

Paul J. Petretti
Civil Engineer & Land Surveyor
Certified Wetland Delineator

CIVIL ENGINEERING - LAND SURVEYING & MAPPING - SITE DESIGN & PLANNING
ENVIRONMENTAL & GEOTECHNICAL - DRAINAGE & STORMWATER QUALITY
EROSION & SEDIMENT CONTROL STORMWATER POLLUTION PREVENTION PLANS

VILLAGE OF DOBBS FERRY

March 16, 2023

Planning Board

Village Hall

112 Main Street

Dobbs Ferry, NY 10522

SITE IMPROVEMENT LEVEL REAR YARD

Attention: Mr. Stephen Hunter, Chairman Planning Board

Re: Michael & Julie Civale, 25 Osceola Avenue, Dobbs Ferry, NY

Application "SITE IMPROVEMENT LEVEL REAR YARD".

Dear Mr. Hunter and Planning Board:

I represent Michael and Julie Civale ("the Applicants") the owner of property located at 25 Osceola Avenue. The Applicants have submitted plans entitled "SITE IMPROVEMENT LEVEL REAR YARD".

I am the Engineer of Record for the application and Michael and Julie Civale have retained a Landscape Architect Daniel Sherman to address landscape issues and plantings.

The Applicants would like to fill part of the existing side and rear yard. There is a drop off in grade at one location in the proposed fill area that falls away abruptly which represents a safety issue. There is an abrupt change in grade of ten feet and in this area there are visible ledge rock outcrops – see attached photo and a portion of the plan marked steep drop off. There are two walls proposed Wall-1 and Wall-2, in one section Wall-1 and Wall-2 are tiered walls separated by 6.67 feet. The retaining walls are segmental retaining walls commonly referred to as architectural block walls, the plans show similar wall system I have designed. There will also be a low garden area below Wall-2 accessible by a stairway.

The retaining wall system will require a variance from Section 300-42 Fences and walls, Section B (2). Residential districts. In the residential districts, fences and walls shall not exceed a height of four feet in front yards and six feet in the side and rear yards. Any fence installed in the front yard shall be of no greater than sixty-percent opacity (that is, it shall obscure no more than 60% of the view into the land).

Wall-2 starting in the side yard at Station 0+00 meets the existing grade and at station 0+75 the height of the Wall-2 is 9.33 feet. From Station 0+75 the existing grade at the base of the rises and the wall height at the intersection of Wall-2 and Wall-1 at Station 1+32 is 5.00 feet. At the intersection of Wall-2 and Wall-1 the wall system is tiered with the difference in height from Wall-1 to Wall-2 of 6.0 feet.

Wall-2 continues to its end at Station 3+32.7 with the with the difference in height from Wall-1 to Wall-2 of 6.0 feet.

Wall-1 begins at the intersection of Wall-2 and Wall-1 at a height of 2.0 feet with the height of the wall increasing to 10.67 feet at Station 0+55 at the corner of Wall-1. As Wall-1 continues the height of Wall-1 varies from 10.67 feet to eight feet and at Station 1+55 the corner of Wall-1 the height of the wall is 6.83 feet. As Wall-1 continues to the end at Station 1+95.5 the height of the wall varies from 6.83 feet to 0.0 feet.

Wall-3 is a wall system that supports the steps down to proposed garden area. The walls containing the steps will not exceed 6.0 feet in height.

We are submitting the following items:

1. Land Use Approval Application
1. Site development Plan Review checklist
2. Coastal Assessment Form
3. A Short Form EAF.
4. Project plans entitled "SITE IMPROVEMENT PLAN LEVEL REAR YARD".
 - Sheet 01/09 SITE PLAN of RETAINING WALL
 - Sheet 02/09 PLAN VIEW OF RETAINING WALL
 - Sheet 03/09 GARDEN WALKWAY & WALL
 - Sheet 04/09 PROFILE WALL 1
 - Sheet 05/09 PROFILE WALL 2
 - Sheet 06/09 RETAINING WALL SECTIONS
 - Sheet 07/09 RETAINING WALL SECTIONS
 - Sheet 08/09 NOES, SECTIONS& DETAILS
 - Sheet 09/09 TENSAR MSE WALL, NOTES, SECTIONS & DETAILS
5. Daniel Sherman Landscape Architect plans
 - P-1 Planting Plan
 - P-2 View Renderings of Proposed Walls and Plantings

The application before is my best effort to design an efficient wall system to level the rear yard. You could possibly design a third lower tier which would greatly complicate the design of a wall system to level the rear yard.

