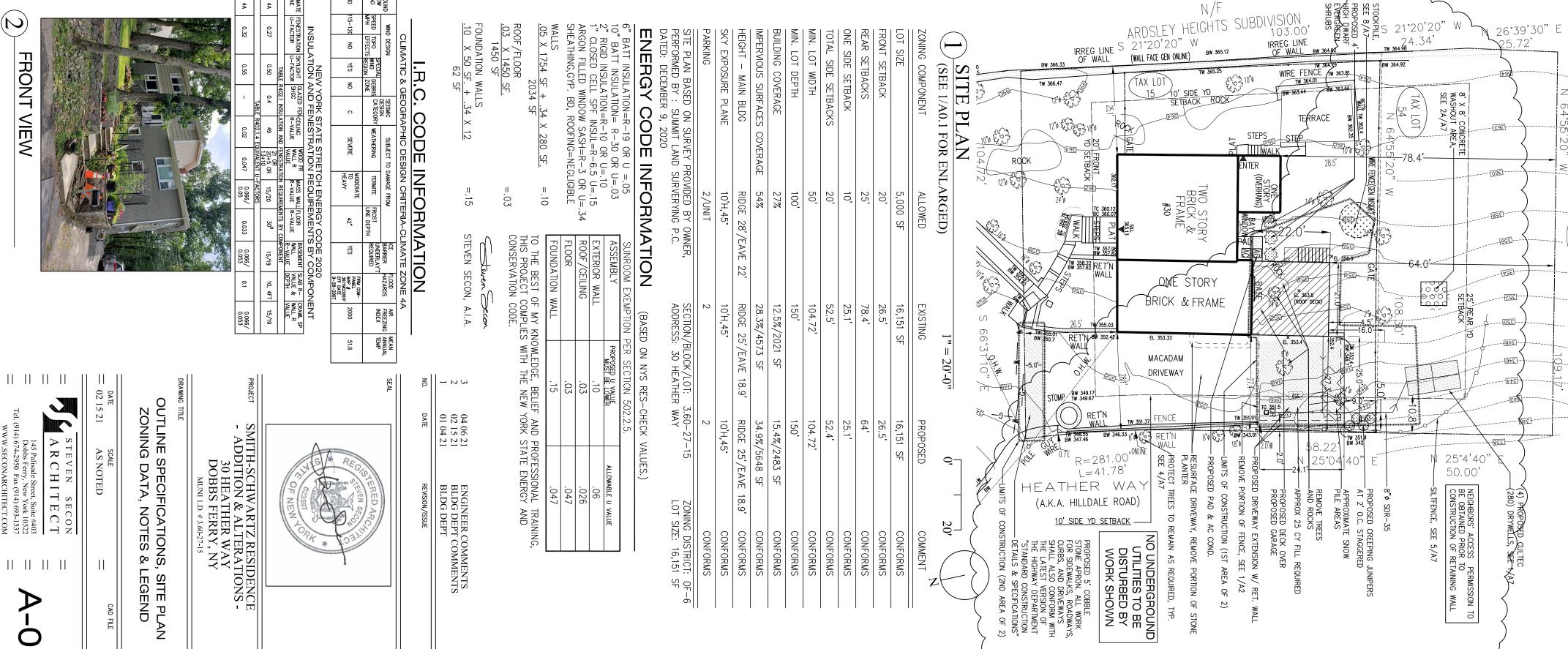
| | A-6. PROPOSED SECTION A-7. SCHEDULES AND DETAILS A-8. PROPOSED ELECTRICAL PLANS | | | | | | |
|--|---|--|--|--|---|-----------------------------|---------|
| | PROPOSED NORTH AND PROPOSED SOUTH AND ELEVATIONS | | | STANDARDS. PAVING MIXTURE ASTM D351—5. AMBIENT TEMPERATURE TO BE ABOVE 407-WHEN LAYING ASPHALT COURSES. PROVIDE BELGIAN BLOCK CURB SET IN FULL 6" MORTAR BED, TOOLED JOINTS. PROVIDE OPEN JOINTS WHERE NEEDED FOR DRAINAGE. DEPRESS CURB AT WALKWAYS. DRIVEWAYS SHALL BE MINIMUM OF 1" HIGHER THAN STREET LEVEL WITH THICKENED APRON. | | | ō |
| | A-1. EX FL PLANS & ELEVATIONS A-2. PROPOSED BSMNT FL PLAN A-3. PROPOSED FIRST FLOOR PLAN | | E | ONE FOOT VERTICAL 18. ASPHALT DRIVEWAY TO BE BUILT OF 1 1/2" WEARING COURSE ON 1 1/2" BINDER COURSE ON 4" COMPACTED GRAVEL PER NATIONAL ASPHALT PAVEMENT ASSOCIATION | (RETURN), WHITE | | 10 |
| Y | 1 ENLARGED SITE PLAN W LANDSCAPING/VEGETATION | SYSTEMS OPERATIONAL. | | PRESCRIBED MOISTURE TESTING PER FLOORING MANUFACTURER DIRECTION. 17. BOTTOM OF CONCRETE FOOTINGS TO BE MIN. 12" BELOW LOCAL FROSTLINE AND BEAR ON 2 TON PSF MIN. UNDISTURBED SOIL. IF FIELD CONDITIONS ARE NOT SUFFICIENT, NOTIFY ARCHITECT BEFORE PROCEEDING. DO NOT STEP MORE THAN TWO FEET HORIZONTAL TO | CEILING DIFFUSER (SUPPLY), WHITE | | |
| 21 | | PROVIDE RE-CIRCULATING PUMP AS REQUIRED WITH THERMOSTATIC VALVE. ALL BATHROOM PLUMBING FIXTURES TO BE WHITE. FAUCETS AND FITTINGS TO BE BRUSHED CHROME UNLESS OTHERWISE SPECIFIED BY OWNER. FULLY TEST AND MAKE | | GUIDELINES AND PER ASTM C94. 15. COORDINATE WITH RELATED TRADES FOR EMBEDS, SLEEVES, OPENINGS, CHASES AND RELATED FORMING REQUIREMENTS. 16. VERIFY CONCRETE HAS NOT EXCEEDED MAXIMUM ALLOWABLE MOISTURE CONTENT BY | OSE BIB (FROST FREE) | HO HO | |
| 1 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 | AQUASTAT AND TIMER PER OWNERS DIRECTION. LIST OF DRAWINGS | ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED IF NEEDED. PROVIDE ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES. | | APPLY CURING COMPOUND. FINISH IN ACCORDANCE WITH ACI 318. 12. OBSERVE MINIMUM REBAR CONCRETE COVER PER ACI STANDARDS. 13. CONCRETE SHALL POSSESS A MAXIMUM SLUMP OF 3.5". 14. PROVIDE ADEQUATE WEATHER PROTECTION FROM EXCESS COLD, HEAT OR WIND PER A.C.I. | IRE EXTINGUISHER, A—B—C RATED 5 LB | ₹¥ FIF | |
| 4A 0.32 | TO DECOME WORKING OFFICE WILEN ENCOUNTEEEN OF | AT THE BOTTOM OF EACH LINES ACK IRON PER CODE. ALL LINES ED BEFORE CONCEALMENT. INSL | | ENTRAINED 3000 PSI WITH 6x6 WWF REINFORCEMENT ON 4" COMPACTED GRAVEL BASE. PROVIDE EXPANSION JOINTS AT 5' O.C., TOOLED FLAG CONTROL JOINTS AT 5' O.C FLOAT FINISH INDOOR EXPOSED SLABS. BROOM FINISH EXTERIOR EXPOSED SLABS. | | CA IN: | 9 |
