

ABV	ABOVE	JC	JANITOR CLOSET
ABFF	ABOVE FINISHED FLOOR	JT	JOINT
ACC	ACCESS	JB	JUNCTION BOX
AD	ACCESS DOOR		
AP	ACCESS PANEL	KO	KNOCK OUT
ACT	ACOUSTICAL TILE		
ADD	ADDENDUM		
ADJ	ADJACENT or ADJUSTABLE	LAM	LAMINATE
AGGR	AGGREGATE	LAV	LAVATORY
A/C	AIR CONDITIONER	LH	LEFT HAND
ALUM/AL	ALUMINUM	LKR	LOCKER
ACI	AMERICAN CONCRETE INSTITUTE	L.P.	LOW POINT
ADA	AMERICANS W/ DISABILITIES ACT		
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	MH	MANHOLE
		MFR	MANUFACTURE(R)
AWG	AMERICAN WIRE GAGE	MAS	MASONRY
APPROX	APPROXIMATE	MO	MASONRY OPENING
		M.E.	MATCH EXISTING
BB	BASEBOARD	MAT	MATERIAL
BP	BASE PLATE	MAX	MAXIMUM
BM	BEAM	MECH	MECHANIC(AL)
BRG	BEARING	MC	MEDICINE CABINET
B.M.	BENCH MARK	MBR	MEMBER
BTWN	BETWEEN	MTL	METAL
BLK	BLOCK	MN	MINIMUM
BLKG	BLOCKING	MR	MIRROR
BD	BOARD	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	MSC	MISCELLANEOUS CHANNEL
		MTD	MOUNTED
CAB	CABINET	MOV	MOVABLE
C.I.	CAST IRON	MUL	MULLION
C.H.	CEILING HEIGHT		
CB	CATCH BASIN	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CLG	CEILING		
CEM	CEMENT	NRC	NOISE REDUCTION COEFFICIENT
CL	CENTER LINE	NOM	NOMINAL
CT	CERAMIC TILE	N.I.C.	NOT IN CONTRACT
CO	CLEAN OUT	NTS	NOT TO SCALE
CLR	CLEAR(ANCE)		
CW	COLD WATER	OC	ON CENTER
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CMU	CONCRETE MASONRY UNIT	OPH	OPPOSITE HAND
CONT	CONTINUOUS or CONTINUE	OD	OUTSIDE DIAMETER
CONV	CONVECTOR	OZ	OUNCE
CG	CORNER GUARD	OA	OVERALL
DP	DAMPPOOFING	OH	OVERHEAD
DEG	DEGREE		
DTL	DETAIL	PNT/PT(D)	PAINT(ED)
DIAG	DIAGONAL	PR	PAIR
DF	DIFFUSER	PNL	PANEL
DM	DIMENSION	PTN	PARTITION
DISP	DISPENSER	PLAS	PLASTER
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DN	DOWN	PL	PLATE
DWG	DRAWING	PLWD	PLYWOOD
DF	DRINK FOUNTAIN	PVC	POLYVINYL CHLORIDE or COATING
EA	EACH	PSF	POUNDS PER SQUARE FOOT
ELEC	ELECTRICAL or ELECTRIC	PSI	POUNDS PER SQUARE INCH
EP	ELECTRIC PANEL		
E.W.C	ELECTRIC WATER COOLER	QUANT/QTY	QUANTITY
		QT	QUARRY TILE
ELEV	ELEVATION		
EMER	ELEVATOR	RAD	RADIUS or RADIATOR
EQ	EMERGENCY	REF	REFERENCE
EQU	EQUAL	REINF	REINFORCEMENT
EQUIP	EQUIPMENT	REQD	REQUIRED
EXH	EXHAUST	RET	RETURN
EXIST	EXISTING	RD	ROOF DRAIN
		RO	ROUGH OPENING
F.A.I.	FRESH AIR INTAKE		
F.O.	FACE OF	SAD	SADDLE
F.B.R.	FACE OF BRICK	SAN	SANITARY
F.O.C	FACE OF CONCRETE	SCHED	SCHEDULE
F.O.M	FACE OF MASONRY	SECT	SECTION
F.O.S	FACE OF STUDS		
FIN	FINISH	SIM	SIMILAR
		STC	SOUND TRANSMISSION COEFFICIENT
FA	FIRE ALARM		
FAA	FIRE ALARM ANNUNCIATOR	SPKR	SPEAKER
FHVC	FIRE HOSE VALVE CABINET	SPEC	SPECIFICATION
F.D.	FLOOR DRAIN or FIRE DAMPER	SF	SQUARE FOOT
		SST/ST. STL.	STAINLESS STEEL
FE	FIRE EXTINGUISHER	SD	STORM DRAIN
FP	FIRE PROOF	S.F.T.	STRUCTURAL FACED TILE
FLUOR	FLUORESCENT	SW	SWITCH
FT	FOOT or FEET		
FTG	FOOTING	TEL	TELEPHONE
FDN	FOUNDATION	TV	TELEVISION
F.A.I.	FRESH AIR INTAKE	TEMP	TEMPERED
FLR	FLOOR	TERR	TERRAZZO
GA	GAUGE	THK	THICK
GALV	GALVANIZED	T.O.	TOP OF
GN	GENERAL	TYP	TYPICAL
GL	GLASS or GLAZING		
GB	GRAB BAR	U.L.	UNDERWRITERS LABORATORY
		UC	UNDERCUT
GND	GROUND	UNEX	UNEXCAVATED
GYP	GYPSPUM	U.C.C.	UNIFORM CONSTRUCTION CODE
GWB/ GYP.BD	GYPSPUM WALL BOARD	U.O.N.	UNLESS OTHERWISE NOTED
HC	HANDICAPPED	V.I.F.	VERIFY IN FIELD
HR	HAND RAIL	VCT	VINYL COMPOSITION TILE
HDWR	HARDWARE	VWC	VINYL WALL COVERING
HWD	HARDWOOD	VB	VINYL BASE
HVAC	HEATING VENTILATING AIR CONDITIONING	VOL	VOLUME
HM	HEIGHT	WC	WATER CLOSET
	HOLLOW METAL	WD	WOOD
	HOSE BIBB	WH	WATER HEATER
H.P.	HIGH POINT	WP	WATER PROOF
		WWF	WELDED WIRE MESH
INCAND	INCANDESCENT	WT	WEIGHT
INCL	INCLUDE(D). (ING)	WO	WINDOW OPENING
	INTERIOR DIAMETER	W/	WITH
INSUL	INSULATE(D). (ING). (TION)	W/O	WITH OUT
INV	INVERT	WGL	WIRE GLASS
INV EL	INVERT ELEVATION		

ALL WORK SHALL CONFORM TO THE 2020 UNIFORM FIRE PREVENTION AND BUILDING CODE OF NEW YORK & RULES (THE UNIFORM CODE) & 2020 NYS EBC & 2020 NYS FC AS ADOPTED THE STATE OF NEW YORK & ALL RULES REGULATIONS OF ALL DEPARTMENTS HAVING JURISDICTION. ALL WORK SHALL CONFORM TO THE VILLAGE OF DOBBS FERRY MUNICIPAL CODE.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND JOB CONDITIONS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS AND STANDARDS AND ALL LOCAL REQUIREMENTS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW ALL SAFE EXCAVATION PRACTICES AND CALL "DIG-SAFELY" AT LEAST 3 WORKING DAYS IN ADVANCE TO MARK UP ANY UNDERGROUND UTILITIES. NO EXCAVATION WORK OR DIGGING OF ANY KIND SHALL START OTHERWISE.

ALL WORK SHALL BE PERFORMED IN A WORKMAN-LIKE MANNER BY QUALIFIED JOURNEMEN OR MASTERS OF EACH TRADE.

ALL MATERIAL HANDLING AND INSTALLATION SHALL BE STRICTLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE, AND PAY FOR ALL TESTS, INSPECTIONS, ETC. AS REQUIRED BY THE BUILDING DEPARTMENT AND ANY OTHER DEPARTMENTS HAVING JURISDICTIONS.

GENERAL CONTRACTOR SHALL VISIT THE SITE AND MAKE HIMSELF FAMILIAR WITH THE WORK AND THE LOCAL CONDITIONS PRIOR TO SUBMITTING A PRICE TO THE OWNER.

ALL SURFACES ADJACENT TO THE WORK AREA, WHICH IS DAMAGED DURING CONSTRUCTION BY THE FORCES OF THE GENERAL CONTRACTOR, SHALL BE REPAIRED TO MATCH SURROUNDING SURFACES TO SATISFACTION OF THE OWNER AND ARCHITECT AT NO ADDITIONAL COST.

THE CONTRACTOR SHALL REMOVE FROM THE ALL DEBRIS CREATED BY HIS WORK AND SHALL DISPOSE OF THEM IN A LEGAL MANNER ON A WEEKLY BASIS OR SOONER AS CONDITIONS WARRANTS.

TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.

DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONGEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

LOCATE EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.

PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE DURING DEMOLITION.

**VILLAGE OF DOBBS FERRY NOTES:**

1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF

1. REMOVE PORTIONS OF EXISTING CURB AND SIDEWALK AT ASHFORD AVE.
2. PROVIDE NEW CURB AT ASHFORD AVE.
3. PROVIDE (2) NEW PARKING SPACES ALONG ASHFORD AVE.
4. PROVIDE ASPHALT PAVEMENT PARKING AREA.
5. SITE STORMWATER MANAGEMENT


The diagram illustrates the use of detail numbers and sheet numbering in technical drawings. It is divided into two main sections: **DETAIL NUMBER** and **SHEET NUMBERING**.


