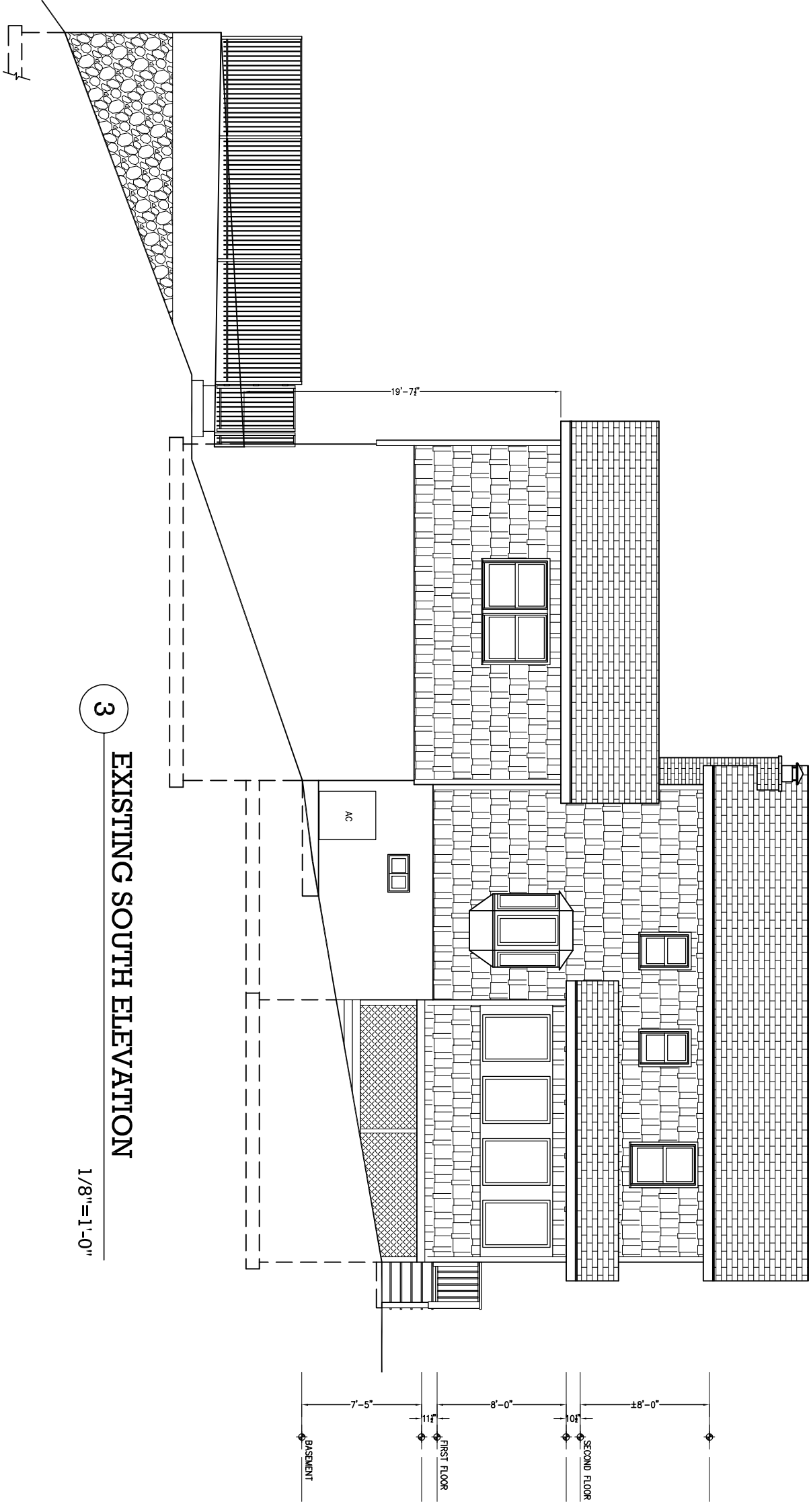
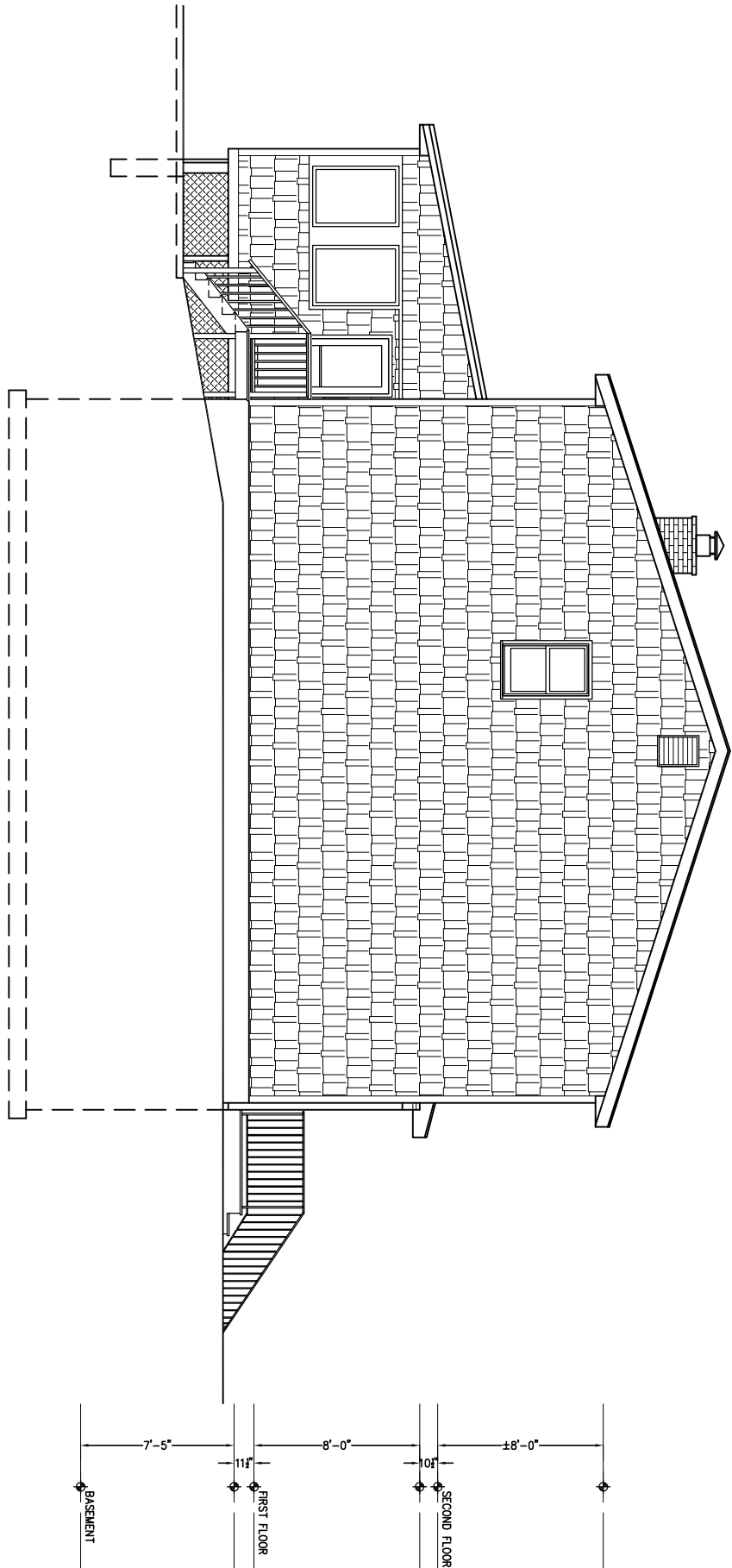