| 4A 0.27 | ORDER WHEN ENCOUNTERED. PROVIDE AQUASTAT AND TIMER PER OWNERS DIRECTION. ITE PLANTINGS SHALL BE STORED, TRANSPORTED AND INSTALLED IN ACCORDANCE WITH LOCAL NURSERIES DIRECTIONS, PLANTING AND MAINTENANCE INSTRUCTION TO BE GIVEN TO OWNER | THAT ALL HORIZONTAL DRAIN LINES SHALL BE CAST IRON ABOVE HABITABLE SPACES. VERTICAL SANITARY AND DRAIN SHALL BE PVC OR CAST IRON, STORM UNDERGR. SHALL BE PVC. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETAND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER | | AUHENVE ANCHURS. 10. PROVIDE REINFORCED CONCRETE UNDERPINNING AS REQUIRED TO 3'-6"BELOW GRADE.OR TO EQUALIZE DEPTHS OF NEW AND ADJACENT FOOTINGS TO PREVENT UNDERMINING. SEQUENCE 3' MIDE POURS TO AVOID DAMAGE TO STRUCTURE. 11. SLADE ON GRADE FOR WALKE OF BATTOR SLADE AT CONCENANCE) AND | NTERCONNECTED | HE ION | |
| CLIMATE FENESTRA: | V PLANTI ALLER. | <u>BING</u> - DOMESTIC WATER PIPING SHALL BE PE SOIDEREN LOUNTS SANTARY AND VENT TO | | COMPRESSIVE STRENGTH OF 5,000 PSI. 9. EXPANSION ANCHORS SHALL BE STAINLESS STEEL "KWIK BOLTS" AS MANUFACTURED BY THE HILTI CO. NEW RE-BAR DOWELS SECURED TO EXISTING CONCRETE WITH "HIT C-100" | MOKE DETECTOR DITAL SENSING PHOTO-VOLTAIC AND | 0 (| |
| 22 | AINTAIN DURING | OT USED | 23. EXTERIOR TRIM BY AZEK OR APPROVED SUBSTITUTE. INSTALL PER MANUFACTURERS INSTRUCTIONS AND TECHNICAL LITERATURE. | 7. SMOOTH WRE FABRIC REINFORCEMENT SHALL BE IN COMPLIANCE WITH ASTM A185. SHEETS ONLY NO ROLLS, PER ACI ASTM A185. 8. GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY | SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES TO SWITCH COORDINATE LOCATION WITH TRIME | \$ AE | |
| SNOW SPEED TO MPH EFF | 32. SITE IMPROVEMENTS STOCKPILE ALL TOPSOIL AS DIREC | DUES. TOCK TILE & PAINT FOR FUTURE OWNER USE. | PRESERVATIVE CONTAINING 3-10D0-2PROPYNYL CARBAMATE COMBINED WI CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT. | DEFORMED REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTMA615, GRADE 60. STANDARD DETAILS FOR HOOKS, BENDS, AND DEVELOPMENT LENGTHS SHALL BE IN CONFORMANCE WITH THE "CONCRETE REINFORCING STEEL HANDBOOK", THE CRSI ENGINEERING PRACTICE COMMITTEE. | • | FA "P | |
| GROUND WIND DI | GR, | SATIN- FOR TRIM AND DOORS, INTERIOR CWB: EGGSHELL LUSTER- WALLS SATIN- TRIM AND DOORS. PREP ALL SURFACES PER MANUF, INSTRUCTIONS PRIME AND PAINT ALL SCHEDULED SURFACES 2 COATS MIN. COLORS TO BE SELECTED. PROVIDE 2' Y 3' MOCKLID FOR ARBBOVIAL OF FACH COLOR ARBIY MANUT WITHIN AREAS LICHTED AT | 21. INTERIOR TRIM AND MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE POPLAR OR PINE. ALLOW WOOD TO SEASON ON SITE. SCARF JOINTS. 22. EXPOSED ENDS OF POSTS, BEAMS OR RAFTERS TO BE COATED WITH WATER | 3. AGGREGATES SHALL CONFORM TO ASTM C33; THE COARSE COMPONENT EITHER WASHED GRAVEL OR CRUSHED STONE. FINE AGGREGATE SHALL BE CLEAN NATURAL SAND. 4. PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH ASTM C150, TYPE I | S | | 00 |
| | DO NOT BACKFILL AGAINST FOUNDATION UNTIL CONC./CMU INSTALLATION HAS OF ULTIMATE STRENGTH. | VINYL MEMBRANE (OR EQUAL) BELOW CER. .LLS. .TT AND LAMBERT" EXTERIOR LATEX, FLAT-S | 20. FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHI WOODWORK QUALITY STANDARDS"-PREMIUM QUALITY LEVEL. | CONFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", THE ACI. 2. STRUCTURAL CONCRETE SHALL POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI | LUORESCENT LIGHT FIXTURE WARM WHITE T8 LAMPS | I | |