We made an application to the Zoning Board of Appeal to seek variances for retaining walls over six feet. We appreciate the opportunity to appear before the Planning Board.

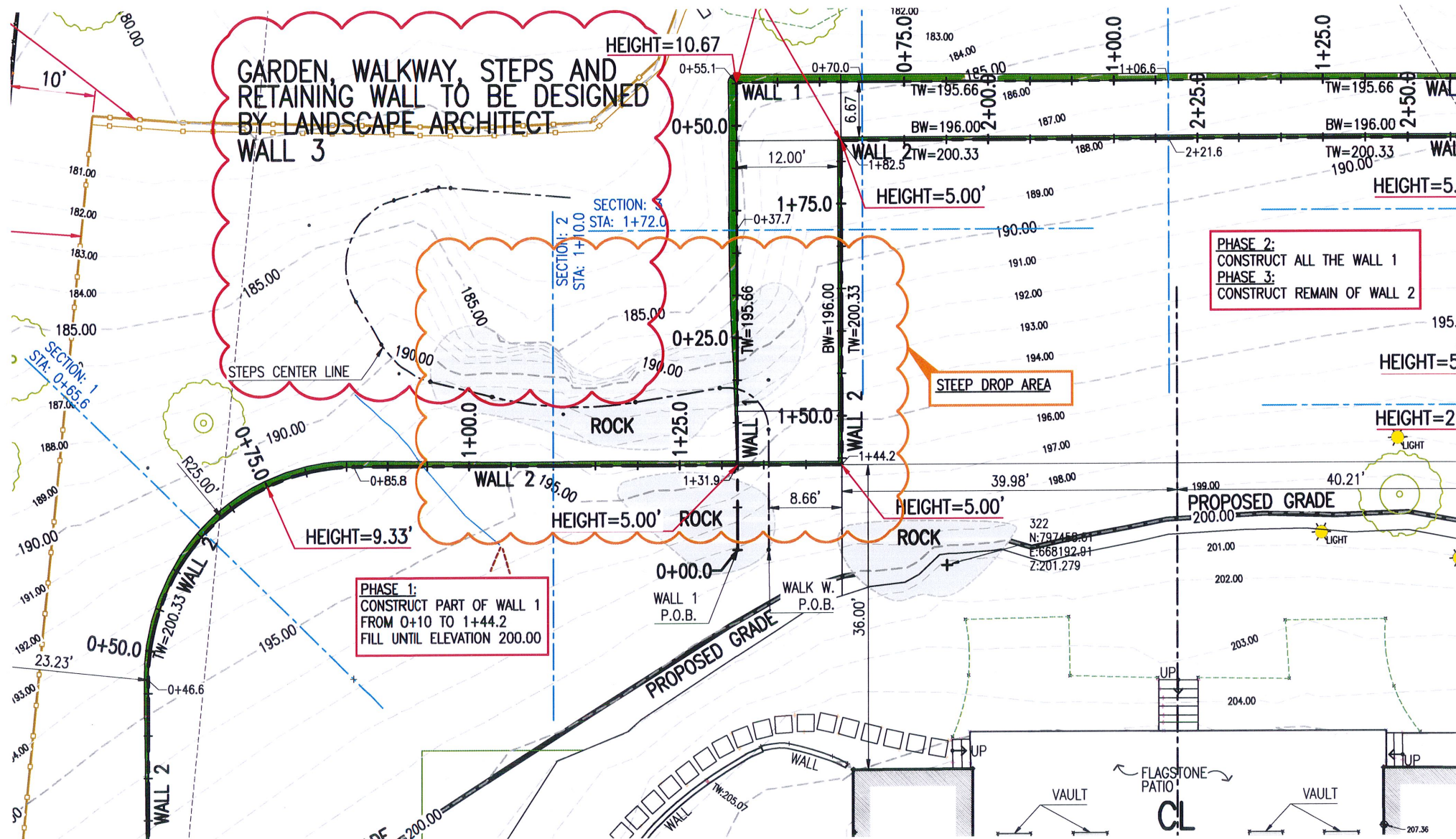
Sincerely,



Paul J. Petretti, P.E., L.S.