1 EXISTING NORTH ELEVATION
1/8"=1'-0"

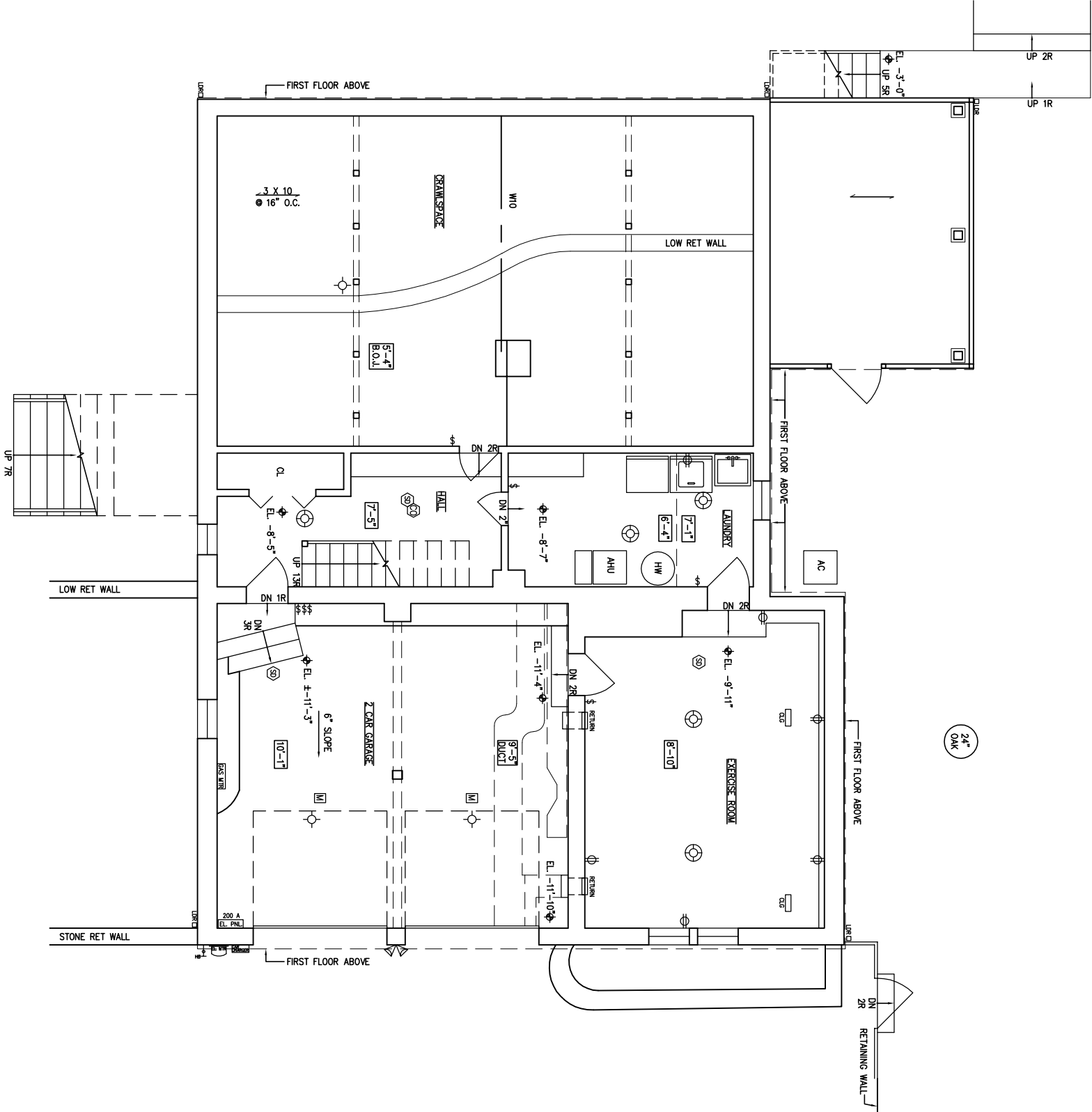
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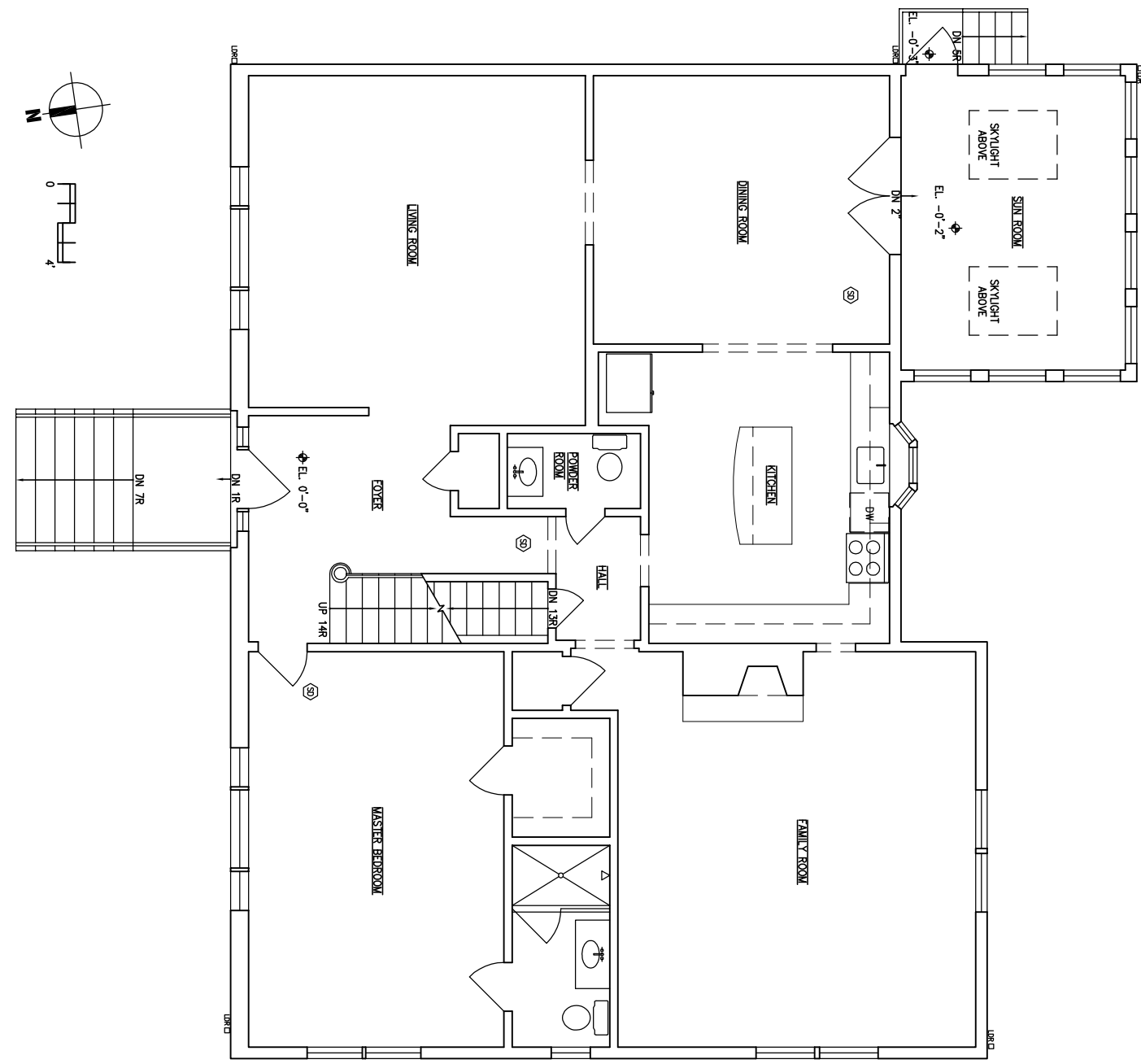
3 EXISTING SOUTH ELEVATION
1/8"=1'-0"



