

GENERAL REQUIREMENTS

1. Related Documents: Drawings, Specifications and General Conditions of the Contract for Construction apply to Work of this Project.
2. Scope of Work: Includes all items described in Drawings & Specifications, verbally & graphically, with more stringent and/or costly items assumed in all cases of discrepancy.
3. All new construction shall adhere to the 2020 New York State Building Code and the 2020 Energy Conservation Code of New York State. Notify Architect of any inadvertent noncompliance with Codes regarding information contained in Drawings and Specifications, with no Work to be performed knowingly in noncompliance with Code.
4. The General Contractor (G.C.) shall coordinate all work procedures w/ requirements of Local Authorities. Prior to commencement of Construction, the G.C. shall be responsible for the acquisition of a Building Permit and pay all fees required by Governing Agencies. The G.C. shall be responsible for calling for Inspections and Sign-offs of all Work, including Plumbing & Electrical, as required by Governing Agencies.
5. The G.C., Subcontractors, and all others working for Owner shall comply with National, State, and Local Laws and Regulations relating to insurance for work under this Contract. The following insurance policies shall be in force and copies shall be submitted to Architect prior to signing Agreement Between Owner and Contractor: Workman's Compensation & Unemployment Insurance as required by law, Contractor's Liability Coverage in the amount required by applicable Governing Agencies, & Liability Coverage for damages & uninstalled materials. The G.C. shall submit to the Owners, Insurance Certificates naming Owner as Additional Insured. All insurance shall be at Contractor's expense.
6. All Terms & Conditions laid out in the A.I.A. Standard Form Of General Conditions shall apply to the G.C. & to all of his Sub-Contractors.
7. The G.C. & Subcontractors shall attend regular job meetings as required by the Architect.

DIVISION 01: PROJECT REQUIREMENTS

1. The G.C. shall verify all Dimensions & Conditions in the field prior to Construction. Any discrepancies are to be brought to the attention of the Architect prior to work. The G.C. shall be responsible for Field Fit & Quality of all Work, whether by the G.C. or by Subcontractors. No allowances shall be made on behalf of the G.C. for any error or neglect on his part. Under no circumstances are the Drawings to be scaled for location of Work. G.C. shall verify all clearances & locations prior to installation including requirements for appliances, fixtures, or equipment.
2. Retain licensed Surveyor to mark site before beginning construction and to verify location of foundation and slab-on-grade formwork before pouring concrete. Verify that all work conforms to zoning requirements including all setbacks and yard requirements.
3. The G.C. shall be responsible for the protection of all new & existing Work, Owner's Property, Building, and its Premises from damage & dirt or dust.
4. Plumbing & Electrical Work shall be performed by Contractors licensed in their trade. G.C. shall be licensed to perform the Work as required.
5. The G.C. shall maintain at the Site one Record Copy of all Drawings, Clarification Sketches, Approved Shop Drawings, Approved Samples, and Change Orders continuously updated to record all changes during Construction. G.C. shall fully correct, at no additional expense, all Work wrongly constructed or materials wrongly ordered from obsolete Drawings.
6. Details not usually shown or specified, but necessary for proper construction on any part of the work shall be included as if they were indicated in the Drawings.
7. Architectural Drawings shall be Followed as closely as actual Field Conditions & the work of other trades permit. Any piping, wiring, or materials not specifically shown or specified but required to complete Work shall be deemed to be part of Work & shall be furnished & installed by the G.C.
8. G.C. shall prepare schedule for completion of Work prior to commencement and submit to Architect for approval. Contractor shall follow approved schedule and immediately notify Architect of any deviations from the approved schedule.
9. The G.C. must submit all Engineering & Shop Drawings (including Millwork) & cut sheets of all equipment, plumbing & electrical fixtures, hardware & accessories to the Architect for approval prior to Fabrication, Ordering and/or Construction. Shop Drawings shall be revised per Architect's instruction if required prior to approval.
10. The G.C. shall supervise & be solely responsible for all aspects of the Work, including Site Safety, maintenance of exit clearances & fire extinguishers as required by Code. The G.C. shall have sole responsibility for any damage or injuries caused by or during the execution of the Work.
11. The G.C. shall be responsible for demolition & safe removal from the Site of all materials that must be removed to enable completion of Work and occupation of the Premises. All removed materials shall be disposed of regularly in a legal manner.
12. All piping & wiring to be demolished shall be removed to a point of concealment & shall be properly capped or plugged.
13. The G.C. shall do all cutting, patching & repairing as required to perform all Work required to complete the Job. All patching where new construction occurs shall match existing adjacent or as indicated on the Drawings.
14. All new construction shall be laid-out in field for Architect's approval prior to starting construction.
15. No changes to approved layouts shall be made without Written Consent Of The Architect.
16. When "Approved Equal", "Equal To", "Similar" or other general qualifying terms are used, it shall be subject to final review by the Architect. There shall be no substitutions unless agreed upon in writing by the Architect.
17. The G.C. shall verify all equipment dimensions, locations & hook-ups with Manufacturer's Specifications whether the G.C. or Others supply the equipment.
18. All items noted "Furnished By Owner" shall be installed by the G.C. under this Contract as per Manufacturers' Specifications & industry standards. Wall reinforcement & all other requirements required to incorporate Owner furnished items shall be provided & coordinated by the G.C.
19. G.C. shall employ experienced workers or professional cleaners for final cleaning prior to request of inspection for Certificate of Substantial Completion.

STRETCH ENERGY CODES

1. This design is in compliance with requirements of 2020 Energy Conservation Code of NYS, the 2020 New York State Building Code, and the 2020 NYStretch Code.
 2. Contractor shall perform all work in accordance with applicable codes listed above.
 3. Updated Table R402.1.4 below showing updated values prevails where applicable.
- WESTCHESTER NY: CLIMATE ZONE 4A

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

Table R402.1.2 – Envelope (U-factor Table R402.1.4 changed accordingly. Prescriptive, e.g., can be traded.)

Climate Zone 4	Fen U-Factor	SkyLt U-Factor	SHGC	Ceiling R-Value	Wood Wall R-Value	Mass Wall R-Value	Floor R-Value	Bsmt Wall R-Value	Slab R-Value/Depth	Crawl Sp Wall R-Value
Stretch Code	0.27	0.50	.04	49	21 or 20+5 or 13+10	15/20	30*	15/19	10, 4 ft.	15/19

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*										
CLIMATE ZONE	FENESTRATION U-FACTOR*	SKYLIGHT U-FACTOR*	GLAZED FENESTRATION SHGC*	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE* WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.32	0.55	0.25	38	20 or 13 + 5 ^b	8/13	19	5/13 ^f	0	5/13
4 except Marine	0.32	0.55	0.40	49	20 or 13 + 5 ^b	8/13	19	10/13	10, 2 ft	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13 + 5 ^b	13/17	30 ^g	15/19	10, 2 ft	15/19
6	0.30	0.55	NR	49	20 + 5 ^b or 13 + 10 ^h	15/20	30 ^g	15/19	10, 4 ft	15/19
7 and 8	0.30	0.55	NR	49	20 + 5 ^b or 13 + 10 ^h	19/21	38 ^g	15/19	10, 4 ft	15/19

- For SI: 1 foot = 304.8 mm.
NR = Not Required.
a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
e. Reserved.
f. Reserved.
g. Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.
h. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
i. Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

1. This design is in compliance with requirements of 2020 New York State Building Code and the 2020 Energy Conservation Code of New York State.
2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020 NYS Code Books.

