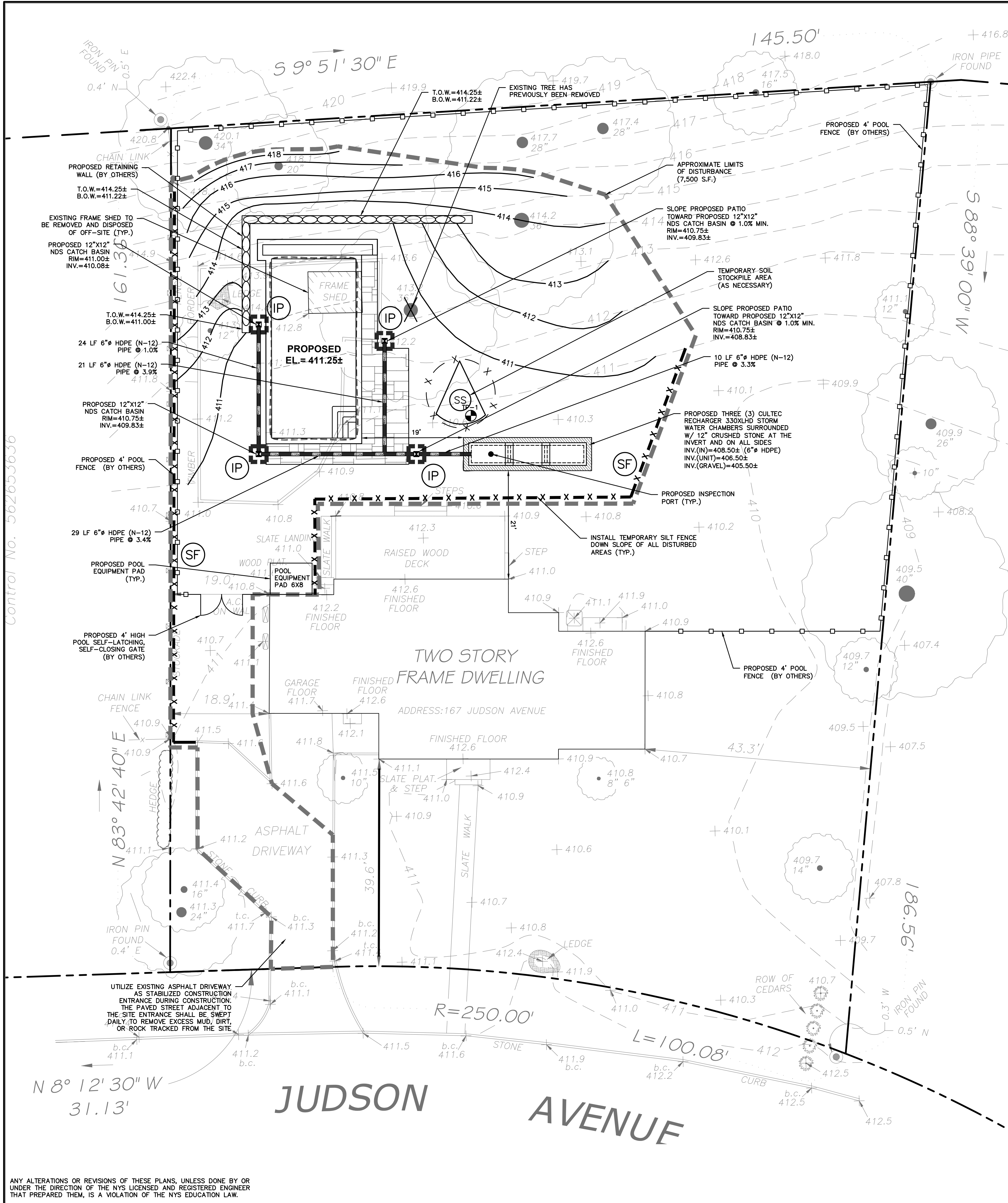




LEGEND

PROPERTY LINE
PROPOSED WALKWAY/PATIO
PROPOSED STONE MASONRY WALL
PROPOSED CONTOUR
PROPOSED STORM PIPE
PROPOSED DRAIN INLET
TEMPORARY INLET PROTECTION
TEMPORARY SILT FENCE
TEMPORARY CONSTRUCTION FENCE
TEMPORARY SOIL STOCKPILE AREA
TEST PIT LOCATION
PROPOSED LIMIT OF DISTURBANCE
PROPOSED POOL FENCE

167 JUDSON AVE. ZONING ANALYSIS TABLE			
SECTION: 3.170	DISTRICT: OF-3		
BLOCK: 151	LOT: 7	One-Family Residential 3	
REGULATION	Required	Existing	Proposed
Min. Lot Area (S.F.)	15,000	23,204	23,204
Min. Lot Width (ft.)	100	100.08	NC
Min. Lot Depth (ft.)	100	166.00	NC
Min. Yards			
- Front (ft.)	30	N/A	28.30
- Side (ft.)	15	18.9	28.30
- Both Sides (ft.)	40	62.2	NC
- Rear (ft.)	25	88	NC
Building Coverage (S.F.)	4,641	1,994	NC
Max Imp. Coverage (40%)	40%	15.8%	20.63%

TEST HOLE DATA:

TEST HOLE #1
DEPTH - 96"
0-12" TOPSOIL
12-96" FINE SANDY LOAM
NO GROUNDWATER
LEDGE ROCK @ 96"
PERC. = 10.6" INCHES/HOUR

INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)
AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT. INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY - FINAL GRADING
REMOVE UNNEEDED SUBGRADE FROM SITE. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - LANDSCAPING
SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEED. HAND RAKE LEVEL. BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL LANDSCAPING
GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL INSPECTION
ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

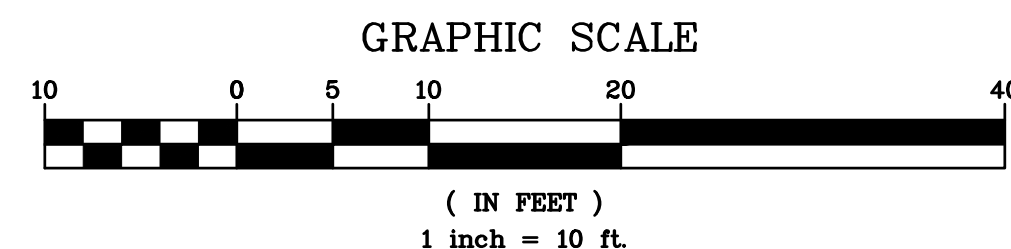
- SITE NOTES:**
- EXISTING UTILITIES SHALL REMAIN UNDISTURBED DURING CONSTRUCTION OF THE PROPOSED WORK.
 - THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
 - "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
 - SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 - BLASTING OF THE DOBBS DERRY VILLAGE CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW/APPROVAL.

CUT-FILL ANALYSIS (NET)

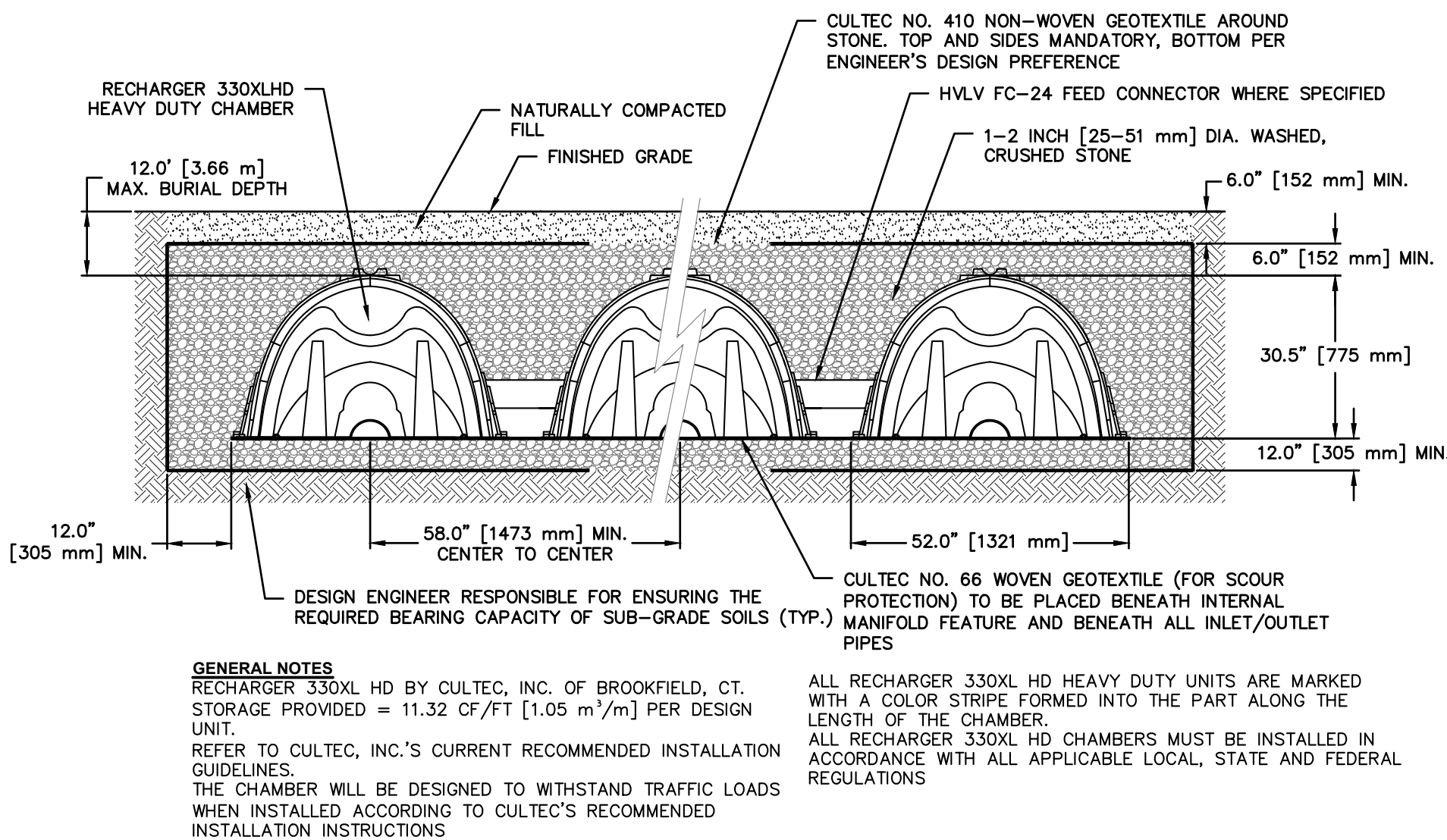
-282.1 CUBIC YARDS

167 JUDSON AVENUE STORMWATER
MANAGEMENT PLAN BASED UPON
EXISTING INFORMATION PROVIDED BY LINK
LAND SURVEYORS, DATED MAY 21, 2020

