

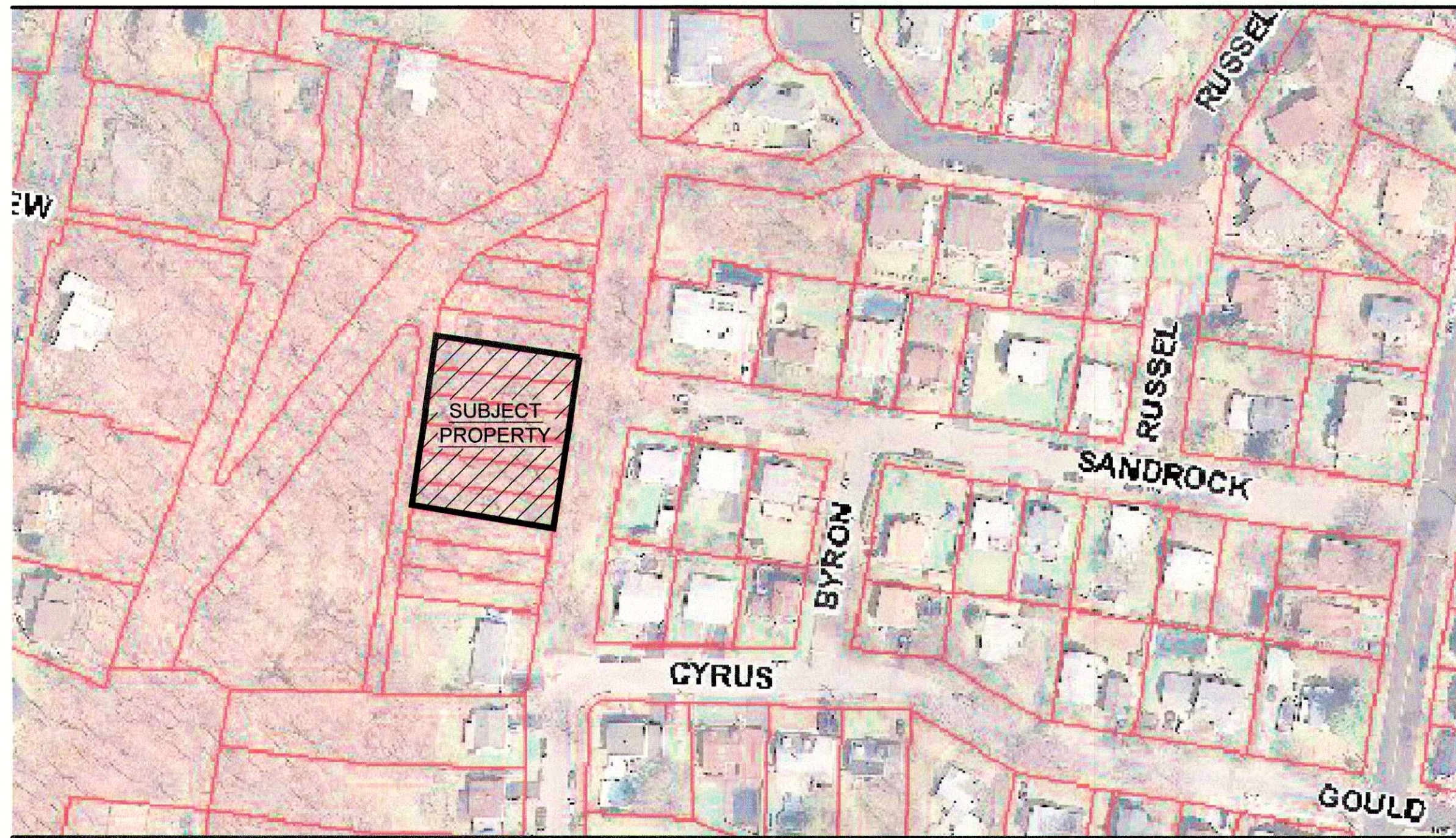
ZONING ANALYSIS

OWNER	MARIA RACANELLI 63 MAIN STREET, DOBBS FERRY, NY 10522 914-263-3692
LOCATION	CYRUS PLACE DOBBS FERRY, NY 10522
TAX MAP	SECTION : 8 SHEET : 19 BLOCK : 458 LOT : 6,7,8,9,10,11
PROPOSED USE	ONE FAMILY RESIDENCE