Modifications to 99 MAIN STREET - Exterior

APPLICATION # A 2023 - 0054

99 Main Street, Dobbs Ferry, NY 10522



SPRINKLER, HVAC, FIRE ALARM NOTE:

SPRINKLERS WILL BE INSTALLED AT BOTH LEVELS.

FIRE ALARM PLANS - FILED UNDER SEPARATE PERMIT

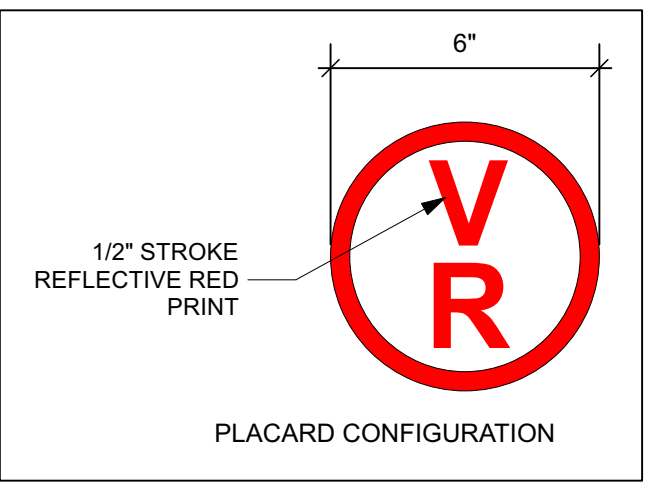
SPRINKLER/HVAC PLANS - FILED UNDER SEPARATE PERMIT

GENERAL CONDITIONS

1. APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.
2. LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT

PRE-ENGINEERED WOOD PLACARDING

CONTRACTOR SHALL PROVIDE PLACARD AS REQUIRED BY CODE. 6" DIA. ETHER IN PLAIN VIEW AND INDICATE THAT PRE-ENGINEERED WOOD HAS BEEN USED FOR ROOF AND FLOOR SUPPORT IN THE BUILDING CIRCLE WITH RED REFLECTIVE PRINT ON WHITE BACKGROUND, INDICATING THAT PRE-ENGINEERED WOOD HAS BEEN USED IN CONSTRUCTION. PLACARD SHALL BE PLACED AT EXTERIOR ON OR NEAR ELECTRIC OF TYPE-V CONSTRUCTION.

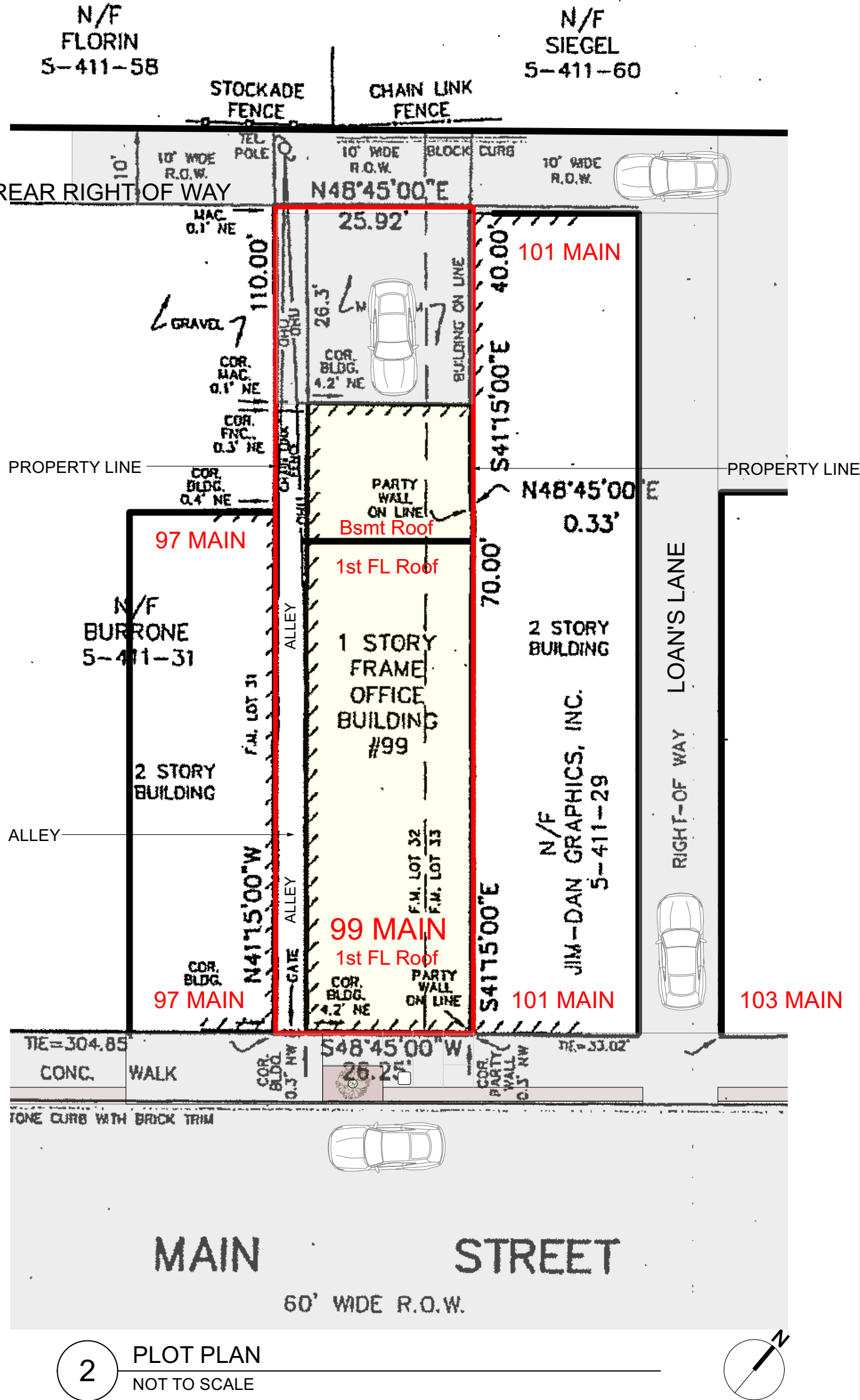


CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

2020 NEW YORK STATE BUILDING CODE													
CHAPTER 3 - BUILDING PLANNING													
SECTION R301 DESIGN CRITERIA													
WESTCHESTER, NY: CLIMATE ZONE 4													
TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
						WEATHERING	FROST DEPTH	TERMITE					
30 PSF	115-120	NO	YES	NO	C	SEVERE	3/8"	MODERATE/ HEAVY	15°F	YES	NO	2000	51.6°F

STRUCTURAL & LOADING NOTES

- Soil Bearing Capacity:**
Design bearing capacity of soil shall be 2,000 PSI in accordance with 2020 Residential Code of New York State R401.4.1 for Sand, Silty Sand, Clayey Sand
- Concrete Compressive Strength**
Shall be Min. 3,000 PSI at exposed exterior walls; shall be Min. 2,500 PSI at basement slabs; and shall be Min. 3,500 PSI at horizontal surfaces exposed to the weather including porches, steps, walks, and garage floor slabs, all to be in compliance with the 2020 Residential Code of New York State
- Required Placard**
Provide exterior placard as required by code indicating that engineered lumber is used for roof support in a Class V structure. Placard is to be permanently mounted for display as required near electrical meter or as directed in field by Architect.