cc: Y:\My Documents\VOD_Projects\25 Osceola.doc







DOBBS FERRY

— NEW YORK —

Village of Dobbs Ferry

Land Use Approval Application

Name of Proposed Development SITE IMPROVEMENT LEVEL REAR YARD Prepared For Michael & Julie Civalè

Applicant:

Name Michael & Julie Civalè

Address 25 Oseloa Avenue, Dobbs Ferry, New York

Telephone 917-282-6555

Email Address Michael.Civalè@skadden.com

Plan Prepared by:

Name Paul J. Petretti, Civil Engineer & Land Surveyor

Address 30 Gould Avenue, Dobbs Ferry, New York

Telephone 914-672-1518 & 914-610-9599

Email Address PJPCELS@aol.com

Request for Site Plan ☒

Subdivision ☐

Special Permit ☐

Architect (Contact Information) Dan Sherman, Landscape Architect

Engineer (Contact Information) 914-824-0999

Owner (if different from Applicant)

Name _____

Address _____

Telephone _____

Ownership intentions, i.e. purchase options _____

Property Information

Location of site 25 Osceola Avenue, Dobbs Ferry

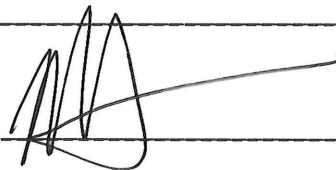
Tax map description:

Sheet 3.50 Block 12 Lot/Parcel 2.10

Current Zoning Classification OF-2

Description of Project This is an application to level the side and rear yards
of a single-family lot by way of constructing tiered retaining walls to provide
provide an area for family use and enjoyment.

Signature of Applicant, if Owner or Signature of Owner



Date March 27, 2023

4/6

Submittal Requirements

Plans attached are submitted at the direction of the Building Inspector for review by the following board (check all that apply):

- ☐ BOT- 1 PDF copy + 5 paper copies ¼ scale
- ☒ PB - 1 PDF copy + 4 paper copies ¼ scale

In addition, a Short Environmental Assessment Form and Coastal Assessment Form must be submitted with each application.

Submittal Deadlines

Planning Board and Board of Trustees: All new applications must be received by the calendar marked deadline, 15 business days before the meeting. Items that were adjourned from the previous meeting must be submitted 10 business days before the meeting date.

All submissions and documents must be submitted to the Building Department.

Site Development Plan Review

Checklist

Technical Considerations:

North Arrow, Scale date

Property boundary, dimensions and angles

Easements and deed restrictions

Names, locations and widths of adjacent streets

Land use, zoning, ownership and physical improvement of adjacent properties

Item Satisfied

X

X

N/A

X

N/A

List of Required Plans for Approval:

Survey

Existing Conditions Plan with Topography

Site Plan with Zoning Table

Landscaping Plans

Tree Removal Plan

Lighting Plans

Architectural Plans

Materials Specifications

Erosion and Sedimentation Control Plan

Grading and Drainage Plan with Topography

Stormwater Plan

Utilities Plan

X

X

N/A

X

X

N/A

N/A

X

X

X

X

N/A

Other Site Plan Elements:

Building & Structures	N/A
Natural Features	X
Wetlands	N/A
Hydrologic Features	X
Floodplains	N/A
Development Features	X
Vehicular and Pedestrian ways including ingress and egress	N/A
Site Improvements such as parking, storage, and recreation areas	N/A
Signs	N/A
Outdoor lighting and public address systems	N/A

Restoration Specifications

SIDEWALKS: In the case of sidewalks, each slab of concrete cut or damaged by the opening shall be replaced by new concrete, and no patching will be permitted.

ROADWAYS: On streets paved with blacktop or macadam, the existing pavement shall be cut back eighteen (18) inches beyond the original cut and the entire area repaved with blacktop or macadam to a depth of 2".

On streets paved with concrete or with a concrete base, the existing pavement shall be cut back twenty-four (24) inches beyond the original cut and the entire area repaved with concrete to match the existing street pavement.

Where an excavation is in a public roadway, the trench shall be filled to the level of the roadway with a 50 PSI K-crete or equivalent (cap-crete, etc.) For final restoration, the road shall be cut back as directed above, and the finished pavement shall be installed.