**DETAIL NUMBER:** This section shows a sequence of three circles representing different levels of detail. The first circle is labeled **ELEVATION REFERENCE**. An arrow points from it to a second circle, which is labeled **SECTION REFERENCE**. Above the second circle, a box labeled **AREA SECTIONED** has an arrow pointing to the circle. Another arrow points from the second circle to a third circle, which is labeled **DETAIL SECTION REFERENCE**. Above the third circle, a box labeled **AREA DETAILED** has an arrow pointing to the circle. An arrow points from the third circle to a dashed box labeled **DETAIL REFERENCE**. Below the circles, the text **SHEET LOCATOR** is written.


**SHEET NUMBERING:** This section shows a circle with a small triangle containing the letter 'R' and a hash symbol (#) next to it. Below this, the text **REVISION NUMBER/LETTER AND DELTA SYMBOL "CLOUDED" AREA REVISED** is written. To the right, the text **SHEET NUMBERING** is written above a box labeled **A-XXX**. Arrows point from the box to the text **SHEET NO. IN CHAPTER** and **CHAPTER LETTER**.


C-001.00	GENERAL NOTES
C-100.00	SITE PLAN & ZONING ANALYSIS
C-200.00	STORMWATER POLLUTION PREVENTION
C-201.00	STORMWATER CALCULATIONS
C-300.00	SITE DETAILS


Environmental Features


 NYS Regulated Wetlands

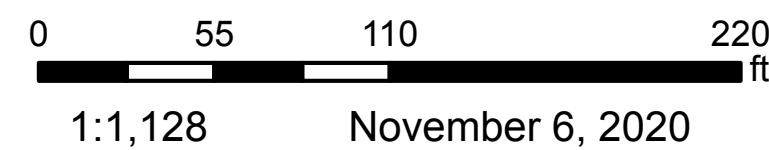
 Slopes 15%-25%

 Slopes Over 25%

 Generalized Zoning

 District Boundaries

 Municipal Boundaries



GROUND SNOW LOAD (PSF)	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	120	NO	YES	30 PSF	B	SEVERE	3'-6"	MODERATE TO HEAVY	15 DEG. F	YES	SEE BELOW	1500	52 DEG. F

FLOOD HAZARDS:

- (a) FIRST CODE DATE OF ADOPTION JULY 9, 1980.
- (b) DATE OF FLOOR INSURANCE STUDY JAN. 21, 1998.
- (c) MAP PANEL NUMBERS 36119C0907F THROUGH 36119C0338F EFFECTIVE SEPT. 28, 2007.

ENGINEERING DESIGN:

**BADALY ENGINEERING PLLC**  
2 WILSON PLACE, MT. VERNON, NY 10550

[914] 465-9010  
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ISSUE:		
#	DATE	DESCRIPTION
REVISIONS:		
#	DATE	DESCRIPTION

PROJECT TITLE:


*EXTERIOR ALTERATIONS:*

**398 ASHFORD AVE**  
DOBBS FERRY, NY 10522

BLOCK: 85

DRAWING TITLE:

## GENERAL NOTES & DETAILS

SCALE: AS NOTED	SEAL AND SIGNATURE:
DATE: 11/05/2020	
JOB NO: 20222	
DRAWN BY: AK	
CHECKED BY: SB	

DRAWING NO.:

C-001.00

SHEET NO.

1 OF 5



SITE PLAN DEMOLITION NOTES:

1. PORTION OF EXISTING CURB TO BE REMOVED.
2. PORTION OF EXISTING SIDEWALK TO BE REMOVED.
3. NO EXISTING TREES ARE TO BE REMOVED.
4. EXISTING WALL MOUNTED LIGHTING FIXTURE TO REMAIN. NO CHANGES PROPOSED.

EXISTING IMPERVIOUS SURFACES:

BUILDING: 2,058 S.F.  
ASPHALT (WITHIN P.L.): 310 S.F.  
SIDEWALK: (WITHIN P.L.): 316 S.F.  
TOTAL EXISTING: 2,684 S.F.  
BUILDING COVERAGE: 2,058 S.F. / 3,958 S.F. = 51.2%  
EXISTING IMPERVIOUS COVERAGE: 2,684 S.F. / 3,958 S.F. = 67.8%

CONSTRUCTION SEQUENCE:

1. NO WORK IS TO OCCUR THAT WILL IMPACT THE FLOW OF TRAFFIC AT ASHFORD AVE.
2. PROVIDE EROSION AND SEDIMENT CONTROLS AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO ENSURE ADJACENT ROADWAY IS CLEAR OF DEBRIS AND EROSION.
3. EXISTING CURBING AND SIDEWALK IS TO BE REMOVED.
4. ALL DEBRIS IS TO BE PROPERLY STORED AND DISPOSED OF AT END OF WORK DAY FOR EVERY DAY OF CONSRUCTION.
5. PROVIDE NEW SIDEWALK AND CURB AT PROPOSED LOCATION.
6. EXCAVATE AND INSTALL PROPOSED STORMWATER CULTCS AS PER MANUFACTURER'S SPECIFICATION. (SEE C-201.00).
7. INSTALL THE PROPOSED AREA DRAIN AT PARKING AREA AND CONNECT ALL DRAINAGE SYSTEMS.
8. PROVIDE NEW ASPHALT PAVEMENT AT PROPOSED PARKING AREAS.
9. ENSURE ALL AREAS ARE FREE OF DEBRIS AT END OF CONSTRUCTION.

ZONING COMPLIANCE TABLE

Property Address(es):	398 ASHFORD AVENUE
Zoning District(s):	DT
Block/Lot:	Block: 89 Lot: 01
Structure / Site Use(s):	RESIDENTIAL

Item	Required / Permitted	Existing	Proposed	Variance Requested	Remarks
Lot Area (square feet)	-	3,958	3,958	NO	-
Front Yard Setback (feet)	0	8.00	8.00	NO	-
Rear Yard Setback (feet)	25	4.00	4.00	NO	-
Side Yard Setback - Each Yard (feet)	5	0.80	0.80	NO	EXISTING NON-CONFORMING. NO CHANGE PROPOSED.
Side Yard Setback - Total (feet)	10	18.73	18.73	NO	-
Building Coverage (%)	40	51.2%	51.2%	NO	-
Impervious Coverage (%)	40	67.8%	91.7%	YES	-
Building Height (feet)	3 STORIES / 35'	3 STORIES / 30'	3 STORIES / 30'	NO	-