4 EXISTING WEST ELEVATION
1/8"=1'-0"



5 EXISTING BASEMENT FLOOR PLAN
1/8"=1'-0"



6 EXISTING FIRST FLOOR PLAN
1/8"=1'-0"

CONSTRUCTION SEQUENCING:

THE FOLLOWING EROSION CONTROL SCHEDULE SHALL BE UTILIZED:

1. PLACE ORANGE CONSTRUCTION FENCING AROUND AREAS TO BE USED FOR EX-FILTRATION TO AVOID COMPACTION
 2. INSTALL A CONSTRUCTION ENTRANCE TO THE DEVELOPMENT AREA.
 3. ESTABLISH CONSTRUCTION STAGING AREA.
 4. INSTALL TREE PROTECTION ON TREES AS NOTED ON PLANS.
 5. SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION.
 6. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.
 7. REMOVE TREES WHERE NECESSARY (CLEAR & GRUB) FOR THE PROPOSED CONSTRUCTION.
 8. STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS (UP GRADIENT OF EROSION CONTROL MEASURES). TEMPORARILY STABILIZE TOPSOIL STOCKPILES (HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH A TARP/AULIN(S) NOVEMBER 1ST THROUGH APRIL 30TH.
 9. INSTALL SILT FENCE AROUND TOE OF SLOPE.
 9. CONSTRUCT BUILDING FOUNDATIONS.
 10. GRADE DRIVEWAY TO SUB-GRADE ELEVATION AND INSTALL DRAIN SYSTEM INCLUDING EX-FILTRATION GALLERY ALL PROPOSED CONNECTIONS.
 11. INSTALL ALL PROPOSED UTILITY CONNECTIONS.
 12. INSTALL DRIVEWAY PAVEMENT AND WALKWAYS.
 13. INSTALL 4'-6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND INSTALL LANDSCAPE PLANTINGS. SPREAD SALT HAY OVER SEEDED AREAS.
 14. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.
- *SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR EVERY TWO WEEKS AND PRIOR TO AND AFTER EVERY 1/2" OR GREATER RAINFALL EVENT

NOTES AS PER VILLAGE ENGINEER:

- "THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNPREDSEEN SILTATION AND EROSION OF DISTURBED SOILS."
- "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
- "INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE "AS-BUILT."
- "TILL IMPROVED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE."
- "SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 - BLASTING OF THE DOBBS FERRY VILLAGE CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW/APPROVAL."
- "THE RESTORATION FOR WORK PERFORMED WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS."
- "BEFORE THE SITE PLANS ARE SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTEE WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING AND THE VILLAGE ENGINEER IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY"

PROJECT

SMITH-SCHWARTZ RESIDENCE
- ADDITION & ALTERATIONS -
30 HEATHER WAY
DOBBS FERRY, NY
MINUT.D 8-16-02-15

DRAWING TITLE

EXISTING FLOOR PLANS AND ELEVATIONS
CONSTRUCTION SEQUENCING
VILLAGE ENGINEER NOTES

DATE

SCALE

AS NOTED

CAD FILE

STEVEN SECON
ARCHITECT

145 Parkside Street, Suite 400
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WWW.SECONARCHITECT.COM

A-1

REScheck Software Version 4.6.4

Compliance Certificate

Project: Smith Schwartz Residence

Energy Code: 2015 IECC

Location: Dobbs Ferry, New York

Construction Type: Single-Family Addition

Project Type: Addition

Climate Zone: 4 (1319 HBD)

Permit Number: 4 (1319 HBD)

Owner/Agent:

Designer/Contractor:

Construction Site: 30 Heather Way Dobbs Ferry, NY

Compliance Passes Testing UA Trade-off

Compliance: 57.8% Better Than Code

Maximum UA: 102

Your UA: 43

Maximum SHGC: 0.40

Your SHGC: 0.18

Compliance Passes Testing UA Trade-off

Compliance: 57.8% Better Than Code

Maximum UA: 102

Your UA: 43

Maximum SHGC: 0.40

Your SHGC: 0.18

Envelope Assemblies

Assembly	Gross Area Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Wall 1: Solid Concrete or Masonry/Interior Insulation SHGC: 0.18	170	21.0	23.0	0.024	3
Window 1: Wood Frame/Double Pane with Low-E SHGC: 0.18	60	21.0	23.0	0.024	14
Wall 2: Solid Concrete or Masonry/Interior Insulation SHGC: 0.18	170	21.0	23.0	0.024	4
Wall 3: Wood Frame, 16" o.c. SHGC: 0.18	60	21.0	24.0	0.023	0
Door 1: Glass SHGC: 0.18	40	21.0	23.0	0.024	10
Wall 4: Solid Concrete or Masonry/Interior Insulation SHGC: 0.18	170	21.0	23.0	0.024	4
Wall 5: Solid Concrete or Masonry/Interior Insulation SHGC: 0.18	170	21.0	23.0	0.024	4
Ceiling 1: Flat Ceiling or Scissor Truss	420	56.0	60.0	0.010	4