CURBS AND

DRIVEWAYS: Curbs shall be 16" stone or 18" concrete, with a 6" reveal. Where a curb crosses a driveway, a minimum 1 ½" reveal is required to the finished pavement

Standards for Building Permit

The items listed below should be reviewed by the applicant's design professional to aid in providing a complete submission.

SITE PLAN INFORMATION

1. ☒ 24" x 36" maximum drawing size
2. ☒ Minimum scale: (1" = 30')
3. ☒ Project Name
4. ☒ Name and address of engineer and surveyor
5. ☒ Name and address of owner of record and applicant
6. ☒ Drawings signed and sealed by P.E. or R.A.
7. ☒ Original drawing date & revision dates
8. ☒ Tax map section and lot numbers
9. ☒ Location plan with existing and adjacent zoning district
10. ☒ Scale, north arrow, date of survey, property acreage, drawings numbered (i.e., 1 of 3, etc.)
11. ☐ Minimum yard setbacks
12. ☐ Provide bulk zoning table with all existing, proposed, and required conditions
13. ☒ Estimated quantity of cut or fill to be imported or removed from site
14. ☒ Topography at two feet maximum intervals
15. ☒ Topography along streets adjacent to property
16. ☒ Existing conditions.
17. ☒ Total amount of site area disturbed

DRAINAGE

1. ☒ Collect and convey driveway runoff.
2. ☒ Roof drains to discharge to existing or proposed drainage system.
3. ☒ Surface inlets provided where low points cannot be graded to drain
4. ☒ Swale provided between buildings and embankment which slopes toward building
5. ☐ Culverts provided where roads or driveways cross watercourses
6. ☐ Catch basin spacing adequate
7. ☒ All rim and invert elevations provided
8. ☒ 2 feet minimum cover of storm drains in roads, driveways, and parking areas. 18 inch minimum elsewhere
9. ☒ Drywells provided with emergency overflow outlet pipes to grade. Multiple drywell systems should be connected by equalization pipes with rim and invert elevations posted
10. ☐ Minimum storm drain pipe size 15" diameter
11. ☐ Headwalls or end sections provided at pipe inlets and outlets
12. ☐ Rip-rap provided at headwalls and end sections
13. ☐ Provide cross section for pond or detention facility

SITE INGRESS/EGRESS

1. ☐ Adequate sight distance at driveway intersection with road
2. ☐ Site accessible to fire trucks, emergency vehicles, tractor-trailers for fill deliveries, etc.
3. ☐ Backup space for parking area
4. ☐ Driveways intersecting existing road at 90 degrees

SITE GRADING

1. ☒ All proposed grading on property. Show limit line of disturbance.
2. ☐ Driveway platform sloped at 4% maximum within 25 feet of centerline of street or within 35 feet from the Right-of-Way, whichever is the greater distance.
3. ☐ Driveway slope 14% maximum.
4. ☐ Parking area 5% maximum.
5. ☐ Paved areas 1 % minimum grade at curb line.
6. ☐ Lawn area 2% minimum.
7. ☒ Top and bottom of retaining wall elevations provided.
8. ☐ Outside grade pitched away from residence.
9. ☐ Guide rail provided at steep drop offs.
10. ☐ Spot elevations at comers of residence and parking area where necessary to ensure positive drainage.
11. ☒ Finished floor elevations provided including basement.
12. ☐ Plans and calculations for walls ≥ 4 feet Signed & Sealed by P.E., R.A.
13. ☐ Provide profiles of proposed roads with vertical geometry.
14. ☐ Provide horizontal geometry.

GENERAL

1. ☒ Show existing and proposed utilities (water, sewer, etc.)
2. ☐ Show snow piling areas.
3. ☐ Show refuse areas with enclosures
4. ☐ Show zoning map with districts (school, fire, etc.)
5. ☐ Show signage.
6. ☐ Show landscaping.
7. ☒ Provide sections and details of retaining walls
8. ☐ Provide phasing plan for areas over 5 acres.
9. ☐ Provide lighting plan.
10. ☐ Maintain low noise level at property line.
11. ☐ ADA compliance

MISCELLANEOUS ITEMS

1. Proposed easements
 - a. ☐ Temporary construction
 - b. ☐ Drainage
 - c. ☐ Sight
 - d. ☐ Slope
 - e. ☐ Driveway access
2. ☐ Existing sanitary disposal system in the vicinity of construction activity protected with temporary fencing.