99 MAIN STREET - DOBBS FERRY, NY. 10522

SECTION: 3.80

BLOCK: 40

LOT: 9

ZONING: DB - DOWNTOWN BUSINESS

BY: BROOKER ENGINEERING, PLLC

DATE: 3/22/10

OWNER OF RECORD: 99 MAIN STREET CORPORATION

DRAWING INDEX

NO.	SHEET	ISSUE DATE	REV. DATE
	TITLE SHEET, PHOTOS		
T-001	Title Sheet, Plot Plan, General Notes	5/9/23	
T-002	Photos - Streetscape, Building Exterior	5/9/23	
	FLOOR PLANS - for reference		
A-001	Basement Floor Plans - Existing and Proposed	5/9/23	
A-002	1st Floor Plans - Existing and Proposed	5/9/23	
A-003	Roof Plans - Existing and Proposed	5/9/23	
	ELEVATIONS		
A-501	Front + Rear Elevations - Existing and Proposed	5/9/23	
A-502	Building Section - Elevations	5/9/23	
A-503	AHRB - Materials	5/9/23	
	SCHEDULES - DETAILS		
A-800	Schedules - Extirior Door, Interior Door, Windows	5/9/23	
A-801	Details - Conc floor slab - front wall section	5/9/23	

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NO. REVISIONS DATE



NO. ISSUE DATE

1A AHRB SUBMISSION 5/9/23

NOTE: INTERIOR DRAWINGS, FLOOR PLANS ARE SHOWN FOR REFERENCE ONLY. INTERIOR WORK FILED UNDER SEPARATE APPLICATION

EXTERIOR APPLICATION # A 2023 - 0054

Michael Lewis Architects PC

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PROJECT:

Modifications to 99 Main Street Exterior

99 Main Street
Dobbs Ferry, NY 10522

DRAWING TITLE:

TITLE SHEET

FILE NAME:

DRAWN BY: PG DRAWING NUMBER

SCALE: As Noted

DATE: 5/9/23

PROJECT ID: 2215A

T-001.00

STREETSCAPE PHOTOS - MAIN STREET



PHOTO 1 - Looking North West on Main St - 1918



PHOTO 2 - Looking North West on Main St - 2023



PHOTO 3 - Looking West on Main St

STREETSCAPE PHOTOS - MAIN STREET



PHOTO 4 - Looking North on Main St



PHOTO 5 - Looking South on Main St



PHOTO 6 - Front - close up

REAR PHOTOS



PHOTO 7 - Rear looking toward front



PHOTO 8 - Rear looking toward front

BUILDING ALLEY - Between 99 Main and 93 Main

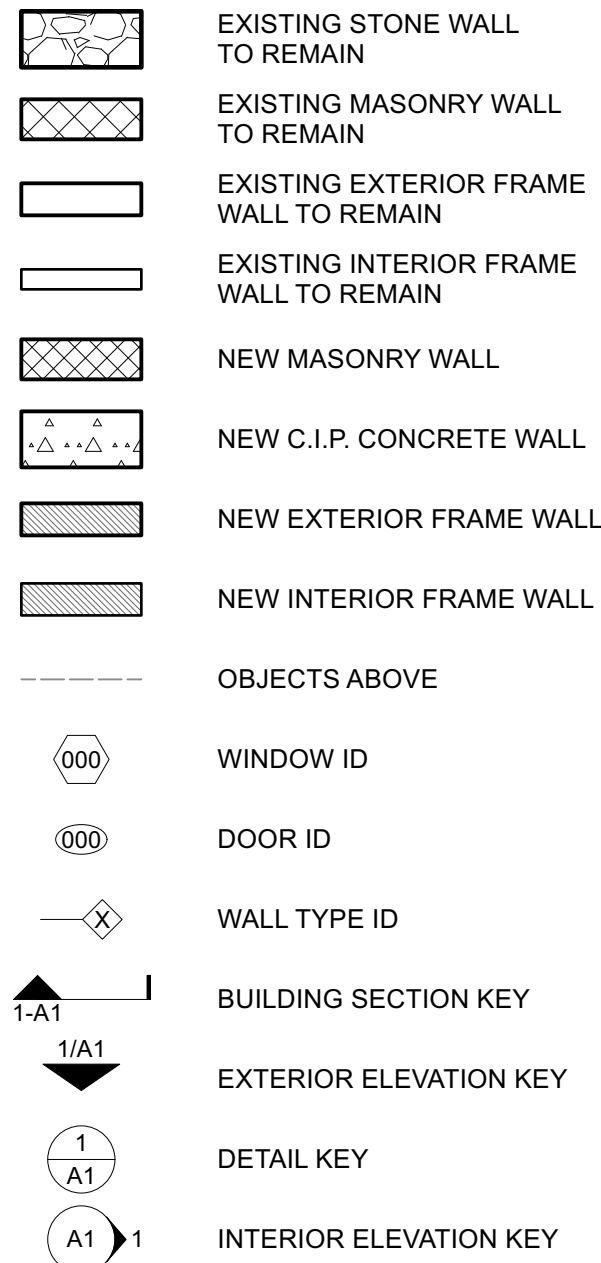


PHOTO 9 - ALLEY- Front - looking to rear



PHOTO 10 - ALLEY- Front - looking to rear





NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
1A	AHRB SUBMISSION	5/9/23

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PROJECT: _____

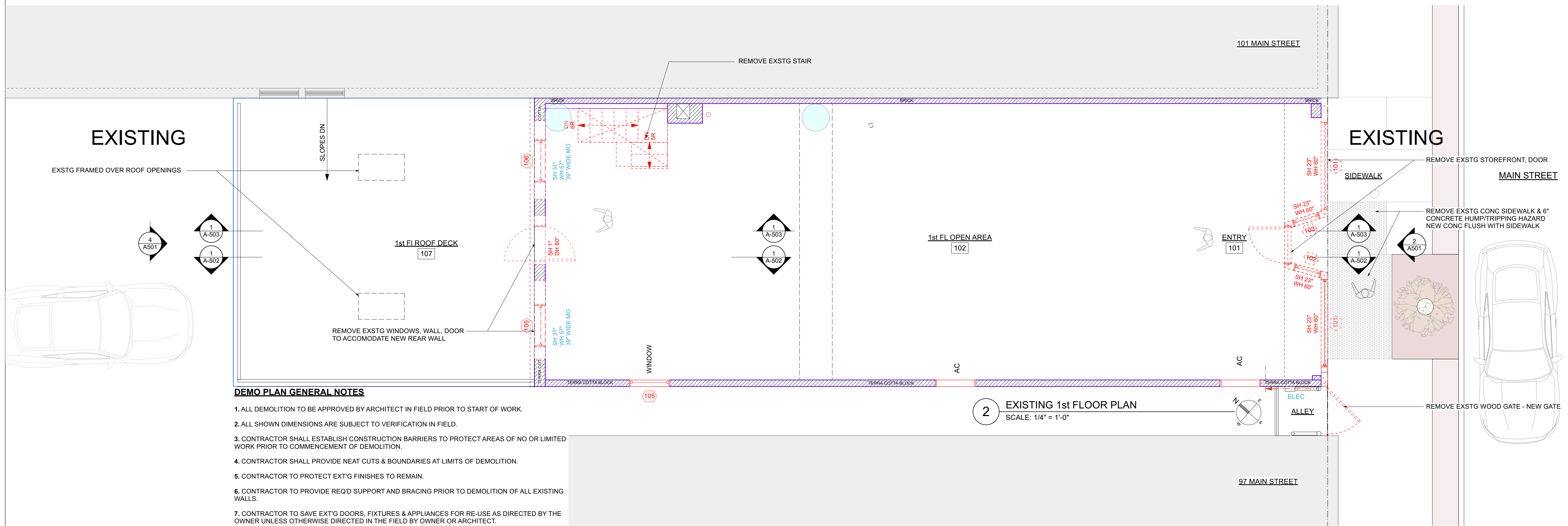
Modifications to 99 Main Street Exterior

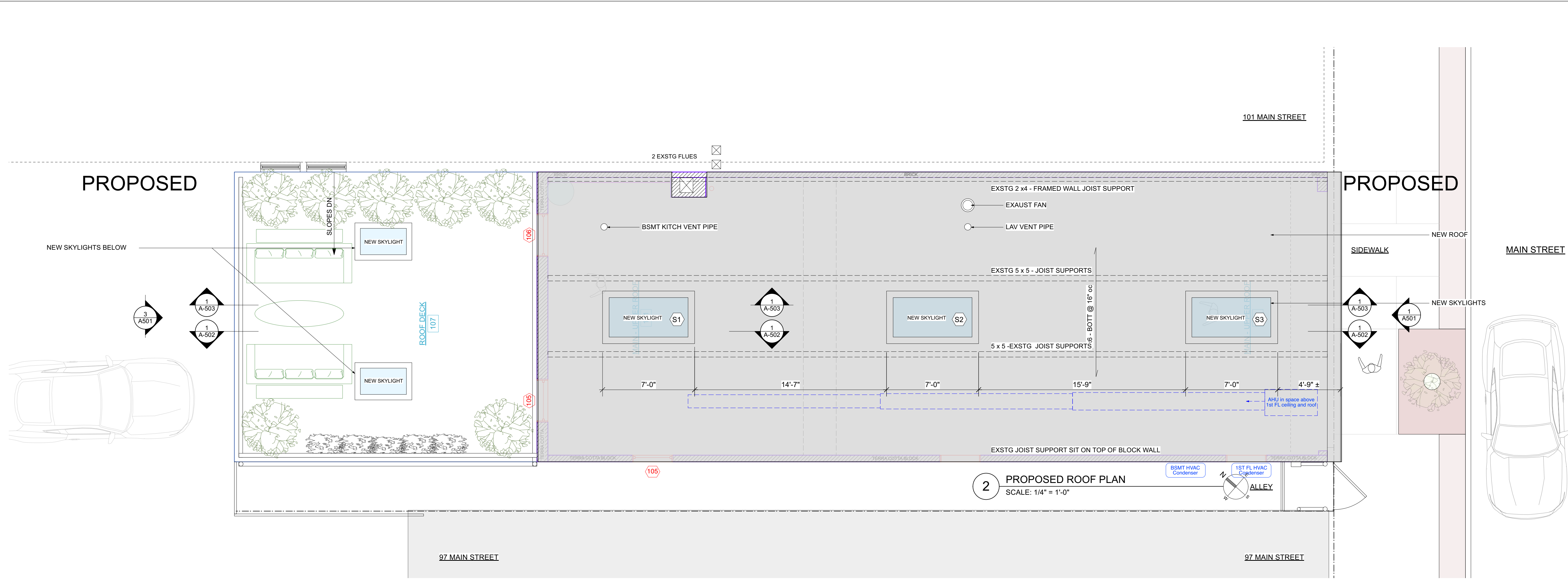
99 Main Street
Dobbs Ferry, NY 10522

DRAWING TITLE:

1st FL Exstg + Proposed Floor Plan

FILE NAME:		<div>DRAWING NUMBER</div> <div>A-002</div>
DRAWN BY:	ASD / PG	
SCALE:	As Noted	
DATE:	5/9/23	
PROJECT ID:	2215A	