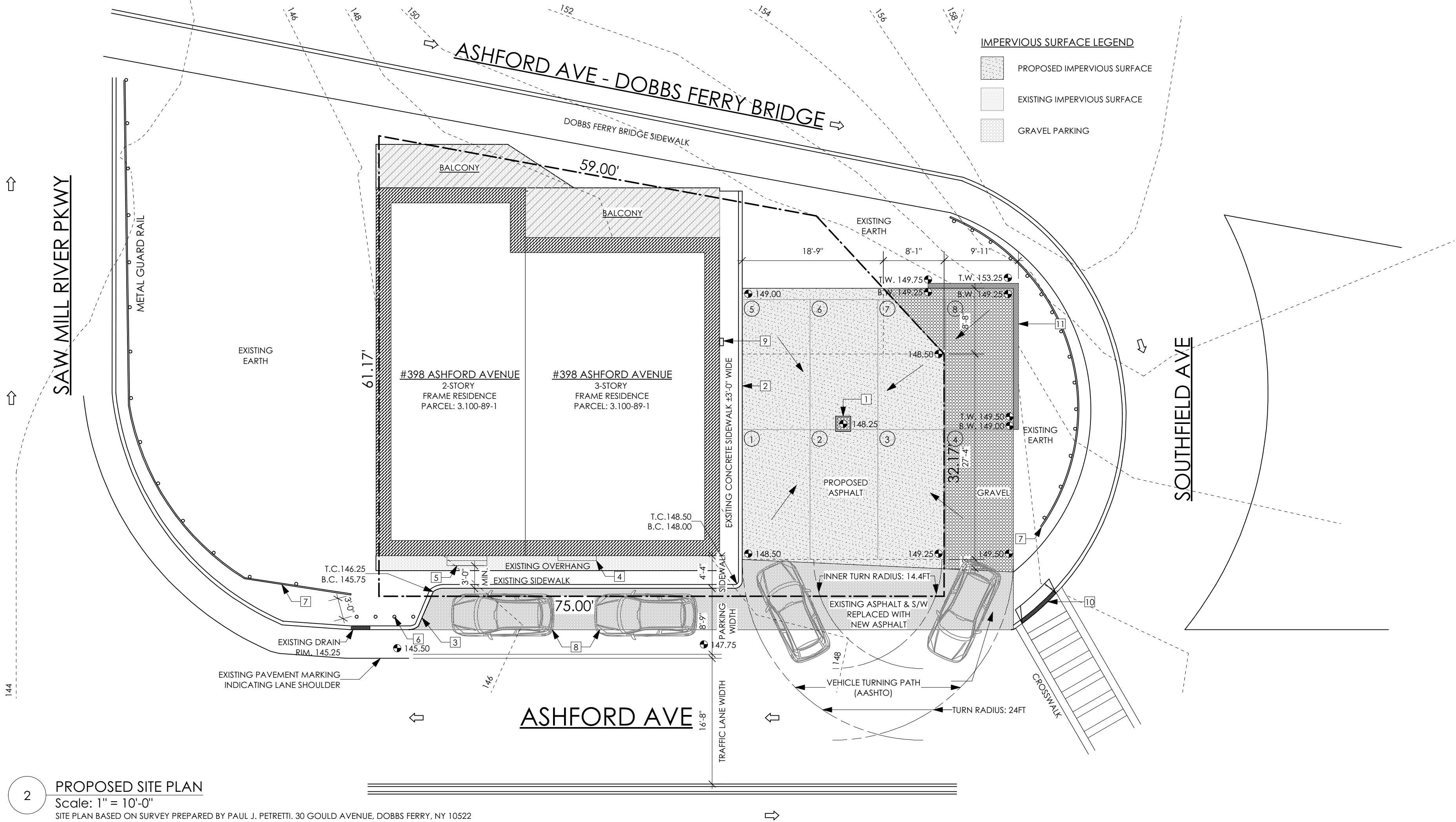
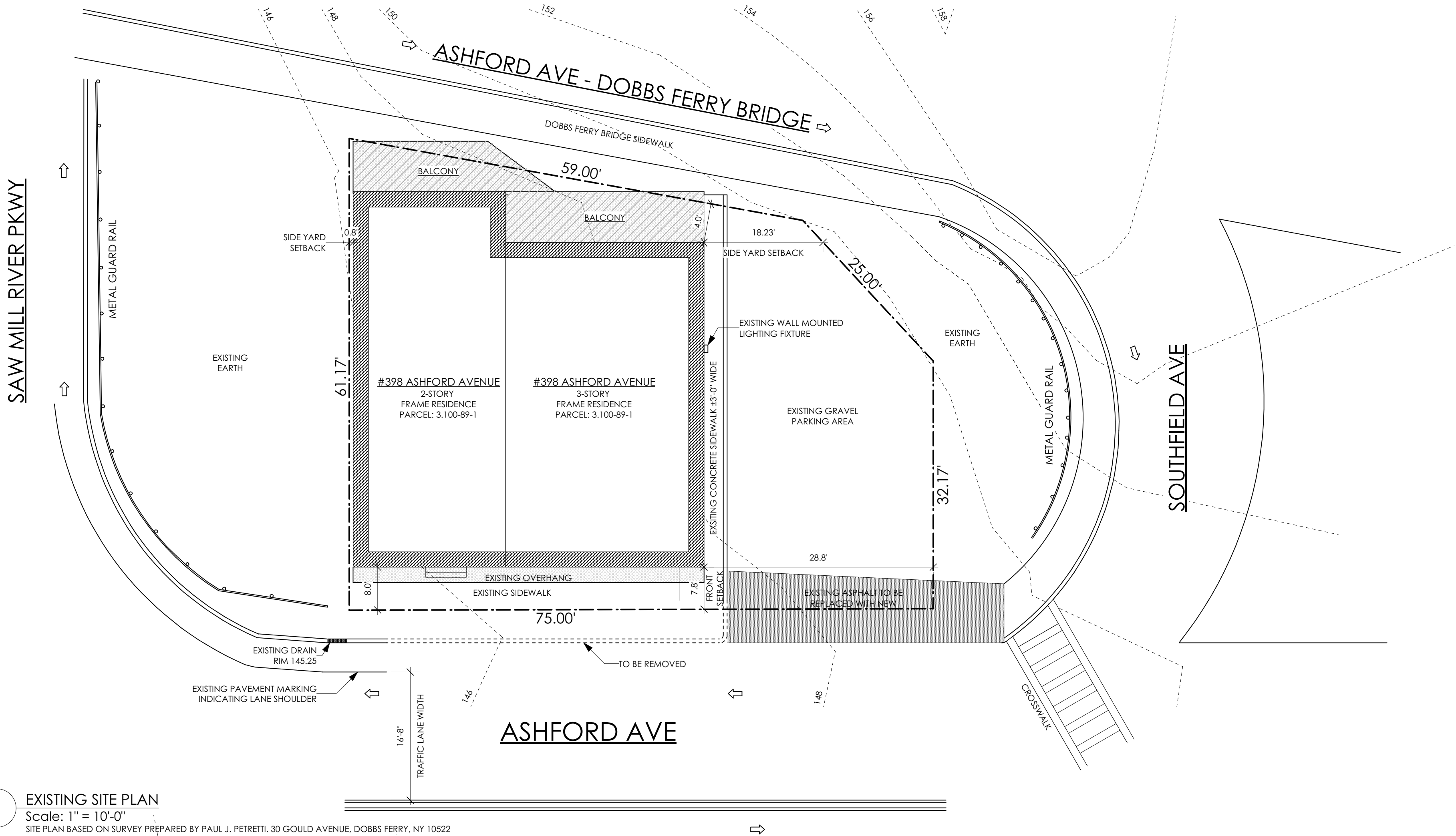
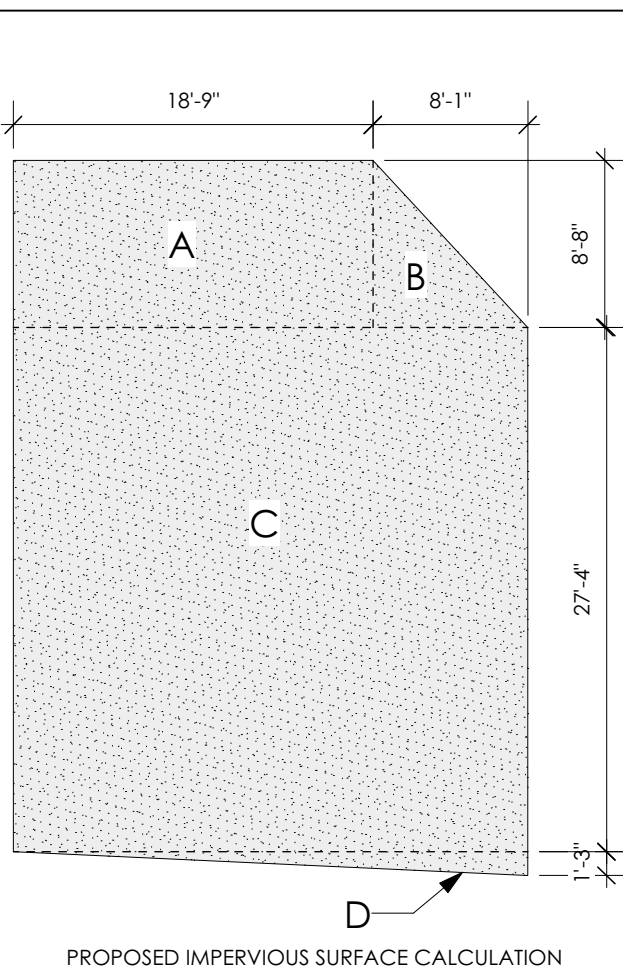
SITE PLAN LEGEND:

1. PROPOSED AREA DRAIN. SEE C-001.00: PROPOSED STORMWATER MANAGEMENT PLAN FOR DRYWELL LOCATION & DETAILS.
2. PROPOSED BELGIUM BLOCKS CURB AT SIDE OF BUILDING.
3. EXISTING SIDEWALK TO BE CUT AND NEW 6" CURB IS TO BE PROVIDED.
4. NEW (1) CONCRETE STEP.
5. EXISTING CONCRETE STEPS. TO REMAIN.
6. NEW STEEL BOLLARDS.
7. EXISTING METAL GUARD RAIL. TO REMAIN.
8. NEW (2) TWO PARKING SPACES. EXISTING SIDEWALK TO BE CUT TO ACCOMMODATE NEW PARKING SPACES AS SHOWN IN DRAWING. NEW SIDEWALK TO BE MIN. 4'-0".
9. EXISTING WALL-MOUNTED LIGHTING FIXTURE.
10. PROPOSED PEDESTRIAN RAMP.
11. PROPOSED SEGMENTAL BLOCK GRAVITY RETAINING WALL. MAX HEIGHT: 4'-0". TO BE FILED UNDER A SEPERATE APPLICATION.

SITE PLAN NOTES:

1. ALL SNOW ON SITE IS TO BE CARTED AWAY.
2. STANDARD EROSION CONTROL AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO BE PRROVIDED.
3. CUT/FILL MATERIAL NOT TO BE IMPORTED TO OR EXPORTED FROM THE SITE.
4. ALL RIGHT-OF-WAY IMPROVEMENTS SHALL CONFORM TO THE VILLAGE OF DOBBS FERRY STANDARDS.
5. SOLID WASTE CONTIANERS ARE LOCATED AT THE REAR OF THE BUILDING AND ARE TRANSPORTED TO FRONT OF PROPERTY FOR COLLECTION.
6. PROPOSED CONSTRUCTION DOES NOT AFFECT ANY EXISTING UTILITIES.
7. PARKING LOT TO BE ATTENDED TO ALLOW FOR ACCESS TO AND FROM PARKING SPACES 5-8.
8. EASEMENT AGREEMENT IS TO BE CREATED WITH OWNER OF ADJACENT PROPERTY TO ALLOW PROPOSED PARKING SPACES OUTSIDE OF PROPERTY LINE IN THE R.O.W.
9. ALL WORK PROPOSED WITHIN COUNTY R.O.W. MUST RECEIVE PROPER APPROVAL BEFORE ANY WORK MAY COMMENCE WITHIN THE COUNTY R.O.W.