Name - Title

Project Name:

unheated garage

Signature

Date

Project Title: Smith Schwartz Residence

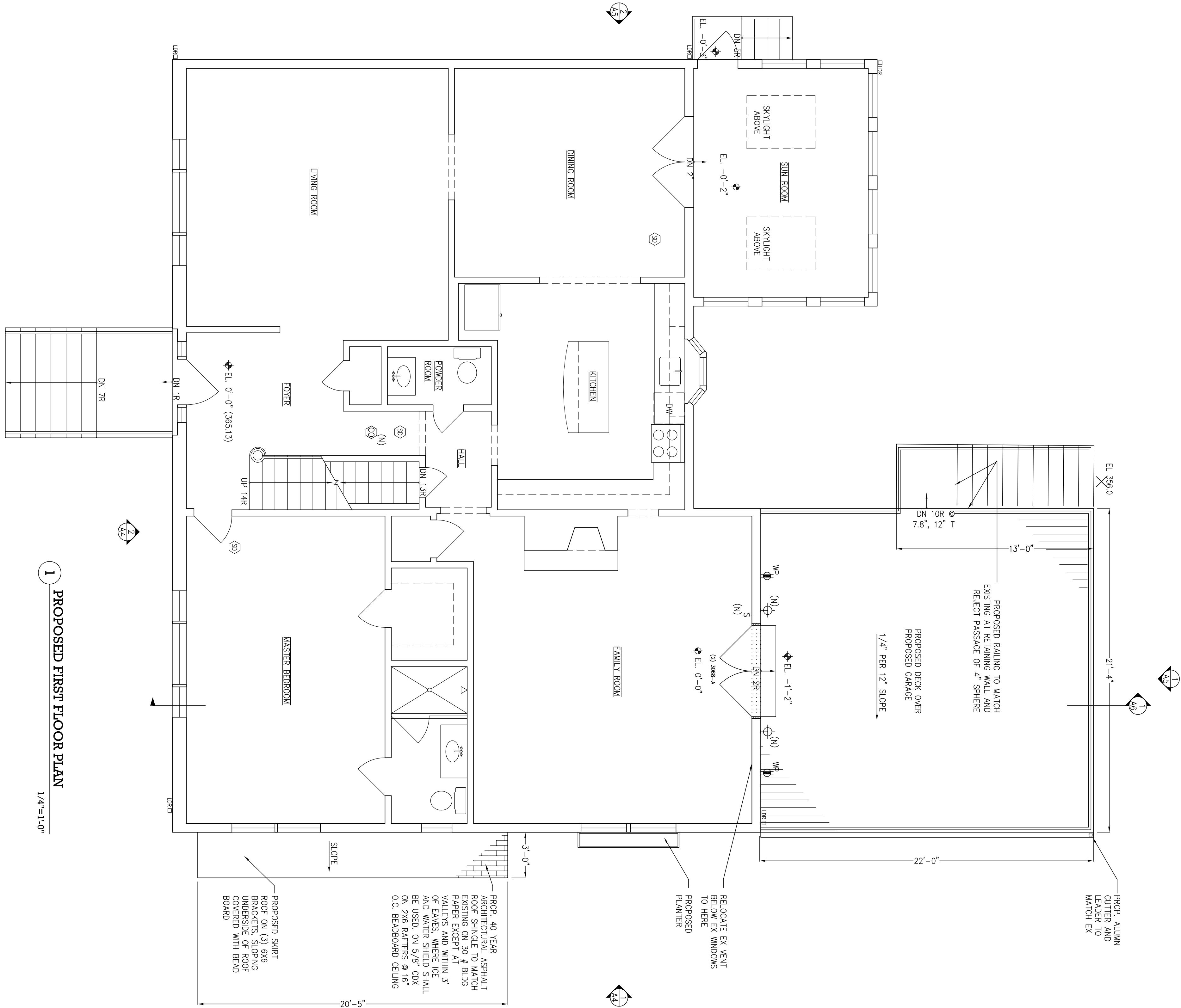
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Report date: 02/15/21

