

**LIST OF ABBREVIATIONS**

ABV ABOVE	JC JANITOR CLOSET
AFF ABOVE FINISHED FLOOR	JT JOINT
ACC ACCESS	JB JUNCTION BOX
AD ACCESS DOOR	KO KNOCK OUT
AP ACCESS PANEL	
ACT ACOUSTICAL TILE	
ADD ADDENDUM	LAM LAMINATE
ADJ ADJACENT or ADJUSTABLE	LAV LAVATORY
AGGR AGGREGATE	LH LEFT HAND
A/C AIR CONDITIONER	LKR LOCKER
ALUM/AL ALUMINUM	L.P. LOW POINT
ACI AMERICAN CONCRETE INSTITUTE	
ADA AMERICANS W/ DISABILITIES ACT	MH MANHOLE
ASTM AMERICAN SOCIETY FOR TESTING MATERIALS	MFR MANUFACTURE(R)
AWG AMERICAN WIRE GAGE	MAS MASONRY
APPROX APPROXIMATE	MO MASONRY OPENING
	M.E. MATCH EXISTING
	MAT MATERIAL
BB BASEBOARD	MAX MAXIMUM
BP BASE PLATE	MECH MECHANIC(AL)
BM BEAM	MC MEDICINE CABINET
BRG BEARING	MC MEMBER
B.M. BENCH MARK	MTL METAL
BTWN BETWEEN	MN MINIMUM
BLK BLOCK	MR MIRROR
BLKG BLOCKING	MISC MISCELLANEOUS
BD BOARD	MC MISCELLANEOUS CHANNEL
B.O. BOTTOM OF	MTD MOUNTED
	MOV MOVABLE
CAB CABINET	MUL MULLION
C.I. CAST IRON	
C.H. CEILING HEIGHT	
CB CATCH BASIN	NFPA NATIONAL FIRE PROTECTION ASSOCIATION
CLG CEILING	NRC NOISE REDUCTION COEFFICIENT
CEM CEMENT	NOM NOMINAL
CL CENTER LINE	N.I.C. NOT IN CONTRACT
CT CERAMIC TILE	NTS NOT TO SCALE
CO CLEAN OUT	
CLR CLEAR(ANCE)	OC ON CENTER
CW COLD WATER	OPNG OPENING
COL COLUMN	OPP OPPOSITE
CONC CONCRETE	OPH OPPOSITE HAND
CMU CONCRETE MASONRY UNIT	OD OUTSIDE DIAMETER
CONT CONTINUOUS or CONTINUE	OZ OUNCE
CONV CONVECTOR	OA OVERALL
CG CORNER GUARD	OH OVERHEAD
DP DAMPROOFING	
DEG DEGREE	PNT/PT(D) PAINT(ED)
DTL DETAIL	PR PAIR
DIAG DIAGONAL	PNL PANEL
DFF DIFFUSER	PTN PARTITION
DM DIMENSION	PLAS PLASTER
DISP DISPENSER	PLAM PLASTIC LAMINATE
DBL DOUBLE	PL PLATE
DN DOWN	PLWD PLYWOOD
DWG DRAWING	PVC POLYVINYL CHLORIDE or COATING
DF DRINK FOUNTAIN	PSF POUNDS PER SQUARE FOOT
	PSI POUNDS PER SQUARE INCH
EA EACH	QUANT/QTY QUANTITY
ELEC ELECTRICAL or ELECTRIC	QT QUARRY TILE
EP ELECTRIC PANEL	
E.W.C. ELECTRIC WATER COOLER	
ELEVATION ELEVATION	RAD RADIUS or RADIATOR
ELEV ELEVATOR	REF REFERENCE
EMER EMERGENCY	REINF REINFORCEMENT
EQ EQUAL	REQD REQUIRED
EQUIP EQUIPMENT	RET RETURN
EXH EXHAUST	RD ROOF DRAIN
EXIST EXISTING	RO ROUGH OPENING
F.A.I. FRESH AIR INTAKE	SAD SADDLE
F.O. FACE OF	SAN SANITARY
F.BR. FACE OF BRICK	SCHED SCHEDULE
F.O.C. FACE OF CONCRETE	SECT SECTION
F.O.M. FACE OF MASONRY	
F.O.S. FACE OF STUDS	SIM SIMILAR
FIN FINISH	STC SOUND TRANSMISSION COEFFICIENT
FA FIRE ALARM	SPKR SPEAKER
FAA FIRE ALARM ANNUNCIATOR	SPEC SPECIFICATION
FHVC FIRE HOSE VALVE CABINET	SF SQUARE FOOT
F.D. FLOOR DRAIN or FIRE DAMPER	SST/STL STAINLESS STEEL
	SD STORM DRAIN
FE FIRE EXTINGUISHER	S.F.T. STRUCTURAL FACED TILE
FP FIRE PROOF	SW SWITCH
FLUOR FLUORESCENT	
FT FOOT or FEET	TEL TELEPHONE
FIG FOOTING	TV TELEVISION
FDN FOUNDATION	TEMP TEMPERED
F.A.I. FRESH AIR INTAKE	TERR TERRAZZO
FLR FLOOR	THK THICK
	T.O. TOP OF
GA GAUGE	TYP TYPICAL
GALV GALVANIZED	
GEN GENERAL	U.L. UNDERWRITERS LABORATORY
GL GLASS or GLAZING	UC UNDERCUT
GB GRAB BAR	UNEX UNEXCAVATED
	U.C.C. UNIFORM CONSTRUCTION CODE
GND GROUND	U.O.N. UNLESS OTHERWISE NOTED
GYP GYPSUM	
GWB/ GYP.BD GYPSUM WALL BOARD	
HC HANDICAPPED	V.I.F. VERIFY IN FIELD
HR HAND RAIL	VCT VINYL COMPOSITION TILE
HDWR HARDWARE	VWC VINYL WALL COVERING
HWD HARDWOOD	VB VINYL BASE
HVAC HEATING VENTILATING AIR CONDITIONING	VOL VOLUME
	WC WATER CLOSET
	WD WOOD
	WH WATER HEATER
	WP WATER PROOF
	WWF WELDED WIRE MESH
HM HOLLOW METAL	WT WEIGHT
HOSE BIBB	WO WINDOW OPENING
H.P. HIGH POINT	W/ WITH
	W/O WITH OUT
INCAND INCANDESCENT	WGL WIRE GLASS
INCL INCLUDE(D), (ING)	
INT INTERIOR DIAMETER	
INSUL INSULATE(D), (ING), (TION)	
INV INVERT	
INV EL INVERT ELEVATION	

