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FRANK S. MCCULLOUGH (1905-1998)
EVANS V. BREWSTER (1920-2005)

April 14, 2022

Honorable Mayor Vincent Rossillo
and Members of the Board of Trustees
Village of Dobbs Ferry
112 Main Street
Dobbs Ferry, New York 10522

Re: Mercy College
Amended Site Plan Application
555 Broadway, Dobbs Ferry, New York

Dear Hon. Mayor Rossillo and Members of the Board of Trustees:

This firm represents Mercy College ("Mercy") in connection with its amended site plan application for the construction of a permanent open-aired pavilion in The Grove area of the campus (where a large temporary tent has been installed during the COVID-19 pandemic) and upgrades to the R-Lot, consisting of full depth reconstruction of the existing parking lot with no increase in footprint or impervious site area, together with installation of new energy-efficient LED lighting and drainage improvements in the upper lot (collectively the "Proposed Project"). We are pleased to present the Proposed Project, which is described in greater detail in the enclosed documentation, for your review and consideration.

The Mercy property is located in the Educational/Institutional (EI) Zoning District on the Village of Dobbs Ferry Zoning Map, in which educational uses (including institutions of higher learning such as Mercy) are principal permitted uses. As you may recall, as a condition of the approvals for Hudson Hall, Mercy was required to work with the NYDOT on improvements to the main entrance to the College on Route 9, including a new right-only turning lane out of the campus. We are pleased to report that this project has finally received all necessary NYDOT approvals and Mercy is bidding the project for construction this summer. In conjunction with the Route 9 improvements, Mercy will also be undertaking a major landscaping and signage upgrade project at the entrance to the College, the vast majority of which is located in the Village of Irvington.¹

¹ Mercy will be simultaneously submitting an application to the Irvington Planning Board for amended site plan approval for the entrance project. We have confirmed with Dobbs Ferry Building Inspector Dan Roemer that no approvals are required from Dobbs Ferry in connection with the entry work.

With respect to the purposes and standards of the Dobbs Ferry Zoning Code, it is respectfully submitted that the Proposed Project complies with the applicable standards set forth in Sec. 300-52(D) of the Zoning Code, as follows:

1. As shown on the site plan, the Proposed Project, to the maximum extent practicable, avoids environmentally sensitive areas and features, including rock outcrops, steep slopes and highly erodible soils. To the extent such environmentally sensitive features are present and will be altered or otherwise affected by the Proposed Project, an erosion and sediment control plan has been provided in the site plan set and is subject to approval by the Board of Trustees. The erosion and sediment control plan has been prepared by a NYS licensed professional engineer, and is consistent with the provisions of the New York State Department of Environmental Conservation Manual for Erosion and Sediment Control, as amended from time to time.
2. As set forth in detail in the enclosed site plans and as will be addressed in a Stormwater Pollution Prevention Plan ("SWPPP"), the siting of the Proposed Project includes adequate storm water and surface water drainage facilities on site to ensure no net increase in stormwater runoff from the site as a result of the Proposed Project. Roof leaders, catch basins, etc. will be directed to appropriate drainage control structures on site and specifically will not be directed uncontrolled to Village streets or adjacent properties.
3. As set forth on the enclosed site plans, the siting of the Proposed Project provides for adequate screening and minimizes noise and lighting impacts upon surrounding property owners.
4. The siting of building renovations, walkways, driveways, roads, and other improvements provides for safe, adequate, and convenient pedestrian and vehicular traffic circulation, both on the site and in the surrounding streets. Excessive grades in the design of roads and/or driveways have been avoided.
5. As set forth on the enclosed site plans, the siting of the Proposed Project minimizes disturbance to open space and natural features located on publicly owned lands adjacent to the site, including, but not limited to, parkland, wildlife habitat and scenic views.
6. The Proposed Project conforms to the height, bulk and other requirements of this chapter, and does not require any variances from the Zoning Board of Appeals, nor modifications or waivers by the Board of Trustees.
7. As noted above, a SWPPP consistent with the requirements of Chapter 262 of the Village of Dobbs Ferry Village Code will be submitted as required for site plan approval. The SWPPP will meet the performance and design criteria and standards in § 262-8 of the Village of Dobbs Ferry Code.

8. Finally, as set forth on the enclosed Coastal Assessment Form, it is respectfully submitted that the Proposed Project is consistent with the Village's LWRP policy standards.

Enclosed please find for your review the following documents:

- 1) Completed and signed Site Plan Application form, including a completed Coastal Assessment Form;
- 2) Completed and signed Short Environmental Assessment Form; and
- 3) Complete set of site plan drawings, prepared by Foit-Albert Associates, Architecture, Engineering and Surveying, PC and Alloy Design Studio PLLC, for your consideration. These drawings include the details regarding the Proposed Project, including landscaping, lighting, grading, erosion control, and storm water management features.

Kindly place this matter on the April 26, 2022 Board of Trustees meeting agenda, for the Board to consider referring the application to the Planning Board and AHRB for review and recommendation at their respective May meetings, and declaring its intent to serve as the Lead Agency under SEQRA. Thank you for your consideration of this project.

Very truly yours,



Seth M. Mandelbaum

SMM:srw

Enc.

cc: Mercy College Development Team
Lori Lee Dickson, Esq.
Valerie Monastra

Village of Dobbs Ferry
Site Plan Application

Please check appropriate box:

☒ Preliminary Date April 14, 2022 ☒ Final Date April, 2022

Name of proposed development Mercy College - Grove Pavilion and R-Lot Parking Improvements

Applicant:

Name Mercy College

Address 555 Broadway

Dobbs Ferry, NY 10522

Telephone 914.674.7473

Owner (if different): N/A

If more than one owner, provide information for each:

Name _____

Address _____

Telephone _____

Ownership intentions, i.e., purchase options N/A

Location of site Mercy College - 555 Broadway

Tax map description: SBLs: 3.40-4-21 & 3.40-4-19

Sheet _____ Block _____ Lot/Parcel _____

Current Zoning Classification Education/Institutional (EI)

Plan Prepared By:

Name: Foit-Albert Associates (Civil Engineer)

Address: 89-31 161st St, Suite 901

Jamaica, NY 11432

Telephone: 716.856.3933

Name: Alloy Design Studio PLLC (Landscape Architect)

Address: 29 Perryridge Road

Greenwich, CT 06830

Telephone: 203.661.2723

State and federal permits needed (list type and appropriate department):

NYSDEC General Permit for Construction Activities (SPDES)

Proposed uses(s) of site

Existing Education/College (no change of use)

Project includes construction of pavilion in The Grove area and upgrades to

R-Lot with no increase in pavement footprint.

Total site area (square feet or
acres)

35.02 acres

Anticipated construction time

Will development be staged? No

Current land use of site (agriculture, commercial, undeveloped, etc.)

Education/College

Current condition of site (buildings, rush, etc.) College Campus

Character of surrounding lands (suburban, agriculture, wetlands, etc.)

Residential to North, East and South. Hudson River and MetroNorth RR to the West

Estimated cost of proposed improvement \$

Anticipated increase in number of residents, shoppers, employees, etc. (as applicable)

No anticipated increase to number of students.

Describe the proposed use, including primary and secondary uses; ground floor area; height; and number of stories for each building:

The Grove Section of Campus: Mercy College is proposing landscape renovations and a new timber pavilion on the Grove section of their Dobbs Ferry Campus. The Pavilion will be open-air structure of timber posts, beams, and trusses for a rough size of 44'-90' with a natural stone floor finish and covered by a gable pitched roof. Additional site renovations include stabilized gravel pathways, boulder seat-walls, pruning and maintaining existing legacy vegetation, and expansion of an existing open-air storm-water basin.

R-Lot Parking Renovations: The R-Lot parking area, located at the western most portion of campus is in dire need of repaving, safe and uniform lighting, and resetting of curbs for slope stabilization, all of which is being proposed in as part of this work. Additional site-work remediation includes storm-water improvements, planting, and correction of minor alignment changes to improve safety and accessibility. No additional parking will be added as part of this work.

STATE OF NEW YORK)
COUNTY OF WESTCHESTER) ss:
VILLAGE OF DOBBS FERRY)

Thomas R. Simmonds _____ being duly sworn, deposes

and says, that (s)he resides at Mercy College, 555 Broadway, Dobbs Ferry, NY 10522

that (s)he is the authorized owner/representative of the owner and that the foregoing answers are true to the best of (his) knowledge and belief, that the plat if approved by the Planning Board will be filed in the Office of the County Clerk within ninety (90) days following the date approval and that all regulations of the Planning Board have been complied.

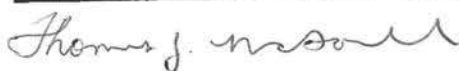
Mercy College

by: 

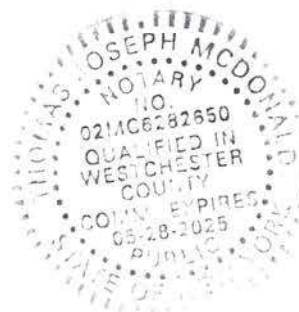
Thomas R. Simmonds

SWORN TO BEFORE ME THIS 13 DAY

OF April 20, 22



THOMAS JOSEPH MCDONALD
NOTARY PUBLIC-STATE OF NEW YORK
No. 02MC6282650
Qualified in Westchester County
My Commission Expires 05-28-2025



Site Plan Application
Page 4 of 6

Proposed Development:

Name Mercy College - Grove Pavilion
and R-Lot Parking Improvements

Applicant:

Name Mercy College

Address 555 Broadway, Dobbs Ferry, NY 10522

Telephone 914.674.7473

Procedural Sequence

Initial contact with enforcement

Officer

Presubmission conference

Preliminary application

Fee paid: Amount \$ _____

Public hearing notice

Public hearing

Tentative action:

Approval

Approval with modification

Disapproval _____

Resubmitted _____

Lapse date for final approval

Final application

Referral

Comments returned

Final Action:

Approval

Approval with modifications

Conditions satisfied

Disapproval _____

Resubmitted _____

Building permit granted

Performance bond required

Amount _____

Period _____

Improvements covered _____

Performance bond satisfied _____

Date

Site Development Plan Review

Checklist (cont'd)

Technical Considerations

Item Satisfied

North arrow, scale date

X

Property boundary, dimensions
and angles

X

Easements and deed restrictions

X

Names, locations and widths of
adjacent streets

N/A for Lot R

Land use, zoning, ownership and
physical improvement of adjacent
properties

N/A for Lot R

Conformity with comprehensive plan

N/A for Lot R

Impact on environs:

Land use

No impact for Lot R

Transportation

No impact for Lot R

Community facilities and services

No impact for Lot R

Aesthetics

No impact for Lot R

Environmental, i.e. air, water,
noise, etc.

No impact for Lot R

Energy conservation

No impact for Lot R

Historic preservation

No impact for Lot R

Environmental impact statement

X (SEQR Part 1 completed)

Existing, on-site physical improvements

Drainage, pavement and lighting
improvements

Existing natural features:

Geological features

X

Soil characteristics

X

Topography

X

Vegetation

X

Hydrologic features

X

Proposed development:

Grading and drainage plan

X

Buildings and other structures

N/A for Lot R

Improvements such as parking,
storage and recreation areas

X

Vehicular and pedestrian ways
including ingress and egress

X

Utility lines and appurtenances

X

Site Plan Application
Page 6 of 6

Outdoor lighting and public
address systems

Outdoor signs

Landscaping plans

Architectural plans

Materials specifications

Construction schedule

X	
X	
X	
X	
X	
TBD	

VILLAGE OF DOBBS FERRY

SITE PLAN CHECK LIST

The items listed below should be reviewed by the applicant's design professional to aid in providing a complete submission.

AGENCY APPROVALS

YES

NO

Westchester County Department of Health
Septic and Water.

X

New York State Department Environmental
Conservation Stormwater SPDES.

X

New York City Department Environmental
Protection Joint Septic.

X

New York City Department of Environmental
Protection SWPPP.

X

VILLAGE PERMITS/APPROVALS

Zoning Board of Appeals.

X

Blasting and Explosives Permit.

X

Fill Permit.

X

Freshwater Wetlands Permit.

X

Site Plan to comply with Subdivision

Plat approval requirements

X

Stormwater Pollution Prevention Plan (SWPPP)

X

Architectural Review

X

Building Permit

X

Excavation/Grading Permit

X

Demolition Permit

X

Electrical Permit

X

SITE PLAN INFORMATION

1. 24" x 36" maximum drawing size.

X

2. Minimum scale: (1" = 30').

X

3. Project Name.

X

4. Name and address of engineer and surveyor.

X

5. Name and address of owner of record and applicant.

X

6. Drawings signed and sealed by P.E. or R.A.

X

7. Original drawing date & revision dates.

X

8. Tax map section and lot numbers.

X

- | | | | |
|-----|--|----------|-------------|
| 9. | Location plan with existing and adjacent zoning district. | <u>X</u> | <u> </u> |
| 10. | Scale, north arrow, date of survey, property acreage, drawings numbered (i.e., 1 of 3, 2 of 3, etc.) & identify adjoining property owners. | <u>X</u> | <u> </u> |
| 11. | Minimum yard setbacks. | <u>X</u> | <u> </u> |
| 12. | Provide bulk zoning table with all existing, proposed and required conditions. | <u>X</u> | <u> </u> |

AGENCY APPROVALS

- | | | | |
|-----|---|----------|-------------|
| 12. | Estimated quantity of cut or fill to be imported or removed from site or provide note stating that A No material is to be imported or removed from this site. | <u>X</u> | <u> </u> |
| 13. | Topography at two feet maximum intervals. | <u>X</u> | <u> </u> |
| 14. | Topography along streets adjacent to property. | <u>X</u> | <u> </u> |
| 15. | Existing buildings, retaining walls, fences, rock outcrops, wooded areas, watercourses, water bodies, wetlands and wetland controlled areas, etc. | <u>X</u> | <u> </u> |
| 16. | Total amount of site area disturbed | <u>X</u> | <u> </u> |

DRAINAGE

- | | | | |
|-----|--|-------------|-------------|
| 1. | Collect and convey driveway runoff. Mitigate increases in site runoff due to site development. | <u>X</u> | <u> </u> |
| 2. | Roof drains to discharge to existing or proposed drainage system. Mitigate increases from roof runoff. | <u>N/A</u> | <u> </u> |
| 3. | Surface inlets provided where low points cannot be graded to drain . | <u>X</u> | <u> </u> |
| 4. | Swale provided between buildings and embankment which slopes toward building. | <u> </u> | <u>N/A</u> |
| 5. | Culverts provided where roads or driveways cross watercourses. | <u> </u> | <u>N/A</u> |
| 6. | Catch basin spacing adequate. | <u>X</u> | <u> </u> |
| 7. | All rim and invert elevations provided. | <u>X</u> | <u> </u> |
| 8. | Two feet minimum cover of storm drains in roads, driveways and parking areas. 18" minimum elsewhere. | <u> </u> | <u>N/A</u> |
| 9. | Drywells provided with emergency overflow outlet pipes to grade. Multiple drywell systems should be connected by equalization pipes with rim and invert elevations posted. | <u> </u> | <u>X</u> |
| 10. | Minimum storm drain pipe size 15" diameter. | <u> </u> | <u>X</u> |

12" dia. in some areas;
pipes were sized to carry
the 10-year flow

- | | | | |
|-----|--|---------------|------------|
| 11. | Headwalls or end sections provided at pipe inlets and outlets. | <u> </u> | <u>N/A</u> |
| 12. | Rip-rap provided at headwalls and end sections. | <u> </u> | <u>N/A</u> |
| 13. | Provide cross section for pond or detention facility. | <u> </u> | <u>N/A</u> |

SITE INGRESS/EGRESS

- | | | | |
|----|---|---------------|---------------|
| 1. | Adequate sight distance at driveway intersection with road. | <u> </u> | <u>N/A</u> |
| 2. | Site accessible to fire trucks, emergency vehicles, tractor trailers for fill deliveries, moving vans, oil trucks, etc. | <u> X </u> | <u> </u> |
| 3. | Backup space for parking area. | <u> X </u> | <u> </u> |
| 4. | Driveways intersecting existing road at 90E. | <u> </u> | <u>N/A</u> |

SITE GRADING

- | | | | |
|-----|---|---------------|---------------|
| 1. | All proposed grading on property for house, driveway and septic. Show limit line of disturbance. | <u> X </u> | <u> </u> |
| 2. | Driveway platform sloped at 4% maximum within 25 feet of centerline of street or within 35 feet from the Right-of-Way, whichever is the greater distance. | <u> </u> | <u>N/A</u> |
| 3. | Driveway slope 14% maximum. | <u> </u> | <u>N/A</u> |
| 4. | Parking area 5% maximum. | <u> X </u> | <u> </u> |
| 5. | Paved areas 1% minimum grade at curb line. | <u> X </u> | <u> </u> |
| 6. | Lawn area 2% minimum. | <u> X </u> | <u> </u> |
| 7. | Top and bottom of retaining wall elevations provided. | <u> X </u> | <u> </u> |
| 8. | Outside grade pitched away from residence. | <u> X </u> | <u> </u> |
| 9. | Guide rail provided at steep drop offs. | <u> X </u> | <u> </u> |
| 10. | Spot elevations at corners of residence and parking area where necessary to ensure positive drainage. | <u> X </u> | <u> </u> |
| 11. | Finished floor elevations provided including basement. | <u> </u> | <u>N/A</u> |
| 12. | Plans and calculations for walls \geq 4 feet Signed & Sealed by P.E., R.A. | <u> X </u> | <u> </u> |
| 13. | Provide profiles of proposed roads with vertical geometry. | <u> </u> | <u>N/A</u> |
| 14. | Provide horizontal geometry. | <u> </u> | <u>N/A</u> |

GENRAL

- | | | | |
|----|---|--------------|---------------|
| 1. | Show existing and proposed utilities(water, sewer,etc.) | <u> X </u> | <u> </u> |
| 2. | Show snow piling areas. | <u> X </u> | <u> </u> |

3.	Show refuse areas with enclosures.	<u>N/A</u>	<u> </u>
4.	Show zoning map with districts(school,fire,etc).	<u>X</u>	<u> </u>
5.	Show signage.	<u>X</u>	<u> </u>
6.	Show landscaping.	<u>X</u>	<u> </u>
7.	Provide sections and details of wall.	<u>X</u>	<u> </u>
8.	Provide phasing plan for areas over 5ac.	<u> </u>	<u>N/A</u>
9.	Provide lighting plan.	<u>X</u>	<u> </u>
10.	Maintain low noise level at property line.	<u> </u>	<u>N/A</u>
11.	ADA compliance	<u>X</u>	<u> </u>
12.	-Village Construction Standard Compliance	<u>X</u>	<u> </u>

SITE PLAN NOTES

1.	General construction notes.	<u>X</u>	<u> </u>
2.	Construction Sequence shown on plans.	<u>X</u>	<u> </u>
3.	The following notes shall be provided on the plans: AShould rock blasting be required, a permit application in accordance with Chapter 125 - Blasting and Explosives of the Village of Dobbs Ferry Code must be submitted to the Village by the applicant for review/approval. This should be noted on the plans as follows:	<u>X</u>	<u> </u>
	AThe Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.@	<u>X</u>	<u> </u>
	AAAs-Built plans of the proposed driveway and drainage improvements shall be submitted to the Village Engineer for review prior to issuance of Certificate of Occupancy.@	<u>X</u>	<u> </u>
	AFill material imported to the site shall be certified in writing by a New York Licensed Professional Engineer as clean, non-contaminated fill suitable for the intended use.@	<u>X</u>	<u> </u>
	“Before the site plan is signed by the Chairman of the Planning Board, the applicant shall be required to post a performance bond or other type of		

acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney".