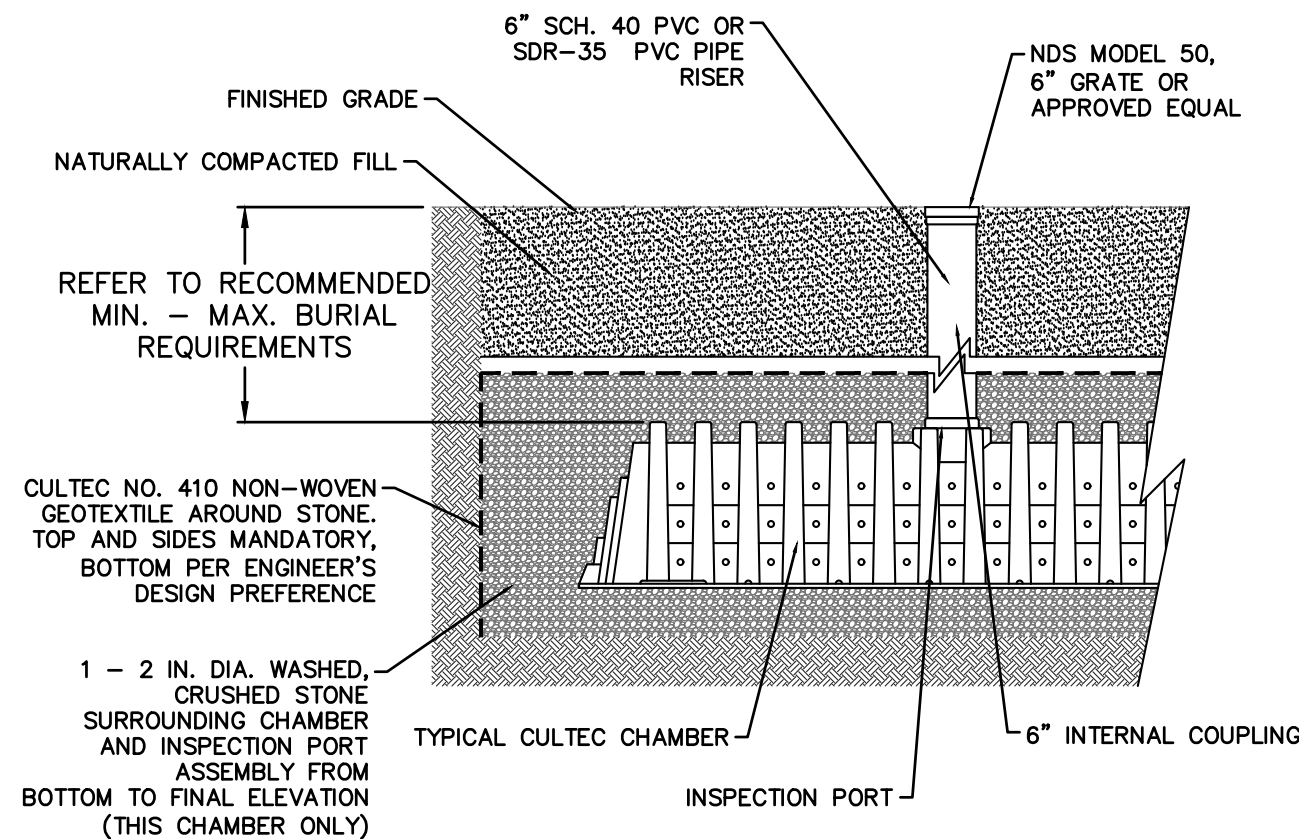
PROPOSED GRADING PROVIDED BY
SHORELINE POOLS, INC.