**GENERAL NOTES**

ALL WORK SHALL CONFORM TO THE 2020 UNIFORM FIRE PREVENTION AND BUILDING CODE OF NEW YORK STATE (THE UNIFORM CODE) & 2020 NYS EBC & 2020 NYS FC AS ADOPTED THE STATE OF NEW YORK & ALL RULES REGULATIONS OF ALL DEPARTMENTS HAVING JURISDICTION. ALL WORK SHALL CONFORM TO THE VILLAGE OF DOBBS FERRY MUNICIPAL CODE.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND JOB CONDITIONS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS AND STANDARDS AND ALL LOCAL REQUIREMENTS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW ALL SAFE EXCAVATION PRACTICES AND CALL "DIG SAFELY" AT LEAST 3 WORKING DAYS IN ADVANCE TO MARK UP ANY UNDERGROUND UTILITIES. NO EXCAVATION WORK OR DIGGING OF ANY KIND SHALL START OTHERWISE.

ALL WORK SHALL BE PERFORMED IN A WORKMAN-LIKE MANNER BY QUALIFIED JOURNEMEN OR MASTERS OF EACH TRADE.

ALL MATERIAL HANDLING AND INSTALLATION SHALL BE STRICTLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE, AND PAY FOR ALL TESTS, INSPECTIONS, ETC. AS REQUIRED BY THE BUILDING DEPARTMENT AND ANY OTHER DEPARTMENTS HAVING JURISDICTIONS.

GENERAL CONTRACTOR SHALL VISIT THE SITE AND MAKE HIMSELF FAMILIAR WITH THE WORK AND THE LOCAL CONDITIONS PRIOR TO SUBMITTING A PRICE TO THE OWNER.

ALL SURFACES ADJACENT TO THE WORK AREA, WHICH IS DAMAGED DURING CONSTRUCTION BY THE FORCES OF THE GENERAL CONTRACTOR, SHALL BE REPAIRED TO MATCH SURROUNDING SURFACES TO SATISFACTION OF THE OWNER AND ARCHITECT AT NO ADDITIONAL COST.

THE CONTRACTOR SHALL REMOVE FROM THE ALL DEBRIS CREATED BY HIS WORK AND SHALL DISPOSE OF THEM IN A LEGAL MANNER ON A WEEKLY BASIS OR SOONER AS CONDITIONS WARRANTS.

AT COMPLETION OF THE WORK THE SITE SHALL BE CLEARED OF ALL DEBRIS AND REMAINING MATERIALS AND THE PREMISES SHALL BE LEFT BROOM CLEAN.

THE ENGINEER SHALL BE THE SOLE JUDGE AS TO THE ADEQUACY OF THE WORK PERFORMED. HE SHALL HAVE THE RIGHT TO ORDER REMOVAL OF DEFECTIVE WORK AND MATERIALS.

ANY DEVIATION FROM THESE DRAWINGS SHALL CAUSE THE WORK TO CEASE IN THE AFFECTED AREAS UNTIL THE ENGINEER HAS APPROVED THE CHANGES.

NO DRAWINGS SHALL BE USED ON JOB UNLESS THEY BEAR THE STAMP: ISSUED FOR CONSTRUCTION.

ENGINEER OF RECORD NOT RESPONSIBLE FOR ANY AND ALL BOARD APPROVALS.

CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATION OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY SITUATION THAT REQUIRES FURTHER INVESTIGATION (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL OR EXCESSIVE DEFLECTION, ETC.) HE SHALL NOTIFY THE ENGINEER.

**CONSTRUCTION NOTES**

TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.

DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

LOCATE EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.

PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE DURING DEMOLITION.

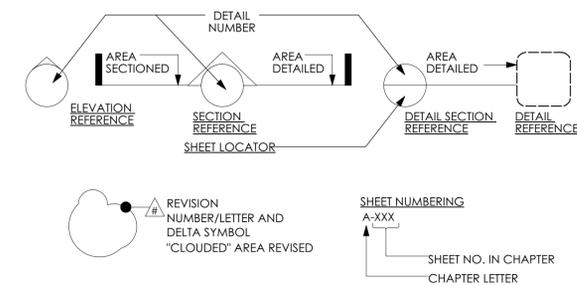
**VILLAGE OF DOBBS FERRY NOTES:**

1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORSEEN SILTATION AND EROSION OF DISTURBED SOILS.
2. AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
3. THE INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE AS-BUILT DRAWINGS.
4. THE RESTORATION OF THE WORK PERFORMED WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS.
5. BEFORE THE SITE PLANS ARE SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

**SCOPE OF WORK:**

1. REMOVE PORTIONS OF EXISTING CURB AND SIDEWALK AT ASHFORD AVE.
2. PROVIDE NEW CURB AT ASHFORD AVE.
3. PROVIDE (2) NEW PARKING SPACES ALONG ASHFORD AVE.
4. PROVIDE ASPHALT PAVEMENT PARKING AREA.
5. SITE STORMWATER MANAGEMENT