X

4. The following notes shall be provided on plans that involve SWPPP's:

The applicant shall notify the Building Department or Village's Consulting Engineer in writing at least 48 hours before any of the following so that any inspection may be performed.

- | | | |
|--|---------------|---------------|
| 1) Start of construction | <u>X</u> | <u> </u> |
| 2) Installation of sediment and erosion control measures. | <u>X</u> | <u> </u> |
| 3) Completion of site clearing. | <u>X</u> | <u> </u> |
| 4) Completion of rough grading. | <u>X</u> | <u> </u> |
| 5) Installation of SMP's. | <u>X</u> | <u> </u> |
| 6) Completion of final grading and stabilization of disturbed areas. | <u>X</u> | <u> </u> |
| 7) Closure of construction. | <u>X</u> | <u> </u> |
| 8) Completion of final landscaping; and | <u>X</u> | <u> </u> |
| 9) Successful establishment of landscaping in public areas. | <u> </u> | <u>N/A</u> |

"The owner or operator shall have a qualified inspector inspect and document the effectiveness of all erosion and sedimentation control practices and prepare inspection reports at least once a month. These reports must be kept on site and available for review".

X

SITE CONSTRUCTION DETAILS

Driveway Profile

 N/A

Driveway and shoulder section	<u> </u>	<u>N/A</u>
Roadway replacement	<u> </u>	<u>N/A</u>
Pavement section	<u> X </u>	<u> </u>
Sidewalk Details	<u> X </u>	<u> </u>
Rip-rap slopes, embankments and aprons	<u> </u>	<u>N/A</u>
Paved, rip-rapped, grass gutters	<u> </u>	<u>N/A</u>
NYSDOT material item numbers	<u> X </u>	<u> </u>
Detention basin	<u> X </u>	<u> </u>
Catch basin	<u> X </u>	<u> </u>
Surface inlet	<u> X </u>	<u> </u>
Drain manhole	<u> X </u>	<u> </u>
Headwall	<u> </u>	<u>N/A</u>
Curb	<u> X </u>	<u> </u>
Drywell	<u> </u>	<u>N/A</u>
Underdrain	<u> X </u>	<u> </u>
Retaining wall	<u> X </u>	<u> </u>
Silt fence	<u> X </u>	<u> </u>
Haybales	<u> </u>	<u>N/A</u>
Inlet protection	<u> X </u>	<u> </u>
Anti-tracking strip	<u> </u>	<u>N/A</u>
Guiderail	<u> X </u>	<u> </u>
Energy dissipater	<u> </u>	<u>N/A</u>
Sediment traps or basins	<u> </u>	<u>N/A</u>

EROSION CONTROL PLAN

Erosion control measures implemented as per New York
Guidelines for Urban Erosion and Sediment Control.

 X

MISCELLANEOUS ITEMS

- | | | | |
|----|--|---------------|------------|
| 1. | Proposed easements | | |
| | a) Temporary construction | <u> </u> | <u>N/A</u> |
| | b) Drainage | <u> </u> | <u>N/A</u> |
| | c) Sight | <u> </u> | <u>N/A</u> |
| | d) Slope | <u> </u> | <u>N/A</u> |
| | e) Driveway access | <u> </u> | <u>N/A</u> |
| 2. | Existing sanitary disposal system in the vicinity
of construction activity protected with temporary
fencing. | <u> </u> | <u>N/A</u> |

VILLAGE OF DOBBS FERRY - LWRP CONSISTENCY REVIEW

COASTAL ASSESSMENT FORM (CAF)

Name of applicant: Mercy College

Mailing address: 555 Broadway, Dobbs Ferry, NY 10522

Telephone number: 914.674.7473

Tax Lot # 3.40-4-19 and 3.40-4-21

Application number, if any: _____

A. INSTRUCTIONS (Please print or type all answers)

1. All applicants, including the Village of Dobbs Ferry and other agencies, shall complete this CAF for proposed actions subject to **Local Law # 10-05 - LWRP Consistency Law**. This assessment is intended to supplement other information used by the Dobbs Ferry Planning Board in making a determination of consistency with the Coastal Management Policies set forth in the Dobbs Ferry Local Waterfront Revitalization Program (LWRP).

2. All applicants shall complete Sections B and C of this Coastal Assessment Form. If the proposed action meets any of the criteria listed in Section C, Section D must be completed.

3. In Section D, a proposed action should be evaluated as to its potential beneficial and/or adverse effects upon the coastal area and how it may affect the achievement of the specific policy standards contained in the LWRP and the LWRP Consistency Law.

4. Once evaluated, a proposed action may need to be analyzed in more detail and, if necessary, modified prior to making a determination that it is consistent with the LWRP policy standards. If an action cannot be certified as consistent with the LWRP policy standards, it shall not be undertaken.

B. DESCRIPTION OF SITE AND PROPOSED ACTION

1. Type of action (check appropriate response):

(a) Directly undertaken (e.g. capital construction, planning activity, agency regulation, land transaction) _____

(b) Financial assistance (e.g. grant, loan, subsidy) _____

(c) Permit, approval, license, certification ☒ _____

(d) Party or Agency undertaking action: Village of Dobbs Ferry Board of Trustees

The Grove Section of Campus: Mercy College is proposing landscape renovations and a new timber pavilion on the Grove section of their Dobbs Ferry Campus. The Pavilion will be open-air structure of timber posts, beams, and trusses for a rough size of 44'-90' with a natural stone floor finish and covered by a gable pitched roof.

2. Describe nature and extent of action:

Additional site renovations include stabilized gravel pathways, boulder seat-walls, pruning and maintaining existing legacy vegetation, and expansion of an existing open-air storm-water basin.

R-Lot Parking Renovations: The R-Lot parking area, located at the western most portion of campus is in dire need of repaving, safe and uniform lighting, and resetting of curbs for slope stabilization, all of which is being proposed in as part of this work. Additional site-work remediation includes storm-water improvements, planting, and correction of minor alignment changes to improve safety and accessibility. No additional parking will be added as part of this work.

3. Location of action (Street or Site Description) : The Proposed Project would be located entirely within the Village of Dobbs Ferry portion of the campus, and comprises tax block and lots 3.40-4-19 and 3.40-4-21

C. COASTAL ASSESSMENT CRITERIA

Please check any of the following criteria that describe the proposed action.

- ☐ 1. The proposed action has direct contact with coastal waters, i.e. the Hudson River and/or its tributaries - Wickers Creek and the Saw Mill River.
- ☐ 2. The proposed action utilizes coastal waters, either directly or indirectly.
- ☐ 3. The proposed action involves natural features such as tree cover, hillsides, steep slopes, ridgelines and wetlands that either effect or are affected by coastal waters.
- ☐ 4. The proposed action demonstrates a relationship to coastal waters. The relationship may be recreational, cultural, historic, or business.
- ☒ 5. The proposed action has a direct visual relationship with coastal waters and their waterfronts.

If the proposed action meets any of the above criteria, Section D must be completed.

D. COASTAL ASSESSMENT

The following thirteen questions are based directly on the Coastal Management Policies set forth in Section III of the Dobbs Ferry LWRP. The preparer of this form should review these policies which are available online at www.dobbsferry.com/content/waterfront and also on file in the Village of Dobbs Ferry Clerk's office. Please answer every question and provide a brief explanation. If necessary, you may attach further explanation or refer to other available documentation relating to the proposed action.

Planning Bd.

1. ☐

Applicant

1. Does the proposed action foster a pattern of development in the coastal area that enhances community character, open space preservation, use of existing infrastructure, use of a coastal location?

☒ YES ☐ NO ☐ Not Applicable

Existing stormwater detention and treatment structures will be retained as part of R-Lot work. Drainage

improvements will result in less direct discharge of the adjacent slope, improving longterm slope stability

adjacent to the Hudson.

2. ☐

2. Does the proposed action preserve historic and archaeological resources?

☒ YES ☐ NO ☐ Not Applicable

The Grove Pavilion improvements would be located adjacent to the Old Croton Aqueduct, which is listed on the

State and National Register of Historic Places. While the Proposed Project would be visible from the Old Croton

Aqueduct, no direct disturbance or new crossings are proposed.

There is not any impact for R-Lot Work.

3. ☐

3. Does the proposed action protect existing scenic resources or enhance visual quality in the community?

☒ YES ☐ NO ☐ Not Applicable

The Project Site contains views of the Hudson River and Palisades.

No impact for R-Lot work.

4. ☐

4. Does the proposed action minimize loss of life, structures, and natural resources from flooding and erosion?

☐ YES ☐ NO ☒ Not Applicable

The Proposed Project is not within the floodplain or floodway.

Drainage improvements will result in less direct discharge to the adjacent slope, reducing erosion and

improving longterm slope stability adjacent to the Hudson.

5. ☐

5. Does the proposed action protect or improve water resources?

☐ YES ☐ NO ☒ Not Applicable

The Proposed Project does not involve any direct impacts to water resources. All stormwater will be managed in accordance with all applicable NYSDEC regulations.

No impact for R-Lot work.

6. ☐

6. Does the proposed action protect or restore ecological resources, including significant fish and wildlife habitats, wetlands, and rare ecological communities?

YES NO ☒ Not Applicable

The Proposed Project will avoid any impacts to ecological resources. There are no significant fish or wildlife habitats, wetlands, or rare ecological communities on the project site.

7. ☐

7. Does the proposed action protect and/or improve air quality?

YES NO ☒ Not Applicable

The Proposed Project will not have any significant effect on air quality.

8. ☐

8. Does the proposed action minimize environmental degradation from solid waste and hazardous substances and wastes?

YES NO ☒ Not Applicable

No impact for R-Lot work.

9. ☐

9. Does the proposed action improve public access to and recreational use of public lands and waters?

YES NO ☒ Not Applicable

Mercy College is a privately owned college.

No current or proposed public land or water access from R-Lot.

10. ☐

10. Does the proposed action protect water-dependent uses, promote siting of new water-dependent uses in suitable locations, and/or support efficient harbor operation?

YES ☒ NO Not Applicable

11. ☐

11. Does the proposed action promote the sustainable use of fish and wildlife resources?

YES NO x Not Applicable

There are no significant fish or wildlife communities on the Project Site.

12. ☐

12. Does the proposed action protect agricultural lands?

YES NO x Not Applicable

There are no agricultural lands on the Project Site.

13. ☐

13. Does the proposed action promote appropriate use and development of energy and mineral resources?

YES NO x Not Applicable

Energy efficient lighting will be used for lighting R-Lot.

Consistency
Determination

☐ Yes

☐ No

E. FURTHER REMARKS OR ADDITIONAL INFORMATION:

If assistance or further information is needed to complete this form, please contact Village of Dobbs Ferry Clerk at 914-693-2203 ext. 204..

Preparer's

Name: Seth M. Mandelbaum

Telephone: 914.949.6400

McCullough, Goldberger &

Title: Partner

Agency: Staudt, LLP.

Date: 4/14/22

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information							
Name of Action or Project: The Grove Pavilion & R-Lot Parking Improvements							
Project Location (describe, and attach a location map): Mercy College							
Brief Description of Proposed Action: Construction of a permanent open-aided pavilion in The Grove area of the campus (where large temporary tent has been installed during COVID-19 pandemic), and upgrades to R-Lot, including full depth reconstruction of existing parking lot with no increase in impervious area or pavement footprint; installation of new LED lighting; and drainage improvements in the upper lot.							
Name of Applicant or Sponsor: Mercy College		Telephone: 914-674-7473					
		E-Mail: tsimmonds1@mercy.edu					
Address: 555 Broadway							
City/PO: Dobbs Ferry		State: NY	Zip Code: 10522				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Permit from Dobbs Ferry Building Department			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Educational <input checked="" type="checkbox"/> Parkland							

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name:Hudson River, Name:County & State Park Lands, Reason:Exceptional or unique character, If Yes, identify: <u>Agency:Westchester County, Date:1-31-90</u>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Old Croton Aqueduct	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input checked="" type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Bald Eagle, Atlantic Sturge...	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Grove Pavilion runoff will be directed to existing open air basin (to be expanded). R-Lot flow will be directed to existing/new storm drainage inlets. Some flow will be detained by an existing stormwater system under R-Lot.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: <u>Mercy College</u> Date: <u>April 14, 2022</u></p> <p>Signature: <u></u> Title: <u>Attorney for Applicant</u></p>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

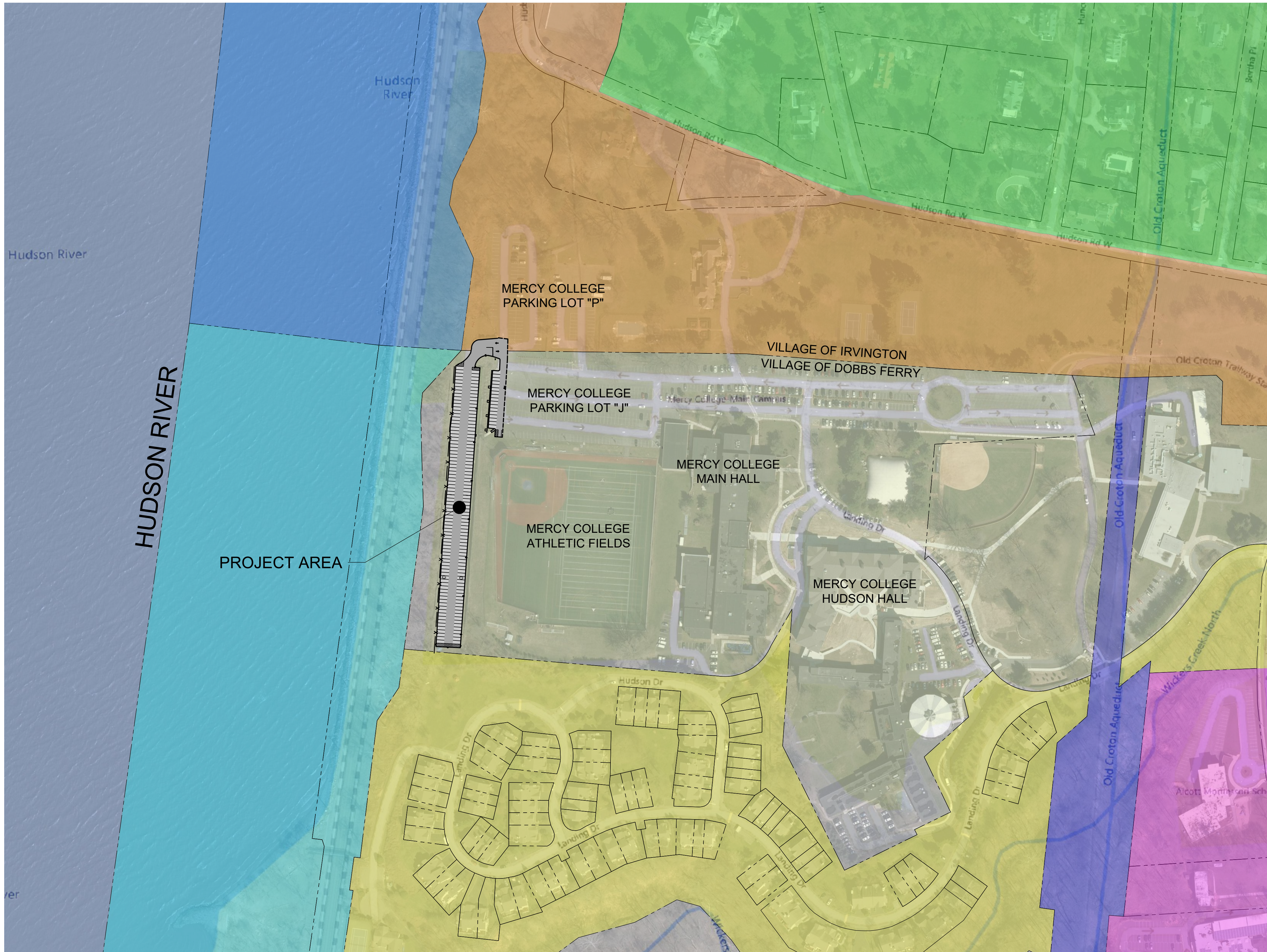


Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Hudson River, Name:County & State Park Lands, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Bald Eagle, Atlantic Sturgeon, Shortnose Sturgeon
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

MERCY COLLEGE SITE, DOBBS FERRY, PARKING LOT "R" IMPROVEMENTS

555 BROADWAY
DOBBS FERRY, NY 10522

60% DESIGN DOCUMENTS
APRIL 8, 2022



- LIST OF DRAWINGS
- G-001

G-002

V-101

V-102

C-101

C-102

C-103

C-104

C-105

C-106

C-501

C-502

E-101

E-102
- COVER SHEET

NOTES SHEET

TOPOGRAPHICAL SURVEY - NORTH

TOPOGRAPHICAL SURVEY - SOUTH

DEMOLITION PLAN - NORTH

DEMOLITION PLAN - SOUTH

SITE PLAN - NORTH

SITE PLAN - SOUTH

GRADING AND DRAINAGE PLAN - NORTH

GRADING AND DRAINAGE PLAN - SOUTH

DETAILS (1 OF 2)

DETAILS (2 OF 2)

LIGHTING PHOTOMETRIC PLAN - NORTH

LIGHTING PHOTOMETRIC PLAN - SOUTH

ZONING LEGEND

R	OF-1
WFA	OF-8
OS	1F-80
OF-5	IE



Seal

Revision Number

Revision Date

Scale

AS NOTED

Date

4/5/22

Drawn By

MWB

Project

21013.00

Sheet

Project Manager

DLP

Checked By

HC

21013.00

COVER SHEET

MERCY COLLEGE DOBBS FERRY SITE

PARKING LOT 'R' IMPROVEMENTS

DOBBS FERRY, NEW YORK, 10522

FoItAlbert

ASSOCIATES

Architecture, Engineering, Surveying, Environmental.

