

- I. The sediment and erosion control measures shall comply with the measures set forth by the Westchester County, NY Best Management Practices for Construction and Related Activities.
- 2. Prior to any subsurface disturbance excavation or fill, the contractor shall install the following protective things in accordance with the plans and, have them inspected and approved by the appropriate Town Managing Authorities;
  - a) Sediment Fencing
  - b) Construction Fencing
  - c) Construction Access Road / Anti-tracking Pad
- 3. All "protective measures" listed above shall be maintained to be in good operating condition throughout the duration of the work period. Any Protective Measure that does not function as intended, shall be deemed unsatisfactory and shall be replaced-repaired immediately without delay so that it is in proper working condition.
- 4. After the heavy equipment has been removed, whereby there is no future risk of heavy equipment tracking into the Work Area, the Construction Fencing and Access Road Anti Tracking Pad shall be removed.
- 5. Once the landscaping has been installed and all seeded areas have germinated, the contractor shall contact the Town Managing Authorities to inspect the site (only if required by the town) insuring that it is stable and not prone to significant erosion. Upon approval of the landscape redress by such authorities, the contractor shall remove the Silt Fencing.

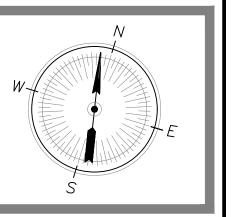
- 6. Should Rock Blasting be required, a permit application in accordance with Chapter 125 Blasting & Explosives of the Village of Dobbs Ferry Code must be submitted to the Village by the Applicant for review / approval.
- 7. The Village Engineer may be require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation \$ erosion of disturbed soils.
- 8. Before the Site Plan is signed by the Chairman of the Planning Board, the owner shall be required to post a performance bond or other type of acceptable monetary guarantee which shall be in an amount determined by the planning Board and the Village Engineer and in a form satisfactory to the Village Attorney.

ROBERT sCHWEITZER

LANDSCAPE ARCHITECTURE

18 Bayberry Lane
Redding CT 06896
914-241-9597
RDSRLA@OPTONLINE.NET

NY- # 001758 CT-# lar.0001151



REVISIONS
4/17/23
General Notes

DRAWING:

Sediment & Erosion Control Plan

DRAWN BY:
Robert D. Schweitzer

SCALE:
1"-8'

SUBMITTAL:
Town Approval

1/15/23

DATE:

PREMISES

197 Clinton Avenue

Dobbs Ferry, NY

PROPERTY OWNER

Bufalini Residence

197 Clinton Avenue

Dobbs Ferry, NY

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L-4