Page 1 of 9

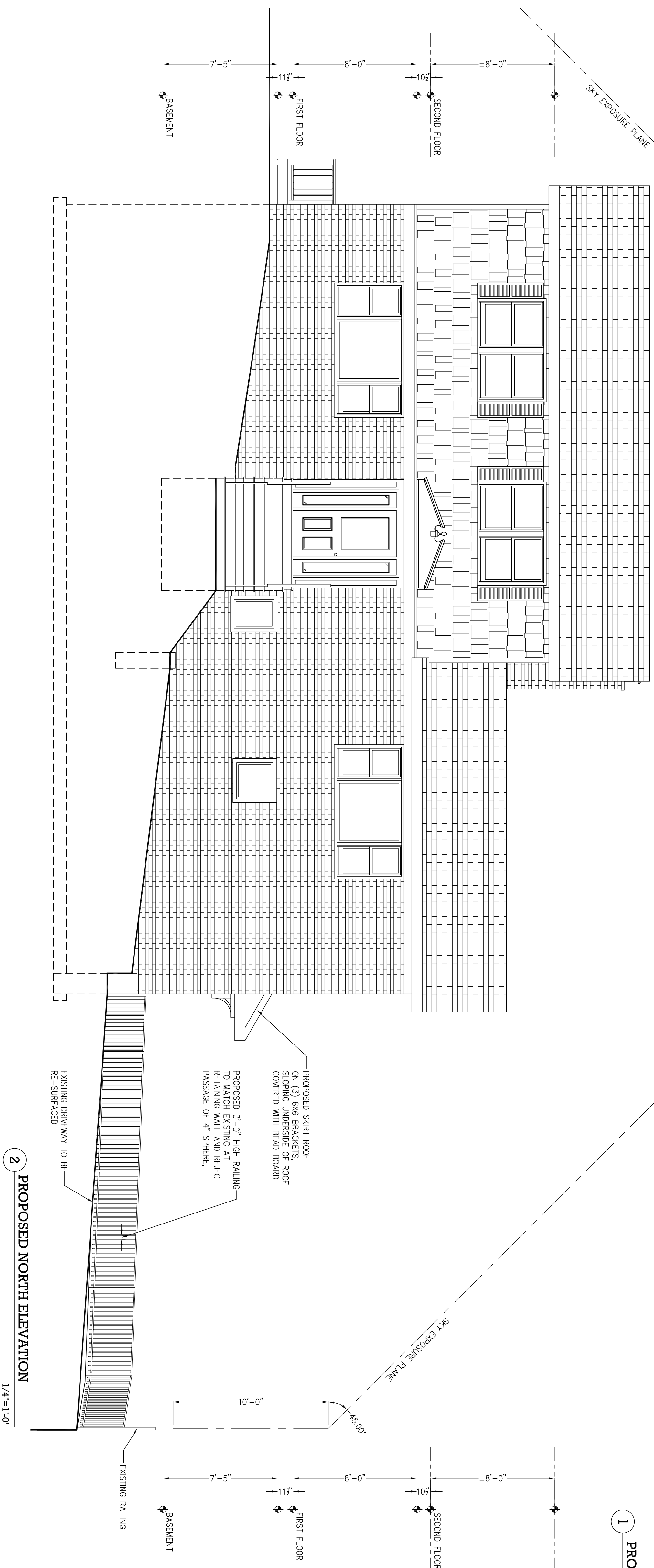
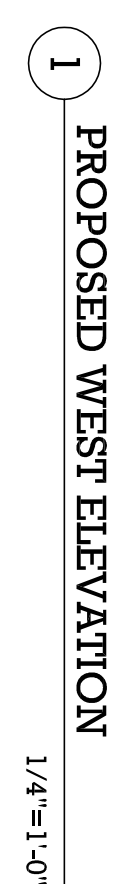
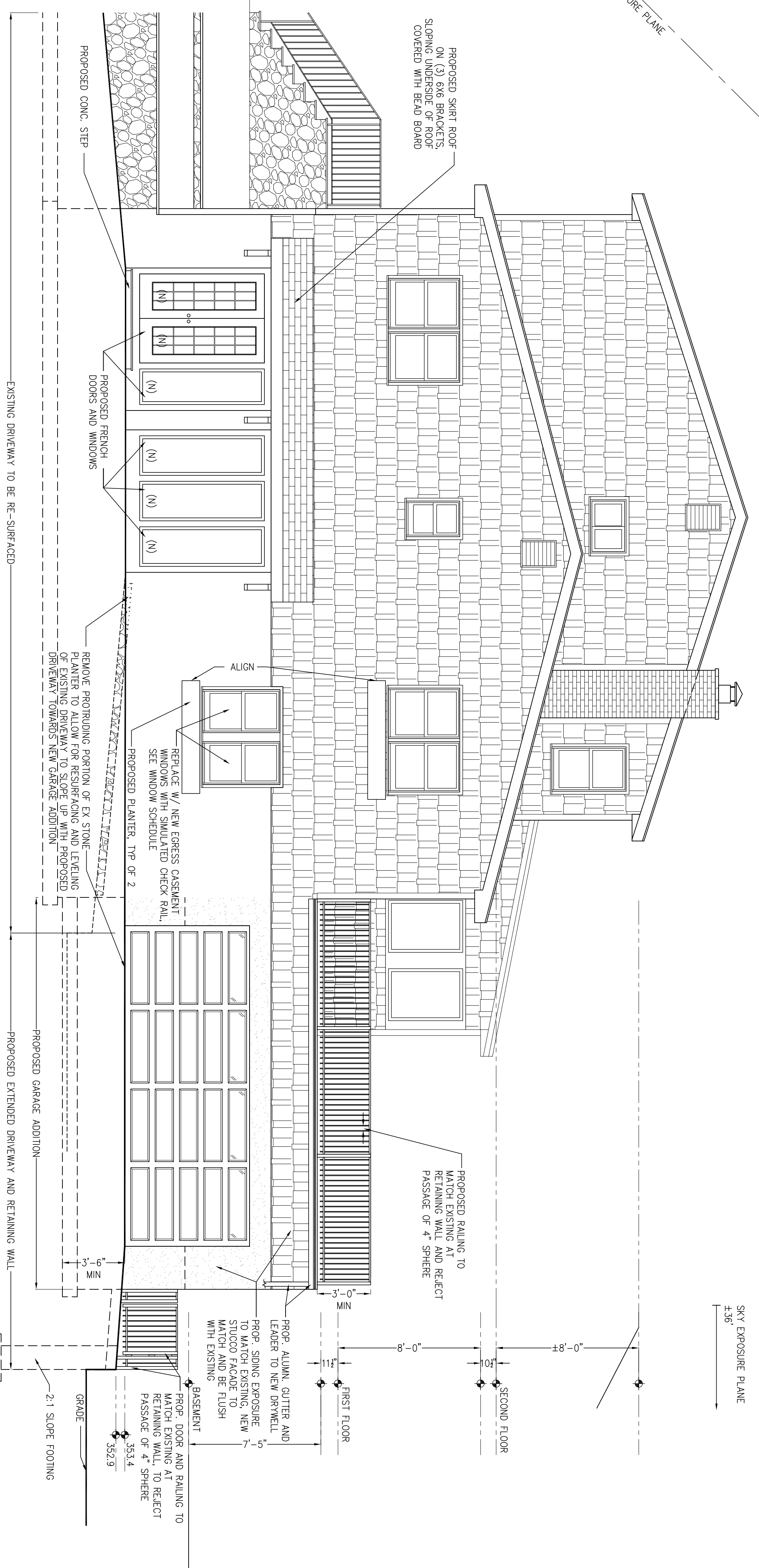
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