255 Main Street, Suite 200

Dobbs Ferry, NY 10522

P. (716) 856-9933

www.foit-albert.com

G-001

1. SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 - BLASTING AND EXPLOSIVES OF THE VILLAGE OF DOBBS FERRY CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW/APPROVAL.
2. THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
3. AS-BUILT PLANS OF DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO VILLAGE ENGINEER FOR REVIEW.
4. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
5. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.
6. IF SIGNS OF CONTAMINATION ARE ENCOUNTERED DURING EXCAVATION, IMMEDIATELY STOP WORK AND NOTIFY THE OWNER. SIGNS OF CONTAMINATION INCLUDE, BUT ARE NOT LIMITED TO: ODOR, OILY SHEEN, SLUDGE, SOIL STAINING, AND UNUSUAL FILL MATERIAL. THE NYSDEC MUST BE CONTACTED BY THE OWNER'S REPRESENTATIVE IF PETROLEUM CONTAMINATED SOIL IS ENCOUNTERED ONSITE DURING CONSTRUCTION.

1. CLEAR AND GRUB EXISTING VEGETATION NECESSARY TO INSTALL THE WORK OF THIS CONTRACT. REMOVE ALL PORTIONS OF THE PLANTS TO A MINIMUM DEPTH OF 12" BELOW FINISH GRADE IN THE LAWN AREAS. COMPLETELY REMOVE ALL ABOVE AND BELOW GROUND PORTIONS OF PLANTS IN AREAS TO BE COVERED WITH BUILDINGS AND OTHER STRUCTURES, PAVEMENTS, AND PLANTING BEDS. REMOVE TREES INCARCERATED FOR REMOVAL IN THE ENTIRETY.
2. PROTECT EXISTING TREES WHICH ARE TO BE PRESERVED FROM ROOT, TRUNK, AND LIMB DAMAGE. RESTRICT VEHICULAR TRAFFIC TO AREAS OUTSIDE THE DRIP LINE OF TREES. PREVENT COMPACTION OF SOIL WITHIN DRIP LINE OF TREES AND SURROUNDING SHRUBS.
3. SAWCUTTING IS REQUIRED FOR TRENCHES AND PAVEMENT REMOVALS OR OTHER EXCAVATION WORK WITHIN PAVED AREAS OR AT CURBS, UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE.
4. EXISTING CURB DESIGNATED FOR REMOVAL MUST BE REMOVED AND DISPOSED OFF SITE. ANY EXISTING CURB TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION MUST BE REMOVED AND DISPOSED OF OFF SITE AND REPLACED AT THE EXPENSE OF THE CONTRACTOR.
5. WHEN ADJACENT ASPHALT, CONCRETE, OR PAVING STONE AREAS ARE DISTURBED AS PART OF THE CONSTRUCTION, REPLACE THE DAMAGED OR EXCAVATED AREA. SAWCUT THE PERIMETER OF THE DISTURBED AREA FULL DEPTH SO THAT LINES ARE STRAIGHT AND TRUE.

1. ENSURE THAT CONDITIONS SURROUNDING THE WORK AREA ARE ADEQUATE FOR PUBLIC SAFETY AT ALL TIMES. IMMEDIATELY REPORT THE PRESENCE OF ANY UNSAFE CONDITIONS TO THE OWNER.
2. NOTIFY LOCAL LAW ENFORCEMENT AND EMERGENCY SERVICES OF CHANGES TO THE TRAFFIC (VEHICULAR AND/OR PEDESTRIAN) PATTERNS AND ANY OTHER COORDINATION THEY REQUIRE.
3. MAINTAIN A SAFE TRAVEL WAY FOR PEDESTRIANS AROUND ALL WORK AREAS. KEEP ALL WORK AREAS, EITHER ACTIVE OR INACTIVE, INACCESSIBLE TO THE PUBLIC AT ALL TIMES BY MEANS ACCEPTABLE TO THE OWNER.
4. COORDINATE TRAFFIC CONTROL MEASURES AND WORK SCHEDULE WITH THE OWNER.
5. MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THE FEDERAL AND NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, SECTION 619 OF THE CURRENT NYSOT STANDARD SPECIFICATIONS, THESE PLANS, AND AS ORDERED BY THE OWNER'S REPRESENTATIVE.
6. VEHICLES AND/OR EQUIPMENT BELONGING TO THE CONTRACTOR OR THEIR WORKERS MAY NOT BE PARKED ON THE PAVEMENT OR SHOULDER ALONG A ROADWAY BEING USED BY THE GENERAL PUBLIC. NO MATERIAL MAY BE PLACED ON THE SHOULDER OR WITHIN THE CLEAR ROADSIDE AREA. CONSTRUCTION EQUIPMENT, MATERIALS, AND/OR VEHICLES STORED DURING NON-WORKING HOURS OR OVERNIGHT MUST BE LOCATED IN A FENCED PROJECT AREA AS PER OWNER'S DIRECTION.
7. CONTRACTOR SHALL SUBMIT TO THE OWNER AND ENGINEER A WORK ZONE TRAFFIC CONTROL (WZTC) PLAN FOR APPROVAL PRIOR TO THE COMMENCEMENT OF ANY WORK. WZTC PLAN SHALL INCLUDE METHODS FOR ROAD CLOSURES, PARTIAL LANE CLOSURES, AND PARKING LOT CLOSURES WITH APPROXIMATE DATES OF WORK.

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. CALL THE UNDERGROUND FACILITIES PROTECTION ORGANIZATION (UFOO) AT LEAST (7) FULLY WORKING DAYS BEFORE ANY EXCAVATION (800) 962-7962. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES THAT ARE NOT A MEMBER OF THE "DIG SAFELY NEW YORK" PROGRAM.
3. VERIFY UTILITY LOCATIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO COMMENCING WORK AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
4. TAKE PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES. PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE BY EQUIPMENT PASSING OVER THEM. SUPPORT AND PROTECT EXISTING UTILITIES TO REMAIN IN EXCAVATIONS. USE SUITABLE VIBRATORY EQUIPMENT AND CONSTRUCTION PROCEDURES TO AVOID DISTURBANCE OR BREAKAGE OF THE EXISTING UTILITIES. CONTRACTOR TO REPAIR UTILITIES DAMAGED BY CONTRACTOR AT CONTRACTOR'S OWN COST.
5. NOTIFY THE OWNER 72 HOURS PRIOR TO PROPOSED UTILITY SHUTDOWN TO ALLOW TIME TO COORDINATE.
6. ADJUST OR REPLACE EXISTING WATER VALVES, GAS VALVES, STEAM, ELECTRIC, TELECOMMUNICATIONS, SANITARY SEWER, AND STORM MANHOLES AND/OR COVERS LOCATED WITHIN THE LIMIT OF CONTRACT AS REQUIRED TO MEET THE PROPOSED FINISH GRADE.

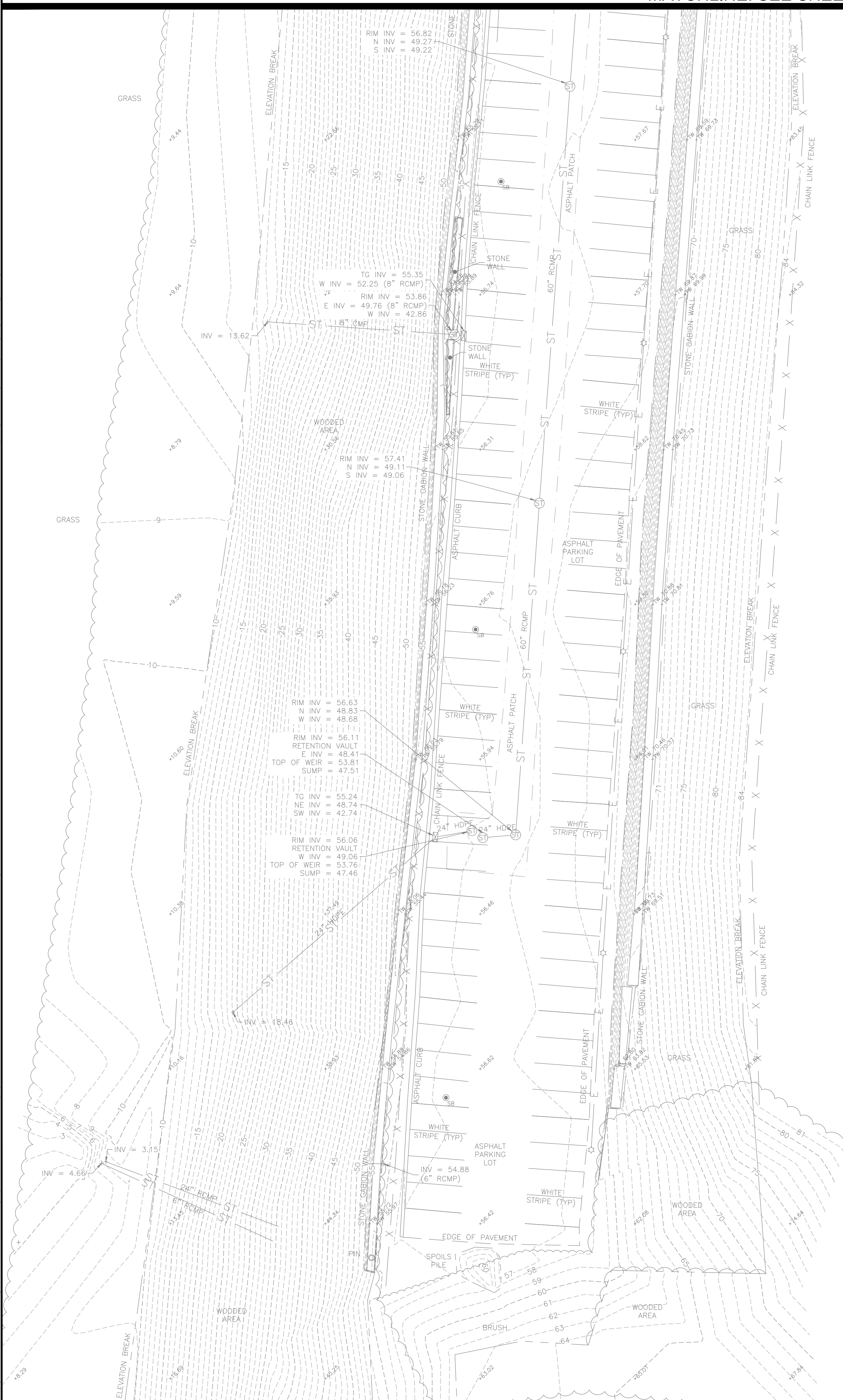
1. REFER TO SPECIFICATION SECTION 310000 FOR ADDITIONAL EARTHWORK INFORMATION.
2. SOIL SUBBASES SHOULD NOT BE ALLOWED TO POOL STANDING WATER OR BECOME SATURATED, FROZEN, OR DISTURBED.
3. PERFORM WORK IN COMPLIANCE WITH TITLE 29, CODE OF FEDERAL REGULATIONS, PART 1926 SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (O.S.H.A.). IN TRENCH EXCAVATIONS, LAY THE SIDES SLOPES BACK TO A PERMITTED SLOPE (IF ADEQUATE SPACE IS AVAILABLE), USE A TRENCH SHIELD, OR PROVIDE SHEETING, SHORING, AND BRACING. INCLUDE COSTS FOR TRENCH AND STRUCTURE EXCAVATION PROTECTION IN THE BID.
4. RESTORE DISTURBED AREAS WITH TOPSOIL (4" MINIMUM), HYDROSEEDING, MULCHING, AND WATERING UNLESS OTHERWISE STATED ON THE DRAWINGS.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF LAWN SURFACES WITHIN THE CONTRACT LIMITS FOR THE DURATION OF THE CONSTRUCTION. MAINTAIN GRASS AT HEIGHTS BETWEEN 3 AND 3-1/2 INCHES ON A WEEKLY BASIS UNTIL THE FINAL ACCEPTANCE OF THE WORK.
6. DESIGNATE AN AREA AS APPROVED BY THE OWNER FOR TEMPORARY TOPSOIL STOCKPILING. KEEP SEPARATE FROM OTHER MATERIAL STOCKPILES. REMOVE FROM THE SITE AND DISPOSE OF STOCKPILED TOPSOIL THAT WILL NOT BE REUSED. REMOVE AND DISPOSE OF ANY UNSUITABLE SOIL MATERIAL.
7. RESTORE EXCAVATIONS AND DISTURBED AREAS TO THE PROPOSED CONDITIONS SHOWN ON THE DRAWINGS AND PROJECT SPECIFICATIONS. THIS INCLUDES CONSTRUCTION ACCESS ROUTES, STAGING AREAS, AND DESIGNATED CONTRACT WORK AREAS.
8. PROVIDE ROUNDING AT TOP OF CUTS AND TOE OF FILLS WHEREVER POSSIBLE TO BLEND NEW CONTOURS TO EXISTING.
9. ALL AREA WITHIN PROJECT AREA IS TO BE TOPSOILED AND SEEDED PER SPECIFICATIONS.

1. THE PROJECT IS SUBJECT TO THE REQUIREMENTS OF NYSDC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY, GP-0-20-001. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED FOR THE PROJECT, AND EROSION AND SEDIMENT CONTROL WORK MUST BE COMPLETED UNDER THE PROVISIONS OF THE SWPPP.
2. FOLLOW MAINTENANCE, INSPECTION PROCEDURES, AND REQUIREMENTS OUTLINED IN THE NYSDC SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY, GP-0-20-001.
3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY, IDENTIFY AT LEAST ONE PERSON FROM RESPECTIVE COMPANIES INVOLVED IN EARTH DISTURBING ACTIVITIES THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND HAS RECEIVED 4 HOURS OF ENDORSED E&S TRAINING. DESIGNATED TRAINED CONTRACTORS MUST READ, UNDERSTAND, AND SIGN A CONTRACTOR'S CERTIFICATION STATEMENT CONTAINED IN THE SWPPP PRIOR TO CONSTRUCTION. AT LEAST ONE TRAINED CONTRACTOR MUST BE ON THE SITE DURING THE PERFORMANCE OF SOIL-DISTURBING ACTIVITIES.
4. THE DIRECTOR'S REPRESENTATIVE IS RESPONSIBLE FOR DESIGNATING A QUALIFIED INSPECTOR AS DEFINED IN THE PERMIT TO PERFORM INSPECTIONS. THE QUALIFIED INSPECTOR IS RESPONSIBLE FOR INSPECTING THE SITE FOR COMPLIANCE WITH THE SWPPP AND THE PERMIT, IDENTIFYING COMPONENTS REQUIRING MAINTENANCE OR REMEDIAL ACTION, AND TRANSMITTING THIS INFORMATION TO THE TRAINED CONTRACTOR. MAINTENANCE OR REMEDIAL ACTION IDENTIFIED MUST OCCUR PRIOR TO THE NEXT INSPECTION. THE INSPECTION PERIOD IS AT LEAST ONCE EVERY SEVEN CALENDAR DAYS, UNLESS CONDITIONS REQUIRE MORE FREQUENT INSPECTIONS, OR AS SPECIFIED IN THE PERMIT.
5. MAINTAIN ON THE SITE A CURRENT RECORD OF SWPPP INSPECTIONS ALONG WITH A COPY OF THE PROJECT SWPPP, INCLUDING REVISIONS, ADDITIONS, OR MODIFICATIONS TO THE SWPPP.
6. AT A MINIMUM, THE TRAINED CONTRACTOR(S), AS DEFINED IN GP-0-20-001, MUST:
 - A. INSPECT EROSION CONTROL MEASURES BEING IMPLEMENTED IN THE ACTIVE WORK AREA DAILY TO ENSURE THEY ARE BEING MAINTAINED IN EFFECTIVE OPERATING CONDITION. REPAIR DEFICIENCIES IMMEDIATELY.
 - B. SEED AND PLANT AREAS TO BE STABILIZED, INCLUDING REPAIRING BARE SPOTS, WASHOUTS, AND MAINTAINING A HEALTHY GROWTH OF STABILIZING COVER(S).
 - C. MONITOR ADJACENT ROADWAYS TO ENSURE TRACKED MUD, DUST, DIRT, OR ROCKS ARE SWEEPED AS NECESSARY.
 - D. SEE THAT GENERAL WORKSITE HOUSEKEEPING IS MAINTAINED.
7. PRIOR TO FILING THE NOTICE OF TERMINATION, THE QUALIFIED INSPECTOR WILL PERFORM A FINAL SITE INSPECTION AND CERTIFY THAT THE SITE HAS UNDERGONE FINAL STABILIZATION AND THAT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE REMOVED.

1. INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE MOST CURRENT ISSUANCE OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," COMMONLY KNOWN AS "THE BLUE BOOK".
2. INSTALL EROSION CONTROL MEASURES FOR THE WORK AREA PRIOR TO SOIL DISTURBANCE AND EARTHWORK CONSTRUCTION ACTIVITIES. APPROPRIATE PRACTICES ARE TO REMAIN IN PLACE UNTIL NEW SLOPES AND EXPOSED EARTHEN SURFACES ARE STABILIZED AND HAVE ACHIEVED A MINIMUM OF 80% OF VEGETATIVE COVER IN ACCORDANCE WITH NYS SPDES GP-0-20-001 OR AS ORDERED BY DIRECTOR'S REPRESENTATIVE.
3. OTHER EROSION PROTECTION MEASURES OR STRUCTURES MAY BE REQUIRED AS CONDITIONS WARRANT, INCLUDING SILT FENCE, SEEDING, TEMPORARY MULCHING, STABILIZATION BLANKETS, ETC. PROVIDE PROTECTION FOR WATER BODIES ADJACENT TO OR DOWN GRADIENT FROM THE PROJECT AND PROTECT ADJACENT PROPERTIES FROM DAMAGE UNTIL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. REPLACE OR REPAIR EROSION CONTROL STRUCTURES THAT FAIL AS QUICKLY AS POSSIBLE.
4. TAKE APPROPRIATE MEASURES TO PREVENT CONTAMINATION OF WATER BODIES OR DRAINAGE SYSTEM BY SILT, SEDIMENT, FUELS, SOLVENTS, LUBRICANTS, EPOXY COATINGS OR PAINT, CONCRETE LEACHATE, DUST OR POLLUTION ASSOCIATED WITH CONSTRUCTION OPERATIONS.
5. RING STOCKPILES OF ERODIBLE MATERIAL WITH SILT FENCE OR FILTER SOCK. STABILIZE STOCKPILES EXPOSED FOR LONGER THAN 14 DAYS WITH TEMPORARY SEED AND MULCH, COVERED, OR OTHER MEANS OF TEMPORARY STABILIZATION PROVIDED.
6. PROPERLY ANCHOR STABILIZATION MATTING (ALSO KNOWN AS EROSION CONTROL BLANKETS) AFTER TOPSOILING AND SEEDING ON DISTURBED SURFACES WITH SLOPES EQUAL TO OR GREATER THAN 3:1.
7. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES(S) AND EQUIPMENT AND MATERIAL STORAGE AREA. LOCATIONS TO BE COORDINATED WITH DIRECTOR'S REPRESENTATIVE. STABILIZE BARE AREAS IN ENTRANCES, CONSTRUCTION ROUTES, OR EQUIPMENT AREAS IMMEDIATELY.
8. MAINTAIN EROSION AND SEDIMENT CONTROL FEATURES UNTIL VEGETATION OR SEEDING HAS BEEN ESTABLISHED. AFTER ACCEPTANCE OF RESTORATION BY THE DIRECTOR'S REPRESENTATIVE, REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES.
9. THE CONTRACTOR SHALL NOTIFY THE BUILDING DEPARTMENT OR VILLAGE'S CONSULTING ENGINEER IN WRITING AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING SO THAT INSPECTION MAY BE PERFORMED:
 - 9.1. START OF CONSTRUCTION
 - 9.2. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES
 - 9.3. COMPLETION OF SITE CLEARING
 - 9.4. COMPLETION OF ROUGH GRADING
 - 9.5. INSTALLATION OF SMPs
 - 9.6. COMPLETION OF FINAL GRADING AND STABILIZATION OF DISTURBED AREAS
 - 9.7. CLOSURE OF CONSTRUCTION
 - 9.8. COMPLETION OF FINAL LANDSCAPING
10. THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR INSPECT AND DOCUMENT EFFECTIVENESS OF ALL EROSION AND SEDIMENTATION CONTROL PRACTICES AND PREPARE INSPECTION REPORTS AT LEAST ONCE A MONTH. THESE REPORTS MUST BE KEPT ON SITE AND AVAILABLE FOR REVIEW.

TC	TOP OF CURB
BC	BOTTOM OF CURB
EP	EDGE OF PAVEMENT
RIM	RIM OF STRUCTURE
INV	INVERT
M/E	MATCH EXISTING
CB	CATCH BASIN
DI	DRAINAGE INLET
ST MH	STORM MANHOLE
SEAN MH	SANITARY MANHOLE
MH	MANHOLE
CO	CLEANOUT
TG	TOP OF GRATE
PVC	POLYVINYL CHLORIDE
HDPE	HIGH DENSITY POLYETHYLENE
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
WV	WATER VALVE
ELEV	ELEVATION
N	NORTHING
E	EASTING
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PI	POINT OF INTERSECTION
R	RADIUS
EX	EXISTING
NFV	NOT FIELD VERIFIED

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPERTY LINE
	STORM LINE
	PERFORATED UNDERDRAIN
	SANITARY SEWER LINE
	ELECTRIC LINE
	OVERHEAD WIRE
	WATER LINE
	GAS LINE
	CHAINLINK FENCE
	LIGHT POLE
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	CLEANOUT
	WATER VALVE
	FIRE HYDRANT
	SIGNAGE
	TREE PROTECTION FENCING
	SILT FENCE/FILTER SOCK
	TEMPORARY INLET PROTECTION
	DEMO ASPHALT PAVEMENT
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	SAWCUT PAVEMENT
	BOLLARD
	BASILINE
	COMMUNICATION LINE - LEVEL B
	ELECTRIC LINE - LEVEL B
	SLOPE - TOP/BOTTOM
	UNKNOWN LINE - LEVEL B
	WATER LINE - LEVEL B

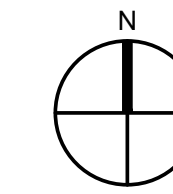
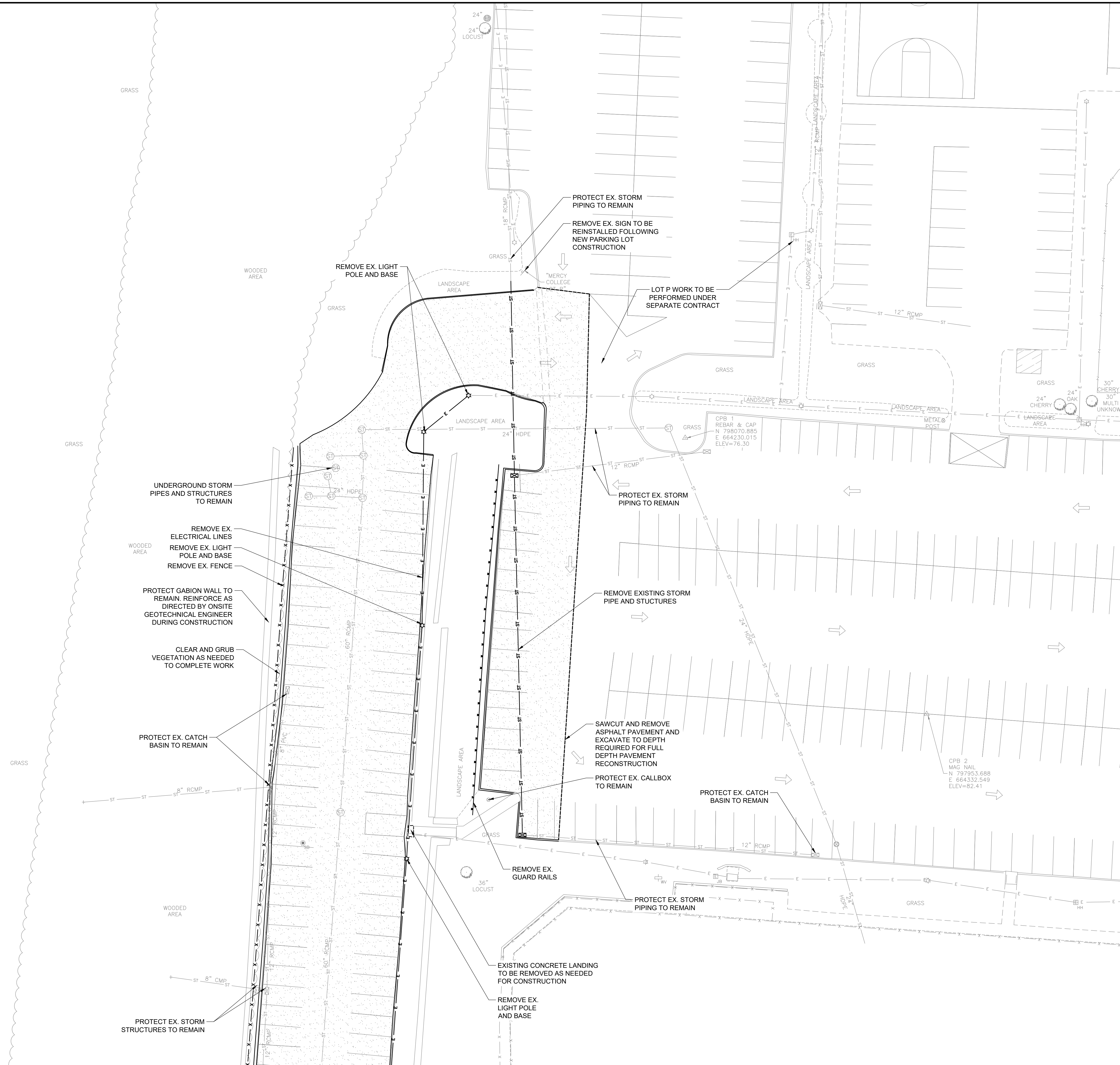


TOPOGRAPHICAL SURVEY - SOUTH

**MERCY COLLEGE DOBBS FERRY SITE
PARKING LOT 'R' IMPROVEMENTS**

555 BROADWAY
DOBBS FERRY, NEW YORK, 10522

[illegible]



DEMOLITION PLAN - NORTH
SCALE: 1" = 20'

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DEMOLITION PLAN - NORTH

**MERCY COLLEGE DOBBS FERRY SITE
PARKING LOT 'R' IMPROVEMENTS**

555 BROADWAY

DOBBS FERRY, NEW YORK, 10522

81:

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1° = 20'

Project Manager:	DLB
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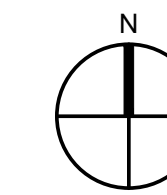
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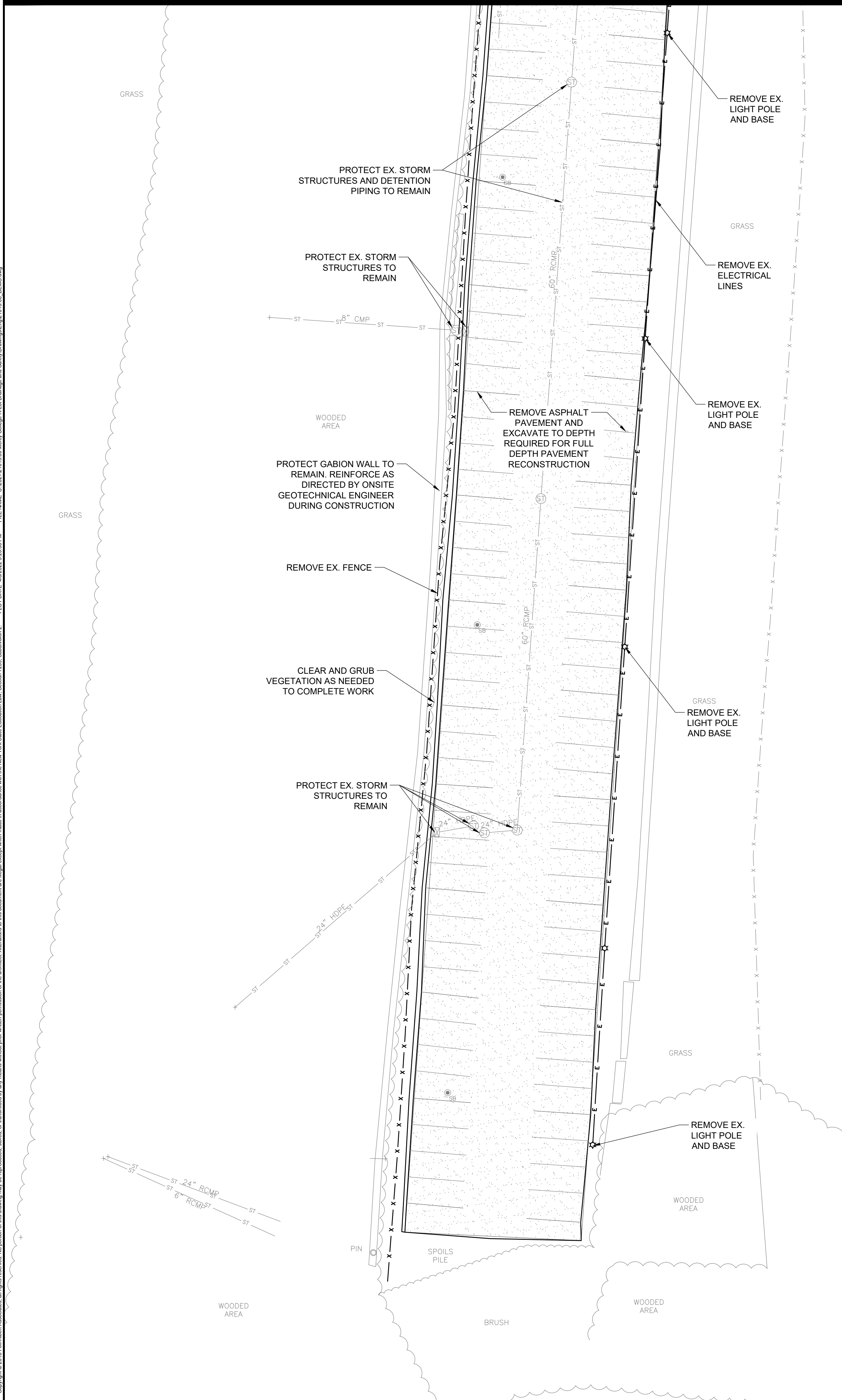
C-101


DEMOLITION PLAN - SOUTH
 SCALE: 1" = 20'



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DEMOLITION PLAN - SOUTH

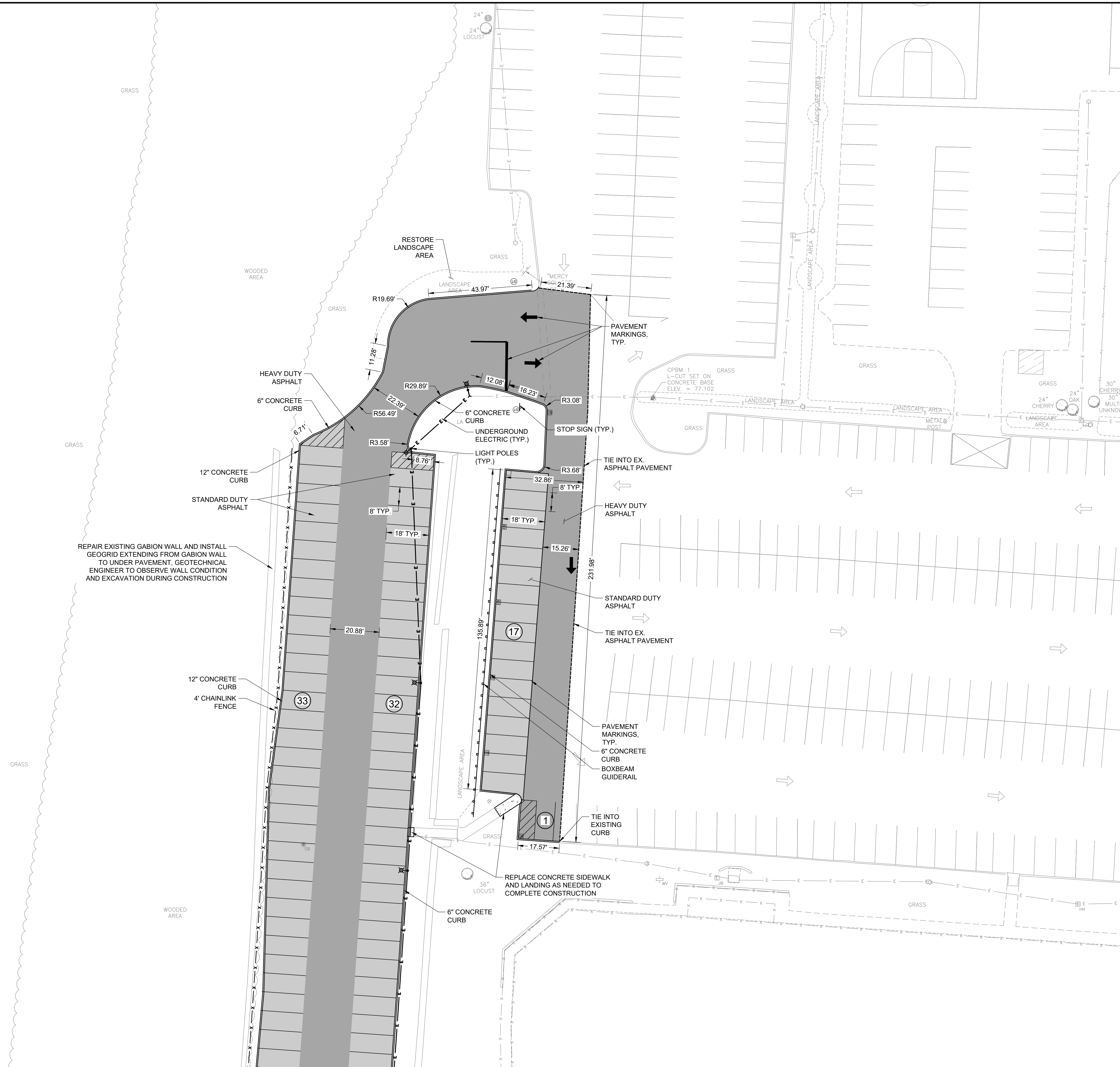
**MERCY COLLEGE DOBBS FERRY SITE
PARKING LOT 'R' IMPROVEMENTS**

555 BROADWAY
DOBBS FERRY, NEW YORK, 10522

333 BROADWAY
DOBBS FERRY, NEW YORK, 10522

[illegible]

C-102



C-103



STANDARD DUTY ASPHALT (PARKING)

HEAVY DUTY ASPHALT (DRIVE LANE)

SITE DATA - LOT 'R' PROJECT AREA		
CATEGORY	REQUIRED	PROPOSED
EXISTING PROJECT AREA IMPERVIOUS SURFACE	N/A	47,600 SF
TOTAL PROJECT AREA IMPERVIOUS SURFACE	N/A	48,054 SF
PARKING STALL WIDTH	9 FT	8 FT (MATCH EX. CONFIGURATION)
PARKING STALL LENGTH	18 FT	18 FT
PARKING COUNT		
CATEGORY	EXISTING	PROPOSED
PARKING SPACES	182	182