| .10 -10 | TO ACHIEVE RECOMMENDED ACI DENSITIES. TRENCHES SHALL BE BACK FILLED IN 6" LIFTS, BEDDED WITH GRAVEL. COORDINATE WITH TRANSPORTER AND TAKEN | CEMENT BACKER BOARD BEHIND CER. TILE AT TUB/SHWR SURROUI | 9. PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL JOISTS. | 3. CONCRETE 1. THE DESIGN. MIXING. TRANSPORTING. AND CURING OF ALL STRUCTURAL CONCRETE SHALL | | BR | |
| .03 EOUN | PROVIDE CLEAN FILL WHERE REQUIRED TO MATCH SHOWN ON THE DRAWINGS. BACKFILLING SHALL E | USE GROUT AS RECOMMENDED BY TILE MANUF. COLOR TO BE SELCTED. SEAL GROUT. PROVIDE MARBLE SADDLES WHERE REQUIRED. AT FL. TILE USE MUDSET TILING APPLICATION, FOR SHOWER ENCL TO DRAIN USE WITH FULLY BONDED PVC LINER-PAN BELOW OR SCHLUTER SYSTEM. | PARTITIONS. 18. MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF. | 6. IF DISCOVERED, SUSPECT OR BELIEVED CONTAMINATED OR HAZARDOUS CONDITIONS ARE EXPOSED AND PRESENT, SUCH CONSITION SHALL BE BROUGHT TO THE OWNERS AND ARCHITECTS ATTENTIONS AS SOON AS POSSIBLE. | "REJUVENATION",MORELAND, #CC865, SHADE #018CE | | |
| <u>.05</u> Roof | | ACCORDING TO CER | AND WHERE REQUIRED BY CODE. 17. PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL | 5. SHUTDOWNS AND INTERUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER. | RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE, "PROGRESS" OR EQ., 1500 MIN. LUMEN LAMP, 3000 K WHITE TRIM | REG "PF | |
| SHE, | CAPACITY AND THEN REPLACED WITH ENGINEERED COMPACTED FILL WHICH SHALL CONSIST OF CLEAN WELL GRADED SAND AND GRAVEL COMPACTED TO 95% DENSITY, PLACED IN 8" LIFTS WITH EACH LAYER AND BASE EARTH LAYER THOROUGHLY COMPACTED BY MAKING 4 PASSES WITH A VIRRATORY PLATE. | "X 2 1/4" T &G SELECT OAK TO N CAVITY INSUL WHERE REQ. ALLOW ANUF. GUIDELINES, ALLOW GAP AT | 15. CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PR BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS. | 4. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES. | LOOD LIGHT WITH 150 W PAR LAMPS | FLC FLC | 7 |
| л 12° 20 гл | BE FREE OF DEBRIS, WASTE, FLOWING WATER, VEGETATION OR OTHER DELETERIOUS NOTIFY ARCHITECT OF SUBSTANDARD SOIL CONDITIONS. SUBSTANDARD SOIL CONDITIONS MUST BE REMOVED TO A DEPTH OF ADEQUATE BE | PROVIDE CONTROL JOINTS AT ZO MAX AND AT FLOOR LEVEL JUNCTURE. ALIGN WITH NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREEDS, CORNER BEADS, AND ACESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.DOUBLE TYVEK LAYER FOR EXTERIOR APPLICATIONS AND EXPANDED DIAMOND MESH. | | 3. DEMOLITION OR EXCAVATION REVEALING UNFORSEEN OR CONCEALED CONDITIONS CONFLICTING WITH THE DRAWINGS OR INFLUENCING PROPOSED CONSTRUCTION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AS SOON AS POSSIBLE | SIERIOR INCANDESCENT SCONCE LIGHTING FIXTURE PROGRESS (5671–50 WITH W/ LED CANDELABRA LAMPS MILLSTONE (DULL ILVER FINISH) | ext. P5 | |