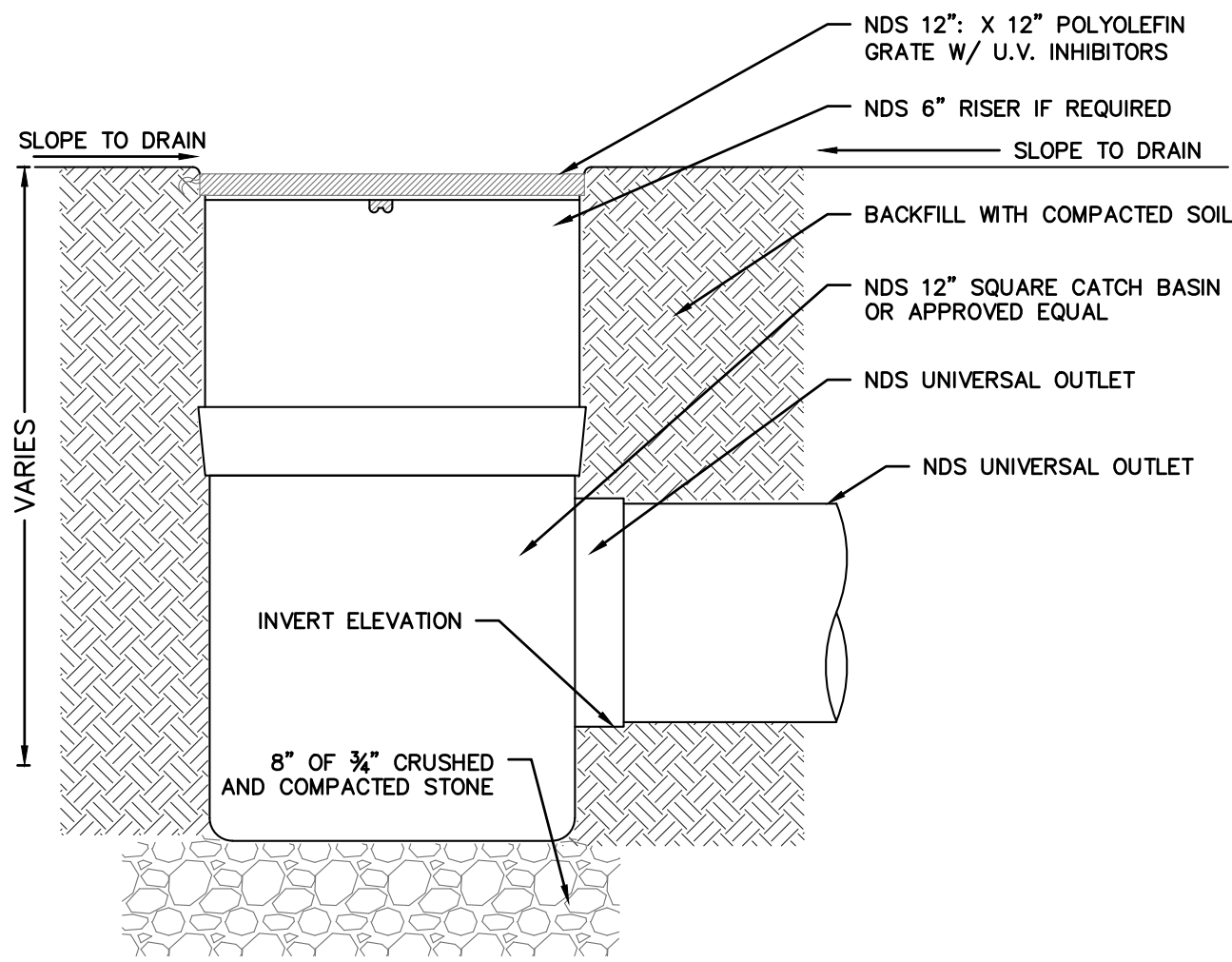
Revised based on comments received 03/09/21	03/09/21	Rev	1
Revised	03/09/21	Rev	2
THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE			
PROJECT: PROPOSED POOL 167 JUDSON AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY - NEW YORK			
STORMWATER MANAGEMENT PLAN			
HUDSON ENGINEERING & CONSULTING, P.C. 45 Knollwood Road, Suite 201 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086 © 2020			
Date: 11/13/20 Sheet: 1 Scale: 1" = 10' Designed By: M.F. Checked By: M.S. Sheet No. 2			
C-1			