PROPOSED IMPERVIOUS AREA		TOTAL NEW IMPERVIOUS AREA	= 948. S.F.
AREA A: 18'-9" X 8'-8"	= 163 S.F.	TOTAL IMPERVIOUS COVERAGE:	
AREA B: 8'-1" X 8'-8" X 1/2	= 35 S.F.	2,684 S.F. + 948 S.F.	= 3,632 S.F.
AREA C: 27'-4" X 26'-10"	= 733 S.F.	3,632 S.F. / 3,958 S.F.	= 91.7%
AREA D: 27'-4" X 1'-3" X 1/2	= 17 S.F.	VARIANCE REQUIRED	



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ISSUE:

#	DATE	DESCRIPTION

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:

EXTERIOR ALTERATIONS:

398 ASHFORD AVE  
DOBBS FERRY, NY 10522

BLOCK: 89

LOT: 01

DRAWING TITLE:

SITE PLAN & ZONING  
ANALYSIS

SCALE:

AS NOTED

DATE:

11/05/2020

JOB NO:

20222

DRAWN BY:

AK

CHECKED BY:

SB

DRAWING NO.:

C-100.00

SHEET NO.:

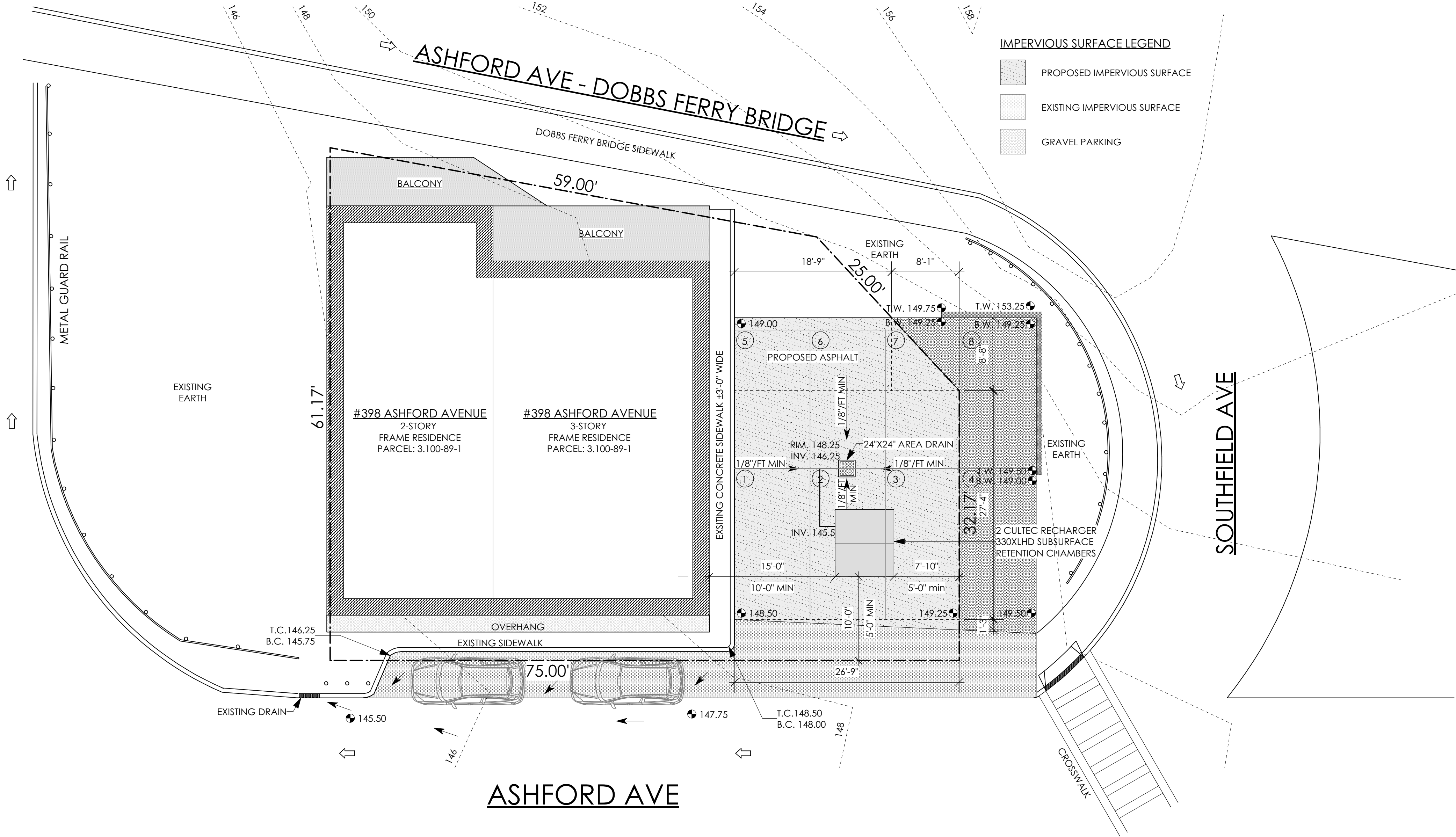
2 OF 5



STORMWATER MANAGEMENT NOTES:

1. ALL DRAINAGE PIPING TO BE MIN. 8"Ø EPDM DRAINAGE PIPE ON 1/8" PER FT SLOPE.
2. ALL SNOW ON SITE IS TO BE CARTED AWAY.
3. EXISTING DRAINAGE GUTTER DRAIN TO REMAIN.  
EXISTING DRAIN FLOWS NORTHWEST TOWARDS THE SAW MILL RIVER PARKWAY.
4. THE PROP. CULTEC RETENTION CHAMBERS SHALL NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPELTE AND THE CONTRIBUTING AREA IS STABILIZED.
5. AREA OF PROP. CULTEC RETENTION CHAMBERS TO BE FENCED OFF DURING CONSTRUCTION.
6. CULTEC RETENTION CHAMBER INSPECTION PORTS TO BE CHECKED ANNUALLY FOR SEDIMENTS
7. STANDARD EROSION CONTROL AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO BE PROVIDED.
8. CUT/FILL MATERIAL NOT TO BE IMPORTED TO OR EXPORTED FROM THE SITE.
9. THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED AS PER THE REQUIREMENTS OF THE NYS STORMWATER DESGN MANUAL (JAN. 2015).
10. PROPOSED PARKING SPACES AT FRONT OF BUILDING TO SLOPE TOWARDS EXISTING DRAIN ON ASHFORD AVE AS INDICATED BY DRAINAGE ARROWS. →  
F.F. ELEVATION: 146.5    APPROXIMATE ELEV. AT EXISTING DRAIN: 146

SAW MILL RIVER PKWY



ASHFORD AVE

IMPERVIOUS SURFACE LEGEND

- PROPOSED IMPERVIOUS SURFACE
- EXISTING IMPERVIOUS SURFACE
- GRAVEL PARKING

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#	DATE	DESCRIPTION

PROJECT TITLE:

EXTERIOR ALTERATIONS:

**398 ASHFORD AVE**  
DOBBS FERRY, NY 10522

BLOCK: 89

LOT: 01

DRAWING TITLE:

**STORMWATER  
POLLUTION  
PREVENTION PLAN**

SCALE:

AS NOTED

DATE:

11/05/2020

JOB NO:

20222

DRAWN BY:

AK

CHECKED BY:

SB

DRAWING NO.:

**C-200.00**

SHEET NO.:

3 OF 5

1 STORMWATER MANAGMENT SITE PLAN

Scale: 1/8" = 1'-0"



CULTEC RECHARGER® 330XLHD SPECIFICATIONS

CULTEC RECHARGER® 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, INC. OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF POLYETHYLENE WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER SHALL BE ARCHED IN SHAPE.
4. THE CHAMBER SHALL BE OPEN-BOTTOMED.
5. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER® 330XLHD SHALL BE 30.5 INCHES (775 MM) TALL, 52 INCHES (1321 MM) WIDE AND 8.5 FEET (2.59 M) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER® 330XLHD SHALL BE 7 FEET (2.13 M).
7. MAXIMUM INLET OPENING ON THE CHAMBER END WALL IS 24 INCHES (600 MM) HDPE, PVC.
8. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. MAXIMUM ALLOWABLE O.D. IN THE SIDE PORTAL IS 10 INCHES (250 MM) HDPE AND 12 INCHES (300 MM) PVC.
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV® FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 MM) TALL, 16 INCHES (406 MM) WIDE AND 24.2 INCHES (614 MM) LONG.
10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER® 330XLHD CHAMBER SHALL BE 7.459 FT3 / FT (0.693 M3 / M) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A SINGLE RECHARGER® 330XLHD STAND ALONE UNIT SHALL BE 63.40 FT3 (1.80 M3) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER® 330XLHD INTERMEDIATE UNIT SHALL BE 52.213 FT3 (1.478 M3) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF THE LENGTH ADJUSTMENT AMOUNT PER RUN SHALL BE 11.19 FT3 (1.04 M3) - WITHOUT STONE.
11. THE NOMINAL STORAGE VOLUME OF THE HVLV® FC-24 FEED CONNECTOR SHALL BE 0.913 FT3 / FT (0.026 M3 / M) - WITHOUT STONE.
12. THE RECHARGER® 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNIT'S CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
13. THE RECHARGER® 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.
14. THE END WALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
15. THE RECHARGER® 330XLHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
16. THE RECHARGER® 330XLHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL AND ONE PARTIALLY FORMED INTEGRAL END WALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 MM) HIGH X 34.5 INCHES (876 MM) WIDE.
17. THE RECHARGER® 330XLHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN END WALL AND ONE PARTIALLY FORMED INTEGRAL END WALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 MM) HIGH X 34.5 INCHES (876 MM) WIDE.
18. THE RECHARGER® 330XLHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
19. THE HVLV® FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER® 330XLHD AND ACT AS CROSS FEED CONNECTIONS.
20. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
21. THE CHAMBER SHALL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
22. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION ON THE LARGE RIB END.
23. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
24. MAXIMUM ALLOWABLE COVER OVER THE TOP OF THE CHAMBER SHALL BE 12" (3.66 M).
25. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