| 6" <u> </u> | ASSURE MINIMUM 1/4" PER 1'-0" POSITIVE DRAINAGE AWAY FROM STRUCTURE. SOIL SHALL BF FXCAVATED AS REQUIRED. FIFLD VERIFY 2 TON/SF BFARING CAPAC | HERED. HERED. | FORCEMENT INSTRUCTIONS, DO NOT CÛT HOLES OR OTTOM OF MEMBER HOLES AND NOTCHES IN ENGINE SE WITH MANUF. RECOMMENDATIONS. | RACTOR SH | WITEROE INCAMPENDENT SCONOT LIGHTING FIVEIOR "DECORDERS" | ī ≤ | |
| PEI DA: | STOCKPILE ALL TOPSOIL AS DIRECTED BY OWNER. REGRADE, AND RE-SEED AL AREAS. | ASSOCIATION STANDARDS. USE MOLD RE CONDITIONED SPACES (MOLD—TOUGH BY USE ASING READS AND TRIM AS REQUIRED TAR | ARD WHERE REQUIRED BY AHJ NAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH | | ي س | - 40 - 5 | |
| PAI SITE | REQUIRED APPROVALS AND INSPECTIONS. CALL BEFORE YOU DIG, 811, OR EXCAVATE 1—800—962—7962. CONFIRMATION NUMBER MUST BE PROVIDED. PROVIDE SILT FENCE AT ADJACENT AREAS TO EXCAVATION & GRADING AND CONST | OTED OTHERWISE ALL GYPSUND) TYPE X AT ALL WALLS AD. | SYSTEMS MAY BE USED IN LIEU IF INSTALLED IN ACC ; SPECIFICATIONS. TRIIS—JOIST MCMIII AN INSTALLED PFR MANIJEACTIJRFR | 1. NOT USED 2. EXISTING CONDITIONS | RECESSED 6" DIAMETER LED LIGHTING FIXTURE "PROGRESS" OR EQ., MITH WHITE TRIM, 1500 MIN LUMEN LAMP, 3000 K CRI, LOWERCASE | (Z) NEW | |
| SK EE | ROTECTION OF ALL STRUCTURES, PERSONEL, BY THE CONSTRUCTION ACTIVITIES. ROTECTION OF ALL LOCATE UNDERGROUND (| 4. INTERIOR DOORS ARE BASED ON "JELDWEN" INT. GRADE 1 3/8" THICK. PANEL CONFIGURATION TO MATCH EXISTING. PINE OR MDF WITH FRAME. SEE DOOR TYPES. 9. FINISHES | JITABLE FLOOR SHEATHING WHERE HYDRO- | FLAMMABLE MATERIALS MUST BE STORED IN UL APPROVED STORAGE CONTAINERS, FIRE EXTINGUISHERS WITH MINIMUM 10 LBS CAPACITY, RATED ABC TO BE PLACED EVERY 1000 SF OF PROPERTY DURING CONSTRUCTION. | ELEC. JUNCTION BOX, (USE SMALLEST FOR SCONCES) | | თ |
| IMP | 31. EARTHWORK | TED PREFINISH | THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS. ALL PLYWOOD SHALL BE APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA AFG—01. | PLUS CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION. 23. ALL DEBRIS MUST BE REMOVED DAILY FROM JOBSITE AND PROPERLY DISPOSED OF. ALL | H FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE | NEW FLL | |
| | RECONFIGURE DOORBELL SYSTEM TO WORK WITH NEW LAYOUT, 29. & 30. NOT USED | N "JELDWEN" OR "ANDERSEN" EXTERIOR GRADE 1 3/4" | PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALV PROCESS. 11. PLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CI | 22. CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS. OWNER HALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING TO SOME THE PROPERTY OF | TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR | | |
| MIN ONE | S- SECTION R313.1 - REQUIRES THAT ANY/ALL BEDROOMS/COMMON HALLWAYS SHALL BE EQUIPPED W/ HARD WIRED AND INTEGRATED <u>SMOKE DETECTORS</u> (W/ A BATTERY BACK-UP) D W/ A <u>CARBON MONOXIDE DETECTOR</u> OUTSIDE ALL BEDROOM(S) IN THE CORRIDOR AND ANY/ALL BASEMENT HABITABLE SPACES AND IN ANY/ALL MECHANICAL ROOM(S) | 2. HARDWARE AS MANUFACTURED BY: HINGES—"STANLEY", LOCKSETS AND LATCHSETS—"YALE", SELF—CLODING HINGES—"BOMMER", SLIDING DOOR SETS & POCKET SLIDERS—"HAGER", WEATHERSTRIPING & THRESHOLDS—"PEMKO", DOOR STOPS & BIFOLD DOOR SETS—"STANLEY", FINISH AS SELECTED OR AS REQUIRED TO MATCH EXISTING. HARDWARE FUNCTIONS PER BUILDERS HARDWARE MANUFACTURERS ASSOCIATION | NAILS 4 0/C @ PANEL EDGES; MIN 160 NAILS 10. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TO PRESERVATIVE. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FAST | 21. CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER. | ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE WHERE REQ'D (GFI— DENOTES GROUND FAULT INTERRUPTER) | ⇔ (N) NEW AB | |
| RE | PROVIDE AND INSTALL NECESSARY DEVICES AND WIRING TO ASSURE TO CONDITIONS COMPLY WITH: | -LASHED AND CAULKED. PROVIDE TEMPERED GLASSS PE PRE PURCHASE | CONSTRUCTION DOCUMENTS: PLYWOOD OVER JOISTS — 6" O/C; MIN 16D NAILS PLYWOOD OVER WALL STUDS — 6" O/C @ INTERIOR MEMBERS; MIN 16D NAILS 4" O/C @ DANIEL EDGES: MIN 16D NAILS | 20. WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS. | NEW CONSTRUCTION WALL REFERENCE, LETTER WITHIN DIAMOND CORRESPONDS TO CONSTRUCTION DETAIL OR SPECIFICATIONS | 1) NE | U |
| [O] ZO | 28 ELECTRONIC SAFETY AND SECURITY COORDINATE WITH OWNER'S SECURITY AND OR COMPUTER VENDOR FOR THEIR | (1.24 0 MAX., 10 SHEV) GLAZING WITH SCREENS, EXTENSION JAMBS AS REQUIRED TO (NOTE DIFFERENT WALL THK.'S). FINISH AS SELECTED BY OWNER OR AS REQUIRED TO MATCH EXISTING. WINDOW HARDWARE FINISH AS SELECTED BY OWNER. TEMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE AS A SECOND OF THE PROVIDE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHERE WE WINDOW ORDER—LIST FOR REVIEW BEFORE GLASS WHENCH WE WANTED WHENCH WAS A WANTED WHENCH WE WANTED WHENCH WAS A WANTED WHENCH WAS A WANTED WHENCH WAS AND WANTED WHENCH WHENCH WAS A WANTED WHENCH WAS AND WANTED WHENCH WAS A WANTED WHENCH WAS A WANTED WHENCH WAS AND WANTED WHENCH WAS A WANTED WHENCH WAS A WANTED WHENCH WAS AND WANTED WHENCH WAS AND WANTED WHENCH WAS AND WANTED WHENCH WAS AND WANTED WAS AND WANTED WHENCH WAS AND WANTED W | BE #18 GAGI .ILS AS RECC AS FOLLOWS: | E GC AND EAC D WORK EXPER | -A DENOTES 2-0 X 6-8 | (20 | ı |
| | COORDINATE WITH OWNER'S SECURITY AND/OR COMPUTER VENDOR FOR THEIR INSTALLATION REQUIREMENTS AS NEEDED BEFORE DRYWALL INSTALLATION. V COORDINATE SMART—HOME REMOTE ACCESS WITH OWNERS COMPUTER/SAFETY VENDOR | DERSEN 400 SERIES ODLE, SMART SUN GL | THE DESIGN, TRANSPORTATION, AND ERECTION OF ALL PLYWOOD SHALL BE IN ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION. PLYWOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL I INT-DFPA" PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL I EXT-DFPA" | TO THE N | OOR WITH SIZE- | | |
| | | 2 | F(C) = 325 PSI(PERPEN) F(C) = 825 PS 3. ALL LUMBER SHALL BE KILN DRIED TO MAXII 4. SILLS, NAILERS AND LEDGERS MAY BE CONS | 17. PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES. | XISTING CONSTRUCTION TO REMAIN | ; | |
