

WINIARSKI RESIDENCE

23 SENECA STREET
DOBBS FERRY, NY. 10522

ARCHITECT
OPACIC ARCHITECTS
24 NORTH ASTOR
IRVINGTON, NY 10533
TEL: 914-591-4306 FAX: 914-591-4308

SYMBOLS:

ARCHITECTURAL

- DRAWING TITLE SCALE
- ELEVATION
- SECTION/ELEVATION
- DETAIL SECTION
- FOUR INTERIOR ELEVATIONS
- SHIFT IN SECTION OR ELEVATION
- CENTER LINE
- WALL TYPE
- DOOR TYPE
- WINDOW TYPE
- REVISION

DEMOLITION LEGEND:

- EXISTING WALL TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING FLOORING TO BE REMOVED
- COMPLETE EXISTING AREA TO BE REMOVED
- EXISTING ROOFING TO BE REMOVED (SHEATHING TO REMAIN)

CONSTRUCTION LEGEND

- EXISTING WALL TO REMAIN (SEE FINISH SCHEDULE)
- PROPOSED WALL
- EXISTING WINDOW TO REMAIN
- PROPOSED WINDOW
- EXISTING DOOR TO REMAIN OR TO BE RELOCATED
- PROPOSED DOOR
- PROPOSED HEAD ABOVE
- PROPOSED SOFFIT LINE ABOVE

DESIGN REQUIREMENTS:

DESIGN REQUIREMENTS FOR THE RESIDENTIAL CODE OF NEW YORK VILLAGE OF DOBBS FERRY CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
SUBJECT TO DAMAGE FROM									
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING CONCRETE	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
45 PSF	100-110	C	SEVERE	42"	MODERATE/HEAVY	SLIGHT/MODERATE	7 DEGREES F	YES	NO
									AIR FREEZING INDEX
									618

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BUILDING CODE CRITERIA

CONSTRUCTION TYPE: TYPE 5B (FRAME CONSTRUCTION)
OCCUPANCY: GROUP A1 (ONE FAMILY DWELLING)
FIRE RESISTANCE: FLOOR: 3/4 HOUR
ROOF STRUCTURE: COMBUSTIBLE
OTHER STRUCTURAL ELEMENTS: 3/4 HOUR
DESIGN LOADS: ROOF: DEAD: 15PSF LIVE: 30PSF TOTAL: 45PSF
FLOOR: DEAD: 20PSF LIVE: 40PSF TOTAL: 60PSF
ATTIC: DEAD: 20PSF LIVE: 30PSF TOTAL: 50PSF
DECK: DEAD: 15PSF LIVE: 60PSF TOTAL: 75PSF
STAIRS: DEAD: 15PSF LIVE: 75PSF TOTAL: 75PSF

SOIL BEARING CAPACITY SHALL BE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF THE STATE OF NEW YORK

ZONING INFORMATION:

SITE LOCATION AND ZONING MAP



PROPERTY AND ZONING INFORMATION

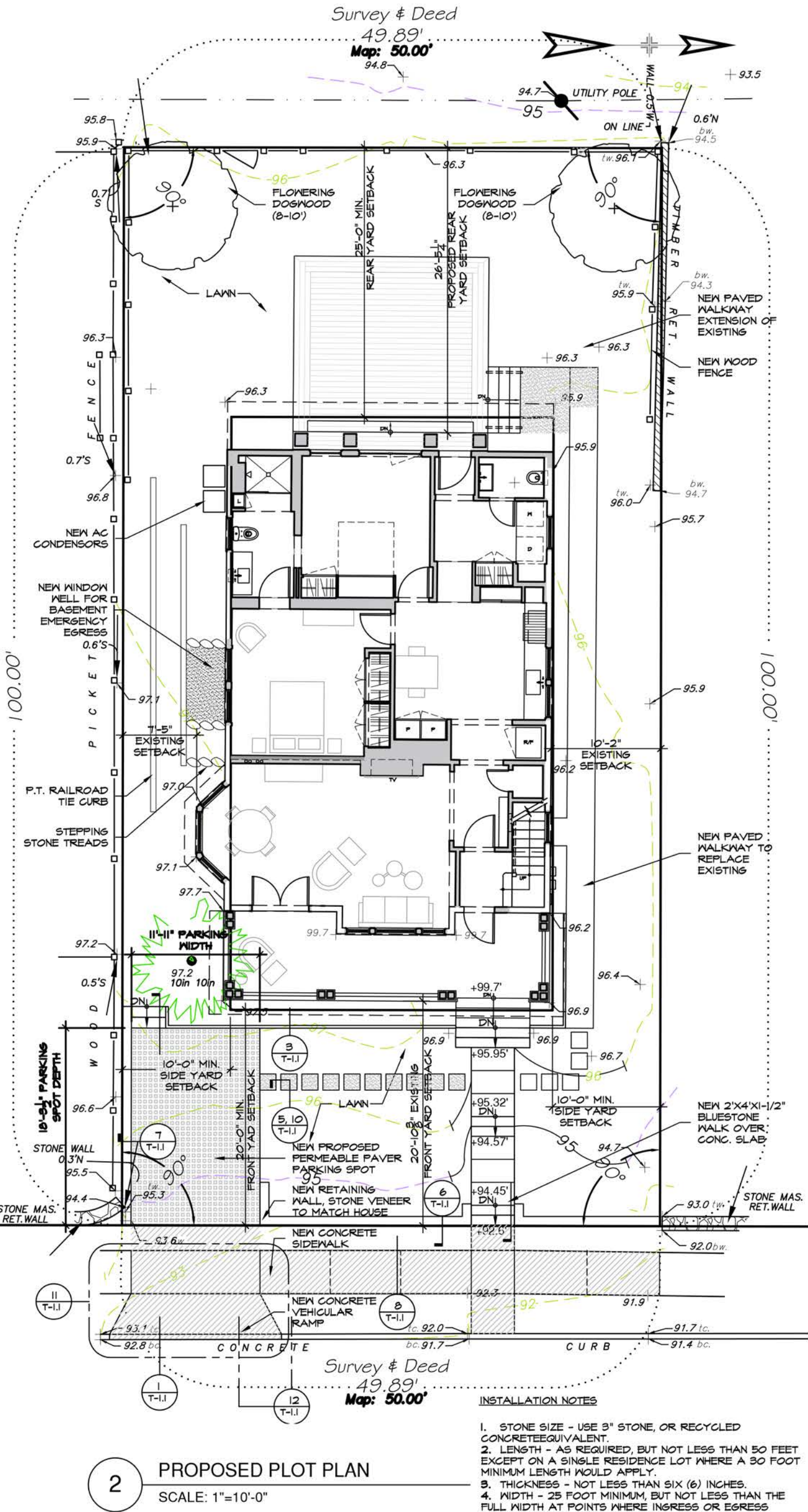
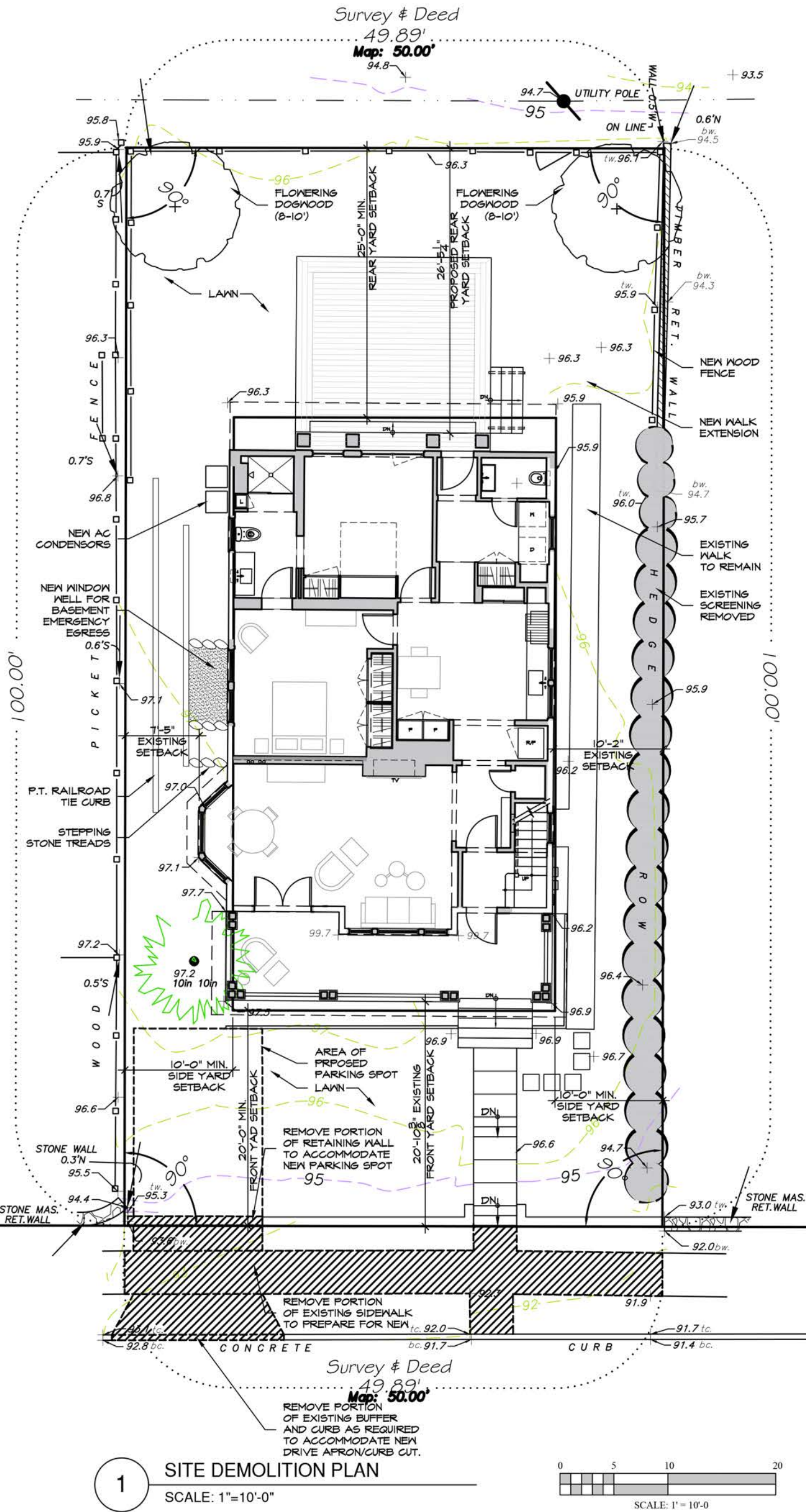
PROPERTY INFORMATION TABLE			
MUNICIPALITY	VILLAGE OF DOBBS FERRY, WESTCHESTER COUNTY, NEW YORK		
ADDRESS	23 SENECA STREET, DOBBS FERRY, NEW YORK 10522		
TAX ID #	SHEET: 3.50, BLOCK 7, LOT 4		
OWNER	MR. AND MRS. WINIARSKI, 16 SHERMAN AVE., DOBBS FERRY, NY 10522		
APPLICANT	MR. AND MRS. WINIARSKI, 16 SHERMAN AVE., DOBBS FERRY, NY 10522		
DISTRICT	OF-6 RESIDENCE DISTRICT		
SCHEDULE OF ZONING DISTRICT REGULATIONS			
REGULATION ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
USE	ONE FAMILY RESIDENCE	TWO FAMILY	TWO FAMILY