SITE PLAN NOTES

1. General construction notes.
2. Construction Sequence shown on plans.
3. The following notes shall be provided on the plans:
 - Should rock blasting be required, a permit application in accordance with Chapter 125 - Blasting and Explosives of the Village of Dobbs Ferry Code must be submitted to the Village by the applicant for review/approval.
 - The Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.
 - Built plans of the proposed driveway and drainage improvements shall be submitted to the Village Engineer for review prior to issuance of Certificate of Occupancy.
 - Fill material imported to the site shall be certified in writing by a New York Licensed Professional Engineer as clean, non-contaminated fill suitable for the intended use.
 - "Before the site plan is signed by the Chairman of the Planning Board, the applicant shall be required to post a performance bond or other type of acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney".

The following notes shall be provided on plans that involve SWPPP's:

- The applicant shall notify the Building Department Village's Consulting Engineer in writing at least 48 hours before any of the following so that any inspection may be performed.
 1. ☒ Start of construction
 2. ☒ Installation of sediment and erosion control measures.
 3. ☒ Completion of site clearing.
 4. ☒ Completion of rough grading.
 5. ☒ Installation of SMP's.
 6. ☒ Completion of final grading and stabilization of disturbed areas.
 7. ☒ Closure of construction.

8. ☒ Completion of final landscaping; and
9. ☒ Successful establishment of landscaping in public areas.

- "The owner or operator shall have a qualified inspector inspect and document the effectiveness of all erosion and sedimentation control practices and prepare inspection reports at least once a month. These reports must be kept on site and available for review".

Short Environmental Assessment Form

Part 1 - Project Information

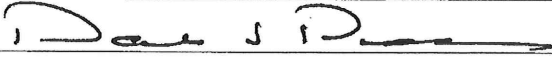
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information							
Michael & Julie Civale, Sponsor Paul J. Petretti, Civil Engineer & Land Surveyor							
Name of Action or Project: SITE IMPROVEMENT LEVEL REAR YARD Prepared For Michael & Julie Civale							
Project Location (describe, and attach a location map): 25 Osceola Avenue, Dobbs Ferry, New York							
Brief Description of Proposed Action: This is an application to level the rear yard of a single-family lot by way of constructing tiered retaining walls to provide an area for family use and recreation.							
Name of Applicant or Sponsor: Paul J. Petretti, Civil Engineer & Land Surveyor		Telephone: 914-672-1518					
		E-Mail: PJPCELS@aol.com					
Address: 30 Gould Avenue							
City/PO: Dobbs Ferry		State: New York	Zip Code: 10522				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Permit Village of Dobbs Ferry Building Department			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3. a. Total acreage of the site of the proposed action?		1.72190 acres					
b. Total acreage to be physically disturbed?		0.53 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.7219 acres					
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland							

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<hr/> <hr/>		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<hr/> <hr/>		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<hr/> <hr/>		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Paul J. Petretti, P.E., L.S.</u> Date: <u>March 15, 2023</u>		
Signature: <u></u> Title: <u>Civil Engineer & Land Surveyor</u>		

PRINT FORM

VILLAGE OF DOBBS FERRY - LWRP CONSISTENCY REVIEW

COASTAL ASSESSMENT FORM (CAF)

Name of applicant: Julie & Michael Civale

Mailing address: 25 Osceola Avenue

Telephone number: Sponsor Paul J. Petretti , Civil Engineer & Land Surveyor

Tax Lot # 2.10-12-3.50

Application number, if any: _____

A. INSTRUCTIONS (Please print or type all answers)

1. All applicants, including the Village of Dobbs Ferry and other agencies, shall complete this CAF for proposed actions subject to **Local Law # 10-05 - LWRP Consistency Law**. This assessment is intended to supplement other information used by the Dobbs Ferry Planning Board in making a determination of consistency with the Coastal Management Policies set forth in the Dobbs Ferry Local Waterfront Revitalization Program (LWRP).
2. All applicants shall complete Sections B and C of this Coastal Assessment Form. If the proposed action meets any of the criteria listed in Section C, Section D must be completed.
3. In Section D, a proposed action should be evaluated as to its potential beneficial and/or adverse effects upon the coastal area and how it may affect the achievement of the specific policy standards contained in the LWRP and the LWRP Consistency Law.
4. Once evaluated, a proposed action may need to be analyzed in more detail and, if necessary, modified prior to making a determination that it is consistent with the LWRP policy standards. If an action cannot be certified as consistent with the LWRP policy standards, it shall not be undertaken.

