

Plan Submittal Form

Address: 23 Seneca Street

Application #: A2023-0075

Project: 23 Seneca Street

Name: Opacic Architects

Email: nw@opacicarchitects.com or info@opacicarchitects.com

Phone: 914-591-4306

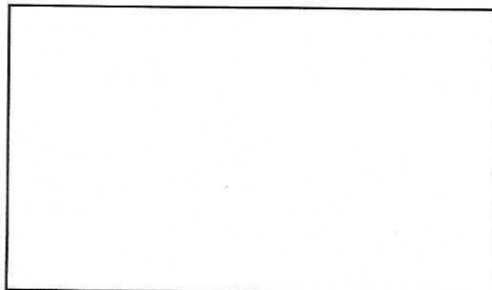
Plans attached are being submitted for (check appropriate box):

- ☐ Building permit application 1 PDF copy & 2 paper copies ¼ scale
- ☐ Amendment to an application or permit, 2 sealed copies
- ☐ Final As Built to close permit, 1 sealed copy
- ☐ Final survey to close permit, 1 sealed copy

Plans attached are submitted at the direction of the Building Inspector for review by the following board (check all that apply):

- ☐ BOT- 1 PDF copy + 5 paper copies ¼ scale
- ☒ PB - 1 PDF copy + 4 paper copies ¼ scale
- ☐ ZBA - 1 PDF copy + 4 paper copies ¼ scale
- ☒ AHRB - 1 PDF copy + 2 paper copies ¼ scale

Received Stamp:





DOBBS FERRY

— NEW YORK —

Village of Dobbs Ferry Land Use Approval Application

Name of Proposed Development Winiarski Residence

Applicant:

Name Opacic Architects

Address 24 North Astor Street, Irvington, NY 10533

Telephone 914-591-4306

Email Address info@opacicarchitects.com

Plan Prepared by:

Name Opacic Architects

Address same as above

Telephone same as above

Email Address nw@opacicarchitects.com

Request for Site Plan ☒

Subdivision ☐

Special Permit ☐

Architect (Contact Information) see above

Engineer (Contact Information) Crossland Engineering, 914-419-5132

Owner (if different from Applicant)

Name 23 Seneca, LLC c/o Gregg Winiarski

Address 16 Sherman Avenue, Dobbs Ferry, NY 10522

Telephone 917-596-8367

Ownership intentions, i.e. purchase options To retain as a rental property to house elderly parent and also provide supplementary income.

Property Information

Location of site 23 Seneca Street


Tax map description:

Sheet 3.50 Block 7 Lot/Parcel 4

Current Zoning Classification OF-6

Description of Project Modify retaining wall layout to provide for one dedicated parking spot on site. Provide new curb cut as part of drive/parking spot installation. Redo concrete sidewalk in front of property.

Signature of Applicant, if Owner or Signature of Owner



Date

4-10-13

Submittal Requirements

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- ☐ BOT- 1 PDF copy + 5 paper copies ¼ scale
- ☒ PB - 1 PDF copy + 4 paper copies ¼ scale

In addition, a Short Environmental Assessment Form and Coastal Assessment Form must be submitted with each application.

Submittal Deadlines

Planning Board and Board of Trustees: All new applications must be received by the calendar marked deadline, 15 business days before the meeting. Items that were adjourned from the previous meeting must be submitted 10 business days before the meeting date.

All submissions and documents must be submitted to the Building Department.

Site Development Plan Review

Checklist

Technical Considerations:

North Arrow, Scale date

Item Satisfied

yes

Property boundary, dimensions and angles

yes

Easements and deed restrictions

n/a

Names, locations and widths of adjacent streets

n/a

Land use, zoning, ownership and physical improvement
of adjacent properties

n/a

List of Required Plans for Approval:

Survey

yes

Existing Conditions Plan with Topography

yes

Site Plan with Zoning Table

yes

Landscaping Plans

no

Tree Removal Plan

no

Lighting Plans

no

Architectural Plans

yes

Materials Specifications

yes

Erosion and Sedimentation Control Plan

no

Grading and Drainage Plan with Topography

no

Stormwater Plan

yes

Utilities Plan

no

Other Site Plan Elements:

Building & Structures	<u>yes</u>
Natural Features	<u>yes</u>
Wetlands	<u>n/a</u>
Hydrologic Features	<u>n/a</u>
Floodplains	<u>n/a</u>
Development Features	<u>n/a</u>
Vehicular and Pedestrian ways including ingress and egress	<u>yes</u>
Site Improvements such as parking, storage, and recreation areas	<u>yes</u>
Signs	<u>n/a</u>
Outdoor lighting and public address systems	<u>n/a</u>

Restoration Specifications

SIDEWALKS: In the case of sidewalks, each slab of concrete cut or damaged by the opening shall be replaced by new concrete, and no patching will be permitted.