MIN. LOT AREA	5,000 SF	4,989 SF	SAME
MIN. LOT WIDTH	50 FT.	49.89 FT.	SAME
MIN. LOT DEPTH	100 FT.	100 FT.	SAME
	20 FT.	20.7 FT.	SAME
MIN. SIDE YARD	10 FT.	7.4 / 10.0 FT.	SAME
MIN. TWO SIDE YARDS	20 FT.	17.4 FT.	SAME
MIN. REAR YARD	25 FT.	23.7 FT.	26.4 FT.
MAX. BLDG. COVERAGE	27% OF LOT AREA(1,347.03 SF)	30.2% (1,508.56 SF)	31.4% (1,567.46 SF)
MAX. LOT COVERAGE	54% OF LOT AREA(2,694.06 SF)	33.0% (1,646.75 SF)	37.6% (1,874.78 SF)
MAX. EAVE HEIGHT	22 FT. (DEFAULT)	±19.58 FT. (EXISTING)	±19.58 FT. (EXISTING)
MAX. RIDGE HEIGHT	28 FT. (DEFAULT)	±30.0 FT. (EXISTING)	±30.0 FT. (EXISTING)
MAX. BUILDING HEIGHT	2 1/2 STORIES	2 1/2 STORIES/29.7 FT.	2 1/2 STORIES/25.0 FT.