ZONING REQUIREMENTS

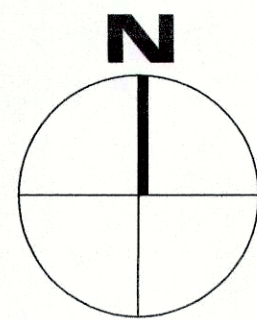
ZONING CLASSIFICATION OF-6		
SETBACKS	REQ'D/ ALLOWED	PROPOSED
FRONT (20 FT REQUIRED SETBACK REDUCED TO 10 FT AS PER SECTION 300-39 OF THE ZONING CODE)	10 FEET	± 15.25 FEET
SIDE (MIN.)	20 FEET (1)	20.00 FEET
SIDE (TOTAL)	50 FEET (1)	78.45 FEET
REAR (25 FT REQUIRED SETBACK INCREASED TO 35 FT AS PER SECTION 300-39 OF THE ZONING CODE)	35 FEET	± 40.00 FEET
HEIGHT		
STORIES	2 1/2	2 1/2
FEET	35 FEET	34.63 FEET
DOMINANT EAVE HEIGHT	EXEMPT (2)	10.80 FEET
DOMINANT RIDGE HEIGHT	EXEMPT (2)	25.60 FEET
LOT COVERAGE		
LOT WIDTH	50 FEET	150 FEET
LOT DEPTH	100 FEET	125 FEET
LOT AREA	5,000 SQ. FT. MIN.	18,750 SQ. FT.
SITE COVERAGE	20% (3)	15.23% (2,857)
		HOUSE 2,332 SQ. FT.
		PORCHES 305 SQ. FT.
		DECK 220 SQ. FT.
		TOTAL 2,857 SQ. FT.
IMPERVIOUS SURFACE	40% (3)	4,719 / 18,750 = 25.17 %
		HOUSE 2,332 SQ. FT.
		PORCHES 305 SQ. FT.
		DECKS 220 SQ. FT.
		WALKS 256 SQ. FT.
		DRIVEWAY 1,606 SQ. FT.
		TOTAL 4,719 SQ. FT.
PARKING		
PARKING SPACES	TWO SPACES	TWO SPACES

- NOTES
- USING TABLE B-4, THE REQUIRED SIDE YARD SETBACK INCREASES FROM A MINIMUM OF 10 FEET TO 20 FEET AND THE TOTAL SIDE YARD SETBACK INCREASES FROM A MINIMUM OF 20 FEET TO 50 FEET. EXEMPT PER SECTION 300-4.1.C (3).
 - USING TABLE B-3, THE PERMITTED BUILDING COVERAGE REDUCES FROM A MAXIMUM OF 27% TO A MAXIMUM OF 20% AND THE PERMITTED IMPERVIOUS COVERAGE REDUCES FROM A MAXIMUM OF 54% TO A MAXIMUM OF 40% BECAUSE THE LOT HAS AN AREA GREATER THAN 10,000 SQUARE FEET BUT LESS THAN 20,000 SQUARE FEET IN THE OF-6 ZONING DISTRICT.
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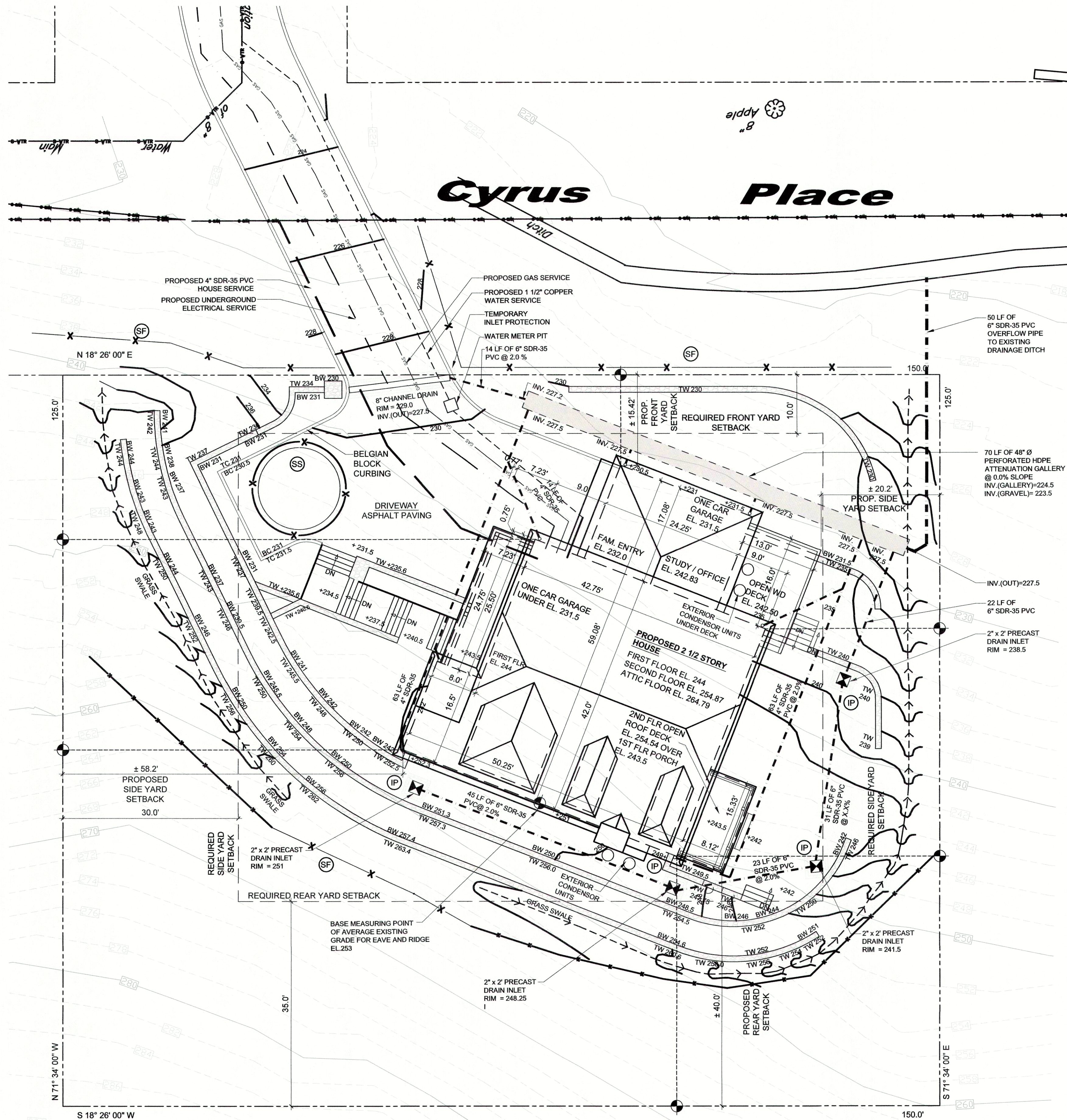
AERIAL SITE LOCATION MAP