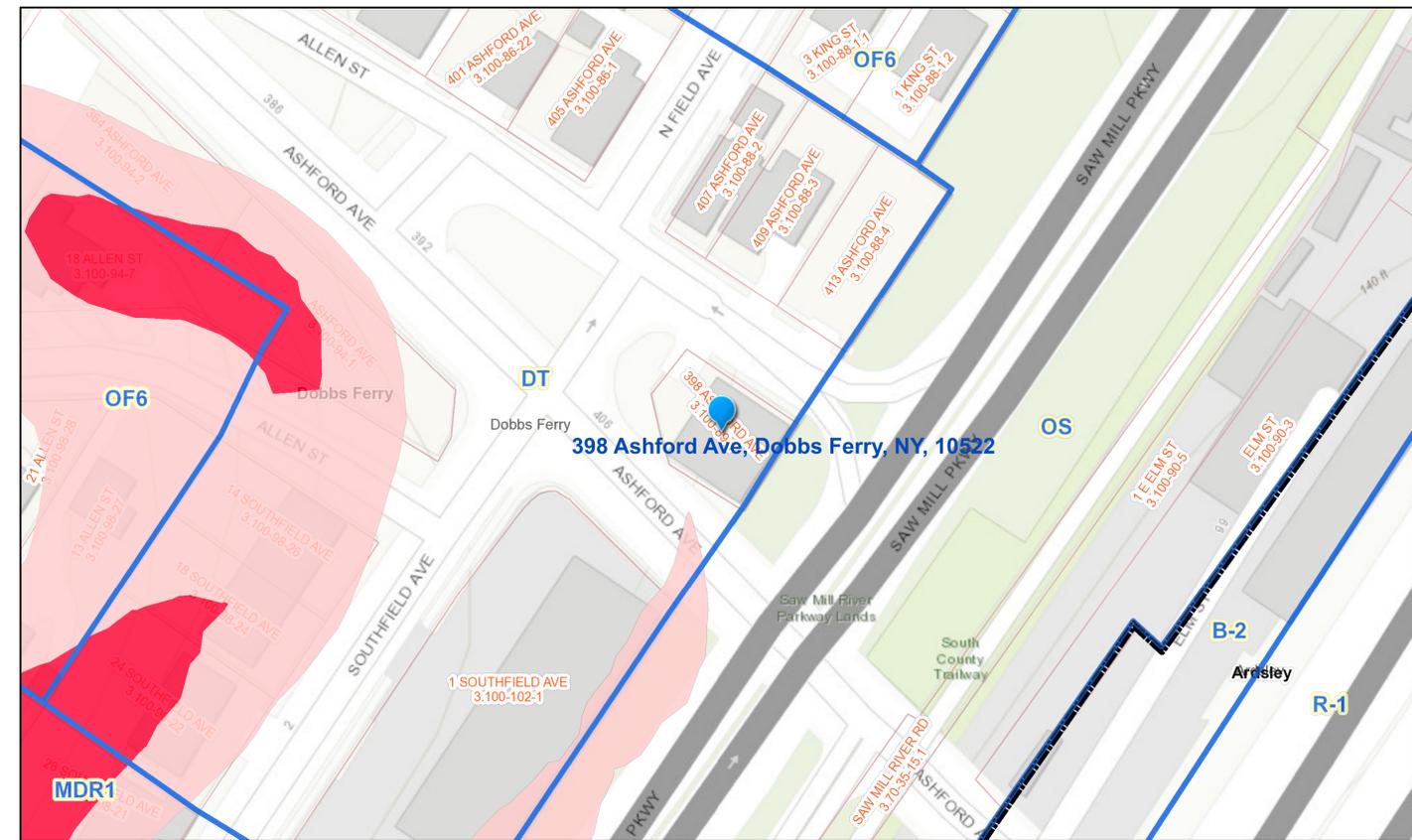
**SYMBOL KEY**



**DRAWING INDEX (TOTAL 5 PAGES)**

DRAWING NUMBER	DRAWING NAME
C-001.00	GENERAL NOTES
C-100.00	SITE PLAN & ZONING ANALYSIS
C-200.00	STORMWATER POLLUTION PREVENTION PLAN
C-201.00	STORMWATER CALCULATIONS
C-300.00	SITE DETAILS

**Mapping Westchester County**



Environmental Features

- NYS Regulated Wetlands District Boundaries
- Slopes Over 25%
- Slopes 15%-25%
- Generalized Zoning
- Municipal Boundaries

0 55 110 220 ft  
1:1,128 November 6, 2020

GIS  
<http://giswww.westchestergov.com>  
Michaelian Office Building  
148 Martine Avenue Rm 214  
White Plains, New York 10601

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOW LOAD (PSF)	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	120	NO	YES	30 PSF	B	SEVERE	3'-6"	MODERATE TO HEAVY	15 DEG. F	YES	SEE BELOW	1500	52 DEG. F

FLOOD HAZARDS:  
(a) FIRST CODE DATE OF ADOPTION JULY 9, 1980.  
(b) DATE OF FLOOR INSURANCE STUDY JAN. 21, 1998.  
(c) MAP PANEL NUMBERS 36119C0907F THROUGH 36119C0338F EFFECTIVE SEPT. 28, 2007.

**BADALY**

ENGINEERING DESIGN:  
**BADALY ENGINEERING PLLC**  
2 WILSON PLACE, MT. VERNON, NY 10550  
(914) 465-9010  
BADALY-EDM  
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ISSUE:

#	DATE	DESCRIPTION

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:  
**EXTERIOR ALTERATIONS:**  
**398 ASHFORD AVE**  
DOBBS FERRY, NY 10522  
BLOCK: 89 LOT: 01

**GENERAL NOTES & DETAILS**

SCALE: AS NOTED  
DATE: 11/05/2020  
JOB NO: 20222  
DRAWN BY: AK  
CHECKED BY: SB

SEAL AND SIGNATURE:

DRAWING NO.:  
**C-001.00**  
SHEET NO.:  
1 OF 5

- SITE PLAN DEMOLITION NOTES:**
1. PORTION OF EXISTING CURB TO BE REMOVED.
  2. PORTION OF EXISTING SIDEWALK TO BE REMOVED.
  3. NO EXISTING TREES ARE TO BE REMOVED.
  4. EXISTING WALL MOUNTED LIGHTING FIXTURE TO REMAIN. NO CHANGES PROPOSED.

**EXISTING IMPERVIOUS SURFACES:**

BUILDING: 2,058 S.F.  
 ASPHALT (WITHIN P.L.): 310 S.F.  
 SIDEWALK (WITHIN P.L.): 316 S.F.  
 TOTAL EXISTING: 2,684 S.F.