10



SITE PLAN - SOUTH

**MERCY COLLEGE DOBBS FERRY SITE
PARKING LOT 'R' IMPROVEMENTS**

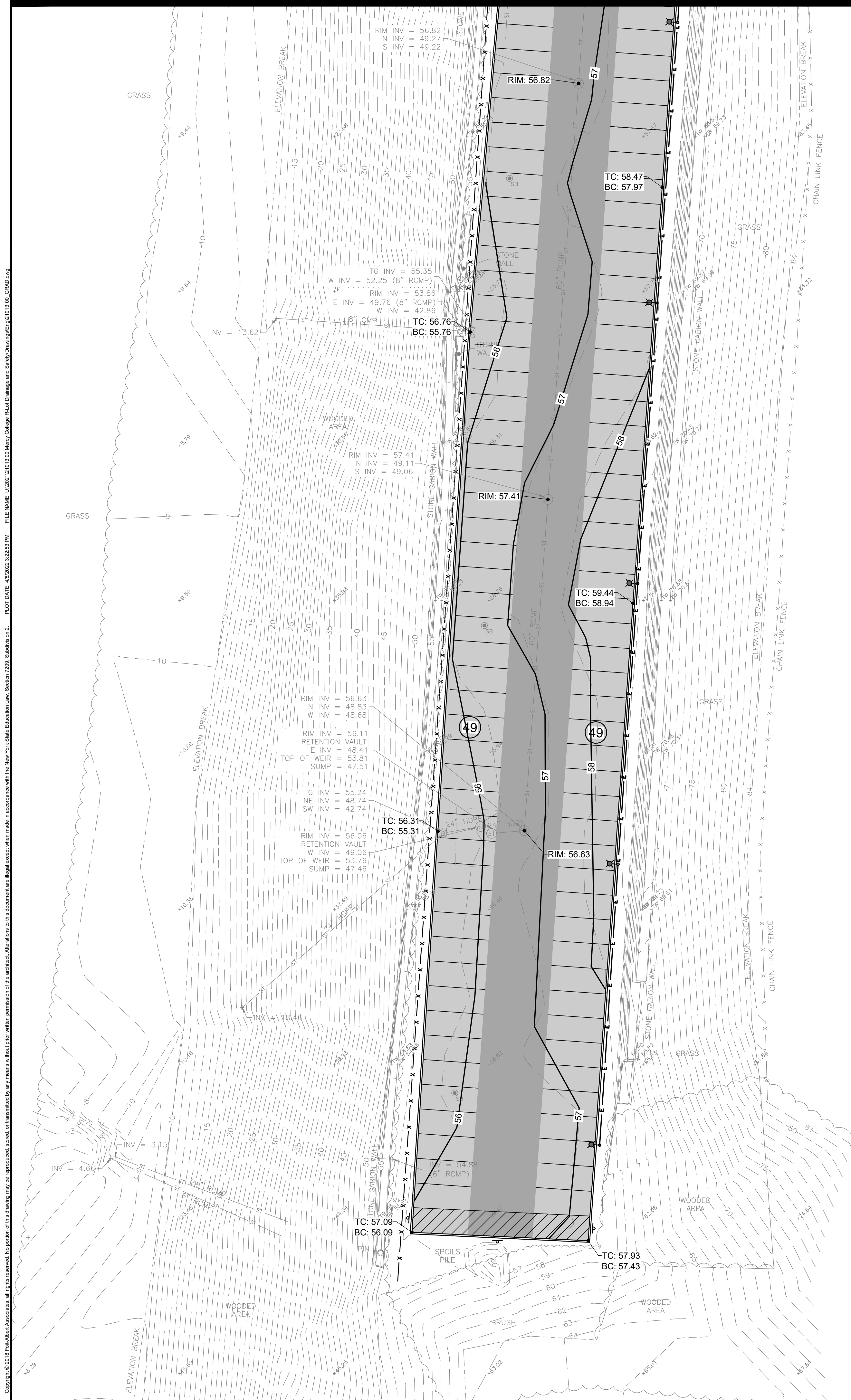
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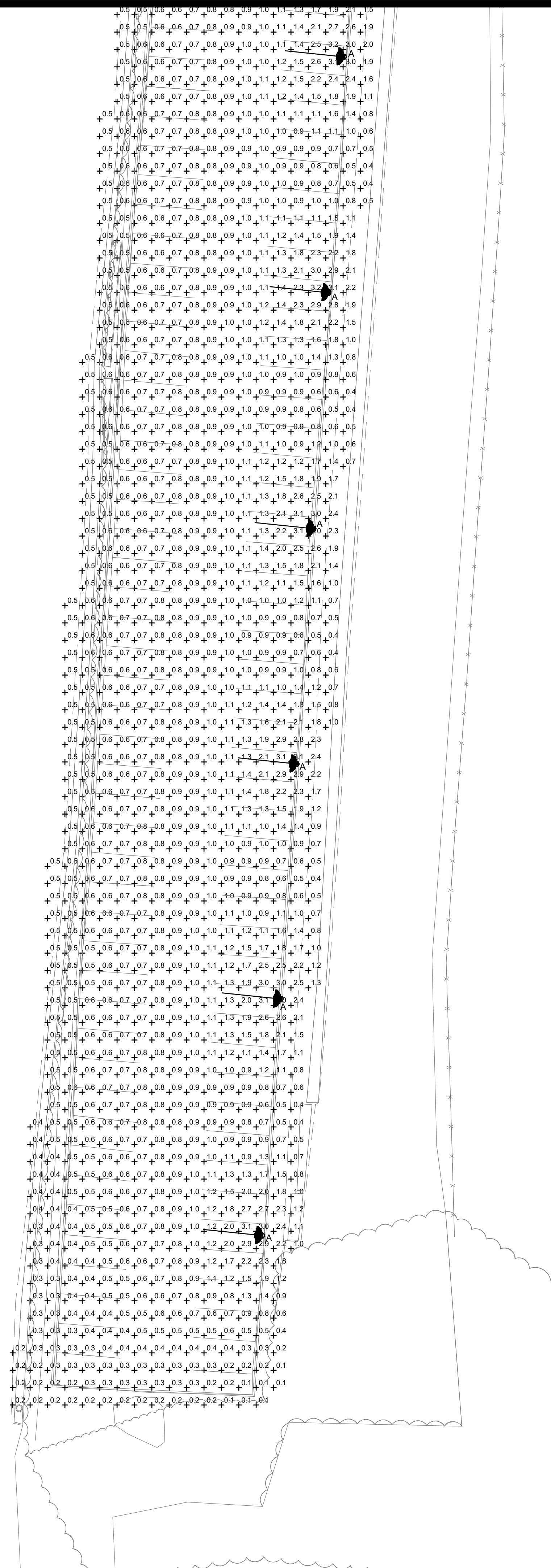
DOBBS FERRY, NEW YORK, 10522

81:

Revision Number					
Revision Date					
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le:					
Date: 4/5/22					
Project Manager: DLP					
Drawn By: MWB					
Checked By: HC					
Object:					
21013.00					
ost:					

C-104





**MERCY COLLEGE DOBBS FERRY SITE
PARKING LOT 'R' IMPROVEMENTS**

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FoitAlbert
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$$1^{\circ} = 20'$$

to:	Project Manager:
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1/5/22	DLP
Checked By:	

with By.	Checked By.
AB	MEH

Subject: 31012 00

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et:

E-102

MERCY COLLEGE GROVE PAVILION

555 BROADWAY
DOBBS FERRY, NY 10522

ARCHITECT/ LANDSCAPE ARCHITECT
Alloy Design Studio PLLC
29 Perryridge Road
Greenwich, Connecticut 06830
PH: (203) 661-2723

LIST OF DRAWINGS

A-T Title Sheet

LANDSCAPE

L-050 Contact Plan
L-100 Removals Plan
L-200 Materials Plan
L-300 Grading Plan
L-310 Site Drainage Diagram
L-320 Site Utilities Diagram
L-400 Planting Plan

ARCHITECTURE

A-100 Pavilion Plan
A-150 Reflected Ceiling Plan
A-200 Pavilion Elevations
A-300 Pavilion Sections

GENERAL NOTES

1. ALL MATERIALS, ASSEMBLIES, FORMS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THESE DOCUMENTS AND ANY OF THE STATE AND LOCAL CODES AND STANDARDS AS WELL AS ANY REFERENCED WITHIN THESE DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS MUST CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT AND DISCREPANCIES TO THE ARCHITECT.
3. CONTRACTOR(S) MUST COMPLY AT ALL TIMES WITH OSHA RULES AND REQUIREMENTS.
4. CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONJUNCTION WITH THE WORK.
5. MANDATORY INSPECTIONS: TRADE CONTRACTORS SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS FOR ANY MANDATORY INSPECTIONS WHICH ARE REQUIRED BY LOCAL BUILDING DEPARTMENTS. MANDATORY INSPECTIONS SHALL COMPLY WITH LOCAL BUILDING DEPARTMENT REGULATIONS.
6. CONTRACTOR(S) MUST BE FAMILIAR WITH ALL OF THE DRAWINGS AND SPECIFICATIONS (CONTRACT DOCUMENTS) PERTAINING TO ALL OF THE TRADES CONNECTED WITH THE PROJECT.
7. THE CONTRACTOR(S) SHALL STUDY AND COMPARE ALL DRAWINGS AND VERIFY ALL MEASUREMENT FIGURES BEFORE LAYING OUT OR CONSTRUCTING THE WORK. DEVIATION FROM THE DRAWINGS AND THE DIMENSIONS GIVEN THEREIN SHALL BE MADE ONLY AFTER WRITTEN APPROVAL OR CONFIRMATION IS REQUESTED BY THE CONTRACTOR(S) AND ISSUED BY THE ARCHITECT.
8. WHENEVER ANY ADDITIONAL MATERIALS AND/OR WORKMANSHIP NOT SHOWN ARE REQUIRED TO COMPLETE THE WORK OF THE CONTRACT DOCUMENTS IN ACCORDANCE WITH THE OBVIOUS INTENT THEREOF, THE CONTRACTOR SHALL PROVIDE THESE MATERIALS AND WORKMANSHIP AT NO ADDITIONAL COST TO THE OWNER.
9. DAMAGE TO COLLEGE PROPERTY SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. IF CONTRACTOR DOES NOT CORRECT DAMAGES WITHIN ONE WEEK, THE OWNER SHALL AVE THE RIGHT TO BACK CHARGE CONTRACTOR FOR ALL REPAIRS NECESSARY.
10. IN THE EVENT OF CONFLICTS, OMISSIONS, AMBIGUITIES, DISCREPANCIES AND /OR UNCLEAR CIRCUMSTANCES BETWEEN ANY OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE REQUIREMENT THAT IS MOST INCLUSIVE AND OF HIGHEST QUALITY, AND/OR COST SHALL GOVERN. CONTRACTOR(S) SHALL (A) PROVIDE THE BETTER QUALITY OR GREATER QUANTITY OF WORK OR (B) COMPLY WITH THE MORE STRINGENT REQUIREMENT, EITHER OR BOTH IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION. NO EXTRA COMPENSATION SHALL BE AWARDED TO THE CONTRACTOR(S) BASED UPON A CLAIM OF AMBIGUITY OR UNCLEAR CIRCUMSTANCES IN THE CONTRACT DOCUMENTS.
11. THE CONTRACTOR(S) SHALL VERIFY THE ACCURACY OF ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS AND REPORT ANY DISCREPANCY BETWEEN EXISTING CONDITIONS AND THE INFORMATION SHOWN ON THE DRAWINGS PRIOR TO THE START OF WORK. ANY ERRORS DUE TO THE CONTRACTOR(S) FAILURE TO VERIFY SUCH ELEVATIONS, DIMENSIONS, AND LOCATIONS SHALL BE RECTIFIED BY THE CONTRACTOR(S) WITHOUT CHANGE TO THE PROJECT SCHEDULE AND AT NO COST TO THE OWNER.
12. IF A CHANGE IN THE WORK IS FOUND NECESSARY DUE TO A DISCREPANCY BETWEEN ACTUAL FIELD CONDITIONS AND THE DRAWINGS, THE CONTRACTOR(S) SHALL SUBMIT DETAILED DRAWINGS OF SUCH DEPARTURE FOR THE APPROVAL OF THE ARCHITECT BEFORE MAKING ANY CHANGES.
13. CONTRACTOR(S) SHALL COORDINATE NEIGHBORHOOD STREET ACCESS, DELIVERY ROUTING, VEHICLE PARKING LOCATIONS, ACCEPTABLE HOURS FOR CONSTRUCTION AND MATERIAL DELIVERY WITH THE OWNER AND THE OWNER'S REPRESENTATIVE.
14. CONTRACTOR(S) SHALL NOT CAUSE INTERRUPTION IN SERVICES SUCH AS POWER, WATER, OR HEAT WITHOUT THE APPROVAL OF THE OWNER AND OWNER'S REPRESENTATIVE.
15. CONTRACTOR(S) SHALL PROTECT ALL AREAS ADJACENT TO THE CONSTRUCTION AREA FROM DAMAGE BY CONSTRUCTION VEHICLES, EQUIPMENT, OR CONSTRUCTION PERSONNEL. ANY DAMAGE TO ADJACENT AREAS SHALL BE REPAIRED BY THE CONTRACTOR(S) WITH NO CHANGE TO THE PROJECT SCHEDULE AND AT NO COST TO THE OWNER.
16. PROVISIONS SHALL BE MADE TO PREVENT THE PASSAGE OF DUST AND CONTAMINANTS INTO ADJACENT PARTS OF THE BUILDING WHICH ARE NOT PART OF THE CONSTRUCTION CONTRACT. PERIODIC INSPECTION AND REPAIRS OF THE CONTAINMENT BARRIERS MUST BE MADE TO PREVENT EXPOSURE TO DUST OR CONTAMINANTS.
17. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR(S) SUBMIT THE ARCHITECT'S OWN CONSTRUCTION DRAWINGS OR DETAILS, THEIR SHOP DRAWINGS OR AS-BUILT DRAWINGS, SHOP DRAWINGS AND AS-BUILT DRAWINGS MUST BE ORIGINAL DOCUMENTS PROVIDED BY THE CONTRACTOR(S).
18. SEE THE TECHNICAL SPECIFICATIONS FOR SHOP DRAWINGS, MOCK-UPS, FINISH SAMPLES AND OTHER SUBMISSION REQUIREMENTS. EACH CONTRACTOR SHALL MAINTAIN ONE SET OF ALL SUBMISSIONS (SHOP DRAWINGS, SAMPLES, PRODUCT LITERATURE, ETC.) ON THE JOB SITE AND AVAILABLE FOR REFERENCE. MOCK-UPS AND ACCEPTED SAMPLES SHALL BE AVAILABLE FOR REFERENCE. CONTRACTORS SHALL PROVIDE AS MANY MOCK-UPS OR SAMPLES AS NECESSARY IN ORDER TO OBTAIN OWNER'S/ARCHITECT'S APPROVAL.
19. CONTROL AND EXPANSION JOINTS WILL BE REQUIRED IN ALL CMU AND BRICK (INTERIOR AND EXTERIOR) PER INDUSTRY STANDARDS (NATIONAL CONCRETE MASONRY INSTITUTE AND BRICK INSTITUTE OF AMERICA). SKETCHES SHOWING PRECISE JOINT LOCATIONS WILL BE SUBSEQUENTLY ISSUED BY THE ARCHITECT.

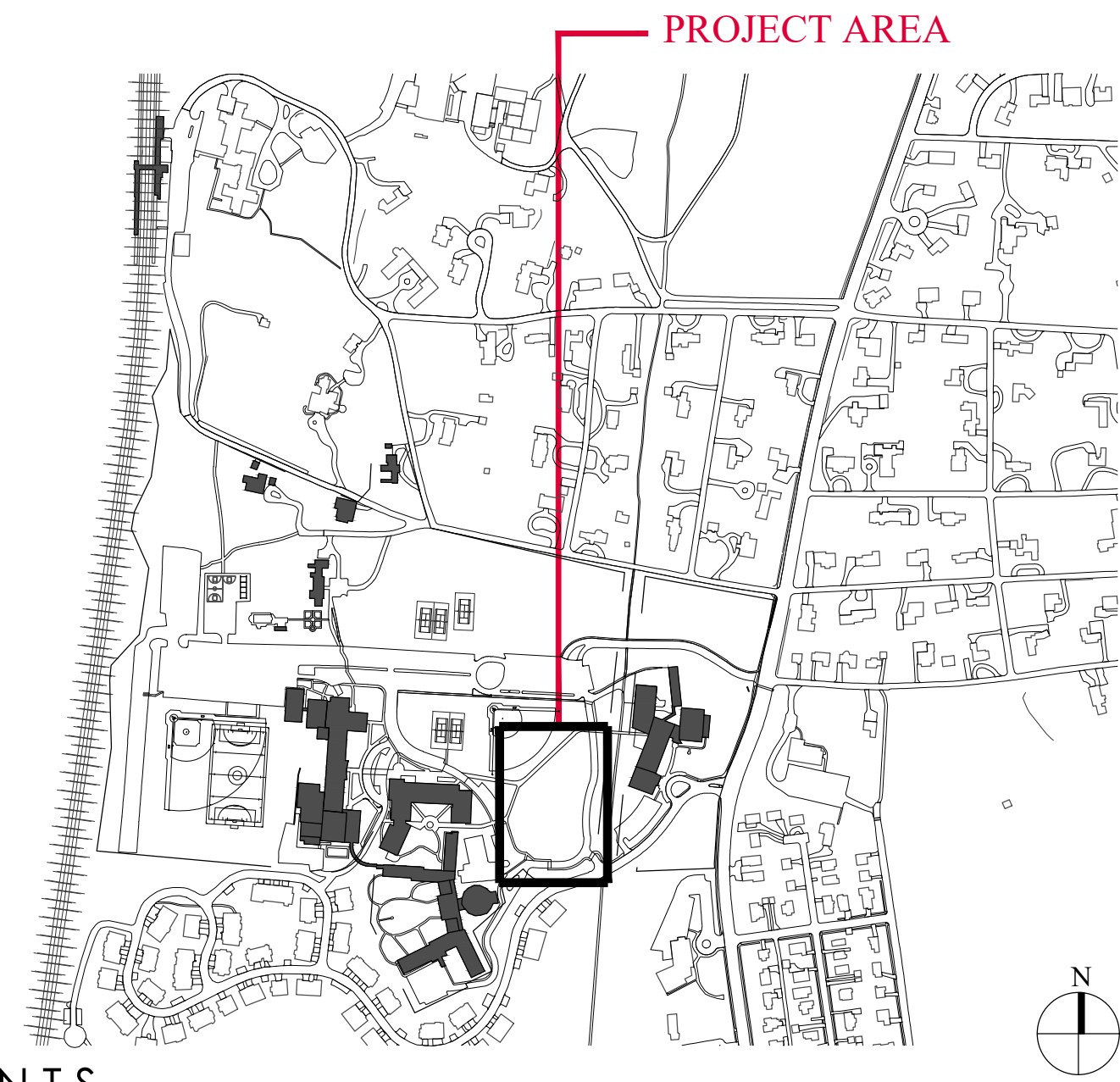
ABBREVIATIONS

ACD access door	CUIN, cubic inch(es)	MAS masonry
AD area drain	CUFT, cubic foot	MTL material
ALT alternate	DET detail	MET metal
ARCH architect (ural)	DEMO demolish, demolition	MISC miscellaneous
ASPH asphalt	DIAH diameter	NIC not in contract
BLDG building	DIM dimension	OC on center (s)
BM beam	DIM dimension	OUT outlet
BRK brick	DR door	REF reference
CAB cabinet	DRAIN drain	REM remove
CC construction contractor	DWG drawing	REQ require (s)
CLL contract limit line	E east	STD standard
CJT control joint	EA each	SD storm drain
CLG ceiling	EJ expansion joint	SYM symmetrical)
CMU concrete masonry unit	FFE finished floor elevation (level)	TG telephone
COL column	FLR floor	TG tongue & groove
CONC concrete	FT feet	TC top of curb
CONST construction	HT height	TSL top of slab
CONT continuous	HVAC heating/ventilating/ air conditioning	TU top of wall
CONTR contractor	HWD hardwood	TYP typical
CRG cross grain	HB hose bibb	WD wood