04-13-23
03-10-23
ISSUED FOR PB/AHRB APPROVAL
ISSUED FOR BUILDING PERMIT



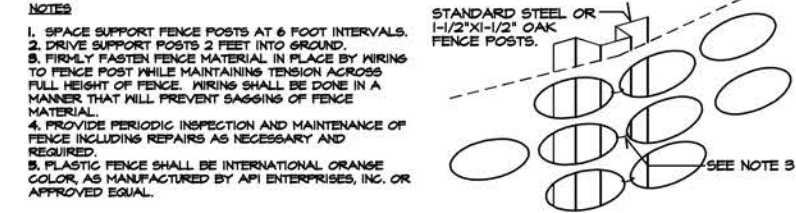
Drawing Title
TITLE SHEET

Scale Job no. Issue Date Drawing no.
AS NOTED 2103 03-10-23
Drawn By NW Checked By Approved By
T-1.0



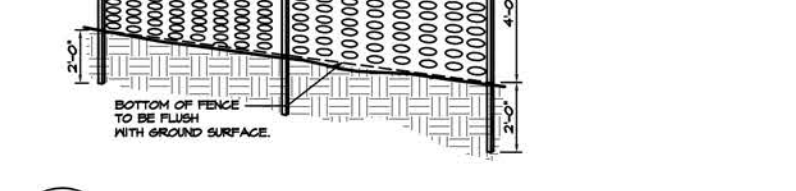
NOTES:
THE INFORMATION SHOWN ON THE PLOT PLAN WAS TAKEN FROM A SURVEY PREPARED BY LINK LAND SURVEYORS, P.C., MAHOPAC, NY AND DATED SEPT. 29, 2021 AND IS SHOWN FOR REFERENCE ONLY. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY INFORMATION SHOWN.

ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 300-41 OF THE VILLAGE OF DOBBS FERRY BUILDING CODE.



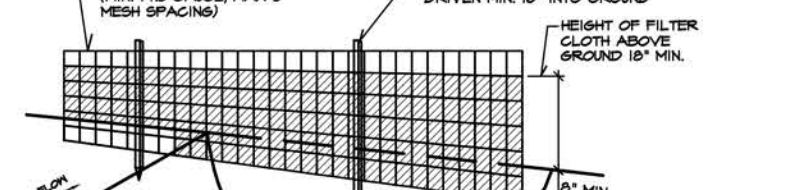
3 RUNNING TREE FENCE PROTECTION

SCALE: NTS



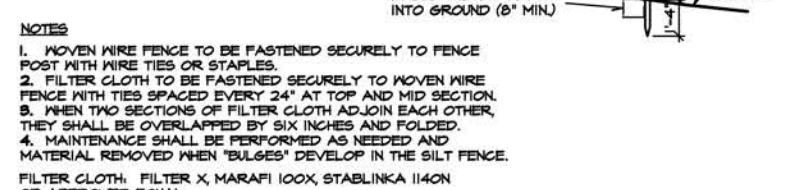
4 RUNNING TREE FENCE PROTECTION

SCALE: NTS



5 HAY BALE DETAIL

SCALE: NTS



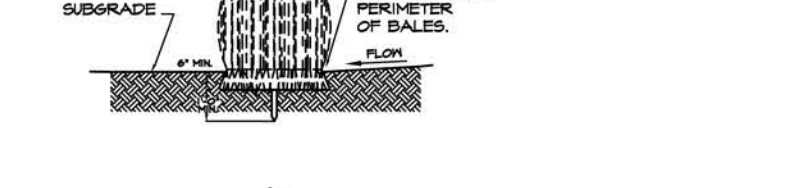
6 TREE GROUPING FENCE PROTECTION

SCALE: NTS



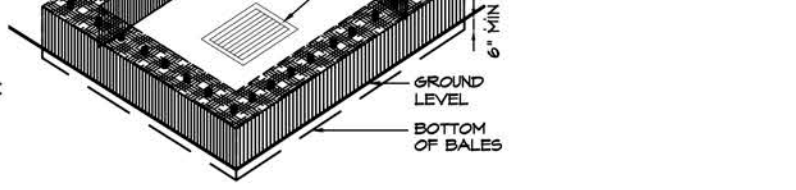
7 SITE STABILIZATION

SCALE: NTS



8 SOIL STOCKPILING

SCALE: NTS



9 PROPOSED FENCE - WALPOLE

SCALE: NTS



10 PROPOSED FENCE - CEDAR

SCALE: NTS