**BUILDING COVERAGE: 2,058 S.F. / 3,958 S.F. = 51.2%**  
**EXISTING IMPERVIOUS COVERAGE: 2,684 S.F. / 3,958 S.F. = 67.8%**

- CONSTRUCTION SEQUENCE:**
1. NO WORK IS TO OCCUR THAT WILL IMPACT THE FLOW OF TRAFFIC AT ASHFORD AVE.
  2. PROVIDE EROSION AND SEDIMENT CONTROLS AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO ENSURE ADJACENT ROADWAY IS CLEAR OF DEBRIS AND EROSION.
  3. EXISTING CURBING AND SIDEWALK IS TO BE REMOVED.
  4. ALL DEBRIS IS TO BE PROPERLY STORED AND DISPOSED OF AT END OF WORK DAY FOR EVERY DAY OF CONSTRUCTION.
  5. PROVIDE NEW SIDEWALK AND CURB AT PROPOSED LOCATION.
  6. EXCAVATE AND INSTALL PROPOSED STORMWATER CULTRECS AS PER MANUFACTURER'S SPECIFICATION. (SEE C-201.00).
  7. INSTALL THE PROPOSED AREA DRAIN AT PARKING AREA AND CONNECT ALL DRAINAGE SYSTEMS.
  8. PROVIDE NEW ASPHALT PAVEMENT AT PROPOSED PARKING AREAS.
  9. ENSURE ALL AREAS ARE FREE OF DEBRIS AT END OF CONSTRUCTION.

**ZONING COMPLIANCE TABLE**

Property Address(es):	398 ASHFORD AVENUE
Zoning District(s):	DT
Block/Lot:	Block: 89 Lot: 01
Structure / Site Use(s):	RESIDENTIAL

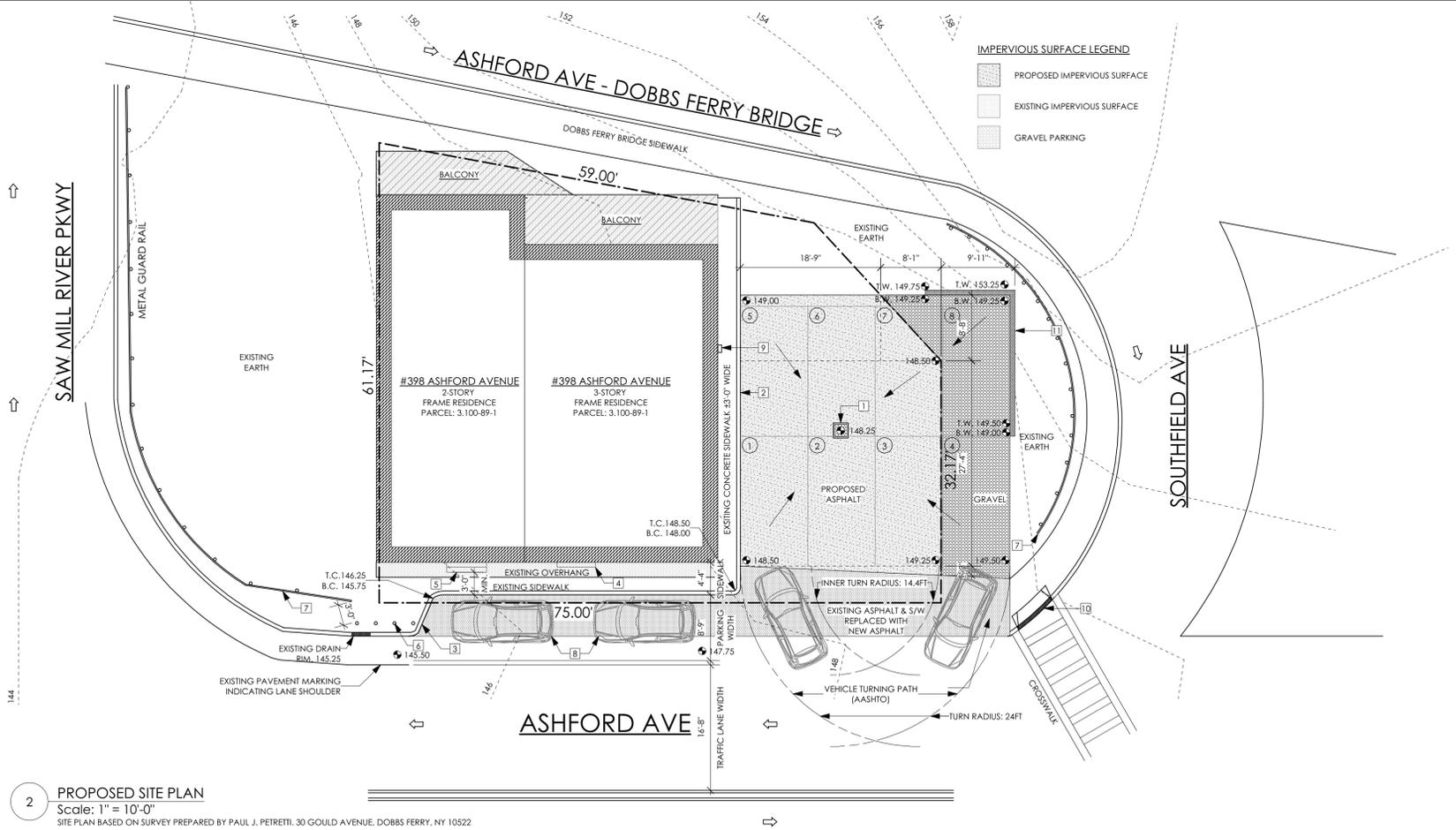
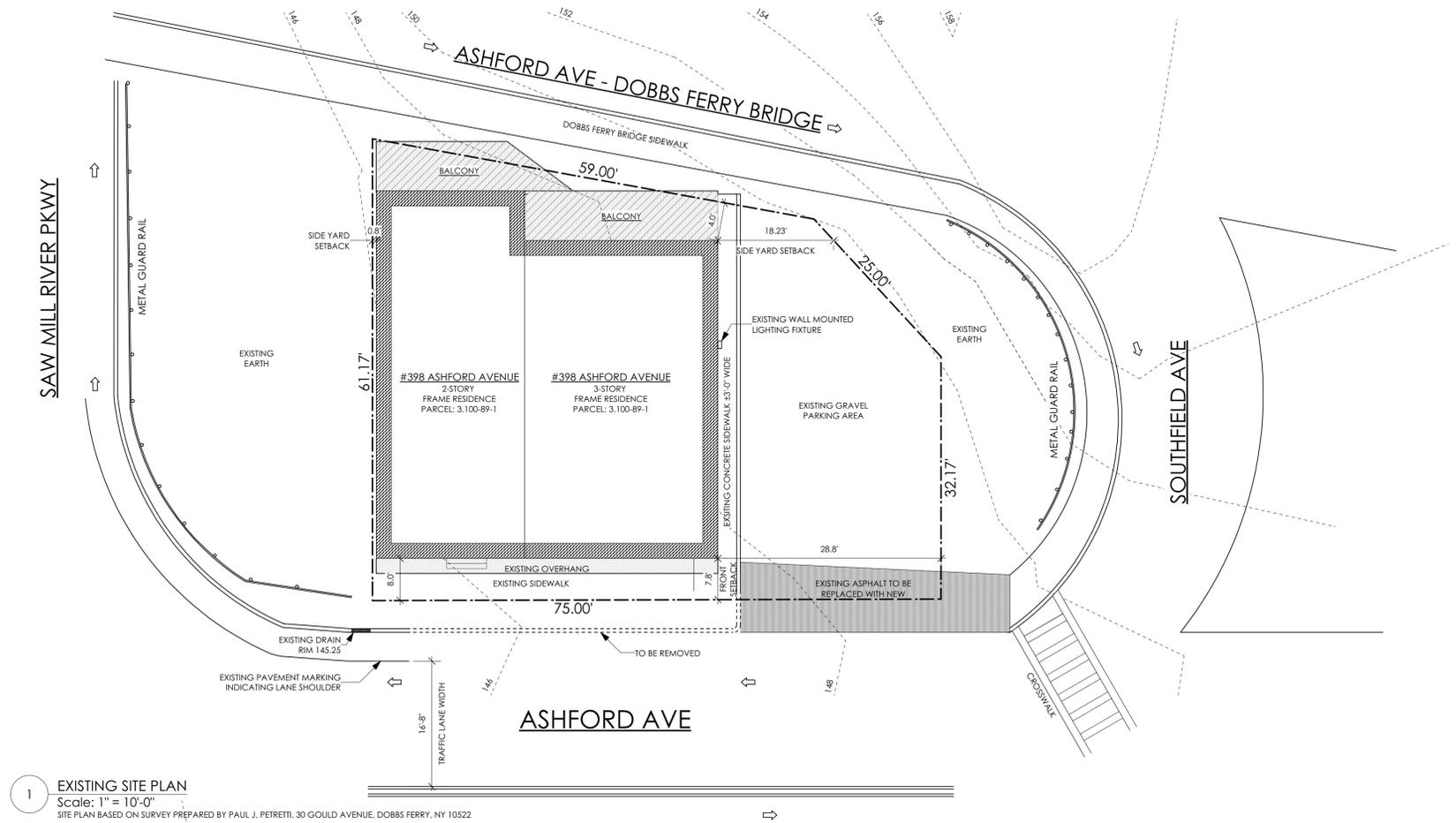
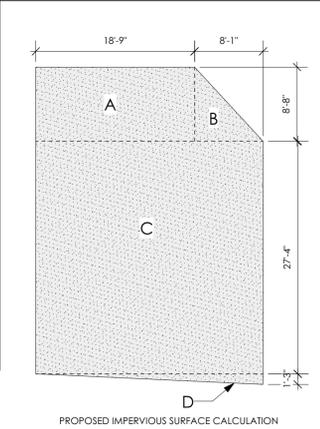
Item	Required / Permitted	Existing	Proposed	Variance Requested	Remarks
Lot Area (square feet)	-	3,958	3,958	NO	-
Front Yard Setback (feet)	0	8.00	8.00	NO	-
Rear Yard Setback (feet)	25	4.00	4.00	NO	EXISTING NON-CONFORMING. NO CHANGE PROPOSED.
Side Yard Setback - Each Yard (feet)	5	0.80	0.80	NO	-
Side Yard Setback - Total (feet)	10	18.73	18.73	NO	-
Building Coverage (%)	40	51.2%	51.2%	NO	-
Impervious Coverage (%)	40	67.8%	91.7%	YES	-
Building Height (feet)	3 STORIES / 35'	3 STORIES / 30'	3 STORIES / 30'	NO	-