ROADWAYS: On streets paved with blacktop or macadam, the existing pavement shall be cut back eighteen (18) inches beyond the original cut and the entire area repaved with blacktop or macadam to a depth of 2".

On streets paved with concrete or with a concrete base, the existing pavement shall be cut back twenty-four (24) inches beyond the original cut and the entire area repaved with concrete to match the existing street pavement.

Where an excavation is in a public roadway, the trench shall be filled to the level of the roadway with a 50 PSI K-crete or equivalent (cap-crete, etc.) For final restoration, the road shall be cut back as directed above, and the finished pavement shall be installed.

CURBS AND

DRIVEWAYS: Curbs shall be 16" stone or 18" concrete, with a 6" reveal. Where a curb crosses a driveway, a minimum 1 ½" reveal is required to the finished pavement

Short Environmental Assessment Form

Part 1 - Project Information

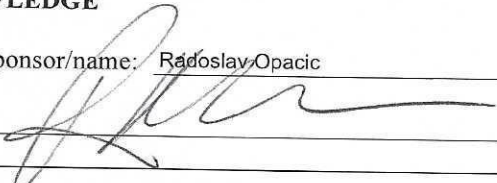
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Winiarski Residence			
Name of Action or Project:			
23 Seneca Street			
Project Location (describe, and attach a location map):			
23 Seneca Street, Dobbs Ferry, NY 10522			
Brief Description of Proposed Action:			
Modify retaining wall layout to provide for one dedicated parking spot on site. Provide new curb cut as part of drive/parking spot installation. Redo concrete sidewalk in front of the property.			
Name of Applicant or Sponsor:		Telephone: 917-596-8367	
Gregg and Brenda Winiarski		E-Mail: gregg.winiarski@gmail.com	
Address:			
16 Sherman Avenue			
City/PO:		State:	Zip Code:
Dobbs Ferry		NY	10522
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
3. a. Total acreage of the site of the proposed action?			0.1145 acres
b. Total acreage to be physically disturbed?			.005 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			0.1145 acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Radoslav Opacic</u> Date: <u>4/26/15</u> Signature: <u></u> Title: <u>Principal</u>		



DOBBS FERRY

— NEW YORK —

Village of Dobbs Ferry Building Department
Village Hall - 112 Main Street Dobbs Ferry,
New York 10522 Phone; (914) 231-8513 - Fax: 914-693-3470

LWRP CONSISTENCY REVIEW COASTAL ASSESSMENT FORM

Name of Applicant: Gregg and Brenda Winiarski

Mailing address: 16 Sherman Avenue, Dobbs Ferry, NY 10522

Telephone number: 917-596-8367

Tax Lot#: 3.120-104-9

Application number, if any: A2023-0075

A. INSTRUCTIONS (Please print or type all answers)

1. All applicants, including the Village of Dobbs Ferry and other agencies, shall complete this CAF for proposed actions subject to **Local Law# 10-05 - LWRP Consistency Law**. This assessment is intended to supplement other information used by the Dobbs Ferry Planning Board in making a determination of consistency with the Coastal Management Policies set forth in the Dobbs Ferry Local Waterfront Revitalization Program (LWRP).

2. All applicants shall complete Sections Band C of this Coastal Assessment Form. If the proposed action meets any of the criteria listed in Section C, Section D must be completed.

3. In Section D, a proposed action should be evaluated as to its potential beneficial and/or adverse effects upon the coastal area and how it may affect the achievement of the specific policy standards contained in the LWRP and the LWRP Consistency Law.

4. Once evaluated, a proposed action may need to be analyzed in more detail and, if necessary, modified prior to making a determination that it is consistent with the LWRP policy standards. If an action to be certified as consistent with the LWRP policy standards, it shall not be undertaken.

B. DESCRIPTION OF SITE AND PROPOSED ACTION

1. Type of action (check appropriate response):
 - a) Directly undertaken (e.g., capital construction, planning activity, agency regulation, land transaction) capital construction
 - b) Financial assistance (e.g., grant, loan, subsidy) _____

c) Permit, approval, license, certification permit approval

d) Party or Agency undertaking action: Property owner

2. Describe nature and extent of action: Modify retaining wall layout, sidewalk and curb to allow for new drive entrance and on site parking spot.