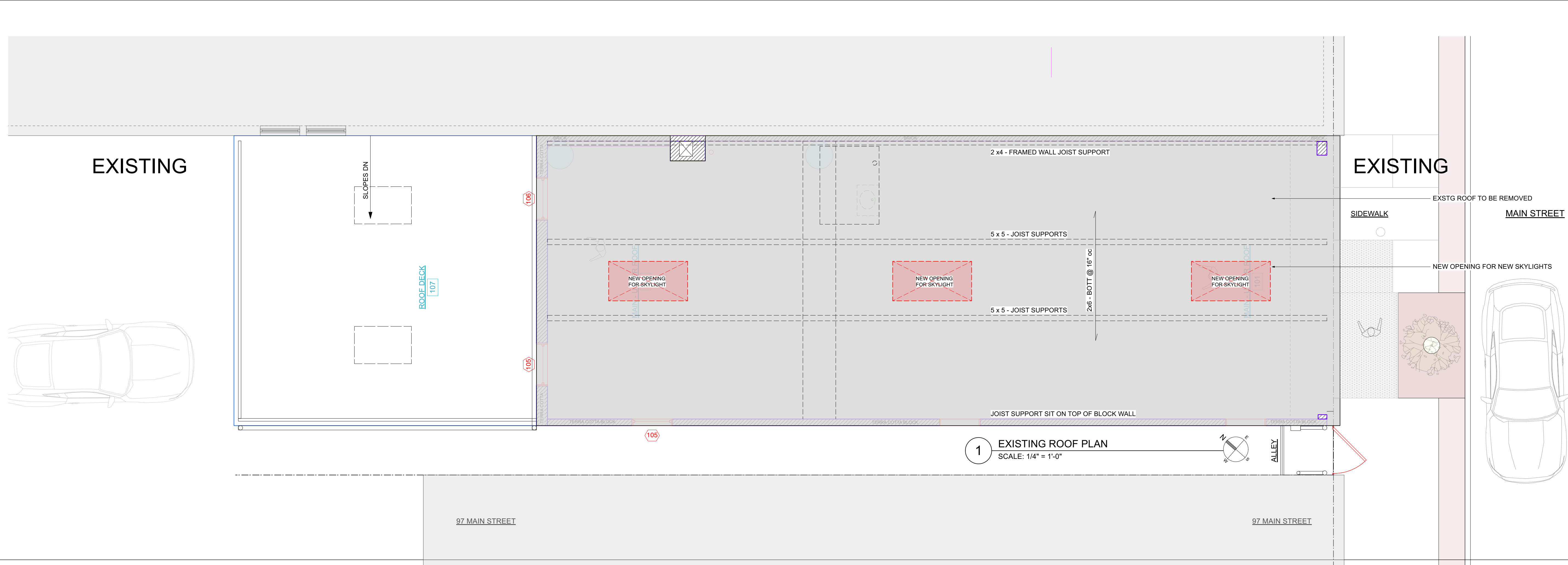


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CONSTRUCTION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
- NEW C.I.P. CONCRETE WALL
- NEW EXTERIOR FRAME WALL
- NEW INTERIOR FRAME WALL
- OBJECTS ABOVE
- WINDOW ID
- DOOR ID
- WALL TYPE ID
- BUILDING SECTION KEY
- EXTERIOR ELEVATION KEY
- DETAIL KEY
- INTERIOR ELEVATION KEY

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION



NO. REVISIONS DATE

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PROJECT:
Modifications to 99 Main Street Exterior

99 Main Street
Dobbs Ferry, NY 10522

DRAWING TITLE:
Roof Exstg + Proposed Floor Plans

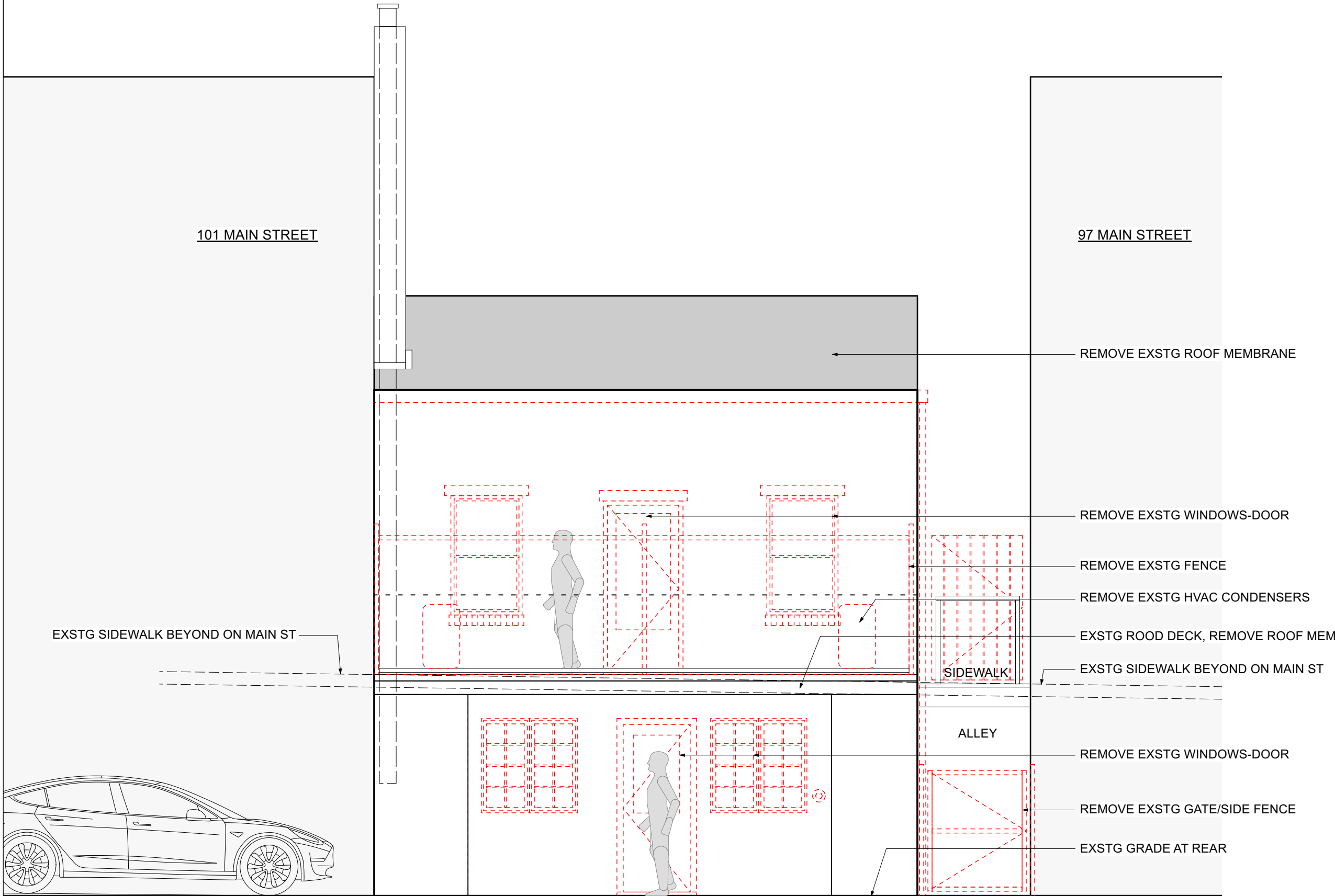
FILE NAME:

DRAWN BY: ASD / PG **DRAWING NUMBER**
SCALE: As Noted
DATE: 5/9/23
PROJECT ID: 2215A

A-003



3 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"
AHRB SHEET - MATERIALS - SEE SHEET A-503



4 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED MAIN STREET ELEVATION
SCALE: 1/4" = 1'-0"
AHRB SHEET - MATERIALS - SEE SHEET A-503



2 EXISTING MAIN STREET ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT:

Modifications to 99 Main Street Exterior

99 Main Street
Dobbs Ferry, NY 10522

DRAWING TITLE:

Front + Rear Elevs - Exstg + New

FILE NAME:

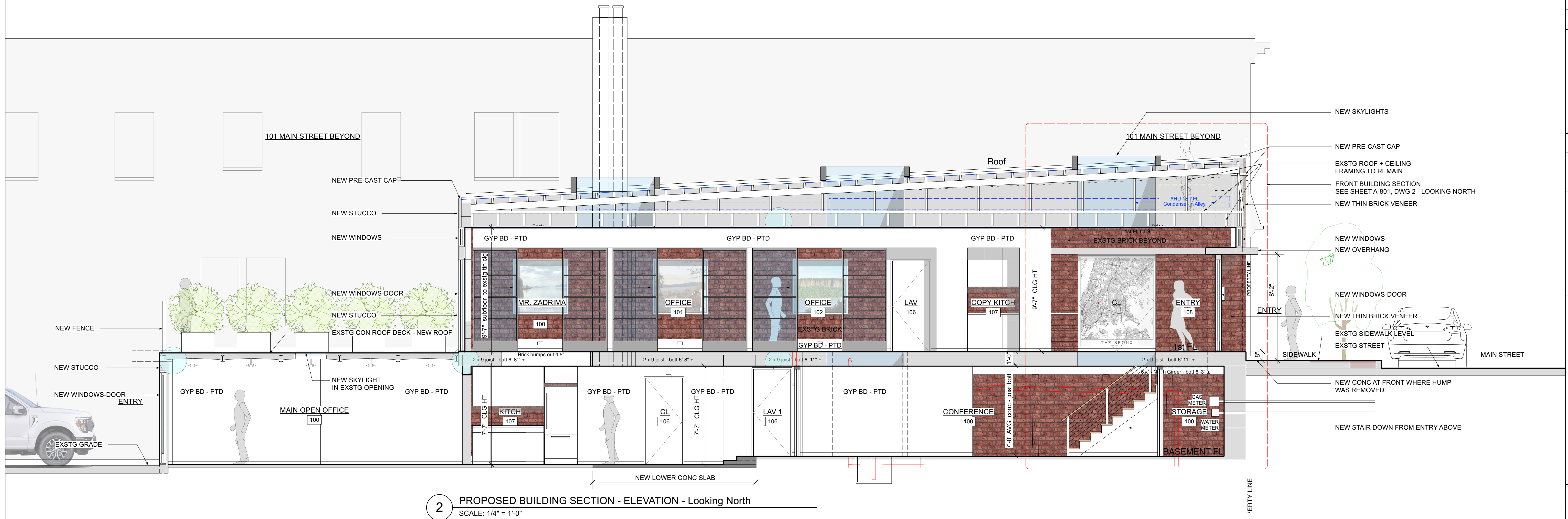
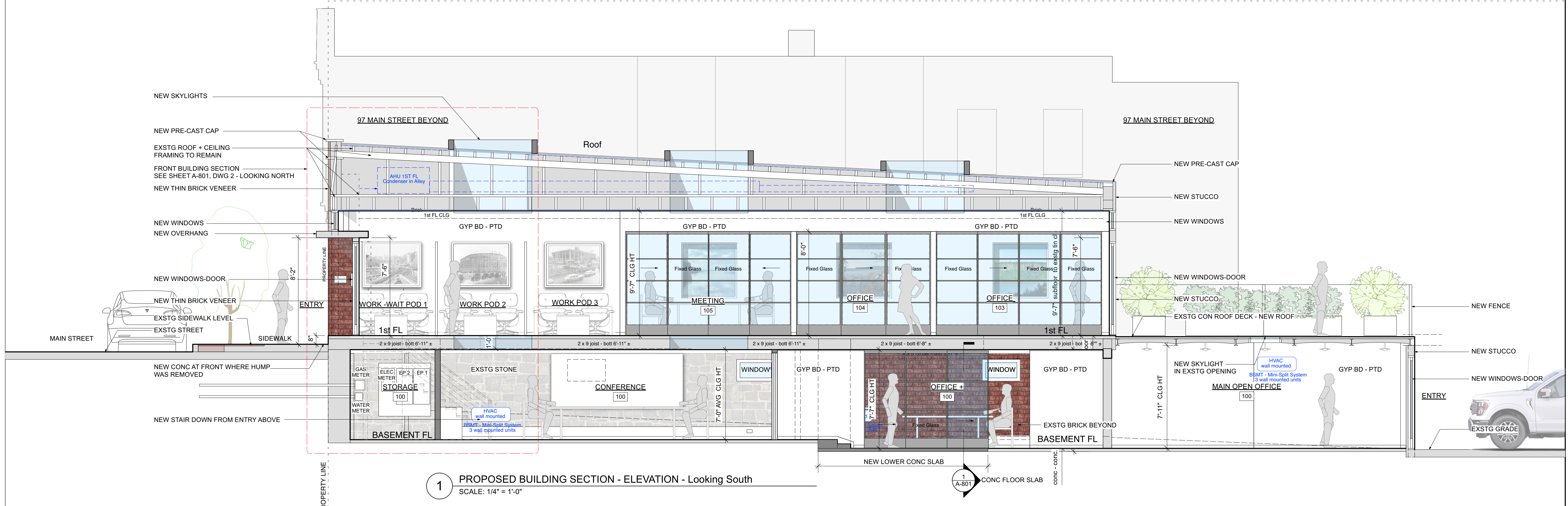
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SCALE: As Noted

DATE: 5/9/23

PROJECT ID: 2215A

A-501



NO. REVISIONS DATE



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PROJECT:

Modifications to 99 Main Street Exterior

99 Main Street
Dobbs Ferry, NY 10522

DRAWING TITLE:

Building Section - Elevations

FILE NAME:

DRAWN BY: PG DRAWING NUMBER

SCALE: As Noted

DATE: 5/9/23

PROJECT ID: 2215A

A-502



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EXTERIOR LIGHTS

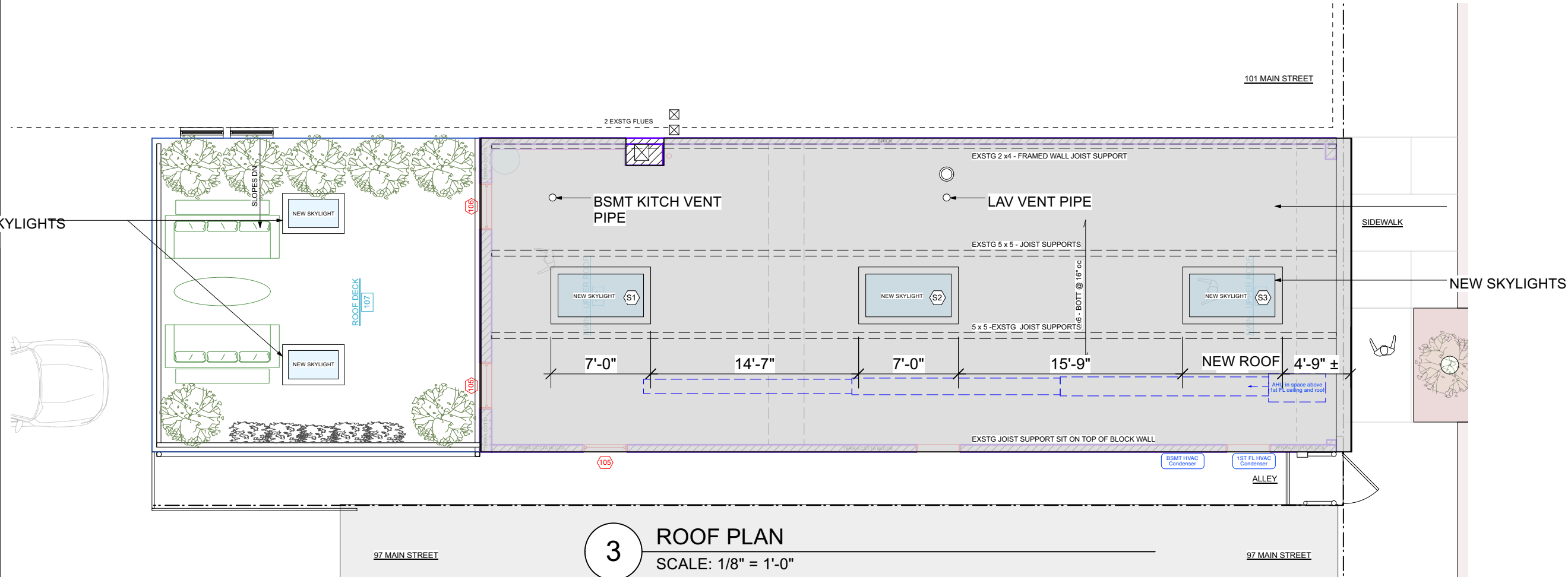
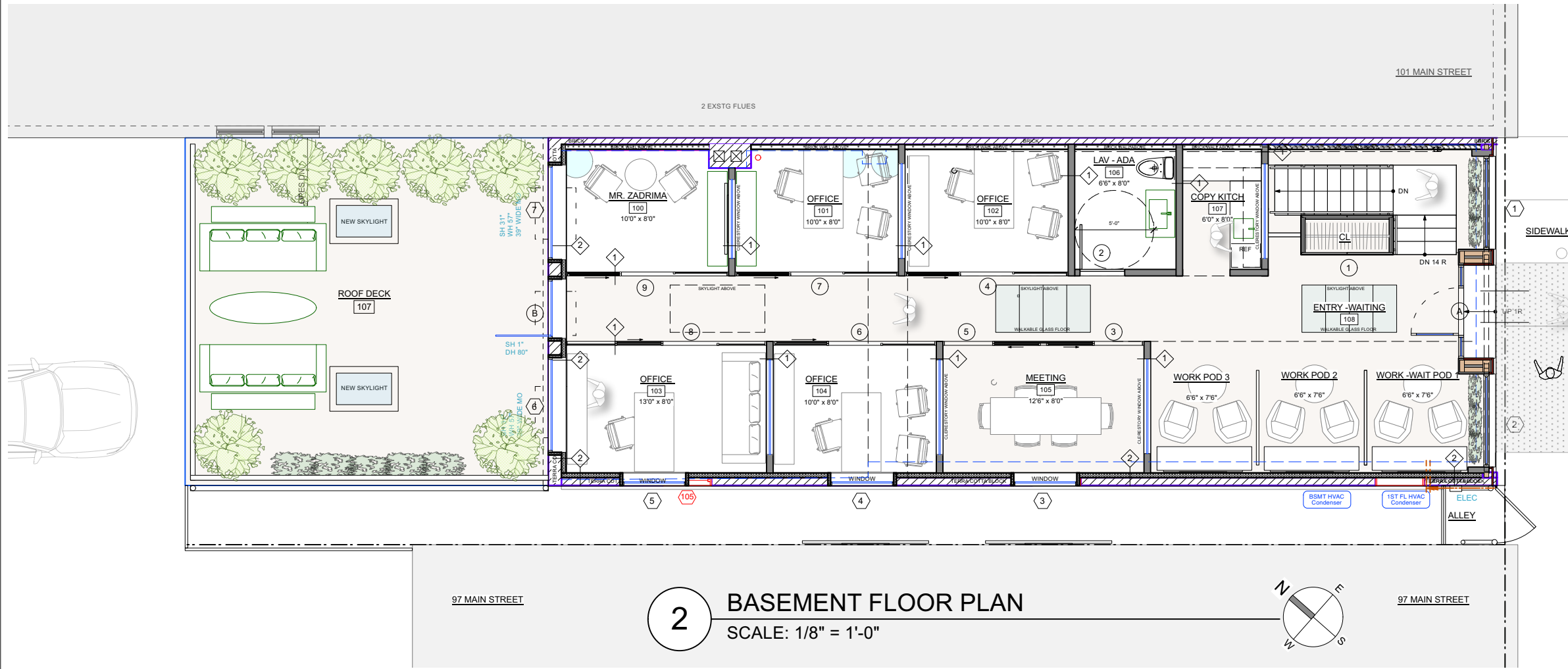
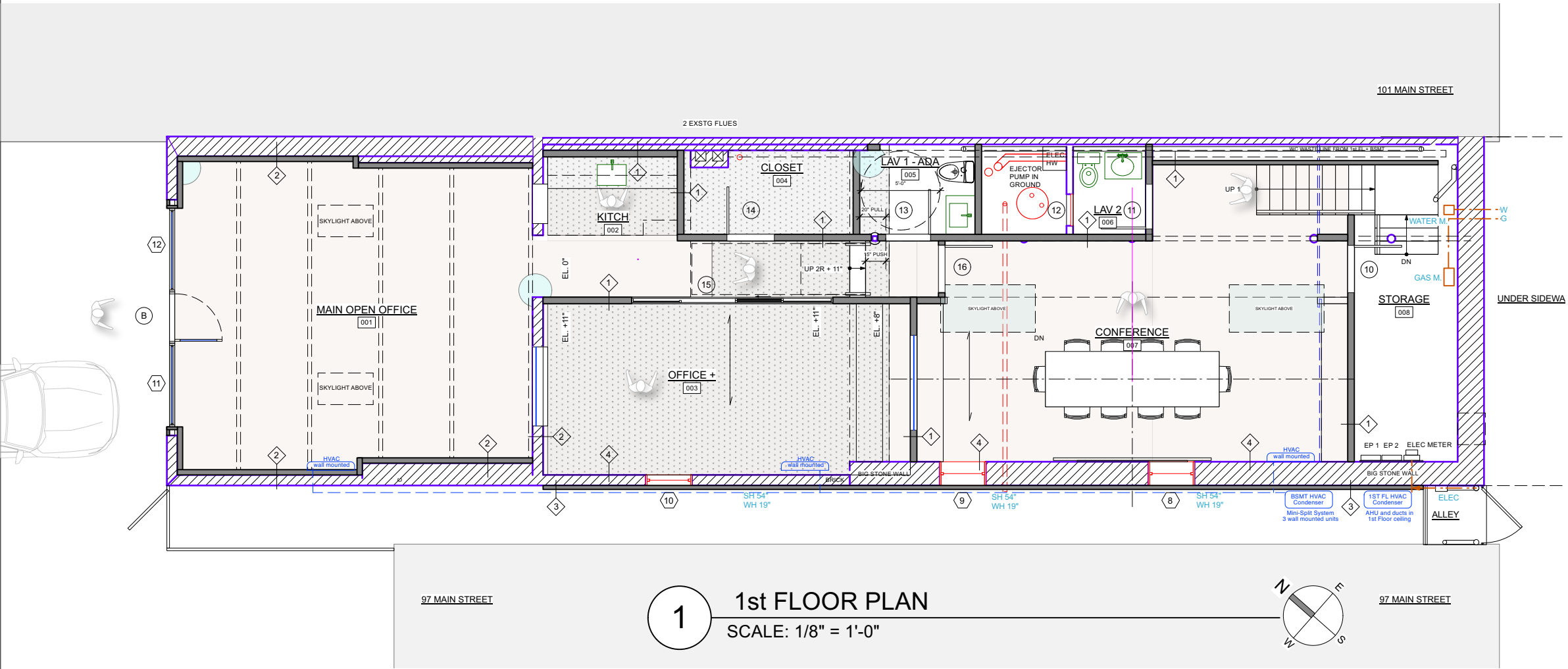