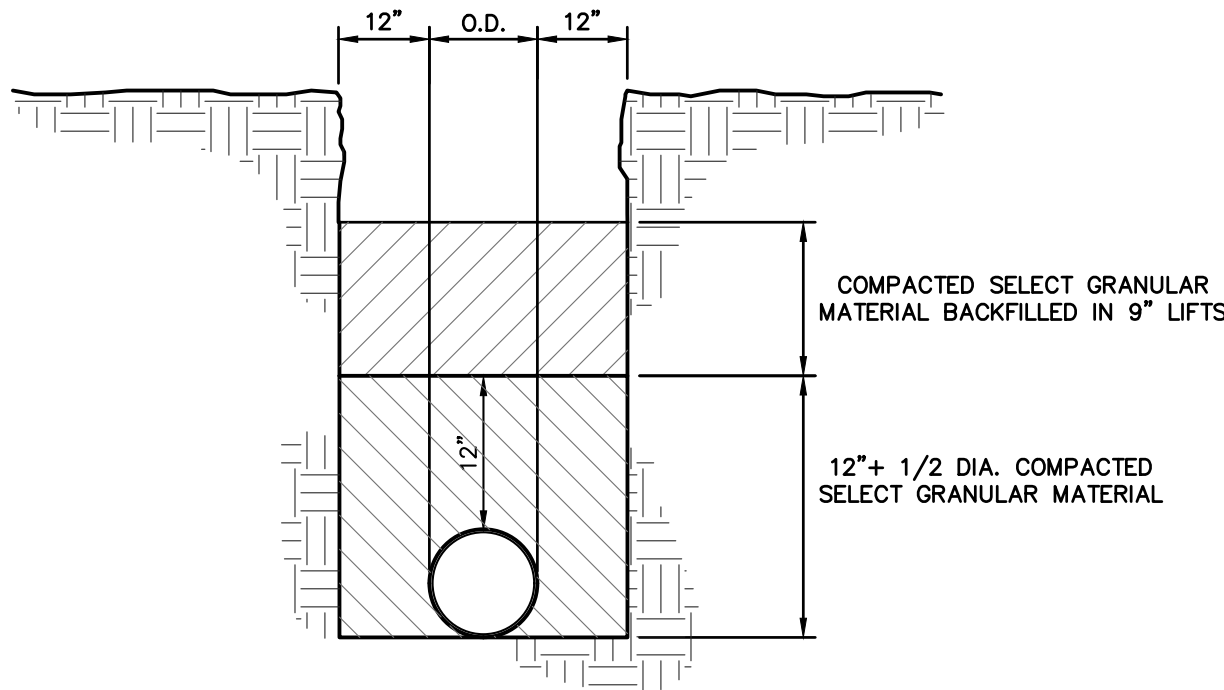
CULTEC RECHARGER 330XLHD



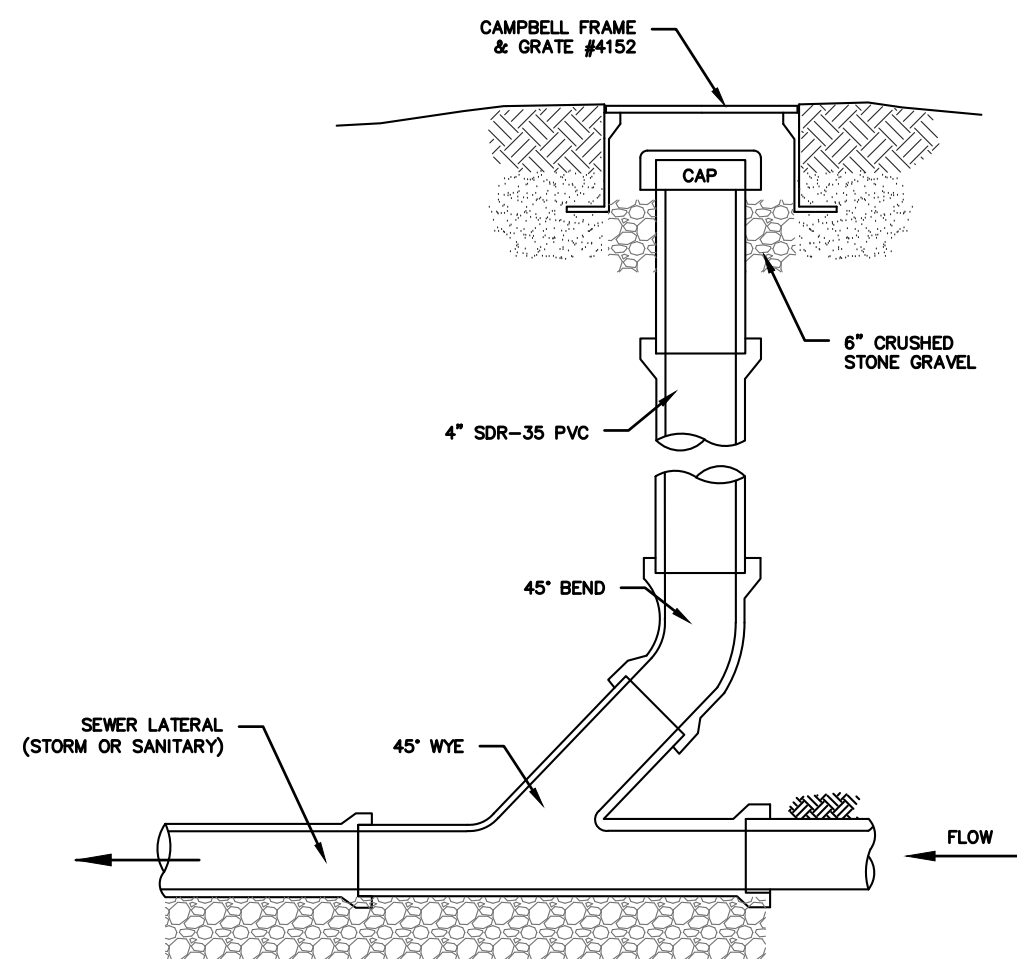
CULTEC INSPECTION PORT



NDS SQUARE CATCH BASIN

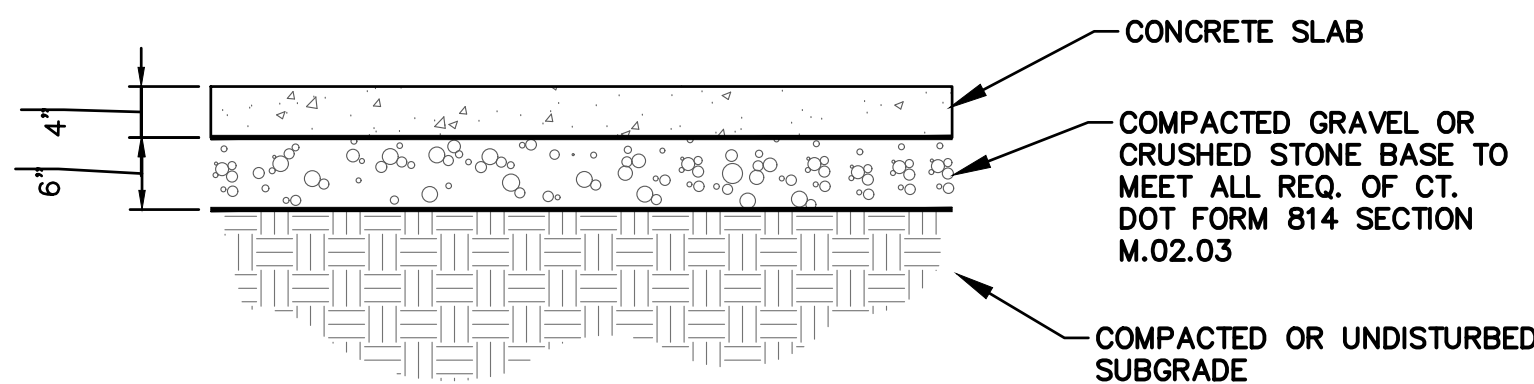


TRENCH BEDDING



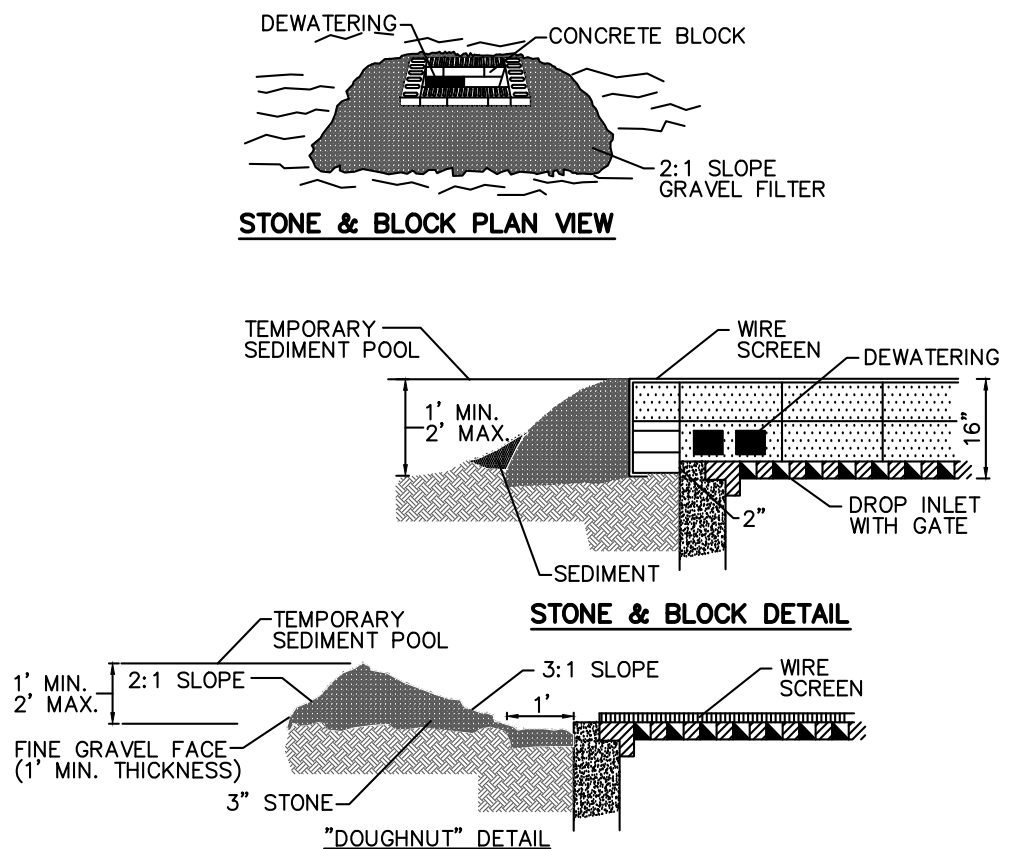
NOTES (SANITARY SEWER SERVICES):
1. ALL SANITARY SEWER SERVICES TO BE 4"Ø SCH. 40 @ 1.0% MINIMUM.
2. IN ACCORDANCE WITH THE NYS RESIDENTIAL BUILDING CODE, THE FOLLOWING REQUIREMENTS APPLY:
A. CLEANOUTS SHALL BE INSTALLED NOT MORE THAN 100 FEET APART IN HORIZONTAL DRAINAGE LINES (P3005.2.2).
B. CLEANOUTS SHALL BE INSTALLED AT EACH CHANGE OF DIRECTION OF THE DRAINAGE SYSTEM GREATER THAN 45 DEGREES.
C. CLEANOUTS SHALL BE INSTALLED SO THAT THE CLEANOUT OPENS TO ALLOW CLEANING IN THE DIRECTION OF THE FLOW OF THE DRAINAGE LINE (P3005.2.8).
NOTES (STORM SEWER):
1. REFER TO PLAN FOR SPECIFIC PIPE SIZING AND SLOPE SPECIFICATIONS; HOWEVER, IN GENERAL, ALL STORM SEWER SERVICES TO BE 6"Ø SCH. 40 @ 1.0% MINIMUM.
2. CLEANOUTS SHALL BE PLACED BEFORE SIGNIFICANT PIPE BEND LOCATIONS (I.E., JUNCTIONS, 90-DEGREE BENDS, ETC.) UNLESS A ROOF LEADER DOWNSPOUT CONNECTION IS PROPOSED.