| | PROVIDE 3 CABLE TV OUTLETS IN LOCATIONS DIRECTED BY OWNER. PROVIDED METAL JUNCTION AND DEVICE BOXES. | AND FOLLID IN ACCORDANCE | CONFORMANCE WITH THE "TIM FOR WOOD FRAME CONSTRUC" EDITION. 2. ALL STRUCTURAL LUMBER SHAI F(A) = 1.350 PSI F(V) = 75 | EK IN HARMONY WITH INDEPENDENT | INDOW SYMBOL | (A) WIN | |
| | g A | OFING SYSTEM TO BE BY " DIE: 3½" POLYISOCYANURATI SHEFTS CONSISTING OF 2 | 6. WOOD AND PLASTICS 1. THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURES. | DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH (TO CONSTRUCTION. | XISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED | EX | 4 |
| | ALL ELECTRICAL WORK TO CONFORM TO LATEST EDITION OF THE NATIONAL ELECTRICAL CODE. MODIFY AND/OR SUPPLEMENT DOOR BELL SYSTEM TO SUIT NEW LAYOUT. PROVIDE AT THE | S ≥ | SIEEL INSTITUTE PUBLICATIONS. 13. PROVIDE 1/2" TH STEEL STIFFENER PLATES AT POINT LOADS. PROVIDE 1/2" THE BEARING AND BASEPLATES AT COLUMN LOCATIONS, BEAM POCKETS AT FOUN WALLS. | SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN (REEMENT IN AIA G702 FORMAT. PROVIDE UNIT PRICES AND ALLOWANCE) SER-CONTRACTOR AGREEMENT. | IMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF INISH CONSTRUCTION. | FIN | |
| ARDS | F WATER S | USE PRIN JLAR PIPE | XTRUDED BAR OR TUBE PER ASTM B221, EL TUBING PER ASTM A554, SUBMIT 2" ACH, FINISH CLEAR ANODIC AAMA 607.1 SHALL BE IN ACCORDANCE WITH AMERIC | SUBCONTRACTORS. 12. THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL. | | | |
| SLEY H | PROVIDE AND INSTALL ELECTRICAL DEVICES AND FIXTURES SHOWN. PROVIDE NEW CIRCUITS AS REQUIRED. USE LINE COVER AND SWITCHPLAITES, COLOR TO MATCH WALL, STYLE TO MATCH EX. TAMPERPROOF DUPLEX RECEPTACLES. PROVIDE 2 LEVITON — T5630—W — USB CHARGER/TAMPER RESISTANT RECEPTACLE EACH FLOOR AS DIRECTED BY OWNER | NTH 1/4" ASPHALTION OF THE CAVITY FACE | STEEL RAILINGS TO BE FABRI AT BALUSTERS, 2" SQ. TUB NEWELS PROVIDE EPOXY GR RAILINGS MUST WITHSTAND | GENERAL CONDITIONS FOR THIS PROJECT ARE THE CT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 CT. | REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE | | <u></u> |
| N/F EIGHTS | S. 24. & 25. NOT USED 26. ELECTRICAL | CONNECTIONS TO DRYWELLS (V.I.F.) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS. PROVIDE CORRUGATED HDPE BOOT AT GRADE TO JOIN SUBGRADE PIPING. 11. PROVIDE WATER-PROOFING AT THE OUTSIDE OF THE FOUNDATION WALLS. | STRUCTURAL BULL'S SHALL BE MANUFACTURED TO ASTM ASOT, GRADE B. ALL STRUCTURAL STEEL SHALL RECEIVE SURFACE PREPARATION IN ACCORDANCE WITH SSPC—SP3 FOR POWER TOOL CLEANING. PRIMING PAINT FOR STRUCTURAL STEEL SHALL BE "4—55 VERSARE PRIMER" AS MANUFACTURED BY THE TNEMEC CO. | MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMP- ERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FIXTURES OR CONSTRUC MECHANICAL,ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICE MAN. | SECTION OR ELEVATION REFERENCE | • | 3 |