- SITE PLAN LEGEND:**
1. PROPOSED AREA DRAIN. SEE C-001.00; PROPOSED STORMWATER MANAGEMENT PLAN FOR DRYWELL LOCATION & DETAILS.
  2. PROPOSED BELGIUM BLOCKS CURB AT SIDE OF BUILDING.
  3. EXISTING SIDEWALK TO BE CUT AND NEW 6" CURB IS TO BE PROVIDED.
  4. NEW (1) CONCRETE STEP.
  5. EXISTING CONCRETE STEPS. TO REMAIN.
  6. NEW STEEL BOLLARDS.
  7. EXISTING METAL GUARD RAIL. TO REMAIN.
  8. NEW (2) TWO PARKING SPACES. EXISTING SIDEWALK TO BE CUT TO ACCOMMODATE NEW PARKING SPACES AS SHOWN IN DRAWING. NEW SIDEWALK TO BE MIN. 4'-0".
  9. EXISTING WALL-MOUNTED LIGHTING FIXTURE.
  10. PROPOSED PEDESTRIAN RAMP.
  11. PROPOSED SEGMENTAL BLOCK GRAVITY RETAINING WALL. MAX HEIGHT: 4'-0". TO BE FILED UNDER A SEPERATE APPLICATION.

- SITE PLAN NOTES:**
1. ALL SNOW ON SITE IS TO BE CARTED AWAY.
  2. STANDARD EROSION CONTROL AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO BE PROVIDED.
  3. CUT/FILL MATERIAL NOT TO BE IMPORTED TO OR EXPORTED FROM THE SITE.
  4. ALL RIGHT-OF-WAY IMPROVEMENTS SHALL CONFORM TO THE VILLAGE OF DOBBS FERRY STANDARDS.
  5. SOLID WASTE CONTAINERS ARE LOCATED AT THE REAR OF THE BUILDING AND ARE TRANSPORTED TO FRONT OF PROPERTY FOR COLLECTION.
  6. PROPOSED CONSTRUCTION DOES NOT AFFECT ANY EXISTING UTILITIES.
  7. PARKING LOT TO BE ATTENDED TO ALLOW FOR ACCESS TO AND FROM PARKING SPACES 5-8.
  8. EASEMENT AGREEMENT IS TO BE CREATED WITH OWNER OF ADJACENT PROPERTY TO ALLOW PROPOSED PARKING SPACES OUTSIDE OF PROPERTY LINE IN THE R.O.W.
  9. ALL WORK PROPOSED WITHIN COUNTY R.O.W. MUST RECEIVE PROPER APPROVAL BEFORE ANY WORK MAY COMMENCE WITHIN THE COUNTY R.O.W.