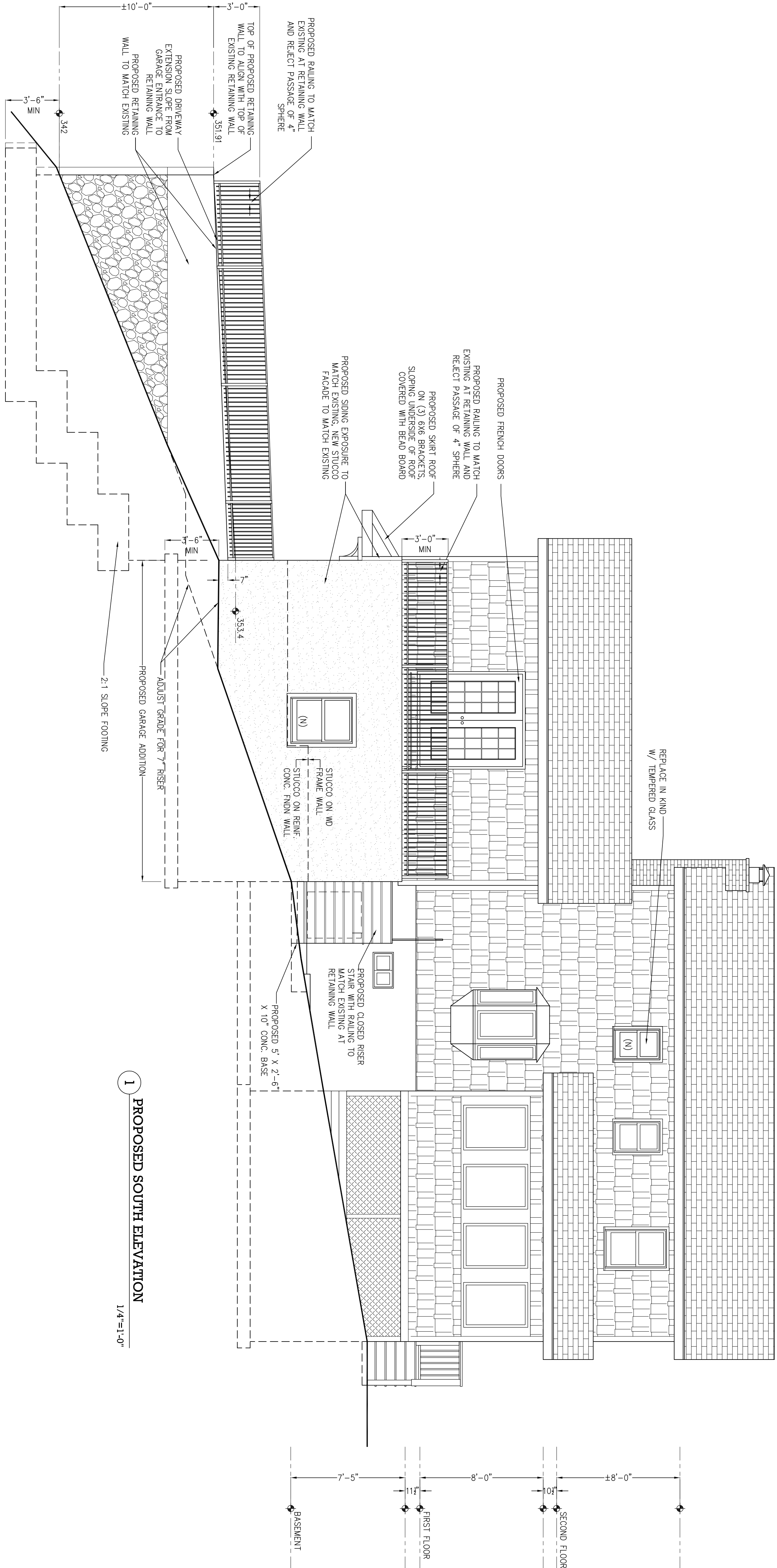
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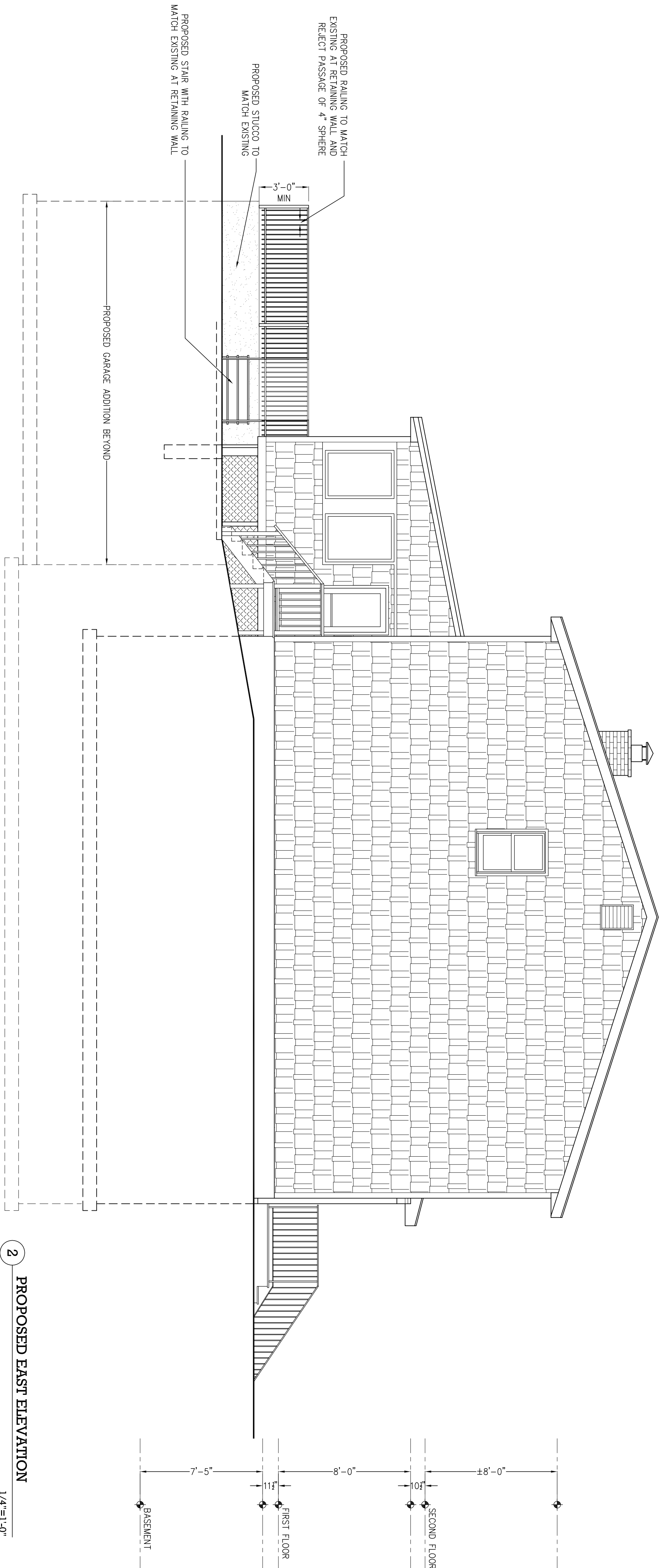
PROPOSED FIRST FLOOR PLAN