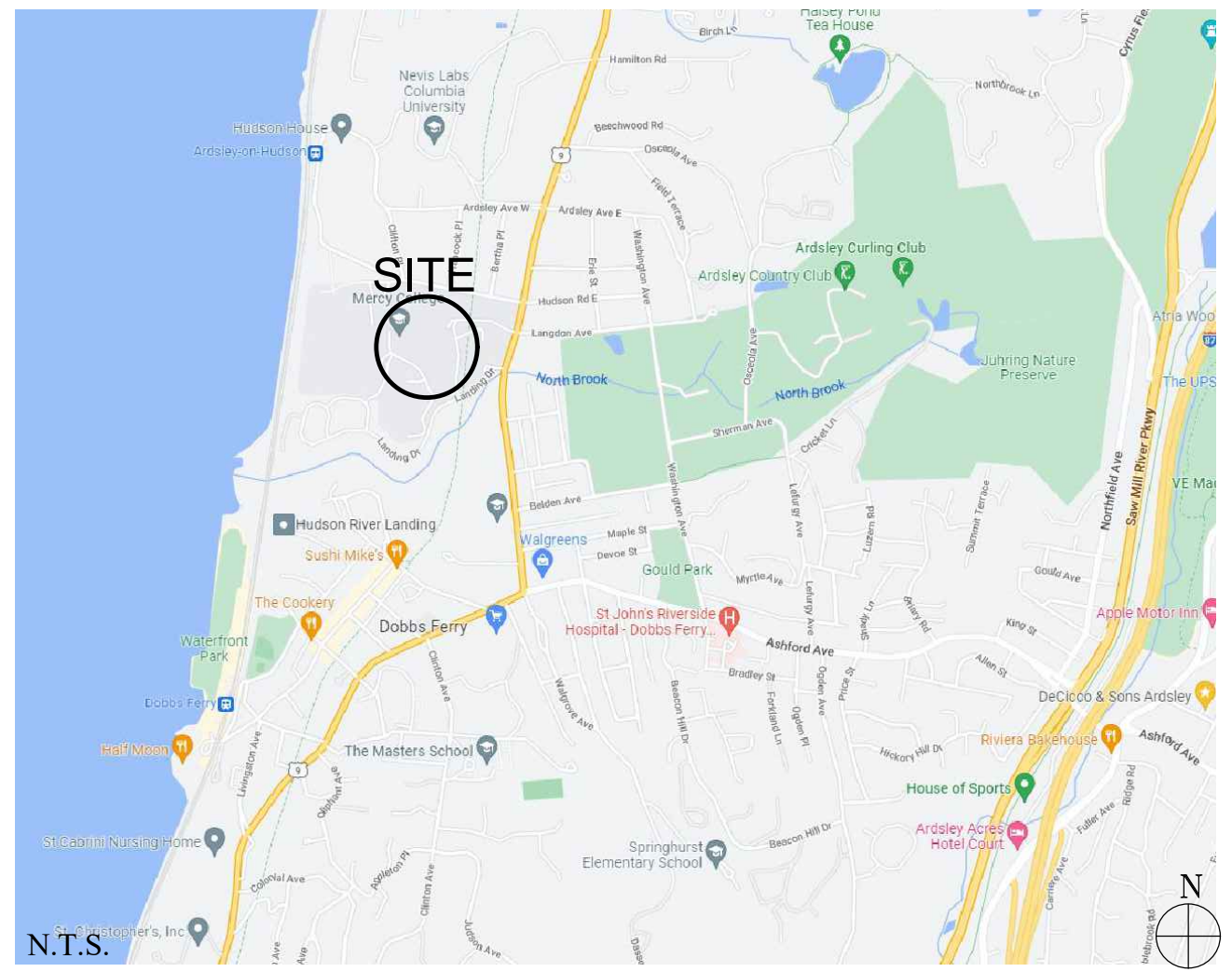
SITE PLAN



KEY PLAN



PROJECT LOCATION PLAN



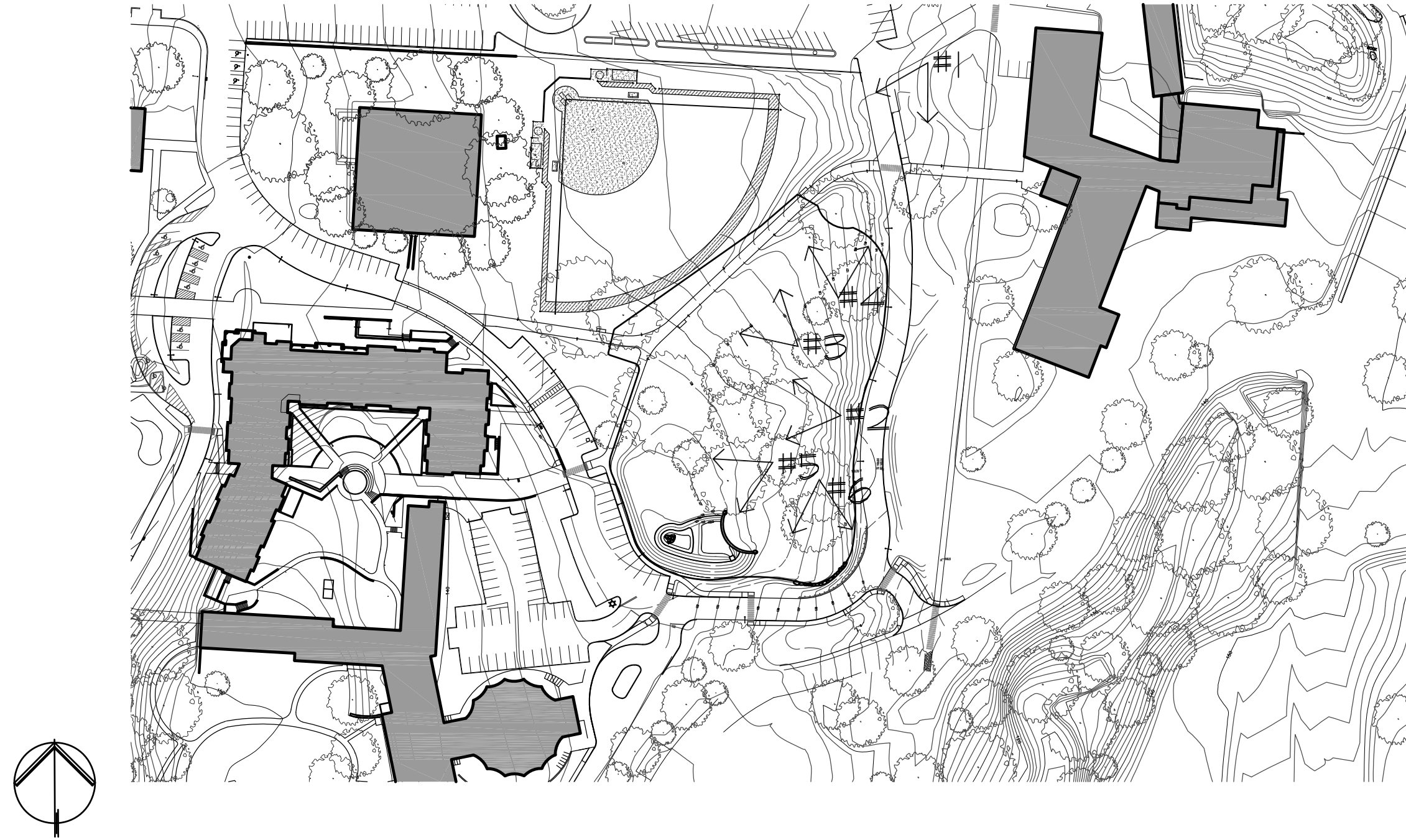
1. 04/15/2022 PLANNING BOARD SUBMISSION

No. Date Revision

Stamp



Drawing Title	Drawing No.
TITLE SHEET	A-T
Scale	Job No.
Not To Scale	2105
	Date
	03/01/22
ALLOY DESIGN STUDIO PLLC. 29 Perryridge road Greenwich, Connecticut 06830 (203) 661-2723 ctramutola@gmail.com	



LEGEND

↑

PHOTO KEY VIEW SHED

N.T.S.

Key Plan

Not to Scale



PHOTO: #1



PHOTO: #2



PHOTO: #3



PHOTO: #4



PHOTO: #5



PHOTO: #6

1.	04/15/2022	PLANNING BOARD SUBMISSION
No.	Date	Revision/Submission

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Project Title

MERCY COLLEGE
GROVE PAVILION

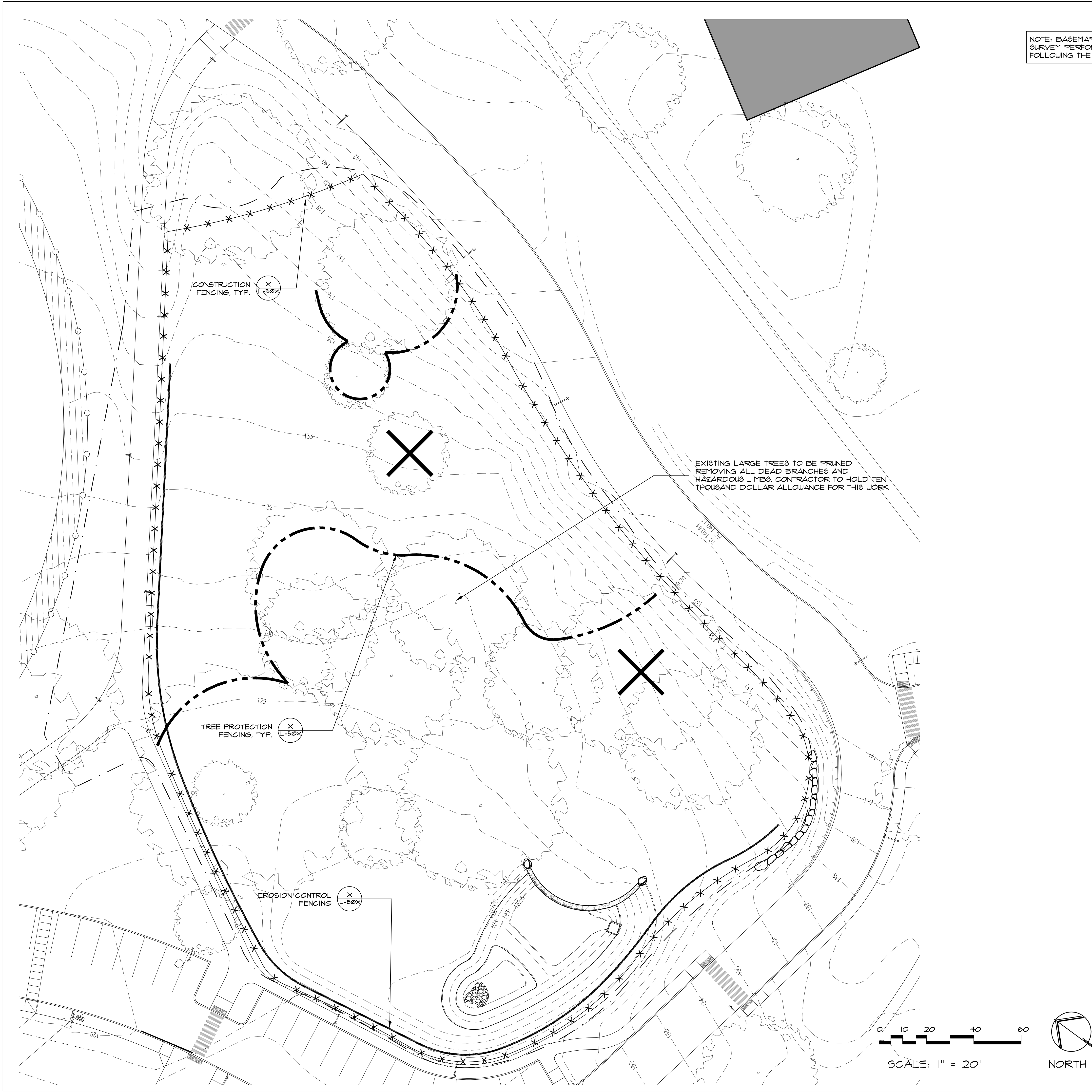
Mercy College
555 Broadway
Dobbs Ferry, NY 10522

Drawing Title

SITE PHOTOS

Scale	Job No.	Date	Drawing No.
AS SHOWN	2201	03/01/2022	L-050
Drawn CT	Checked CT	Approved CT	

ALLOY DESIGN STUDIO PLLC
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29 Perryridge road
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(203) 611-2723
Chris@alloydsgn.com



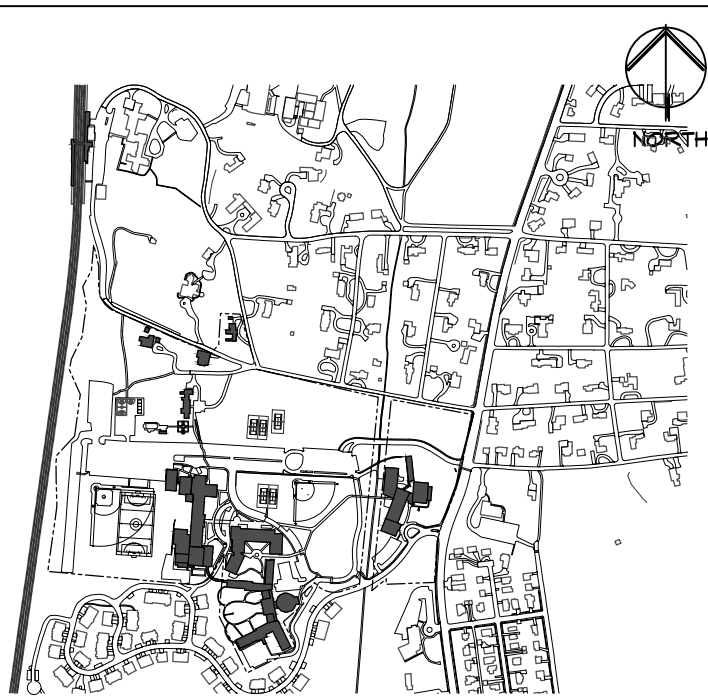
NOTE: BASEMAP OBTAINED VIA CAMPUS AS-BUILT SURVEY PERFORMED BY MCLAREN ENGINEERING FOLLOWING THE CONSTRUCTION OF HUDSON HALL IN 2015

LEGEND

- PROPERTY LINE
- PROJECT LIMIT LINE
- REMOVE MULCH, VEGETATION AND TOPSOIL DOWN TO SUBSOIL
- REMOVE EXISTING STAIRS, BASE TO REMAIN
- REMOVE EXISTING BRICK PAVING INCLUDING BASE
- REMOVE EXISTING BOULDER WALL INCLUDING BASE
- CLEAN CUT/STOP TO PAVING/WALL
- TREE PROTECTION 4 L-5007
- EROSION CONTROL FENCING 4 L-5007
- CONSTRUCTION FENCE 3 L-5007

DEMOLITION AND REMOVAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND FIELD CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONTINUING WORK.
2. ALL REMOVALS SHALL BE AS SHOWN ON THE CONTRACT DRAWINGS AND/OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CARE DURING REMOVAL OPERATIONS TO PROTECT EXISTING MATERIALS TO REMAIN EITHER BELOW GRADE OR ABOVE GRADE. ANY DAMAGE TO EXISTING MATERIALS RESULTING FROM CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AND SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
4. PRIOR TO DEMOLITION, ALL MATERIALS TO BE REMOVED AND SALVAGED BY THE CONTRACTOR SHALL BE NEATLY STORED IN A SECURED AREA APPROVED BY THE OWNER'S REPRESENTATIVE.
5. VERIFY THE INTENDED DISPOSITION OF ALL ITEMS TO BE REMOVED AND SALVAGED, BUT NOT TO BE USED IN THE NEW IMPROVEMENTS WITH THE OWNER'S REPRESENTATIVE.
6. IF THERE IS ANY CONFUSION AS TO WHAT IS TO REMAIN AND WHAT IS TO BE REMOVED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONTINUING WITH WORK.
7. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, BRACING AND DEWATERING REQUIRED OR AS DIRECTED TO PROTECT THE SAFETY OF ADJACENT STRUCTURES AND UTILITIES. SEE HELLER & JOHNSON SOILS REPORT IN SPECIFICATIONS.
8. FILL AND COMPACT ALL FOUNDATION REMOVAL EXCAVATIONS WITH APPROVED BACKFILL TO MEET EXISTING GRADE.
9. WHERE NEW CONSTRUCTION ABUTS EXISTING PAVEMENTS, THE EXISTING MATERIAL SHALL BE CLEANLY SAWCUT TO PROVIDE A CLEAN NEAT MATCH WITH NO TRIP HAZARDS.
10. THERE SHALL BE NO STOCKPILING, STAGING OR MACHINERY AND VEHICULAR TRAFFIC ON AREAS OUTSIDE THE PROPERTY LINE. ANY DAMAGE TO EXISTING LAWN, TREES, SHRUBS AND ANY OTHER MATERIALS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
11. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
12. CONTRACTOR TO PROVIDE AND MAINTAIN EROSION & SEDIMENT CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT. TOPSOIL IS TO BE STOCKPILED IN A LOCATION APPROVED BY OWNER AND ENCLOSED BY SILT FENCING.
13. THE VILLAGE ENGINEER AND BUILDING INSPECTOR MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
14. NO DEMOLITION MATERIAL TO BE BURIED ON SITE