| SUBDI' | HEAT AND COOL EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT. INSULATE ALL LINES PER CODE. | 9. SIDING TO MATCH EXISTING. INSTALL PER CEDAR SHAKE AND SHINGLE BUREAU MANUAL. 10. PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR | LE BE IN COMPLIANCE WITH ASTM A501. WHERE SHALL BE ENTIRELY GROUT FILLED SOLID. SHALL BE ENTIRELY GROUT FILLED SOLID. IN CONFORMANCE WITH ASTM A500, GRADE B | 9. PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED WORK AND PERSONNEL. | DESCRIPTION DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET | SYMBOL DE: | |
| VISION 103.00 | ADJUSTABLE DAMPERS. FLOOR GRILLS TO BE JCABLE. | PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPING FOR PENETRATION RE-RATED ASSEMBLIES PER ASTM E 814 BY TREMCO OR 3M FIRE PRO | AND LOW HYDROGEN. 3. WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW WELDING. 4. STRUCTURAL STEEL FOR HOT ROLLED PLATES, ANGLES, CHANNEL STEEL FOR HEADER STANKE STANKERS. | 꿈꾼음 | LEGEND | | |
| SHRUBS | RELATED BLOWER DOOR TESTING TO BE PROVIDED AND DOCUMENTED WHERE REQUIRED LEAKAGE RATE OF 4 CFM PER 100 SF. GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN FACH ROOM. AL | REQUIRED. NTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHEF NDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C920. | SHALL BE IN CONFORMANCE WITH THE "STEEL CONSTRUCTION MANUAL", THE 2. WELDING OF STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STRUWELDING CODE", THE AWS; D1.13. WELDING ELECTRODES SHALL BE E70XX FO | 7. SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER. | WC. | . GLASS | GL. |
| STOCKPILE, SEE 8/A7— PROPOSED HIGH DWARF | DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIGIDLY INSTALLED WITH REQUIRED BRACING AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATER AND BLOWER BY MEANS OF FABRIC INSULATORS. PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS R12 MINIMUM LOCATED IN GARAGE, ATTIC, AND UNHEATED AREAS. ACCOUSTICAL INSULATE DUCTS IN OFFICES, MEETING AND MEDIA ROOMS. DUCT SEALING AND | RFACES AND PENETRATIONS WITH METAL ROOF SEAL. PROVIDE SIMILAR DRIP EDGE. ASTENERS TO RESIST REQUIRED WIND LO. A.C.N.A. STANDARDS, PROVIDE BUILT UP I | 5. METALS 1. THE DESIGN, FABRICATION, TRANSPORTATION, AND ERECTION OF ALL STRUCTU | 6. REMOV SHOWN O SURFACES | | GENERAL CONT | 2 GWB |
| 5 21°20 | PROVIDE NEW "MITSUBISHI" MR SLIM DUCTLESS A/C (MBTU PER MANUF RECOMMENDATION) MINI SPLIT SYSTEM WITH CONDENSER AND WALL CARTRIDGE UNITS, TEMP CONTROLS AND REQ. ACCESSORIES. LOCATE CONDENSER PER OWNER'S DIRECTION | NIMUM R7 PER INCH. PROVIDE INTUMESCENT COATING GYPSUM BOARD. RIER TO BE 6 MIL POLYETHELENE. OVERLAP AND TAPE | 3. PROVIDE 4 FOR PREVIOUS OFFICE FOOTING DRAIN LAID IN 16 STONE LATER WITH LAYER OF FILTER FABRIC OVER. PITCH TO DAYLIGHT AND GRAVEL SPREADER OR IF SITE CONDITIONS REQUIRE, PITCH FOOTING DRAIN TO 50 GAL STONE DRYWELL (4'X 4' X 4" OF 1" GRAVEL IN FILTER FABRIC.) OR EQUAL | STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTION OTHERWISE NOTED. 5. ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACTOR OF THE PROPERTY OF THE PROPER | U.N.O. UNLESS NOTED OTHERWISE | CONCRETE | СО |