SEWER CLEANOUT DETAIL (GRAVITY)
(STORM OR SANITARY)



POOL EQUIPMENT PAD DETAIL

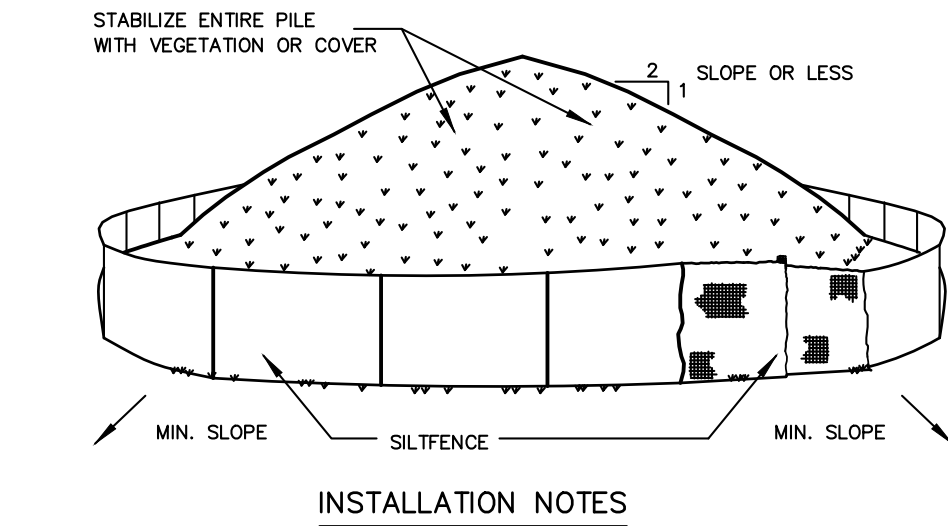
STONE & BLOCK DROP INLET PROTECTION



CONSTRUCTION SPECIFICATION

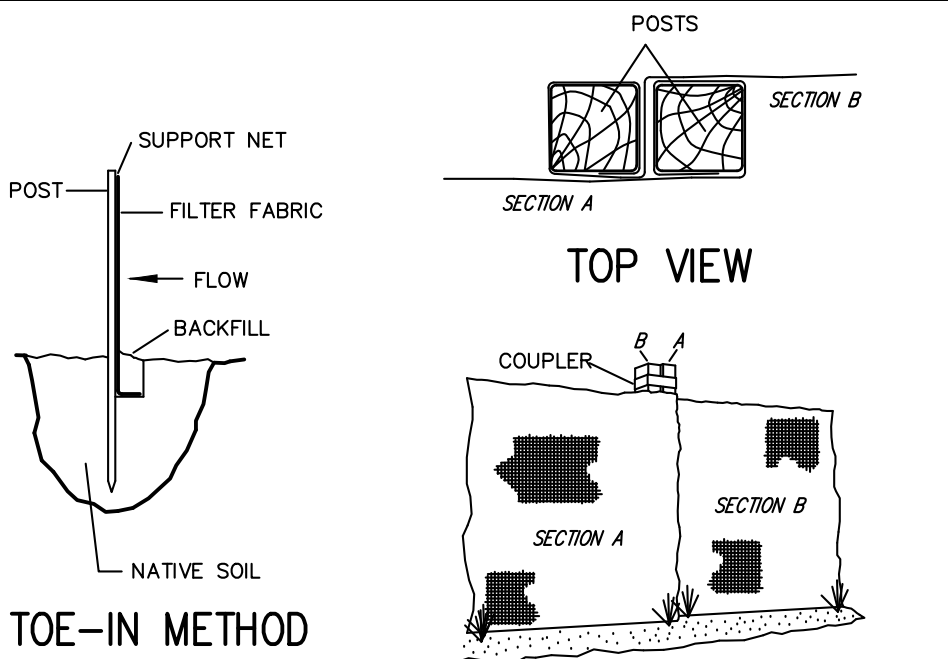
1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
2. HARDWARECLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