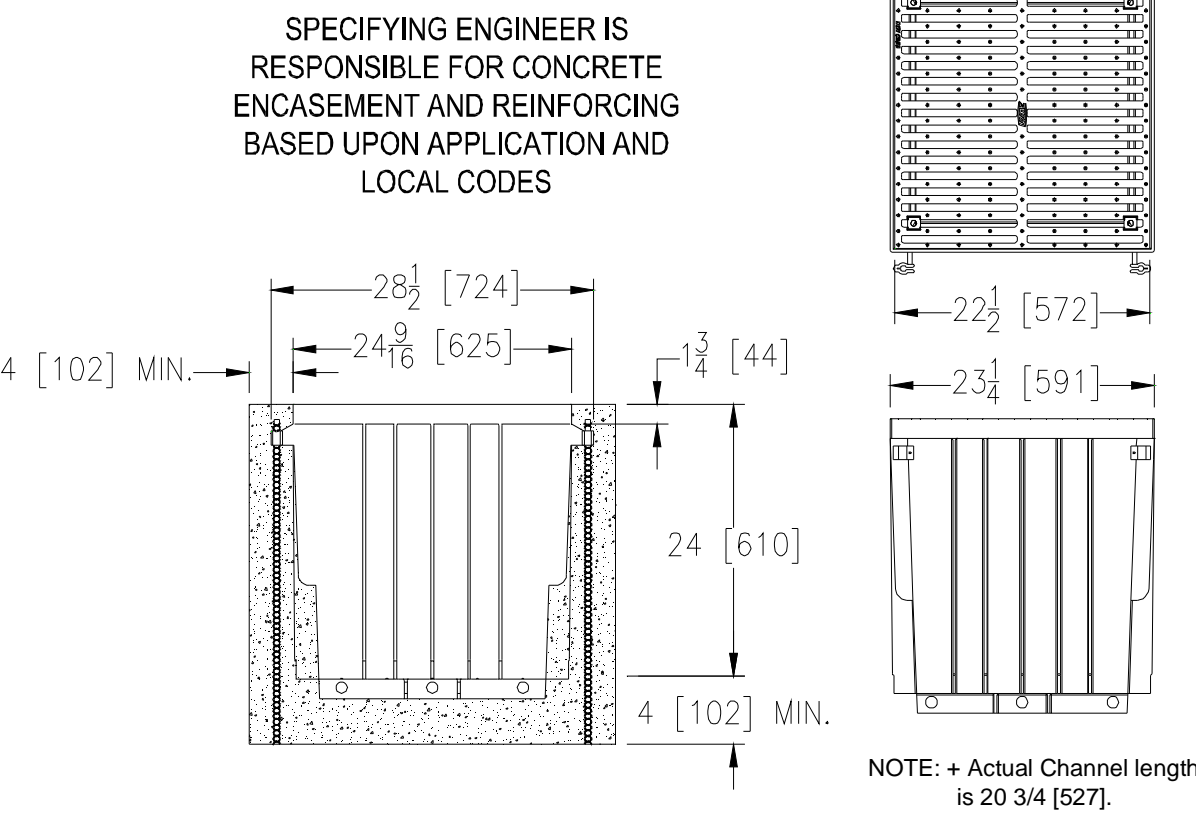


**Z887-24**  
23-1/4 [591] WIDE REVEAL x 24 [610] LONG CATCH  
BASIN

SPECIFICATION SHEET

TAG \_\_\_\_\_

Dimensional Data (inches and [ mm ]) are Subject to Manufacturing Tolerances and Change Without Notice



**ENGINEERING SPECIFICATION** Zurn Z887-24 Catch Basin shall be 23-1/4 [591] wide reveal x 24-5/8 [625] long and 24 [610] deep. Catch basin shall be made of 0% water absorbent High Density Polyethylene (HDPE). Shall mechanically lock into the concrete surround. Basin shall weigh less than 20.0 lbs. [9.1 kg]. Catch basin shall have rebar clips standard to secure basin in its final location. Shall be provided with standard DGC grate. Zurn 22-1/4 [565] wide reveal Ductile Iron Slotted Grate conforming to ASTM specification A536-84, Grade 80-55-06. Ductile Iron grate is rated class C per the DIN EN1433 top load classifications. Supplied in 24 [608] nominal lengths with 11/32 [9] wide slots, and 1-1/2 [38] bearing depth. Grate has an open area of 164.00 sq. in per ft.

**PREFIX OPTIONS** (Check/specify appropriate options)

\_\_\_ Z High Density Polyethylene (HDPE) Catch Basin\*

**Adapters**

\_\_\_ -E3/U3 3 [76] No-Hub End/Bottom Outlet Adapter \_\_\_ -1A Inlet Adapter (Z886)  
\_\_\_ -E4/U4 4 [102] No-Hub End/Bottom Outlet Adapter \_\_\_ -1A Inlet Adapter (Z882)  
\_\_\_ -E6/U6 6 [152] No-Hub End/Bottom Outlet Adapter

**Grate Options (Load Classifications are per DIN EN1433)**

\_\_\_ -DGC Ductile Iron Slotted Grate - Class C  
\_\_\_ -DGC Galvanized Ductile Slotted Grate - Class C  
\_\_\_ -GG Fiberglass Grate - Class A

**Miscellaneous Options**

\_\_\_ -CBF Black Acid Resistant Coated Frame  
\_\_\_ -EXT 12 [305] Body Extension  
\_\_\_ -GFA Galvanized Extra-Heavy Duty Frame Assy. w/ Studs  
\_\_\_ -HD Extra-Heavy-Duty Frame Assembly w/ Anchor Studs  
\_\_\_ -SF Type 304 Stainless Steel Top Frame  
\_\_\_ -Y Sediment Bucket

**MADE in the U.S.A. (Load Classifications are per DIN EN1433)**

\_\_\_ -FG Fabricated Galvanized Steel Slotted Grate - Class A  
\_\_\_ -FS Fabricated Stainless Steel Slotted Grate - Class A  
\_\_\_ -PG Galvanized Steel Perforated Grate - Class A  
\_\_\_ -PS Perforated Stainless Steel ADA Grate - Class A

\* Regularly furnished unless otherwise specified.

**Zurn Industries, LLC | Specification Drainage Operation**  
1801 Pittsburgh Avenue, Erie, PA U.S.A. 16502 • Ph. 855-663-9876, Fax 814-454-7929  
In Canada | **Zurn Industries Limited**  
3544 Nashua Drive, Mississauga, Ontario L4V 1L2 • Ph. 905-405-8272, Fax 905-405-1292  
[www.zurn.com](http://www.zurn.com)

Rev. M  
Date: 04/10/19  
C.N. No. 141201  
Prod. | Dwg. No. Z887-24

**BADALY**

**BADALY ENGINEERING PLLC**  
2 Wilson Pl, Mt Vernon, NY 10550

PROJECT: 398 ASHFORD AVENUE  
DESCRIPTION: STORMWATER RETENTION  
DRYWELL DESIGN

November 10, 2020  
1 OF 1  
AK CHK'D: SB

**SITE STORMWATER DRAINAGE DESIGN**

THE FOLLOWING DRAINAGE DESIGN HAS BEEN CALCULATED BASED OFF THE PROCEDURE OUTLINED IN NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL (JANUARY, 2015)

**SITE AREAS**

	AREA (FT <sup>2</sup> )	AREA (AC)	PROPOSED IMPERVIOUS SRUFACE:	
ROOF	0	0.0000	PAVEMENT	948 S.F.
PAVED	948	0.0218		
GRASS	0	0.0000		
SITE	948	0.0218	<b>TOTAL</b>	<b>948 S.F.</b>