NOT TO SCALE



LEGEND

- PROPERTY LINE
- ZONING SETBACK LINES
- CURB LINES
- SANITARY SEWER LINE
- STORM SEWER LINE
- NATURAL GAS LINE
- UNDERGROUND WATER LINE
- UNDERGROUND ELECTRIC LINES
- MAJOR CONTOUR
- MINOR CONTOUR
- SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- TC TOP OF CURB ELEVATION
- BC BOTTOM OF CURB ELEVATION
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- PROPOSED RETAINING WALL
- BASE MEASURING POINTS
- SILT FENCE
- SOIL STOCKPILE
- DRAIN INLET
- INLET PROTECTION



NOTES

- THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
- "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF COMPLIANCE.
- IMPORTED FILL MATERIAL SHALL BE CERTIFIED IN WRITING BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AS NON-CONTAMINATED, CLEAN FILL SUITABLE FOR INTENDED USE.
- ONCE ALL WORK IS COMPLETE THE DESIGN PROFESSIONAL OR APPLICANT SHALL SUBMIT A CERTIFICATE OF COMPLIANCE AND "AS-BUILT" DRAWING WHICH INDICATES THAT ALL WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE PLAN. THE CONTRACTOR OR OWNER SHALL NOTIFY THE BUILDING INSPECTOR PRIOR TO MAKING ANY CHANGES OR MODIFICATIONS TO THE APPROVED PLANS.

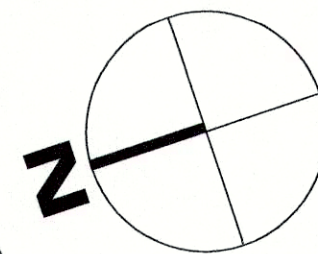
NOTE:
ALL LIGHTING SHALL COMPLY WITH
SECTION 300-11.4

SITE PLAN

SCALE : 1" = 10'-0"

GRAPHIC SCALE

0 5 10 20
IN FEET



PROPOSED RESIDENCE
AT CYRUS PLACE

CYRUS PLACE
DOBBS FERRY N.Y. 10522

PROJECT NO. : 1009

GOTHAM
DESIGN
AND COMMUNITY
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@aol.com

REVISIONS:

SHEET TITLE:

SITE PLAN

DATE: 05-30-11	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-1.10