3. Location of action (Street or Site Description): 23 Seneca Street, Dobbs Ferry, NY

4. COASTAL ASSESSMENT CRITERIA

Please check any of the following criteria that describe the proposed action.

☐

1. The proposed action has direct contact with coastal waters, i.e., the Hudson River and/or its tributaries - Wickers Creek and the Saw Mill River.

☐

2. The proposed action utilizes coastal waters, either directly or indirectly.

☐

3. The proposed action involves natural features such as tree cover, hillsides, steep slopes, ridgelines and wetlands that either effect or are affected by coastal waters.

☐

4. The proposed action demonstrates a relationship to coastal waters. The relationship may be recreational, cultural, historic, or business.

☐

5. The proposed action has a direct visual relationship with coastal waters and their waterfronts.

If the proposed action meets any of the above criteria, Section D must be completed.

5. COASTAL ASSESSMENT

The following thirteen questions are based directly on the Coastal Management Policies set forth in Section III of the Dobbs Ferry LWRP. The preparer of this form should review these policies which are available online at www.dobbsferry.com/content/waterfront and also on file in the Village of Dobbs Ferry Clerk's office. Please answer every question and provide a brief explanation. If necessary, you may attach further explanation or refer to other available documentation relating to the proposed action.

Applicant

1. Does the proposed action foster a pattern of development in the coastal area that enhances community character, open space preservation, use of existing infrastructure, use of a coastal location?

☐ YES ☐ NO ☒ Not Applicable

2. Does the proposed action preserve historic and archaeological resources?

☐ YES ☐ NO ☒ Not Applicable

3. Does the proposed action protect existing scenic resources or enhance visual quality in the community?

☐ YES ☐ NO ☒ Not Applicable

4. Does the proposed action minimize loss of life, structures, and natural resources from flooding and erosion?

☒ YES ☐ NO ☐ Not Applicable

5. Does the proposed action protect or improve water resources?

☐ YES ☐ NO ☒ Not Applicable

6. Does the proposed action protect or restore ecological resources, including significant fish and wildlife habitats, wetlands, and rare ecological communities?

☐ YES ☐ NO ☒ Not Applicable

7. Does the proposed action protect and/or improve air quality?

☐ YES ☐ NO ☒ Not Applicable

8. Does the proposed action minimize environmental degradation from solid waste and hazardous substances and wastes?

☐ YES ☐ NO ☒ Not Applicable

9. Does the proposed action improve public access to and recreational use of public lands and waters?

☒ YES ☐ NO ☒ Not Applicable

10. Does the proposed action protect water-dependent uses, promote siting of new water-dependent uses in suitable locations, and/or support efficient harbor operation?

☒ YES ☒ NO ☒ Not Applicable

11. Does the proposed action promote the sustainable use of fish and wildlife resources?

☐ YES ☐ NO ☒ Not Applicable

12. Does the proposed action protect agricultural lands?

☐ YES ☐ NO ☒ Not Applicable

13. Does the proposed action promote appropriate use and development of energy and mineral resources?

☐ YES ☐ NO ☒ Not Applicable

E. FURTHER REMARKS OR ADDITIONAL INFORMATION:

If assistance or further information is needed to complete this form, please contact Village of Building Department.

Preparer's

Name: Natercia Walko Telephone: 914-591-4306

Title: Project manager Agency: Opacic Architects

Date

8/13/23

Consistency Determination

☒ Yes

☐ No

Date: 4/10/23



DOBBS FERRY

— NEW YORK —

Village of Dobbs Ferry

Architectural & Historical Review Board Application

Name of Proposed Project Winiarski Residence

Applicant:

Name Opacic Architects

Address 24 North Astor St.

Irvington, NY 10533

Telephone 914-591-4306

Email Address 914-591-4306

Plan Prepared by:

Name Opacic Architects

Address 24 North Astor St.

Irvington, NY 10533

Telephone 914-591-4306

Email Address nw@opacicarchitects.com

Submission for: ☒ Small Scope Project ☐ Large Scope Project ☐ Other

Small Scope Project: ☐ Facade Change ☐ Storefront
☐ Windows and Doors ☒ Fence or Wall

Large Scope Project: ☐ New Building ☐ Altered Building
☐ Accessory Building ☐ Porch or Deck

Other Projects: ☐ Sign ☐ Awning
☐ Canopy

List of Exemptions. The following applications for building permits are exempt from mandatory review by the AHRB, with the discretionary right reserved to the Building Inspector to request review and recommendation by the AHRB:

1. In-kind replacements of walls, fences, signs, canopies, and façade materials in all zoning districts.
2. New construction or installation of the following in all zoning districts outside any designated historic district: walls less than five feet, fences, signs, canopies, doors, and windows.
3. Non-permanent siting of accessory sheds under the following conditions: (a) no larger than 100 square feet; (b) no higher than 10 feet above grade at the ridge; (c) located in rear yard; and (d) painted, stained or colored to match either the body or trim color of the house.
4. Retaining walls under the following conditions: (a) no higher than five feet; and (b) constructed of natural stone or having a natural stone veneer on all visible, exposed surfaces.
5. All new basement egress windows or doors, except on the front facade, provided that such windows and doors are located more than 50% below the most adjacent grade and the style of window or door is consistent with the same facade.
6. Replacement windows or doors under the following conditions: (a) no alteration of style, size or location; (b) must be installed in existing rough openings without modification; (c) windows with currently exposed exterior muntins must be replaced with same style (Simulated Divided Lites, known as SDLs are acceptable).
7. Any Site Plan applications granted a review waiver in accordance with §300-52 (A)(2).

Date: 4/10/23

Architect (Contact Information) same as above

Engineer (Contact Information) Crossland Engineering, 914-419-5132

Owner (if different from Applicant):

If more than one owner, provide information for each:

Name 23 Seneca LLC, c/o Gregg Winiarski

Address 16 Sherman Avenue, Dobbs Ferry, NY 10522

Telephone 917-596-8367

Ownership intentions, i.e. purchase options To retain as rental property to house elderly parent and provide supplementary income.

Location of site 23 Seneca Street

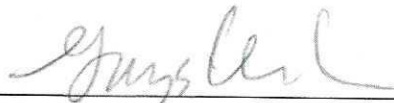
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Sheet 3.50 Block 7 Lot/Parcel 4

Current Zoning Classification OF-6

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Signature of Applicant, if Owner or Signature of Owner



Date 4-10-23

Date: 4/10/23

Submittal Requirements

Plans attached are submitted at the direction of the Building Inspector for review by the following board (check all that apply):

- ☒ PB/AHRB- 1 PDF copy + 4 paper copies ¼ scale
- ☐ BOT- 1 PDF copy + 5 paper copies ¼ scale (for AHRB applications in the following districts: Waterfront (A); Waterfront (B); Chauncey Park; Downtown; and Educational/Institutional)

Notification Requirements

1. Any applicant seeking replacement of windows and doors or installation of fences, walls less than five (5) feet, signs (not located in a historic district), and awnings (not located in a historic district), please fill out an Affidavit of Notice for Contiguous Neighbor Mailing.
2. All applications by the Architectural Review Board, requires that the applicant also has to post a notice on a sign provided by the Land Use Officer, stating that there is a pending application on the property and a telephone number to call for further information. Proof of these two notification requirements must also be submitted with this application:

- ☒ Proof of notification of the AHRB hearing to owners of properties with 200 ft of the subject property by certified mailing in the form of an affidavit as per §300-18F.
- ☒ Photo of subject property showing "Under AHRB Review" sign as per §300-28-G.

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All documents must be submitted to the Building Department.

Date: 4/10/23

Architectural & Historical Review Board Application Checklist

Requirements for all Large Scope and Small Scope:

- ☒ Detailed design/construction drawings of both existing and proposed conditions
- ☒ Material, finish and color schedule on submitted plans
- ☐ Specification sheet for each new light fixture
- ☐ Specification sheets for each new window, door, fence, etc.
- ☐ Sections through typical trim at a scale to clearly show profile, trims, corners, and their sizes if applicable
- ☐ Provide a note on the plan indicating that all exterior lighting shall comply with §300-41
- ☒ Photos of all affected sides of existing structure (not required for new buildings)
- ☒ Site location plan indicating proposed building site and all relevant buildings as noted in section: Appendix D: A-3 (not required for 1st story porch/deck)

Additional Requirements for all New Buildings or Additions:

- ☐ Sections through important elevations
- ☐ Scaled streetscape drawing
- ☐ Diagram of Sky Exposure Plane envelope as per section §300-17(4)F and defined in §300-14
- ☐ Photos of streetscape

Requirements for Other Projects:

- ☐ Clear color photos of existing streetscape (Must include 2 stores to the left/right of the proposed site and five stores directly across the street).
- ☐ Proposed method of attachment to the building.
- ☐ Building elevations and/or photo simulations showing the location of all proposed signs, awnings, canopies, proposed lighting and existing signs.
- ☐ Provide height and width dimensions of the storefront, ground plane location, and the height of new work above the ground plane.
- ☐ Proposed location of freestanding sign on the site plan, including landscaping and lighting (Only required for freestanding sign).