**PROPOSED IMPERVIOUS AREA**

AREA A: 18'-9" X 8'-8"	= 163 S.F.	TOTAL NEW IMPERVIOUS AREA	= 948 S.F.
AREA B: 8'-1" X 8'-8" X 1/2	= 35 S.F.	TOTAL IMPERVIOUS COVERAGE:	= 3,632 S.F. / 91.7%
AREA C: 27'-4" X 26'-10"	= 733 S.F.	VARIANCE REQUIRED	
AREA D: 27'-4" X 1'-3" X 1/2	= 17 S.F.		



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**398 ASHFORD AVE**  
 DOBBS FERRY, NY 10522

BLOCK: 89 LOT: 01

**SITE PLAN & ZONING ANALYSIS**

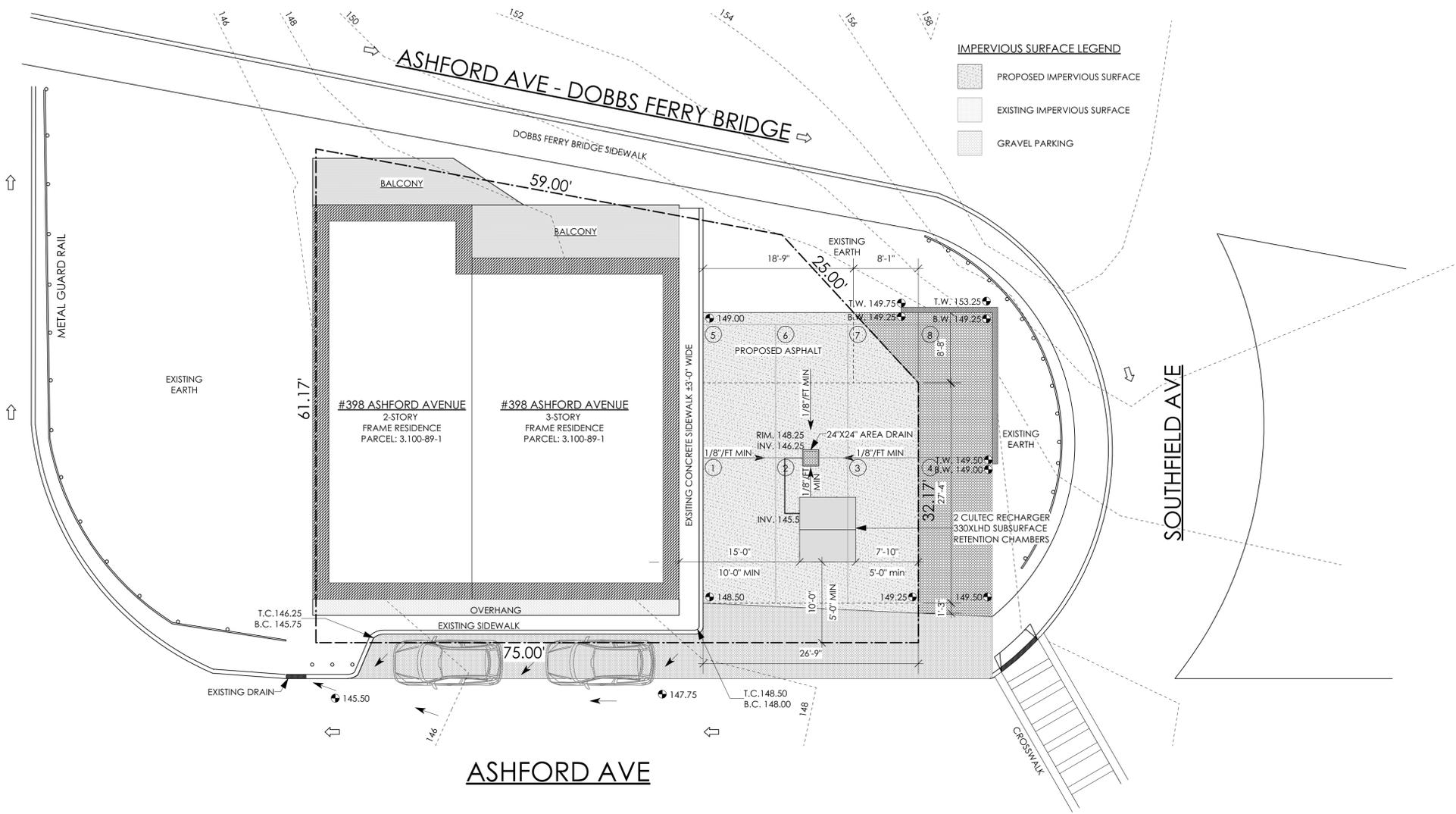
SCALE: AS NOTED  
 DATE: 11/05/2020  
 JOB NO: 20222  
 DRAWN BY: AK  
 CHECKED BY: SB

SEAL AND SIGNATURE:

**STORMWATER MANAGEMENT NOTES:**

1. ALL DRAINAGE PIPING TO BE MIN. 8" Ø EPDM DRAINAGE PIPE ON 1/8" PER FT SLOPE.
2. ALL SNOW ON SITE IS TO BE CARTED AWAY.
3. EXISTING DRAINAGE GUTTER DRAIN TO REMAIN. EXISTING DRAIN FLOWS NORTHWEST TOWARDS THE SAW MILL RIVER PARKWAY.
4. THE PROP. CULTEC RETENTION CHAMBERS SHALL NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
5. AREA OF PROP. CULTEC RETENTION CHAMBERS TO BE FENCED OFF DURING CONSTRUCTION.
6. CULTEC RETENTION CHAMBER INSPECTION PORTS TO BE CHECKED ANNUALLY FOR SEDIMENTS
7. STANDARD EROSION CONTROL AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO BE PROVIDED.
8. CUT/FILL MATERIAL NOT TO BE IMPORTED TO OR EXPORTED FROM THE SITE.
9. THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED AS PER THE REQUIREMENTS OF THE NYS STORMWATER DESIGN MANUAL (JAN. 2015).
10. PROPOSED PARKING SPACES AT FRONT OF BUILDING TO SLOPE TOWARDS EXISTING DRAIN ON ASHFORD AVE AS INDICATED BY DRAINAGE ARROWS. APPROXIMATE ELEV. AT EXISTING DRAIN: 146

