUGH AREA OF NEW WORK.
4. A CODE 53 WILL BE CALLED IN PRIOR TO CONSTRUCTION FOR SURVEY OF EXTG UNDERGROUND UTILITIES.

1. ALL LANDSCAPING OUTSIDE OF WORK AREA IS EXISTING TO REMAIN. ALL PLANTINGS INDICATED ON SITE PLAN ARE EXISTING TO REMAIN UNLESS NOTED.
2. REMOVE TOPSOIL AT DISTURBED WORK AREA AND STORE ON SITE. REPLACE REFURBISHED TOPSOIL AT COMPLETION AND RE-SOD LAWN AS NEEEDED.
3. NO TREES ARE PROPOSED TO BE REMOVED UNDER THIS APPLICATION EXCEPT AS INDICATED. EXCAVATE BY HAND WHERE REQUIRED TO PROTECT ROOT SYSTEMS OF EXISTING TREES.
4. UNLESS OTHERWISE DIRECTED, REMOVE EXISTING PLANTINGS AND SHRUBS BY HAND AND PROPERLY STORE ON SITE FOR REPLANTING UNDER SEPARATE APPLICATION

1. PREPARATION OF STORMWATER MANAGEMENT PLAN, EROSION CONTROL, LOCATION OF CONSTRUCTION LIMITS, SILT FENCE, SOIL STOCKPILE, ANTI-TRACKING PAD, AND OTHER SITE PROTECTION DETAILS CURRENTLY UNDERWAY BY HUDSON ENGINEERING & CONSULTING PC. TO BE SUBMITTED AS PART OF PUBLIC HEARING PLANNING BOARD DRAWING SET AND SUBMITTAL.

2. ALL EXISTING TREES AND LANDSCAPING TO REMAIN UNLESS OTHERWISE NOTED.

1. This design is in compliance with requirements of 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State.
2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020 N Code Books.
3. In the case of multiple codes applying to any area or component of the building, the stricter code shall apply.



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As indicated on Proposed Site + Landscape Plan

Common Name	Botanical Name	Native
ORNAMENTAL TREES		
Shad Tree	<i>Amelanchier canadensis</i> spp.	Yes
American Dogwood	<i>Cornus florida</i>	Yes
Stewartia	<i>Sewartia psuedocarnelia</i>	Yes
SHRUBS		
Boxwood	<i>Buxus</i> varieties	Yes

As indicated on Existing Plot Plan

ID	Type	Diameter ABH
T1	Maple	1'2"

NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
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2 Zoning + Planning Board Revisions 3/16/22

NOTE:
This CL sheet is not part of the drawing set but is included for Dan Roemer in respond to his comments on our initial drawings and from his 3.10.22 email

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PROJECT:
PRIVATE RESIDENCE
24 ELDREDGE PLACE
DOBB'S FERRY, NY 10522

DRAWING TITLE:
SITE PLANS Exstg + Proposed - revisions 2

FILE NAME:

DRAWN BY:	PG	DRAWING NUMBER
SCALE:	1" = 16'-0"	A001.CI
DATE:	3/16/22	
PROJECT ID:	2125A	