**MAXIMUM REQUIRED DETENTION VOLUME**

ASSUME HYDROLOGIC SOIL GROUP C

TOTAL DRAINAGE AREA (A) = 948.0 SF  
TOTAL IMPERVIOUS AREA = 948.0 SF  
90TH PERCENTILE RAINFALL (P) = 1.5 IN

SEE FIGURE 4.1:  
2015 NYS STORMWATER MANAGEMENT  
DESIGN MANUAL

PERCENT IMPERVIOUS AREA (I) = 100.00

$R_v = 0.05 + (0.009(I)) = 0.95$

$WQ_v = (P \cdot R_v \cdot A) / 12 = 113$  SF

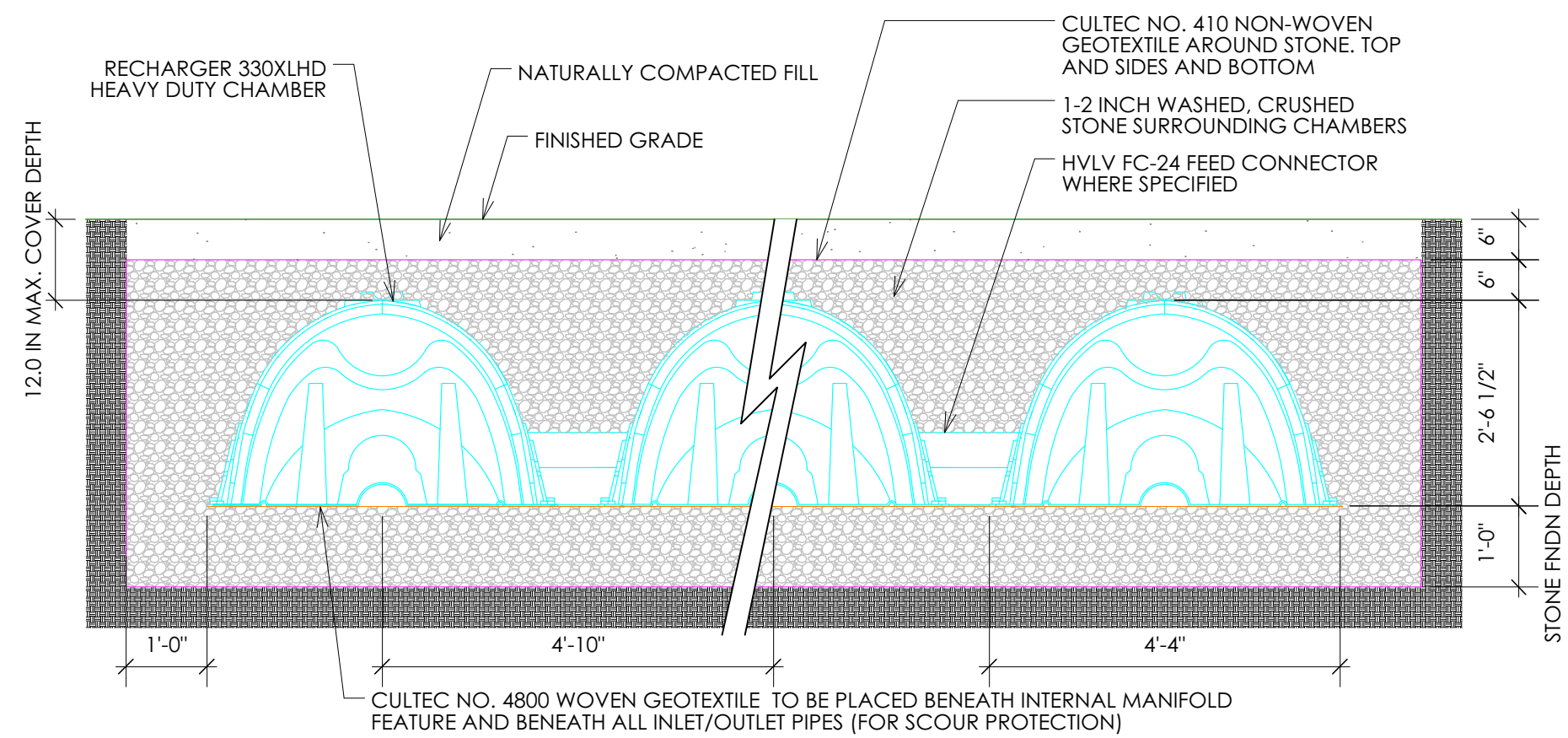
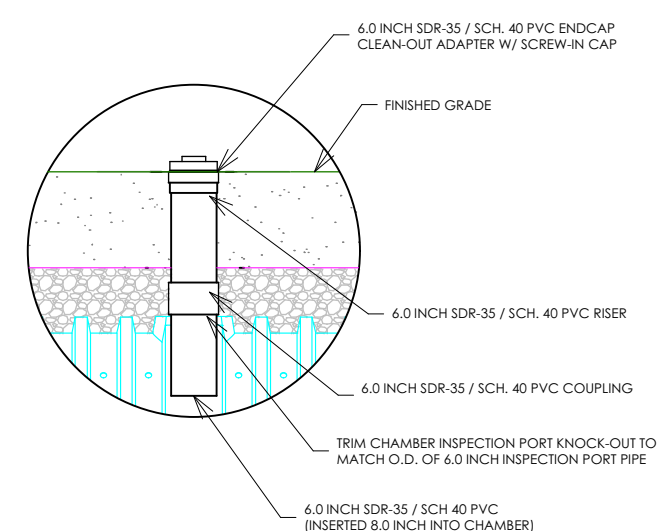
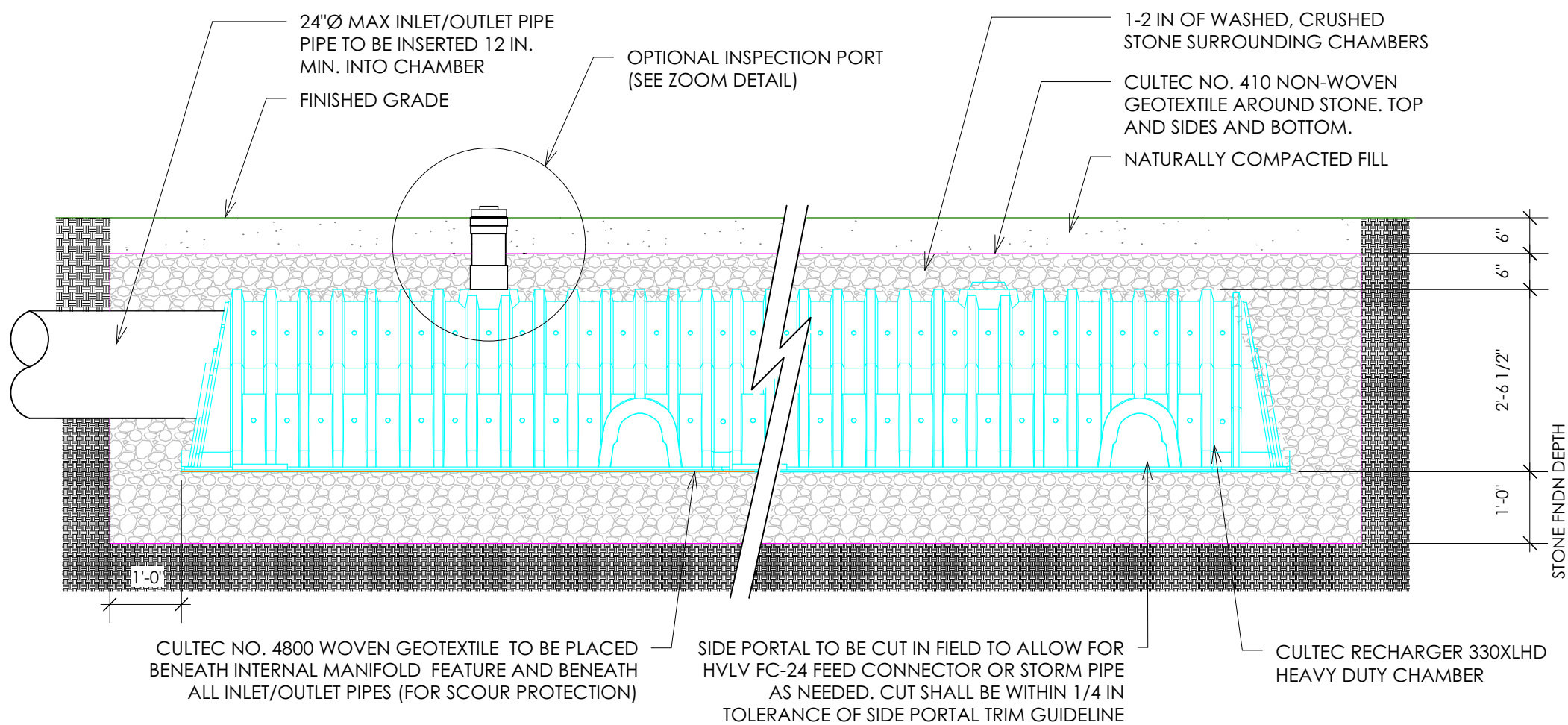
TOTAL VOLUME REQUIRED = 113 SF

**USE CULTEC RECHARGER 330XLHD RETENTION CHAMBERS:**

# OF CHAMBERS = 2  
CHAMBER STORAGE = 52.21 CF  
INSTALLED STORAGE = 79.26 CF  
TOTAL STORAGE = 158.52 CF

**PROPOSED STORMWATER RETENTION CHAMBER VOLUME**

$V_{TOTAL} = 158.5 \text{ CF} > 113 \text{ CF}$   
**OK**



1 CULTEC RECHARGER 330XLHD CROSS-SECTION  
Scale: 1/2" = 1'-0"

**BADALY**

ENGINEERING DESIGN:

**BADALY ENGINEERING PLLC**  
2 WILSON PLACE, MT. VERNON, NY 10550

(914) 465-9010

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**ISSUE:**

# DATE DESCRIPTION

**REVISIONS:**

# DATE DESCRIPTION

PROJECT TITLE:

**EXTERIOR ALTERATIONS:**

**398 ASHFORD AVE**  
DOBBS FERRY, NY 10522

BLOCK: 89

LOT: 01

DRAWING: **STORMWATER  
CALCULATIONS &  
SUBSURFACE  
RETENTION SYSTEM  
DETAILS**

SCALE:

AS NOTED

DATE:

11/05/2020

JOB NO:

20222

DRAWN BY:

AK

CHECKED BY:

SB

DRAWING NO.:

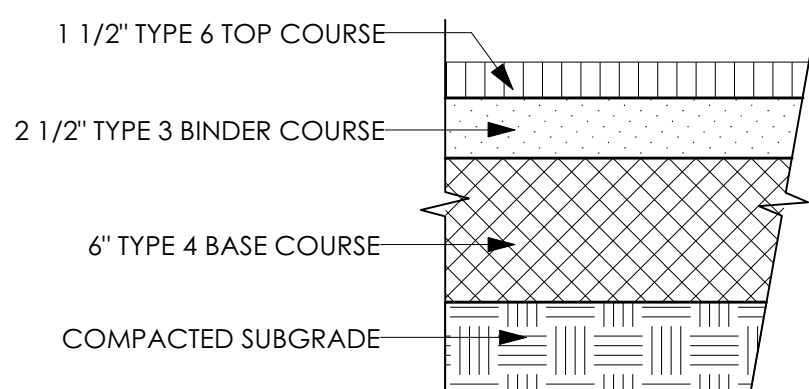
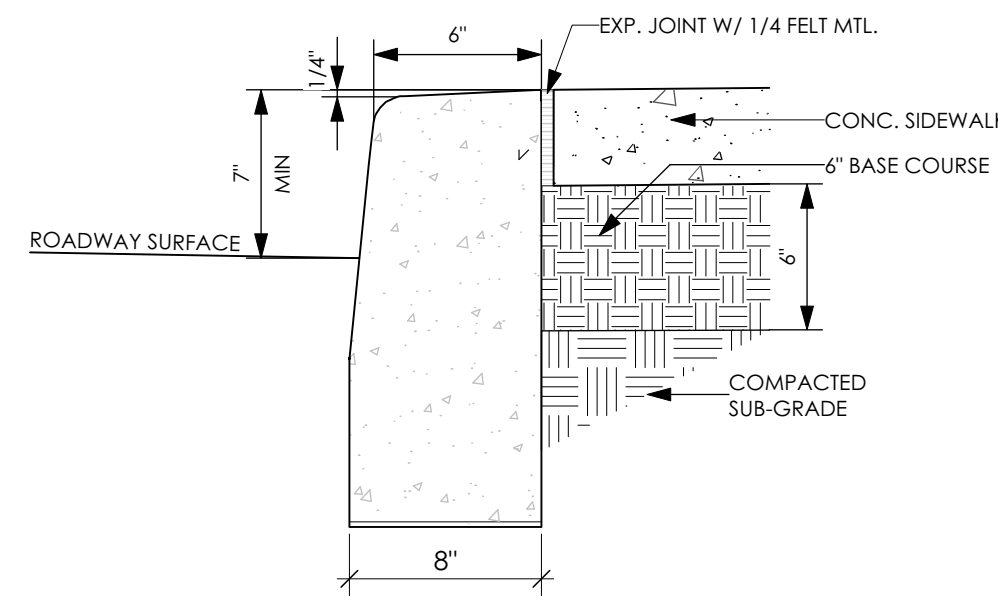
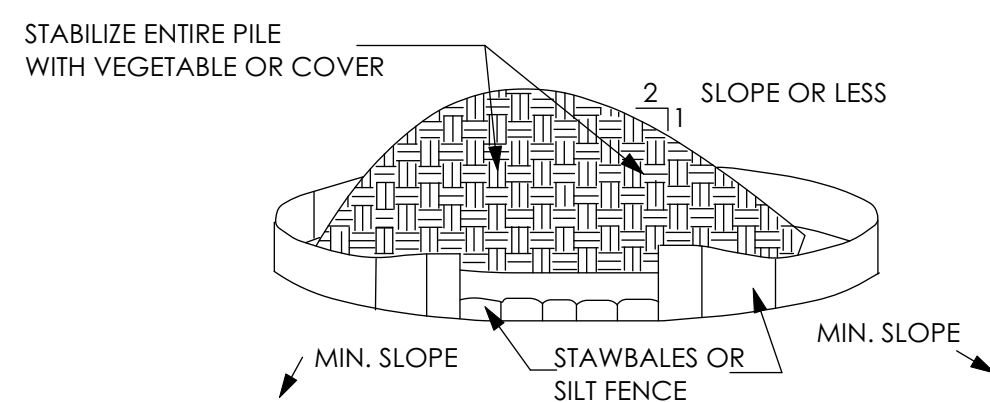
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SHEET NO.:

4 OF 5

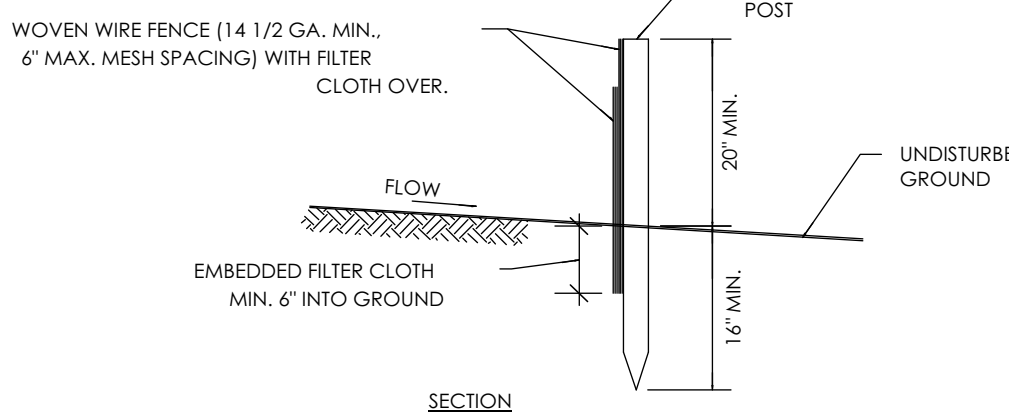
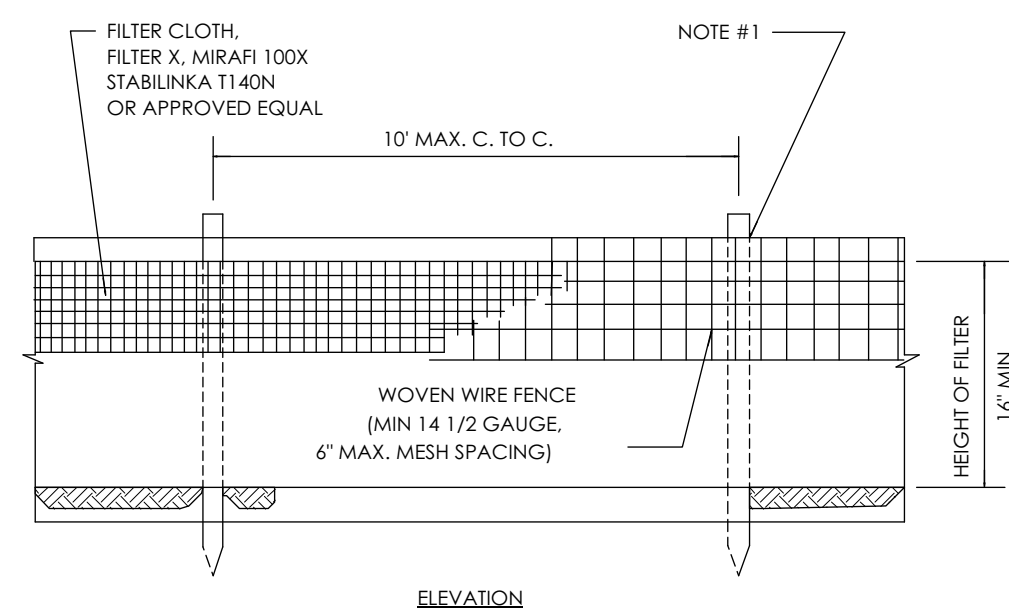




1 PAVEMENT DETAIL  
Scale: 1 1/2" = 1'-0"2 SIDEWALK CURB CONSTRUCTION DETAIL  
Scale: 1 1/2" = 1'-0"

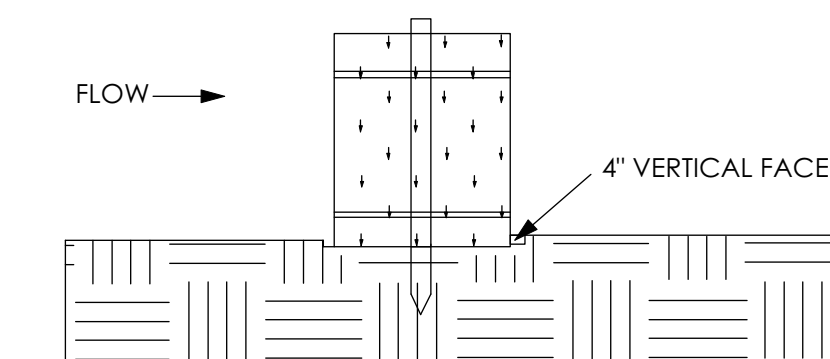
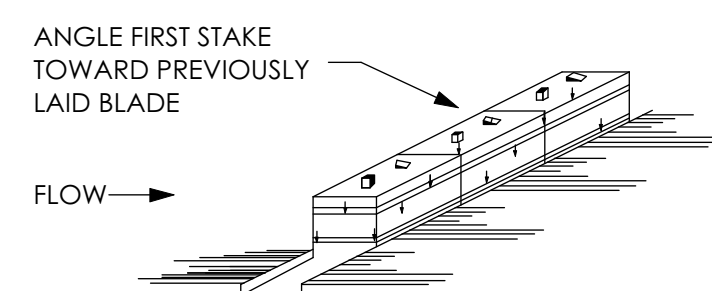
## INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILED OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTION OF SITE WITH ADEQUET SETBACKS FROM TEMPORARY DRAINAGE SWALES.
3. MAXIMUM SLOPE STOCKPILE SHALL BE 1 TO 2.
4. UPON COMPLETION OF SOIL STOCKPIILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETABLE OR COVERED.
5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
6. SEE SPECIFICATIONS AND DETAILS FOR INSTALLATION OF SILT FENCE.