|)'20" \ 34' | PROVIDE EXHAUST VENTILATION FROM BATHROOMS PER CODE IF NOT OTHERWISE SPECIFIED. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT. | DOWN AND 24" IN. ', SPRAY POLYURETHANE FOAM INSUL | 4. DAMPROOFING: FOUNDATION WALL SHALL BE DAMPROOFED WITH (2) COATS OF ASPHALT | SIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S).NCY, INSURANCES, AND BONDS AS REQUIRED. MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE I | | . ELEVATION XT. FIXTURE | FIXT. |
| N M | TO CONDITION THE NEW AND EXISTING SPACES TO 70 DEGREES INDOORS WHEN OUTSIDE TEMPERATURE REACHES 90 DEGREES, AND 70 DEGREES WHEN OUTSIDE TEMPERATURE REACHES 0 DEGREES. PROVIDE FLUSHABLE STEAM HUMIDIFIER. | OORS/CEILING W/ UNHEATED SPACES E-RETARDANT WHERE REQUIRED. CYANURATE: 2" AT SLAB EDGE AND F | TIGHT JOINT OF APPROX. 3/8" OR TO MATCH EXISTING. 3. PROVIDE LINTELS PER SCHEDULE, MINIMUM 8" BEARING AT BOTH ENDS. | CTING WITH THE DRAWINGS. WORK SHALL BE PERFORMED IN ACCORDANCE WITH COLLATIONS OF AUTHORITIES HAVING JURISDICTION. (| | CEILING CONCRETE M. | C.M.I |
| 26°39 | WELL AS PROPERLY INSULATED OR HEAT TRACED. PROVIDE ACCESSIBLE FIXTURES AND APPLIANCES. VIDE AND MODIFY DISCTWORK REGISTERS AND DIFFUSERS DAMPERS AS | I APE AT OPENINGS BY "HYDROFLASH" SELF ADHERED FLASHING SYSTEMS ARE AN ACCEPTABLE SUBSTITUTE INSULATION TO BE FIBERGLASS BATTS W/ WITH VAPOR BARRIER, | ING/HEATING OR OTHER MEANS OF PROTECTION. M MORTAR FOR BELOW GRADE MASONRY. TYPE N ELSEWHE | 2. GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION AND RELATED PERFORMANCE CRITERIA. GENERAL CONTRACTOR SHALL CONTACT STEVEN SECON ARCHITECT REGARDING ANY DEVIATIONS OR FIELD CONDITIONS | O.C. ON CENTER PROP. PROPOSED | | |
| '30" E | 23. HEATING VENTILATION AND AIR CONDITIONING (HVAC) ALL SERVICE LINES SHALL RE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER | 1. BUILDING WRAP BY "HYDROGAP" DRAINABLE HOUSEWRAP BY BENJAMIN OBDYKE OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL PREFORMED FLASHING, SEAL, PROVIDE END DAMS WHERE REQUIRED. USE | 1. COMPLY WITH PUBLICATIONS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR ALL MASONRY WORK. MASONRY WORK SHALL NOT PROCEED WHERE WEATHER CONDITIONS ARE OR ARE EXPECTED TO PRODUCE AMRIENT TERMPERATURES BELOW 40°F WITHOUT | 1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. DIMENSIONS AND RELATED INSTALLATION CONDITIONS FOR ALL FABRICATED AND BUILT COMPONENTS SHALL BE FIELD VERIFIED | MTL. | · | 1 A.H |
| | | 7. THERMAL AND MOISTURE PROTECTION | 4 MASONEY | 00- PROCUREMENT & GENERAL REQUIREMENTS | | A F.F. AROVE FINISHED FLOOR | A |
| | | |) | | N B B B C VIATIONS | > | |

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FRONT VIEW

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SITE PLAN & ZONING DATA