1/4"=1'-0"





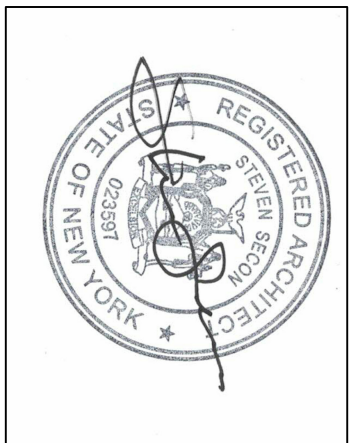
1 PROPOSED SOUTH ELEVATION
1/4"=1'-0"



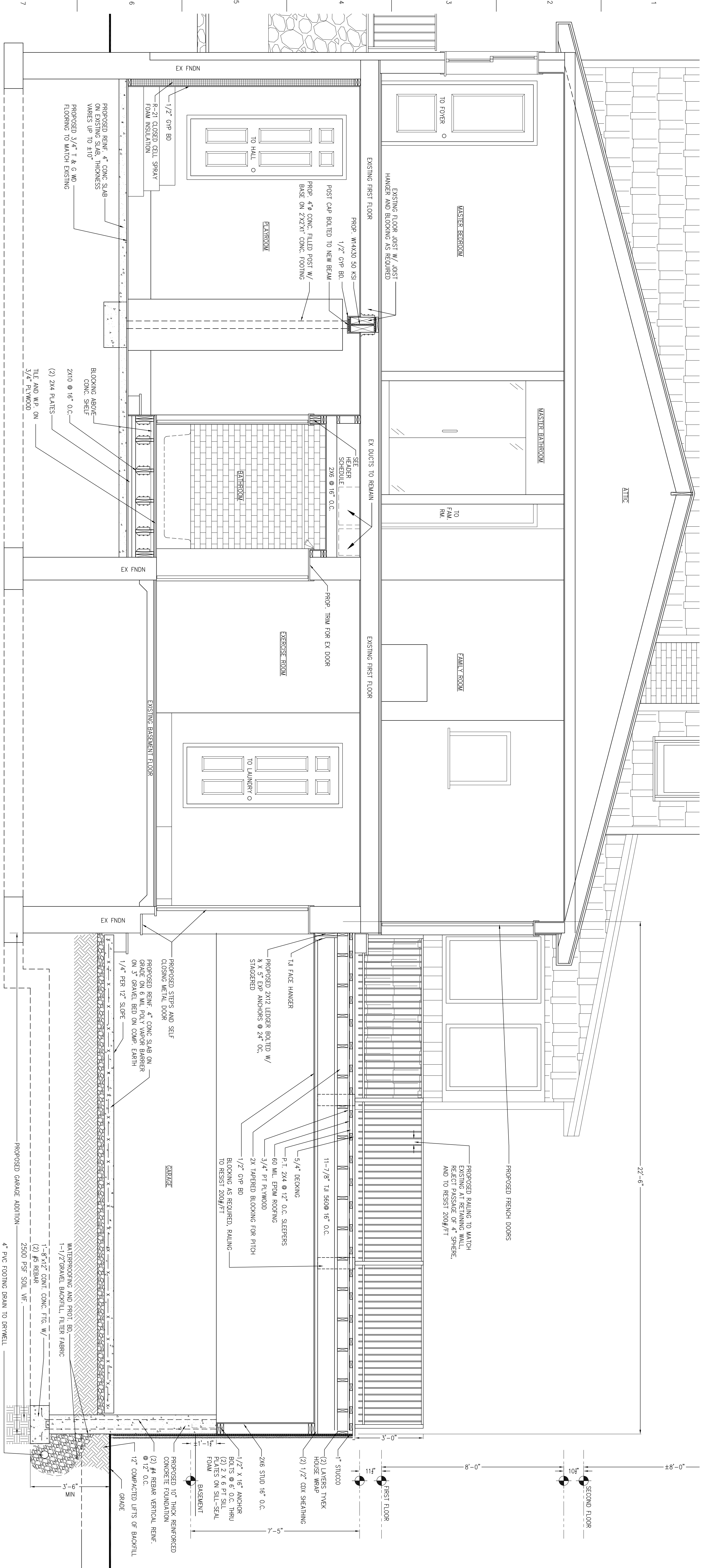
2 PROPOSED EAST ELEVATION
1/4"=1'-0"

PROJECT SMITH-SCHWARTZ RESIDENCE
- ADDITION & ALTERATIONS -
30 HEATHER WAY
DOBBS FERRY, NY
NORTH ID # 31602715

DRAWING TITLE
**PROPOSED NORTH AND
WEST ELEVATIONS**

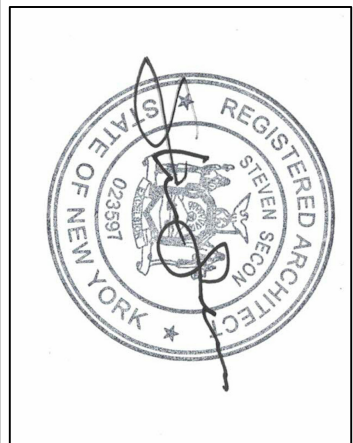


NO.	DATE	REVISION/ISSUE
1	01/04/21	BLDG DEPT COMMENTS
2	02/15/21	ENGINEER COMMENTS
3	04/06/21	



1 PROPOSED SECTION
1/4"=1'-0"

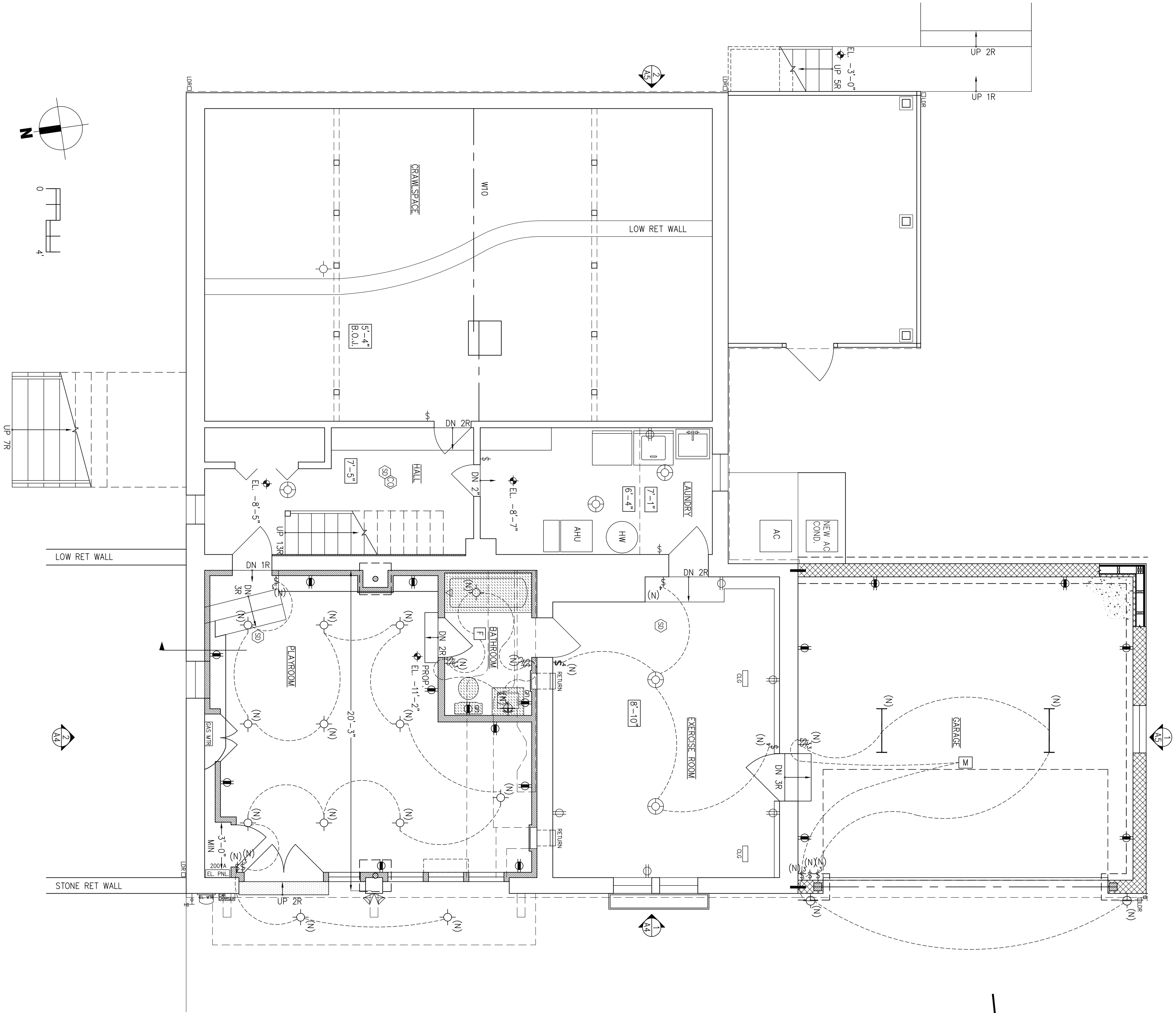
ENGINEER COMMENTS		
NO.	DATE	REVISION/ISSUE
3	04/06/21	
2	02/15/21	ENGINEER COMMENTS
1	01/04/21	BLDG DEPT COMMENTS