SOIL STOCKPILING



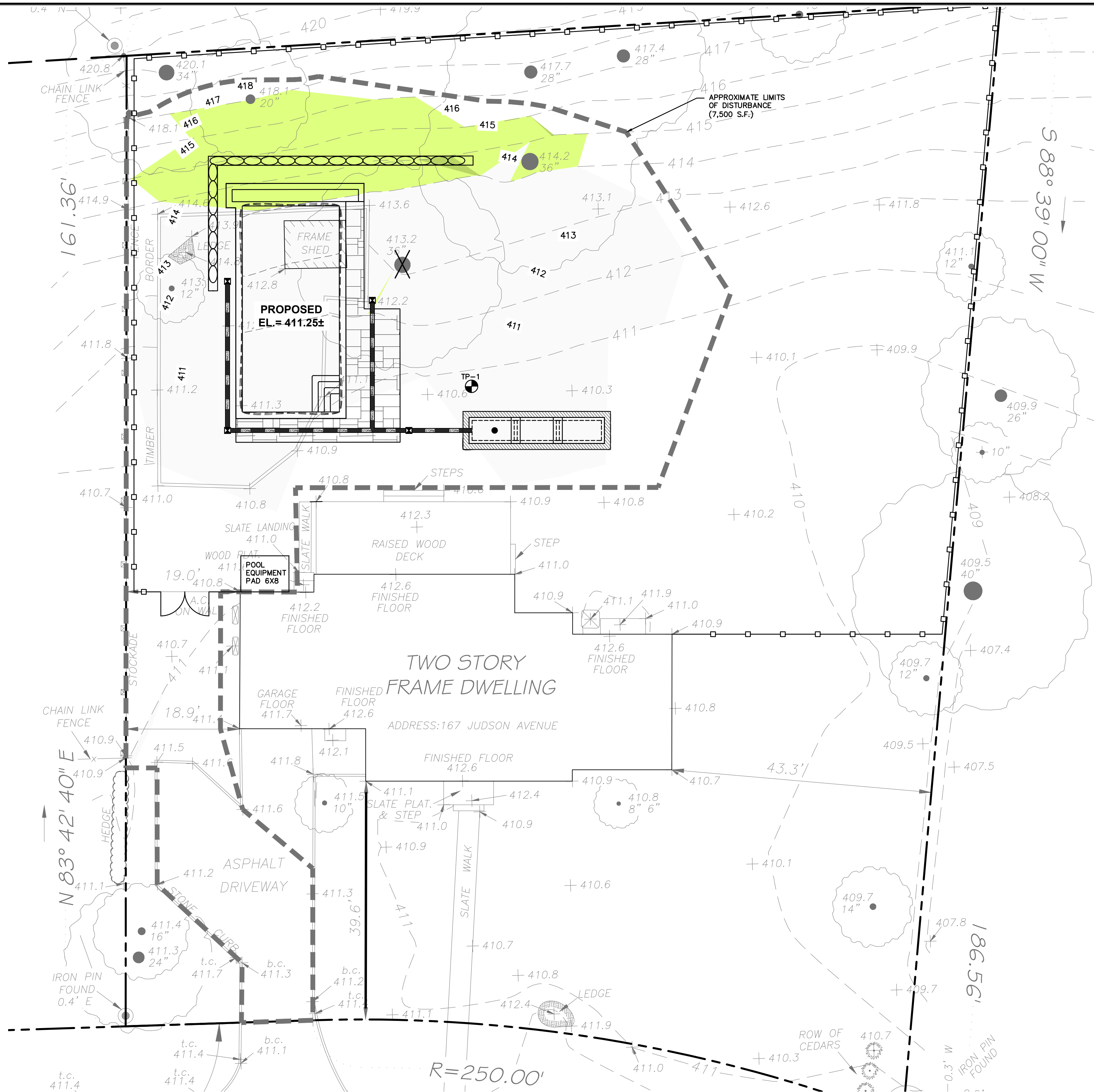
- INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
 3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
 6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

SILT FENCE

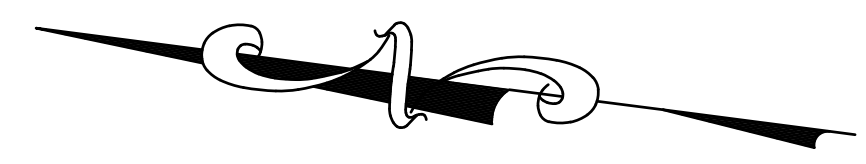


- INSTALLATION NOTES:
1. EXCAVATE A 4 INCH * 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
 5. JOIN SECTIONS AS SHOWN ABOVE.

PROJECT:		PROPOSED POOL 167 JUDSON AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY – NEW YORK		
DETAILS		HUDSON ENGINEERING & CONSULTING, P.C. 45 Knowlwood Road, Suite 201 Elmsford, New York 10523 T: 914-908-0420 F: 914-560-2086 © 2020		
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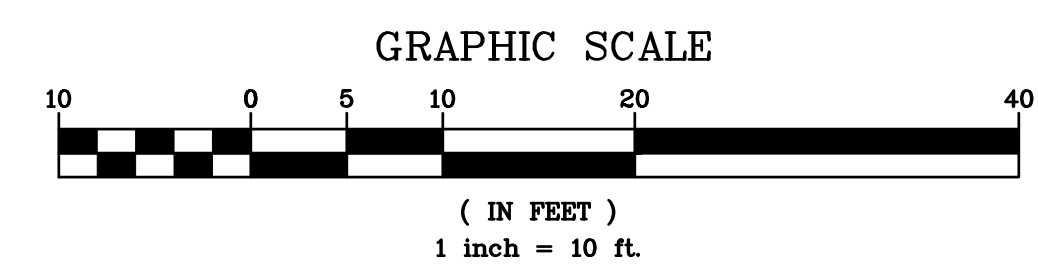
SLOPE ANALYSIS (LIMIT OF DISTURBANCE)				
NO.	MIN. SLOPE	MAX. SLOPE	AREA	COLOR
1	0%	15%	6551	
2	15%	25%	936	
3	25%	35%	13	
4	35%	Vertical	0	



ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

167 JUDSON AVENUE STORMWATER
MANAGEMENT PLAN BASED UPON
EXISTING INFORMATION PROVIDED BY LINK
LAND SURVEYORS, DATED MAY 21, 2020

PROPOSED GRADING BY SHORELINE
POOLS, INC.



No.	Description	Date	PROJECT:	
			PROPOSED POOL 167 JUDSON AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY – NEW YORK	
			STEEP SLOPES ANALYSIS	
			11/13/20	
THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE			Date: 11/13/20 Sheet: 1	
			Scale: 1" = 10'	
			Designed By: M.F.	
			Checked By: M.S.	
			Sheet No.	
			SA-1	

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