Key Plan Not to Scale

1.	04/15/2022	PLANNING BOARD SUBMISSION
No.	Date	Revision/Submission



MERCY COLLEGE GROVE PAVILION

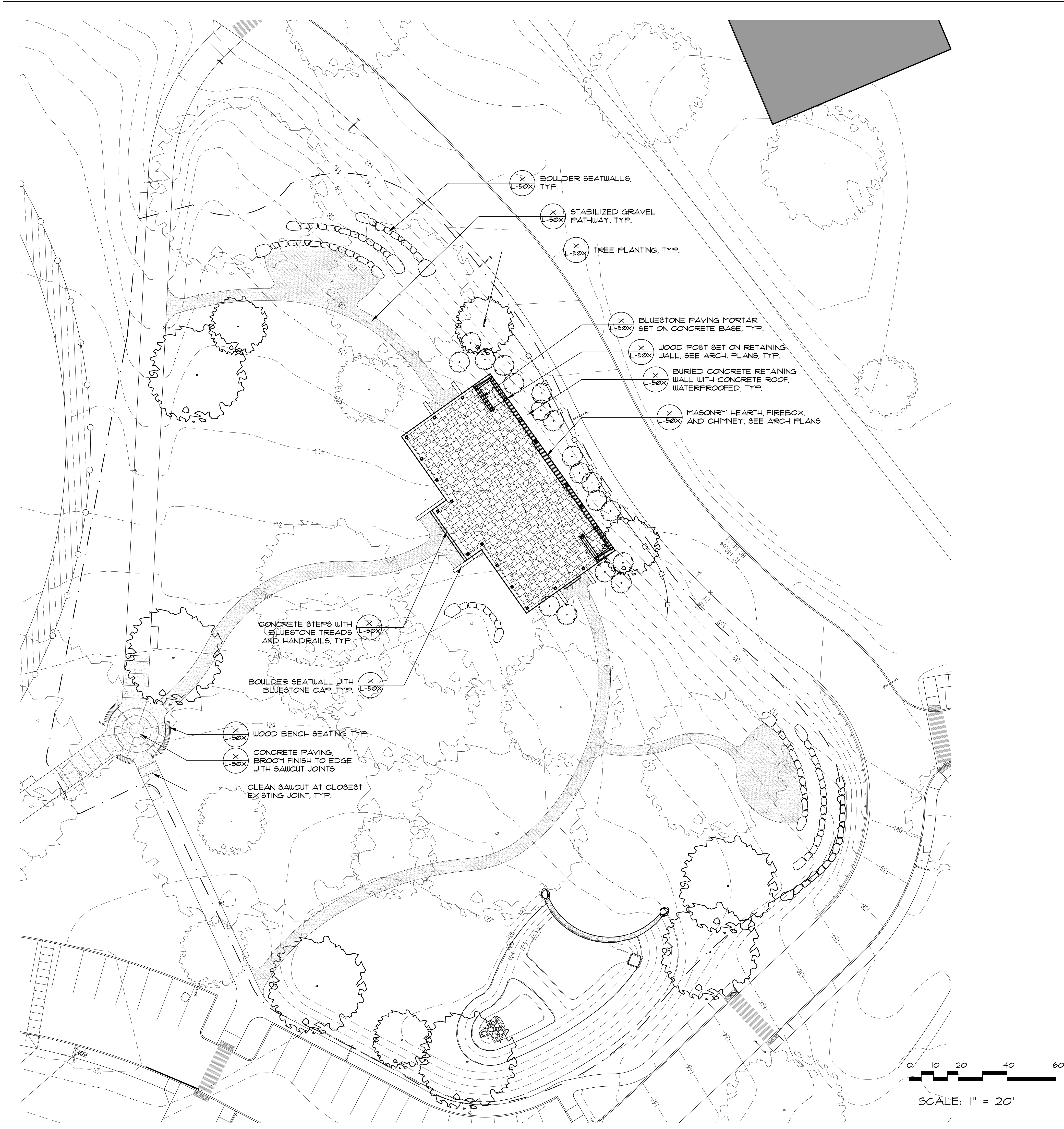
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555 Broadway
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Drawing Title

REMOVALS PLAN

Scale	Job No.	Date	Drawing No.
AS SHOWN	2201	03/01/2022	L-100
Drawn	Checked	Approved	
CT	CT	CT	

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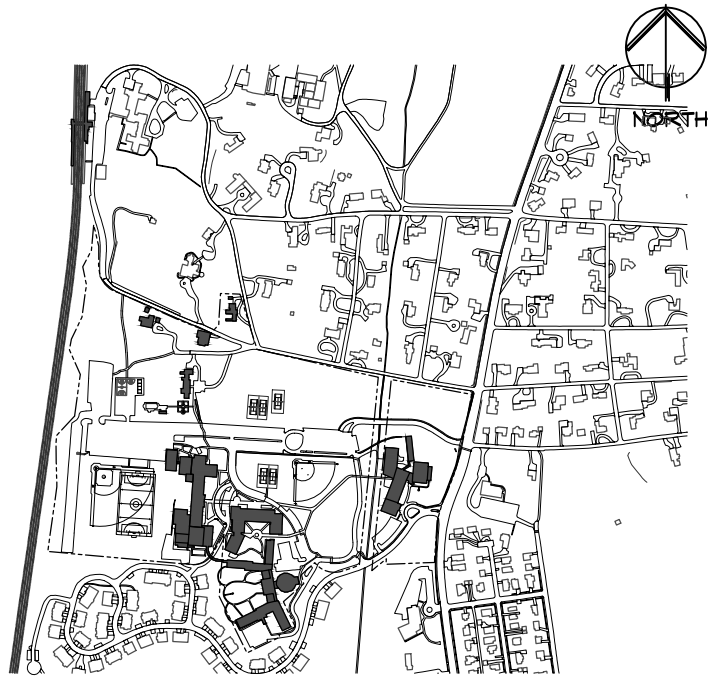


GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND FAMILIARIZE THEMSELVES WITH THE SITE PRIOR TO COMMENCEMENT OF WORK. ACTUAL FIELD CONDITIONS MAY VARY FROM LAYOUT, DIMENSIONS AND EXISTING GRADES AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH EXISTING FIELD CONDITIONS. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES PRIOR TO CONTINUING WORK.
2. THE CONTRACTOR SHALL SECURE THE WORK AREA WITH SPECIFIED BARRIERS AND FENCING AND MAINTAIN A SAFE AND SECURE CONSTRUCTION SITE.
3. PEDESTRIAN AND VEHICULAR TRAFFIC ON ADJACENT ROADS AND SIDEWALKS SHALL BE MAINTAINED DURING CONSTRUCTION.
4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE OR INTERRUPTION TO EXISTING UTILITY SERVICE. ANY DAMAGE OR INTERRUPTION TO EXISTING UTILITY SERVICE SHALL BE RESTORED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION (I.E. DEPARTMENT OF TRANSPORTATION, FIRE DEPARTMENT, DEPARTMENT OF ENVIRONMENTAL PROTECTION TELEPHONE, SEWER, GAS, ETC.), OBTAIN PERMITS AND PAY ANY FEES ASSOCIATED WITH WORK OF THIS PROJECT. SEE BIDDING GUIDE SCOPE OF WORK. WORK NOT INCLUDED FOR EXCLUSIONS.
6. IT IS ANTICIPATED THAT VARIOUS TYPES OF WORK FOR THIS CONTRACT WILL BE PERFORMED SIMULTANEOUSLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK BETWEEN SUBCONTRACTORS AND UTILITY COMPANIES TO ENSURE COMPLETION OF HIS WORK IN A TIMELY AND WORKMAN LIKE MANNER.
7. THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE TO ENSURE MATERIALS TO REMAIN SHALL NOT BE DAMAGED. ANY DAMAGE TO MATERIAL TO REMAIN SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND PAID FOR BY THE CONTRACTOR.
8. REMOVE AND DISPOSE OF ALL ITEMS DESIGNATED AS REMOVALS OFF-SITE IN A LEGAL MANNER. ALL EXISTING INLETS, BASINS AND CONNECTIONS WITHIN THE PROJECT LIMIT SHALL BE CLEANED AND CLEARED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
9. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL RESTORE ALL "UNIMPROVED" AREAS UTILIZED FOR SITE ACCESS, STOCKPILING, CONSTRUCTION TRAILERS ETC. TO SERVICEABLE AND SAFE CONDITIONS AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

LEGEND

PLL	PROPERTY LINE
	PROJECT LIMIT LINE
	<div>X L-50X</div> CONCRETE RETAINING WALL WITH 4" BOULDER VENEER
	<div>X L-50X</div> CONC. PAVEMENT (BRUSHED FINISH) SAWCUT JOINTS
	<div>X L-50X</div> ORGANIC STABILIZED GRAVEL PATHWAY
	<div>X L-50X</div> BLUESTONE PAVING MORTAR SET ON CONCRETE BASE
	<div>X L-50X</div> BOULDER SEATWALL



Key Plan Not to Scale

1.	04/15/2022	PLANNING BOARD SUBMISSION
No.	Date	Revision/Submission



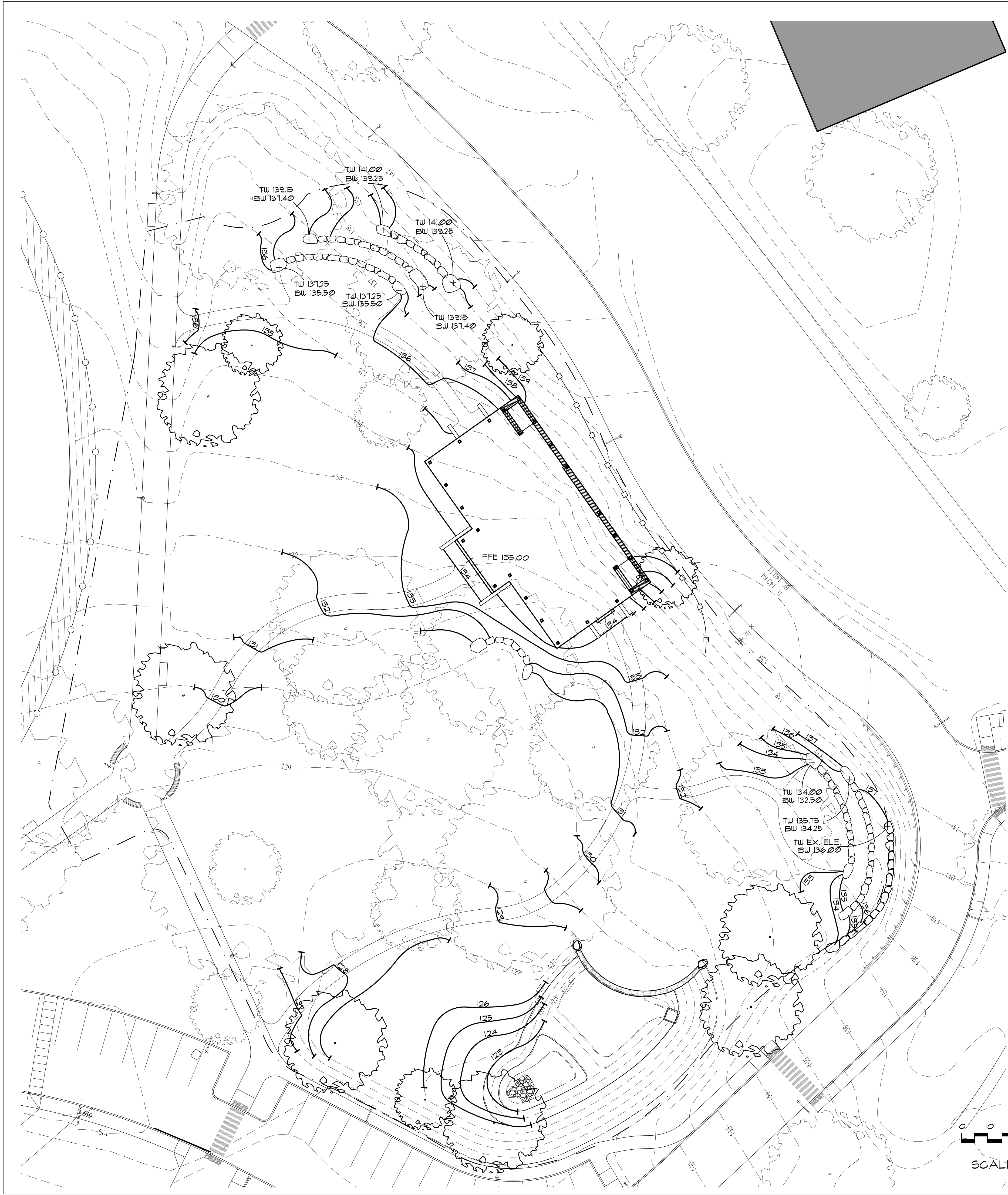
MERCY COLLEGE
GROVE PAVILION

Mercy College
555 Broadway
Dobbs Ferry, NY 10522

MATERIALS PLAN

Scale	Job No.	Date	Drawing No.
AS SHOWN	2201	03/01/2022	L-200
Drawn CT	Checked CT	Approved CT	

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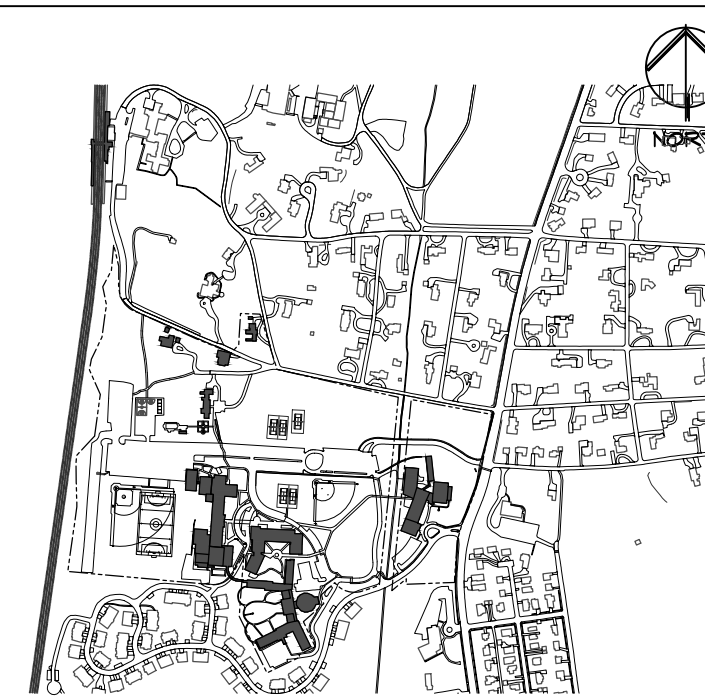


GRADING NOTES

1. REFER TO THE TOPOGRAPHIC SURVEY FOR EXISTING UTILITIES AND ELEVATIONS.
2. PREPARE SUB-GRADE ELEVATIONS TO SUFFICIENT DEPTH TO INSURE NEW IMPROVEMENTS MEET EXISTING MATERIALS SMOOTHLY, EVENLY AND TO GRADE.
3. IN ALL CASES, PAVEMENTS SHALL BE PITCHED TO AWAY FROM BUILDING AND IN A MANNER THAT PREVENTS FONDING AND PUDDLING. CONTRACTOR SHALL PERFORM A DRAINAGE TEST OF ALL PAVEMENTS TO INSURE POSITIVE DRAINAGE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AS REQUIRED TO MAINTAIN ALL TRENCHES AND EXCAVATIONS FREE FROM WATER DURING THE CONSTRUCTION OPERATIONS.
5. LOCATE NEW DRAINAGE STRUCTURES AT TRUE LOW POINT OF THEIR RESPECTIVE AREAS AS DETERMINED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE.
6. ALL NEW PAVEMENTS SHALL MEET EXISTING FLUSH.
7. ALL PEDESTRIAN PATHS LONGITUDINAL FITCH IS NOT TO EXCEED 5% UNLESS OTHERWISE INDICATED AND CROSS FITCH NOT EXCEED 2% UNLESS OTHER WISE INDICATED
8. IMPORTED FILL MATERIAL SHALL BE CERTIFIED IN WRITING BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AS NON-CONTAMINATED CLEAN FILL SUITABLE FOR THE INTENDED USE

LEGEND

—	PROPERTY LINE
— P.L. —	PROJECT LIMIT LINE
- - - 190 - - -	EXIST. CONTOUR
— 190 —	PROPOSED CONTOUR
+84.13	SPOT ELEVATION
+TW	TOP OF WALL
+BW	BOTTOM OF WALL
+TS	TOP OF STAIR
+BS	BOTTOM OF STAIR
+TR	TOP OF RAMP
+BR	BOTTOM OF RAMP
Ⓢ	EXISTING SANITARY SEWER MANHOLE
ⓓ	EXISTING STORM DRAINAGE MANHOLE



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Key Plan Not to Scale

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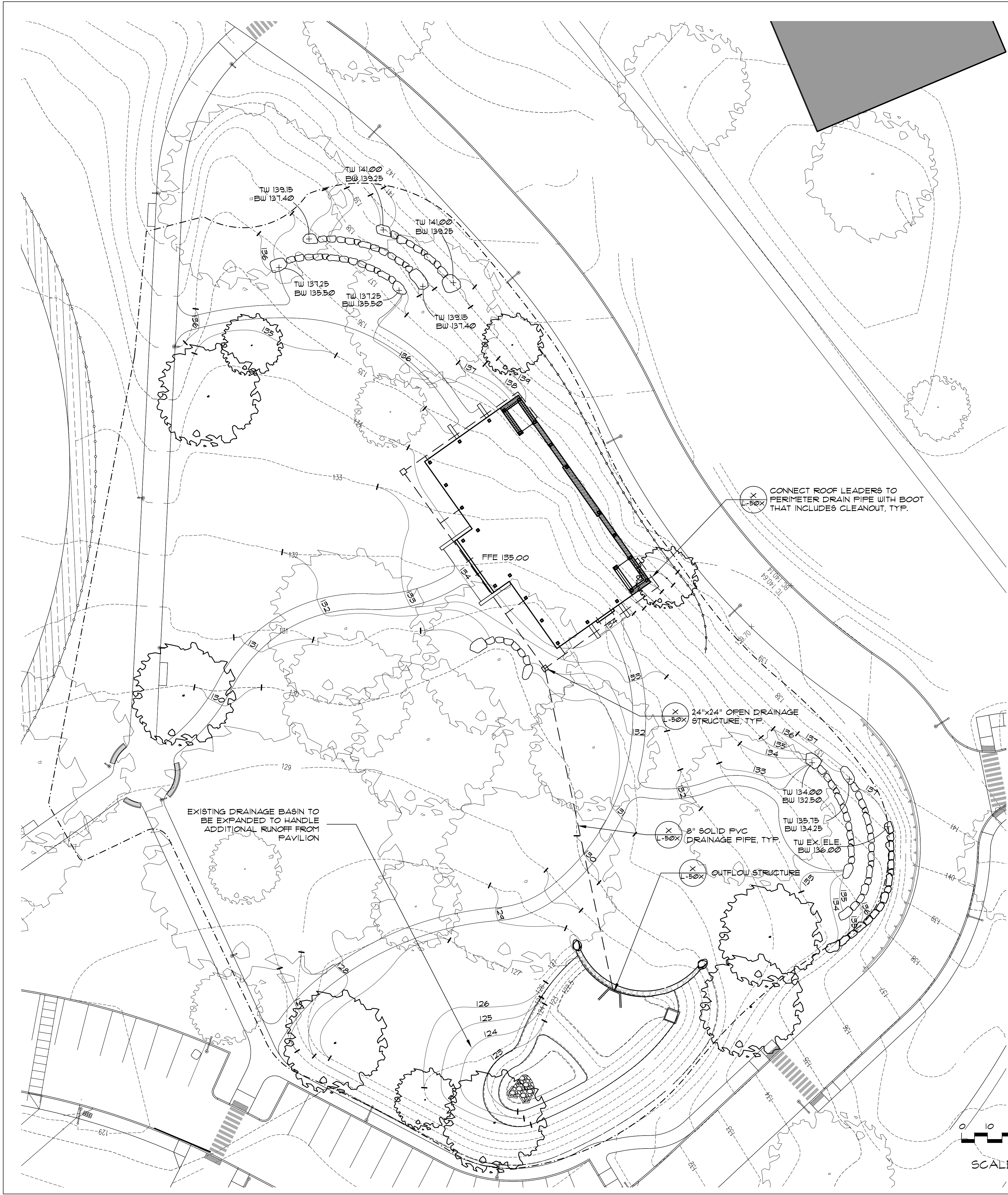
GRADING PLAN