REAR- Wall Sconce
WAC LIGHTING - ROCKPORT OUTDOOR
COLOR - BRUSHED ALUMINUM

EXTERIOR LIGHTING NOTE: ALL EXTERIOR LIGHT FIXTURES SHALL COMPLY WITH VILLAGE EXTERIOR LIGHTING CODE REQUIREMENTS (300-41), INCLUDING THE USE OF FULL CUTOFF STYLE FIXTURES WITH LIGHT LEVELS WITHIN THE LIMITS SET BY THE CODE.



		DATE
NO. ISSUE		DATE
1A AHRB SUBMISSION		5/9/23
EXTERIOR APPLICATION # A 2023 - 0054		
Michael Lewis Architects PC		
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PROJECT:		
Modifications to 99 Main Street Exterior		
99 Main Street Dobbs Ferry, NY 10522		
DRAWING TITLE:		
AHRB - Materials - Streetscape		
FILE NAME:		
DRAWN BY:	PG	DRAWING NUMBER A-503
SCALE:	As Noted	
DATE:	5/9/23	
PROJECT ID:	2215A	



EXTERIOR DOOR SCHEDULE - Verify All Units Prior to Final Order (LAST UPDATED 3.10.23)

No.	Location	Description	Manuf.	Model No.	RO Width	RO Height	Jamb	Grille/SDL	Exterior Fin	Interior Fin	Hardware	U-Fact	SHGC	Remarks
FIRST FLOOR														
A	ENTRY	Entry Door	Marvin	Elevate	3'0"	7'0"						0.27	0.27	Meets NYS Stretch Code
B	REAR DECK	Entry Door	Marvin	Elevate	3'0"	7'0"						0.27	0.27	Meets NYS Stretch Code
BASEMENT														
C	MAIN OFFICE	Entry Door	Marvin	Elevate	3'0"	7'0"						0.27	0.27	Meets NYS Stretch Code

GENERAL DOOR NOTES:
1. CONTRACTOR TO VERIFY ALL EXISTING ROUGH OPENINGS IN FIELD AND CONFIRM WINDOW ORDER WITH ARCHITECT PRIOR TO ORDER.
2. ALL GLAZING FOR ANDERSEN UNITS TO BE LOW-E SMART SUN. FIELD AND CONFIRM WINDOW ORDER WITH ARCHITECT PRIOR TO ORDER.
3. CONFIGURATIONS AND OPERATIONS OF ALL EXTERIOR DOORS TO BE VERIFIED WITH OWNERS AND ARCHITECT PRIOR TO ORDER.

WINDOW SCHEDULE - Verify All Units Prior to Final Order (LAST UPDATED 3.8.23)

No.	Location	Description	Manuf.	Model No.	RO Width	RO Height	Hdr Ht	Jamb	Grille/SDL	Exterior Fin	Interior Fin	Hardware	U-Fact	SHGC	Remarks
1ST FLOOR															
7 Windows															
1	ENTRY - North	Picture	Marvin	Elevate	5'10"	7'0"				Aluminum	Aluminum	0.27		0.27	Meets NYS Stretch Code
2	ENTRY - South	Picture	Marvin	Elevate	5'10"	7'0"				Aluminum	Aluminum	0.27		0.27	Meets NYS Stretch Code
3	MEETING	Casement	Marvin	Elevate	4'0"	5'0"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
4	OFFICE 104	Casement	Marvin	Elevate	4'0"	5'0"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
5	OFFICE 103	Casement	Marvin	Elevate	4'0"	5'0"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
6	OFFICE 103	Casement	Marvin	Elevate	6'0"	5'0"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
7	MR. ZADRIMA 100	Casement	Marvin	Elevate	6'0"	5'0"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
BASEMENT															
5 Windows															
8	CONFERENCE 100	Hopper	Marvin	Elevate	3'0"	1'6"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
9	CONFERENCE 100	Hopper	Marvin	Elevate	3'0"	1'6"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
10	OFFICE 100	Hopper	Marvin	Elevate	3'0"	1'6"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
11	MAIN OFFICE 100	Picture	Marvin	Elevate	5'0"	6'0"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
12	MAIN OFFICE 100	Picture	Marvin	Elevate	5'0"	6'0"				Aluminum	Wood	0.27		0.27	Meets NYS Stretch Code
SKYLIGHTS															
2 Skylights															
S1	FRONT	Skylight	Velux	FCM 3055	2'6"	4'6"				Aluminum	Aluminum		0.49	0.27	Meets NYS Stretch Code
S2	MIDDLE	Skylight	Velux	FCM 3055	2'6"	4'6"				Aluminum	Aluminum		0.49	0.27	Meets NYS Stretch Code
S3	REAR	Skylight	Velux	FCM 3055	2'6"	4'6"				Aluminum	Aluminum		0.49	0.27	Meets NYS Stretch Code

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NO. REVISIONS DATE



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99 Main Street
Dobbs Ferry, NY 10522

DRAWING TITLE:

SCHEDULES

FILE NAME:

DRAWN BY: ABC

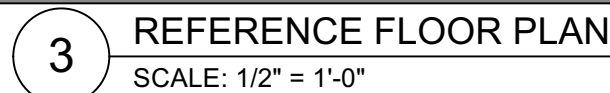
SCALE: As Noted

DATE: 5/9/23

PROJECT ID: 2215A

DRAWING NUMBER

A-800



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NO. REVISIONS	DATE
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NO.	ISSUE	DATE
1A	AHRB SUBMISSION	5/9/23

EXTERIOR APPLICATION # A 2023 - 0054

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PROJECT:

Modifications to 99 Main Street Exterior

99 Main Street
Dobbs Ferry, NY 10522

DRAWING TITLE:

Details

FILE NAME:		DRAWING NUMBER <div style="font-size: 2em; font-weight: bold; text-align: center;">A-801</div>
DRAWN BY:	ASD / PG	
SCALE:	As Noted	
DATE:	5/9/23	
PROJECT ID:	2215A	