SAW MILL RIVER PKWY



**IMPERVIOUS SURFACE LEGEND**

- PROPOSED IMPERVIOUS SURFACE
- EXISTING IMPERVIOUS SURFACE
- GRAVEL PARKING

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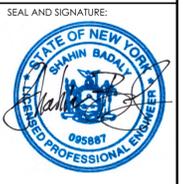
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PROJECT TITLE:  
**EXTERIOR ALTERATIONS:**  
**398 ASHFORD AVE**  
 DOBBS FERRY, NY 10522

BLOCK: 89 LOT: 01  
 DRAWING TITLE:  
**STORMWATER POLLUTION PREVENTION PLAN**

SCALE: AS NOTED  
 DATE: 11/05/2020  
 JOB NO: 20222  
 DRAWN BY: AK  
 CHECKED BY: SB

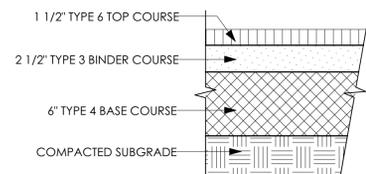


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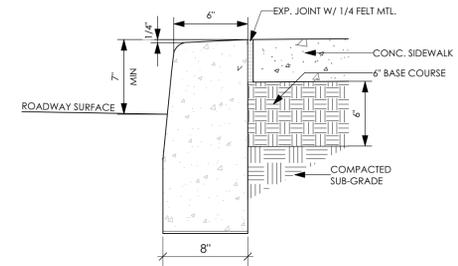
SHEET NO.:  
**3 OF 5**

1 STORMWATER MANAGMENT SITE PLAN  
 Scale: 1/8" = 1'-0"

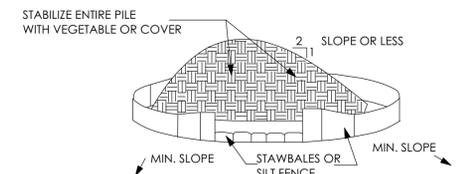




**1 PAVEMENT DETAIL**  
 Scale: 1 1/2" = 1'-0"

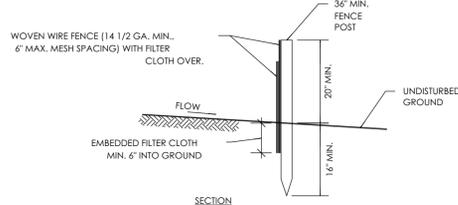
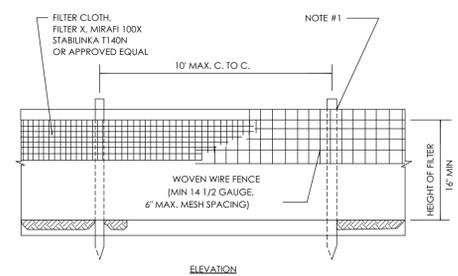


**2 SIDEWALK CURB CONSTRUCTION DETAIL**  
 Scale: 1 1/2" = 1'-0"



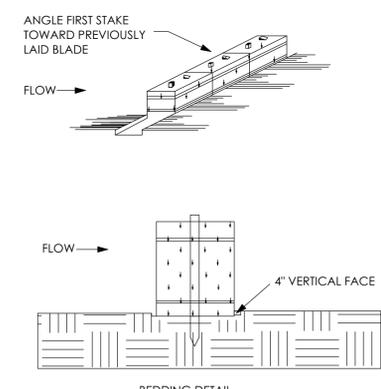
- INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILED OPERATIONS SHALL BE DRY AND STABLE.
  2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTION OF SITE WITH ADEQUATE SETBACKS FROM TEMPORARY DRAINAGE SWALES.
  3. MAXIMUM SLOPE STOCKPILE SHALL BE 1 TO 2.
  4. UPON COMPLETION OF SOIL STOCKPIILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETABLE OR COVERED.
  5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDD AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
  6. SEE SPECIFICATIONS AND DETAILS FOR INSTALLATION OF SILT FENCE.

**3 SOIL STOCKPILE DETAIL**  
 Scale: 1/4" = 1'-0"



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
1. 36" MIN. STEEL POSTS, EITHER T OR U TYPE OR 2" HARDWOOD POSTS, DRIVEN MIN. 16" INTO GROUND.
  2. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  3. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABUNKA T140N, OR APPROVED EQUIVALENT.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.
  6. CONTRACTOR MAY USE PREFABRICATED UNITS, AS MANUFACTURED BY GEOFAS, ENVIROFENCE, OR APPROVED EQUAL.

**4 SILT FENCE DETAIL**  
 Scale: 1/4" = 1'-0"



- NOTES
1. BALES SHALL BE PLACED AT THE TOE OF THE SLOPE OR ON THE CONTOUR AND IN A ROW WITH END TIGHTLY ABUTTING IN ADJACENT BALES.
  2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES AND PLACED SP THE BINDING ARE HORIZONTAL.
  3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
  4. INSPECTION SHALL BE MADE FREQUENTLY AND REPAIR SHALL BE MADE PROMPTLY AS NEEDED.
  5. BALES SHALL BE REMOVED WHEN THEY SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**5 HAYBALE DETAIL**  
 Scale: 1/4" = 1'-0"

ISSUE:

#	DATE	DESCRIPTION

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:  
**EXTERIOR ALTERATIONS:**  
**398 ASHFORD AVE**  
**DOBBS FERRY, NY 10522**

BLOCK: 89 LOT: 01  
 DRAWING TITLE:

**SITE DETAILS**

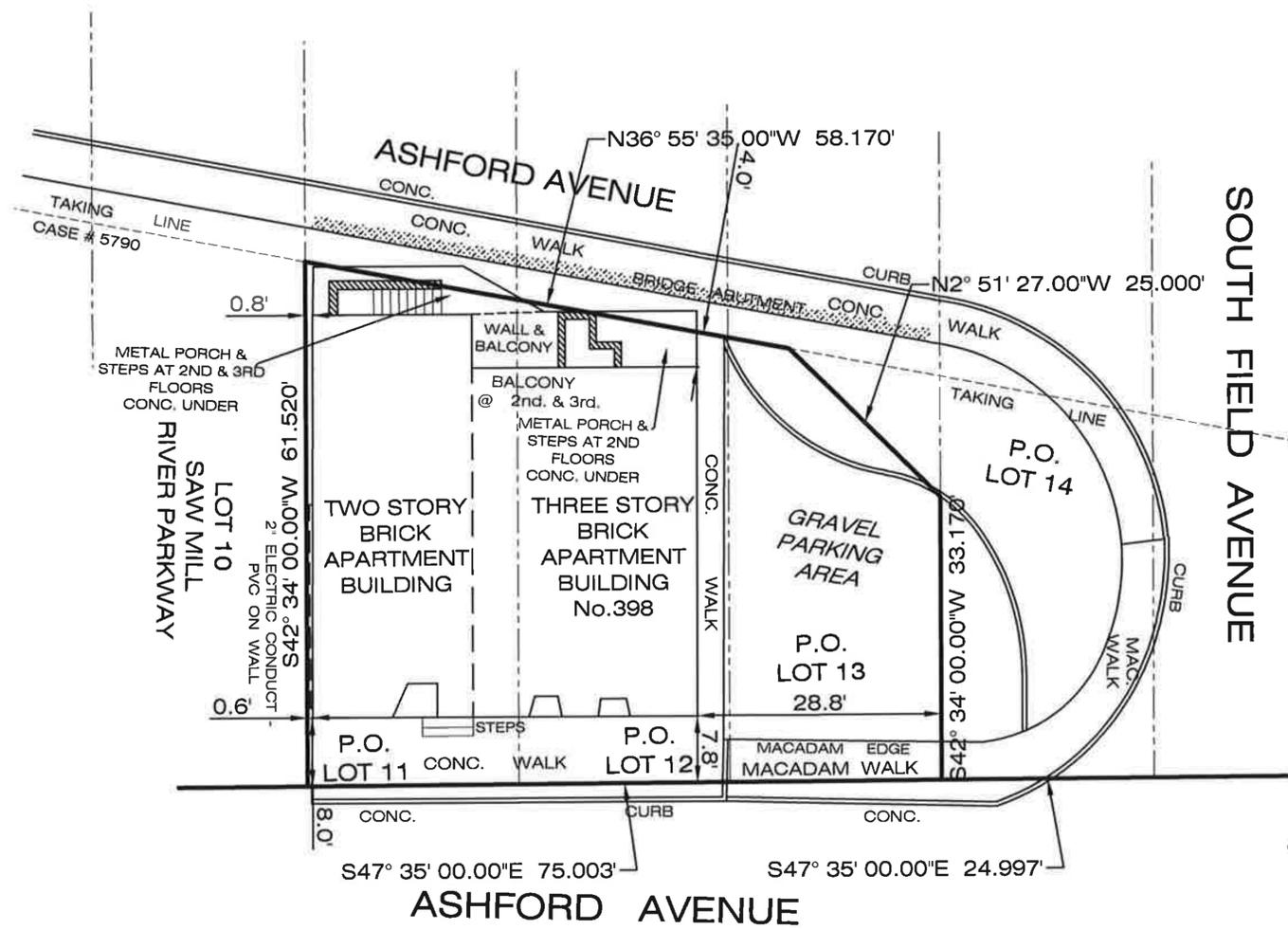
SCALE:  
 AS NOTED  
 DATE:  
 11/05/2020  
 JOB NO:  
 20222  
 DRAWN BY:  
 AK  
 CHECKED BY:  
 SB



DRAWING NO.:  
**C-300.00**  
 SHEET NO.:  
**5 OF 5**

LEGEND

- CATCH BASIN
- DRAIN INLET
- UTILITY POLE
- SIGN POST
- ⊕ HYDRANT
- ⊗ WATER VALVE
- ⊗ GAS VALVE
- LIGHT POLE
- TRAFFIC POLE
- ⊕ TELE. MANHOLE
- ⊗ ELECTRIC BOX
- ⊕ SEWER MANHOLE
- ⊕ WATER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ MANHOLE



Possession NOT indicated

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for New York State Association of Land Surveyors. This Survey is a representation of the property as surveyed on March 12, 2021, the date that the field work was performed. Subsequent revision dates do not constitute an updated survey.

Eliot Senor, L.S. New York State Lic. No. 049822

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A Title report lists easements and restrictions if the report was not provided these easements and or restrictions may not be shown. A copy of the title report was not provided. A copy of the deed was provided. Survey may be subject to easements not shown.

Surface elevations and underground appurtenances, if any, whether or not shown are not guaranteed. Fences or possession lines generally do not follow a straight line. The survey shows straight lines between located points. Any dimensions shown are to the surveyed point only. Labeled dimensions cannot be used for any other point along the line.

Unauthorized alteration or additions to the survey map is a violation of Section 7209 sub-section 2 of the New York State Education Law

NOT FOR TITLE TRANSFER

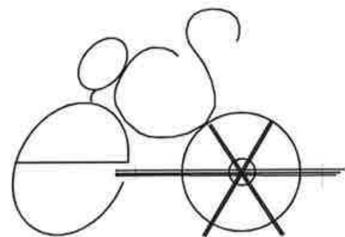
**SURVEY OF PART OF LOT Nos. 11, 12 & 13**  
 AS SHOWN ON MAP OF PROPERTY AT **ASHFORD**  
 LATELY BELONGING TO MEYER H. MEYER AND NOW PARTLY LAID OUT IN BUILDING LOTS FOR E.G. CUNNINGHAM  
 LOCATED IN THE **VILLAGE OF DOBBS FERRY**  
**TOWN OF GREENBURGH**  
 WESTCHESTER COUNTY, NEW YORK.

SCALE: 1" = 20'

DATE: MARCH 12, 2021

THE PREMISES SHOWN HEREON ALSO BEING KNOWN AS TAX LOTS 11, 12 AND 13, SHEET 22, SECTION 9, BLOCK 476.

Said "Map" is filed in the Westchester County Clerk's office, Division of Land Records, on February 6, 1897 as R.O. Map number 1299.



**GABRIEL E. SENOR, P.C.**

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