3 SOIL STOCKPILE DETAIL  
Scale: 1/4" = 1'-0"

## CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. 36" MIN. STEEL POSTS, EITHER T OR U TYPE OR 2" HARDWOOD POSTS, DRIVEN MIN. 16" INTO GROUND.
2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABUNKA T140N, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.
6. CONTRACTOR MAY USE PREFABRICATED UNITS, AS MANUFACTURED BY GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

4 SILT FENCE DETAIL  
Scale: 1/4" = 1'-0"

## NOTES

1. BALES SHALL BE PLACED AT THE TOE OF THE SLOPE OR ON THE CONTOUR AND IN A ROW WITH END TIGHTLY ABUTTING IN ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES AND PLACED SP THE BINDING ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGEL TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE MADE FREQUENTLY AND REPAIR SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

5 HAYBALE DETAIL  
Scale: 1/4" = 1'-0"

## ISSUE:

# DATE DESCRIPTION

## REVISIONS:

# DATE DESCRIPTION

## PROJECT TITLE:

EXTERIOR ALTERATIONS:

**398 ASHFORD AVE**  
DOBBS FERRY, NY 10522

BLOCK: 89

LOT: 01

DRAWING TITLE:

## SITE DETAILS

SCALE:

AS NOTED

DATE:

11/05/2020

JOB NO:

20222

DRAWN BY:

AK

CHECKED BY:

SB

DRAWING NO.:

C-300.00

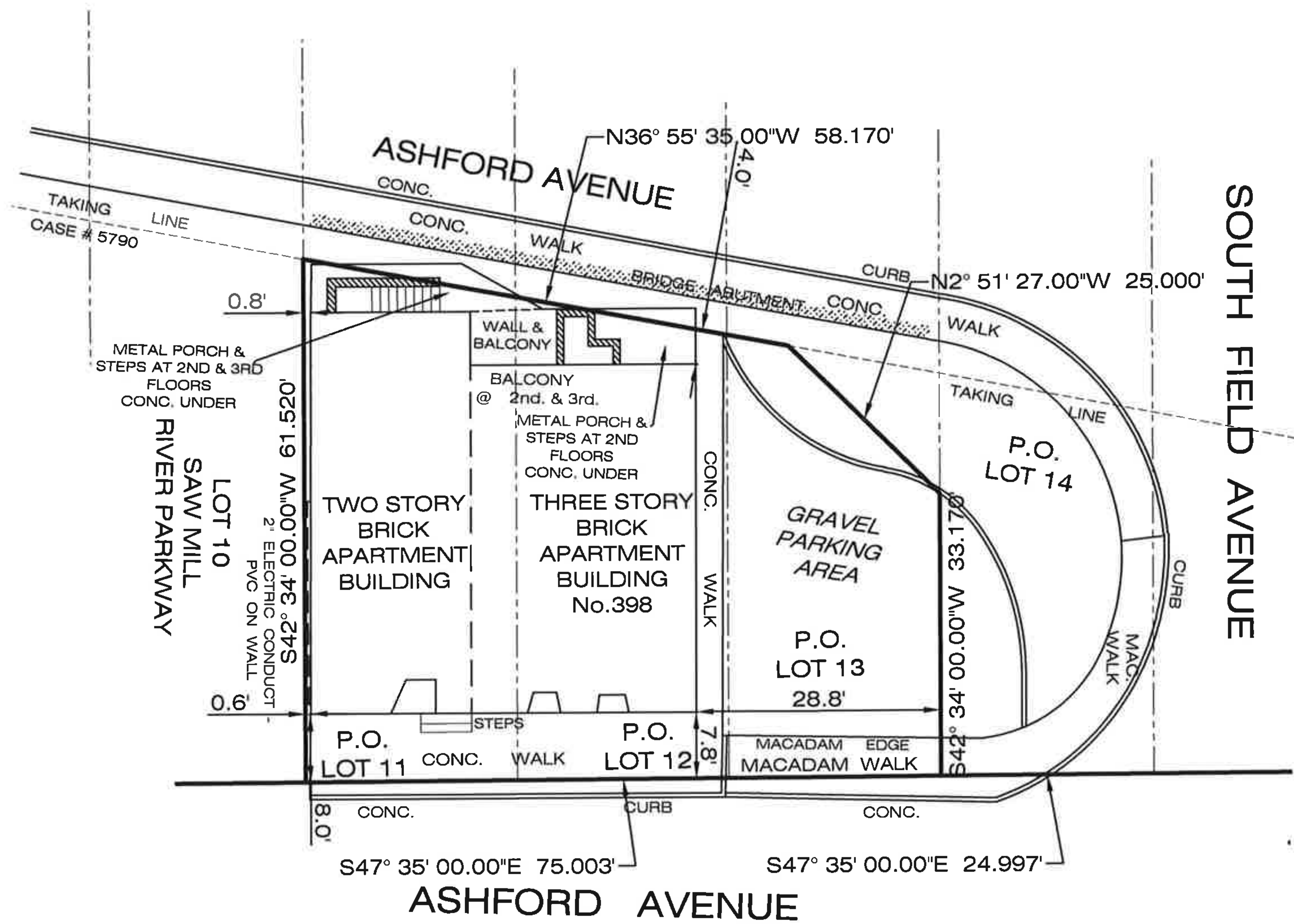
SHEET NO.:

5 OF 5



LEGEND

- CATCH BASIN
- DRAIN INLET
- UTILITY POLE
- SIGN POST
- HYDRANT
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- TRAFFIC POLE
- TELE. MANHOLE
- ELECTRIC BOX
- SEWER MANHOLE
- WATER MANHOLE
- ELECTRIC MANHOLE
- DRAIN MANHOLE
- MANHOLE



Possession NOT indicated

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for New York State Association of Land Surveyors. This Survey is a representation of the property as surveyed on March 12, 2021, the date that the field work was performed. Subsequent revision dates do not constitute an updated survey.

Eliot Senor, L.S. New York State Lic. No. 049822

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A Title report lists easements and restrictions if the report was not provided these easements and or restrictions may not be shown. A copy of the title report was not provided. A copy of the deed was provided. Survey may be subject to easements not shown.

Surface elevations and underground appurtenances, if any, whether or not shown are not guaranteed. Fences or possession lines generally do not follow a straight line. The survey shows straight lines between located points. Any dimensions shown are to the surveyed point only. Labeled dimensions cannot be used for any other point along the line.

Unauthorized alteration or additions to the survey map is a violation of Section 7209 sub-section 2 of the New York State Education Law

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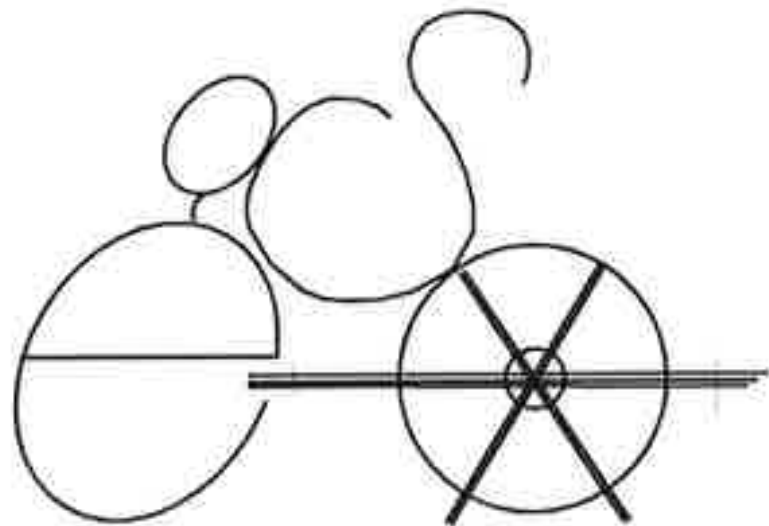
**SURVEY OF PART OF  
LOT Nos. 11, 12 & 13  
AS SHOWN ON MAP OF PROPERTY AT  
ASHFORD  
LATELY BELONGING TO MEYER H. MEYER  
AND NOW PARTLY LAID OUT IN BUILDING  
LOTS FOR E.G. CUNNINGHAM  
LOCATED IN THE  
VILLAGE OF DOBBS FERRY  
TOWN OF GREENBURGH  
WESTCHESTER COUNTY, NEW YORK.**

SCALE: 1" = 20'

DATE: MARCH 12, 2021

THE PREMISES SHOWN HEREON ALSO BEING KNOWN  
AS TAX LOTS 11, 12 AND 13, SHEET 22, SECTION 9,  
BLOCK 476.

Said "Map" is filed in the Westchester County Clerk's  
office, Division of Land Records, on February 6, 1897  
as R.O. Map number 1299.



**GABRIEL E. SENOR, P.C.**  
CONSULTING ENGINEER • LAND SURVEYORS  
90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530  
(914) 422-0070 FAX 422-3009