B. DESCRIPTION OF SITE AND PROPOSED ACTION

1. Type of action (check appropriate response):

- (a) Directly undertaken (e.g. capital construction, planning activity, agency regulation, land transaction) _____
- (b) Financial assistance (e.g. grant, loan, subsidy) _____
- (c) Permit, approval, license, certification. **A Building permit and Site Plan Application**
- (d) Party or Agency undertaking action: **Applicants Julie & Michael Civale**

2. Describe nature and extent of action: **An application to level the rear yard of a residential lot to provide recreational areas. The rear yard of the property is steep and there is one significant drop off in the land, 8 – 10 feet that is not safe.**

3. Location of action (Street or Site Description) : 25 Osceola Avenue

C. COASTAL ASSESSMENT CRITERIA

Please check any of the following criteria that describe the proposed action.

- ☐ 1. The proposed action has direct contact with coastal waters, i.e. the Hudson River and/or its tributaries - Wickers Creek and the Saw Mill River.
- ☐ 2. The proposed action utilizes coastal waters, either directly or indirectly.
- ☐ 3. The proposed action involves natural features such as tree cover, hillsides, steep slopes, ridgelines and wetlands that either effect or are affected by coastal waters.
- ☐ 4. The proposed action demonstrates a relationship to coastal waters. The relationship may be recreational, cultural, historic, or business.
- ☐ 5. The proposed action has a direct visual relationship with coastal waters and their waterfronts.

If the proposed action meets any of the above criteria, Section D must be completed.

D. COASTAL ASSESSMENT

The following thirteen questions are based directly on the Coastal Management Policies set forth in Section III of the Dobbs Ferry LWRP. The preparer of this form should review these policies which are available online at www.dobbsferry.com/content/waterfront and also on file in the Village of Dobbs Ferry Clerk's office. Please answer every question and provide a brief explanation. If necessary, you may attach further explanation or refer to other available documentation relating to the proposed action.

Applicant

1. Does the proposed action foster a pattern of development in the coastal area that enhances community character, open space preservation, use of existing infrastructure, use of a coastal location?

☐ YES ☐ NO ☒ Not Applicable

2. Does the proposed action preserve historic and archaeological resources?

☐ YES ☐ NO ☒ Not Applicable

3. Does the proposed action protect existing scenic resources or enhance visual quality in the community?

☐ YES ☐ NO ☒ Not Applicable

4. Does the proposed action minimize loss of life, structures, and natural resources from flooding and erosion?

☐ YES ☐ NO ☒ Not Applicable

5. Does the proposed action protect or improve water resources?

☐ YES ☐ NO ☒ Not Applicable

6. Does the proposed action protect or restore ecological resources, including significant fish and wildlife habitats, wetlands, and rare ecological communities?

☐ YES ☐ NO ☒ Not Applicable

7. Does the proposed action protect and/or improve air quality?

☐ YES ☐ NO ☒ Not Applicable

8. Does the proposed action minimize environmental degradation from solid waste and hazardous substances and wastes?

☐ YES ☐ NO ☒ Not Applicable

9. Does the proposed action improve public access to and recreational use of public lands and waters?

☐ YES ☐ NO ☒ Not Applicable

10. Does the proposed action protect water-dependent uses, promote siting of new water-dependent uses in suitable locations, and/or support efficient harbor operation?

☐ YES ☐ NO ☒ Not Applicable

11. Does the proposed action promote the sustainable use of fish and wildlife resources?

☐ YES ☐ NO ☒ Not Applicable

12. Does the proposed action protect agricultural lands?

☐ YES ☐ NO ☒ Not Applicable

13. Does the proposed action promote appropriate use and development of energy and mineral resources?

☐ YES ☐ NO ☒ Not Applicable

E. FURTHER REMARKS OR ADDITIONAL INFORMATION:

If assistance or further information is needed to complete this form, please contact Village of Building Department.

Preparer's

Name: Paul J. Petretti, P.E., L.S. Telephone: 914-610-9599

Title: Consulting Engineer Agency: _____ Date 3/16/23

Consistency Determination

☐ Yes

☐ No