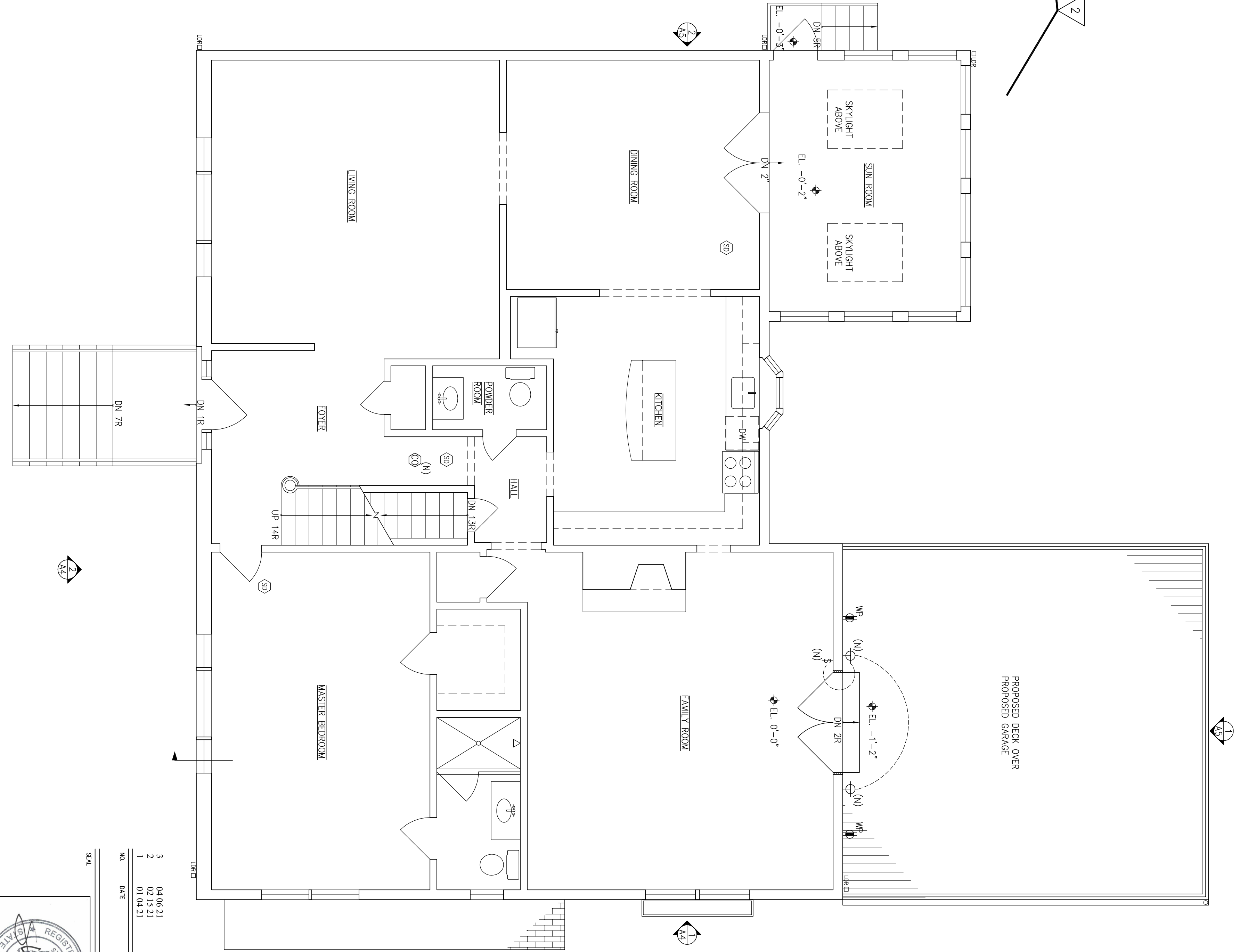
PROJECT SMITH-SCHWARTZ RESIDENCE
- ADDITION & ALTERATIONS -
30 HEATHER WAY
DOBBS FERRY, NY
PROJECT NO. 14574

PROPOSED SECTION

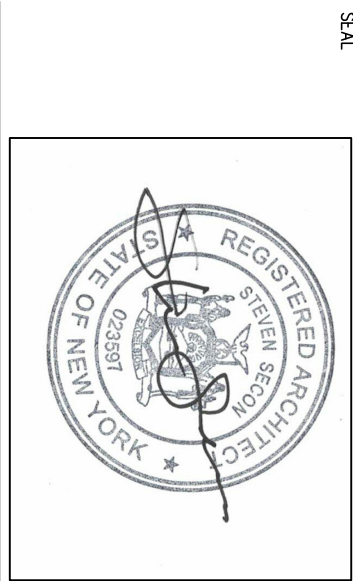
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02/15/21	AS NOTED	
STEVEN SECON ARCHITECT		
145 Phileas Street, Suite 400 Dobbs Ferry, NY 10522 Tel: (914) 674-2591 Fax: (914) 695-1537 WWW.SECONARCHITECT.COM		
A-6		



1 PROPOSED BASEMENT FLOOR ELECTRICAL PLAN
1/4"=1'-0"



2 PROPOSED FIRST FLOOR ELECTRICAL PLAN
1/4"=1'-0"



PROJECT SMITH-SCHWARTZ RESIDENCE
- ADDITION & ALTERATIONS -
30 HEATHER WAY
DOBBS FERRY, NY
PROJECT NO. 15062-15

PROPOSED ELECTRICAL FLOOR PLANS

DRAWING TITLE		
DATE	SCALE	CAD FILE
02.15.21	AS NOTED	
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