AS SHOWN 2201 03/01/2022

Drawn CT Checked CT Approved CT

L-300

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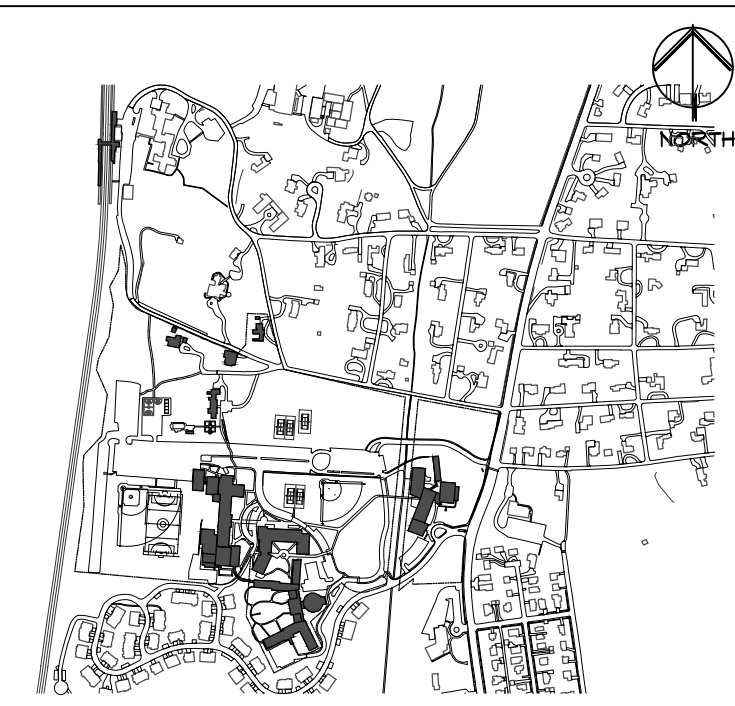


GRADING NOTES

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LEGEND

- | | |
|-----------|---------------------------------|
| --- | PROPERTY LINE |
| ---RL--- | PROJECT LIMIT LINE |
| ---190--- | EXIST. CONTOUR |
| ---190--- | PROPOSED CONTOUR |
| +24.13 | SPOT ELEVATION |
| +TW | TOP OF WALL |
| +BW | BOTTOM OF WALL |
| +TS | TOP OF STAIR |
| +BS | BOTTOM OF STAIR |
| +TR | TOP OF RAMP |
| +BR | BOTTOM OF RAMP |
| Ⓢ | EXISTING SANITARY SEWER MANHOLE |
| ⓓ | EXISTING STORM DRAINAGE MANHOLE |



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Key Plan Not to Scale

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No.	Date	Revision/Submission



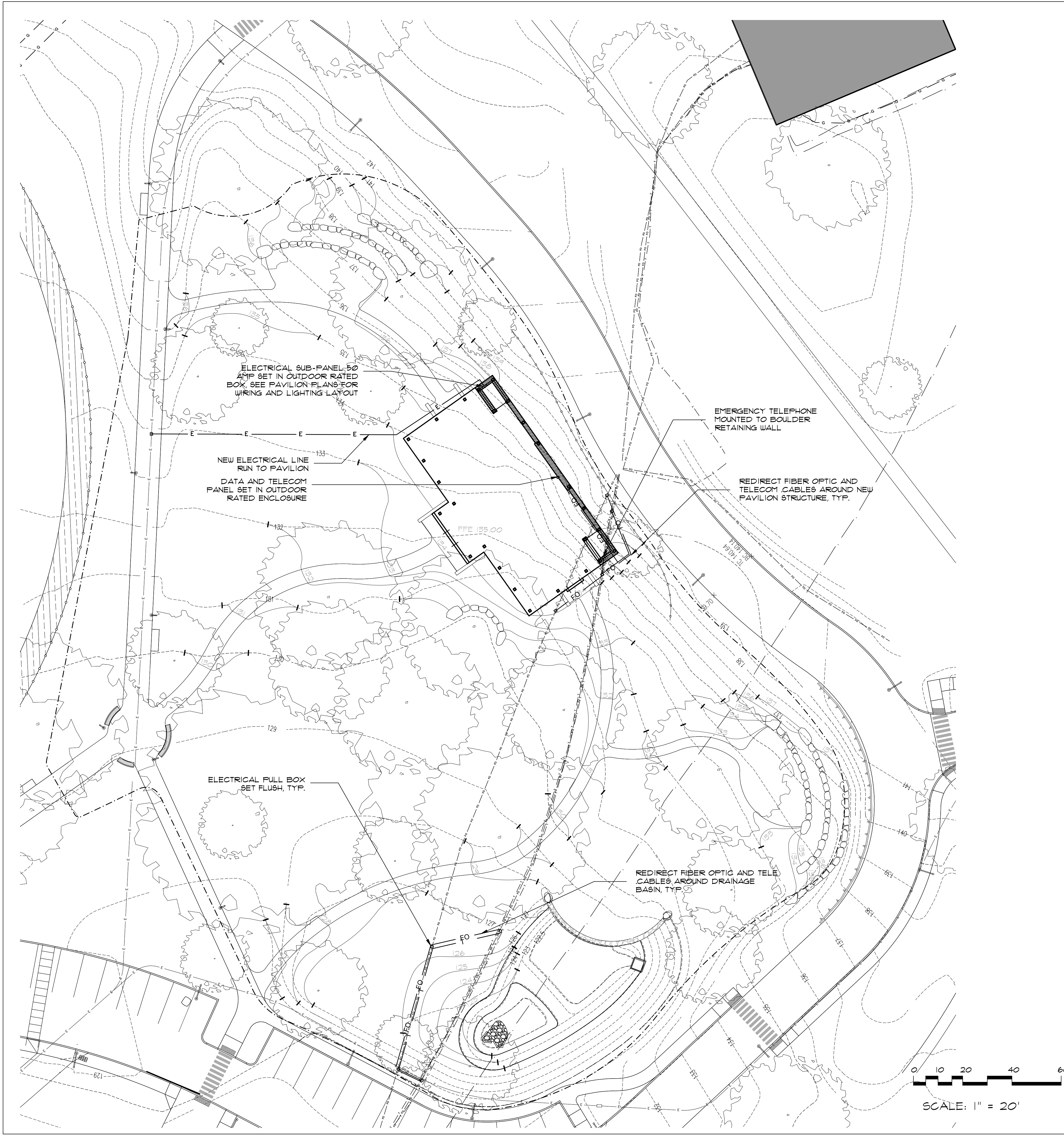
MERCY COLLEGE
GROVE PAVILION

Mercy College
555 Broadway
Dobbs Ferry, NY 10522

SITE DRAINAGE
DIAGRAM

Scale	Job No.	Date	Drawing No.
AS SHOWN	2201	03/01/2022	L-310
Drawn	Checked	Approved	
CT	CT	CT	

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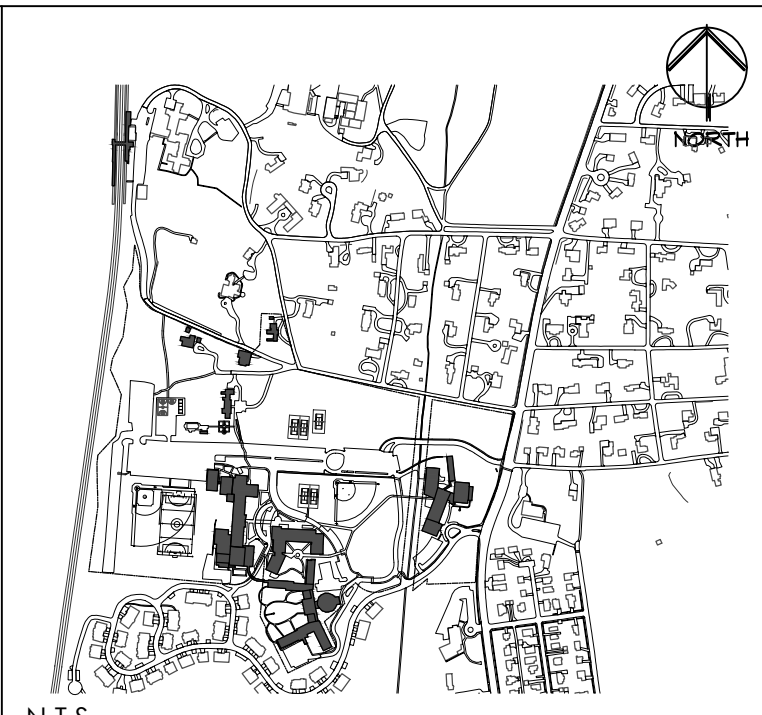


GRADING NOTES

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LEGEND

- | | |
|--|---------------------------------|
| | PROPERTY LINE |
| | PROJECT LIMIT LINE |
| | EXIST. CONTOUR |
| | EXISTING SANITARY SEWER MANHOLE |
| | EXISTING STORM DRAINAGE MANHOLE |



Key Plan Not to Scale

1.	04/15/2022	PLANNING BOARD SUBMISSION
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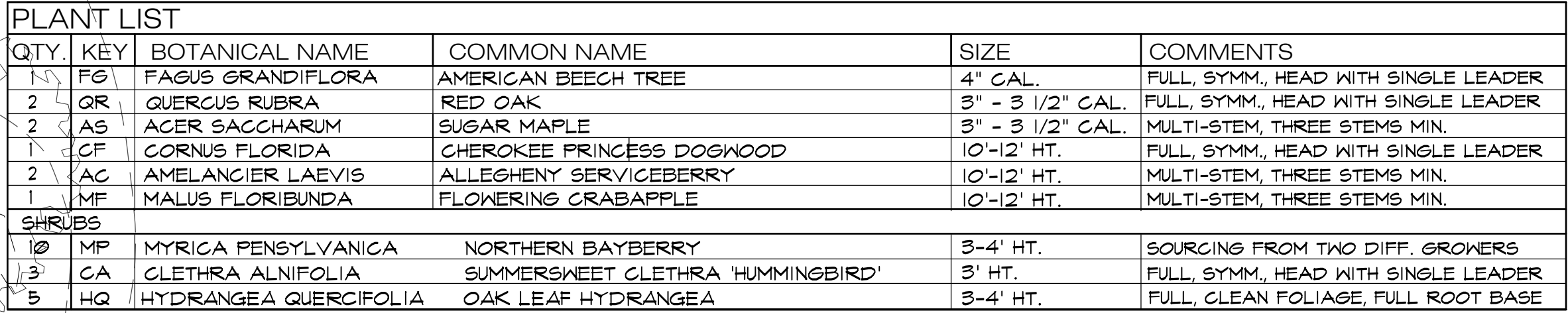
MERCY COLLEGE
GROVE PAVILION

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SITE UTILITY
DIAGRAM

Scale	Job No.	Date	Drawing No.
AS SHOWN	2201	03/01/2022	L-320
Drawn	Checked	Approved	
CT	CT	CT	

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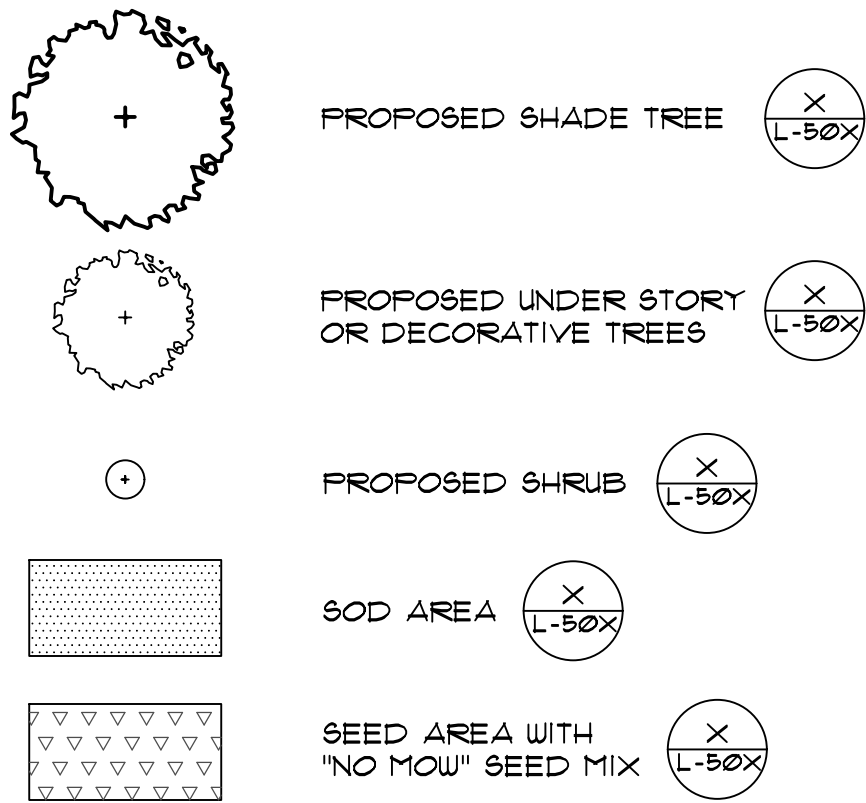


VARIOUS PERENNIALS (PLACED ON SITE)	QUANTITY
ECHINACEA PURPUREA 'PICA BELLA'	8
ONEOTHERA FRUITICOSA 'FIREWORKS'	10
SOLIDAGO SPAECELATA 'GOLDEN FLEECE'	15
LIATRIS SPICATA	8
RYCNANTHEMUM TENUIFOLIUM	15

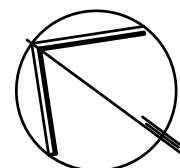
PLANTING NOTES

3. ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYSMAN, LATEST EDITION.
2. ALL PLANT MATERIAL SHALL BE VIGOROUS AND FREE OF INJURY, INSECTS OR DEFECTS. PLANT MATERIAL SHALL BE STOCK FROM A RECOGNIZED NURSERY WITHIN THE NORTHEAST AND MID-ATLANTIC REGIONS.
3. ALL PLANTS TO BE SELECTED AND TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL VERIFY QUANTITIES AS SHOWN ON THE CONTRACT DRAWINGS. IF A DISCREPANCY EXISTS BETWEEN THE PLANT COUNT AS SHOWN ON THE PLANT LIST AND THE PLANTING PLAN(S), THE PLAN(S) SHALL TAKE PRECEDENCE.
5. THE LANDSCAPE ARCHITECT MAY REJECT ANY MATERIAL WHICH DOES NOT REPRESENT SPECIES AS OUTLINED IN THE PLANT LIST.
6. NO SUBSTITUTION WILL BE MADE UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
7. ALL TREES SHALL BE PLANTED SO THAT THE ROOT FLARE IS 1" - 2" ABOVE FINISHED GRADE. CONTRACTOR SHALL VERIFY ROOT FLARE PRIOR TO PLANTING. REMOVE EXCESS SOIL OVER BALL AS REQUIRED TO EXPOSE THE ROOT FLARE ONLY AS DIRECTED BY THE LANDSCAPE ARCHITECT.
8. ALL TREE PITS AND ENTIRE SHRUB/PERENNIAL BEDS TO RECEIVE 2" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH. MULCH SHALL NOT COME IN DIRECT CONTACT WITH TREE TRUNKS.
9. PLANTED AREAS SHALL BE WATERED BY THE CONTRACTOR WHEN RAINFALL IS LESS THAN 1" PER WEEK AND PERIODS OF EXCESSIVE HEAT. SHRUBS SHALL RECEIVE 3-5 GALLONS PER PLANT AND TREES 7-10 GALLONS PER INCH OF CALIFER PER WEEK OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
10. TREES SHALL BE GUYED OR STAKED AS INDICATED ON THE DRAWING. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL GUYING/STAKING FOR A PERIOD OF A YEAR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL GUYING/STAKING AFTER THIS PERIOD UPON DIRECTION OF THE OWNER'S REPRESENTATIVE.
11. ALL LAWN AREAS SHALL BE SODDED. SEE SPECIFICATIONS FOR TURF TYPE.
12. ALL PLANTING BEDS TO BE MULCHED WITH 2 INCHES OF CEDAR BARK MULCH.

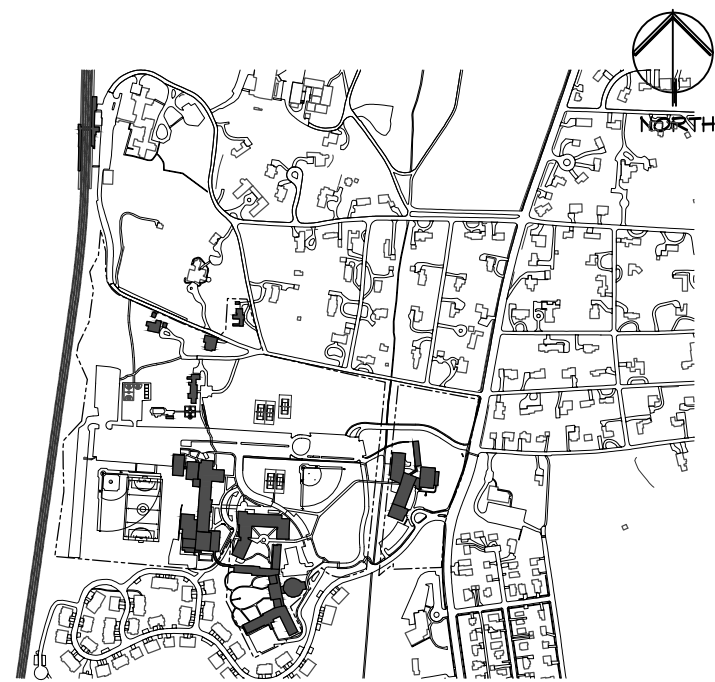
LEGEND



SCALE: 1" = 20'



NORTH



N.T.S.

Key Plan

Not to Scale

1.	04/15/2022	PLANNING BOARD SUBMISSION
No.	Date	Revision/Submission

Stamp



Project Title

MERCY COLLEGE
GROVE PAVILION

Mercy College
555 Broadway
Dobbs Ferry, NY 10522

Drawing Title

PLANTING PLAN

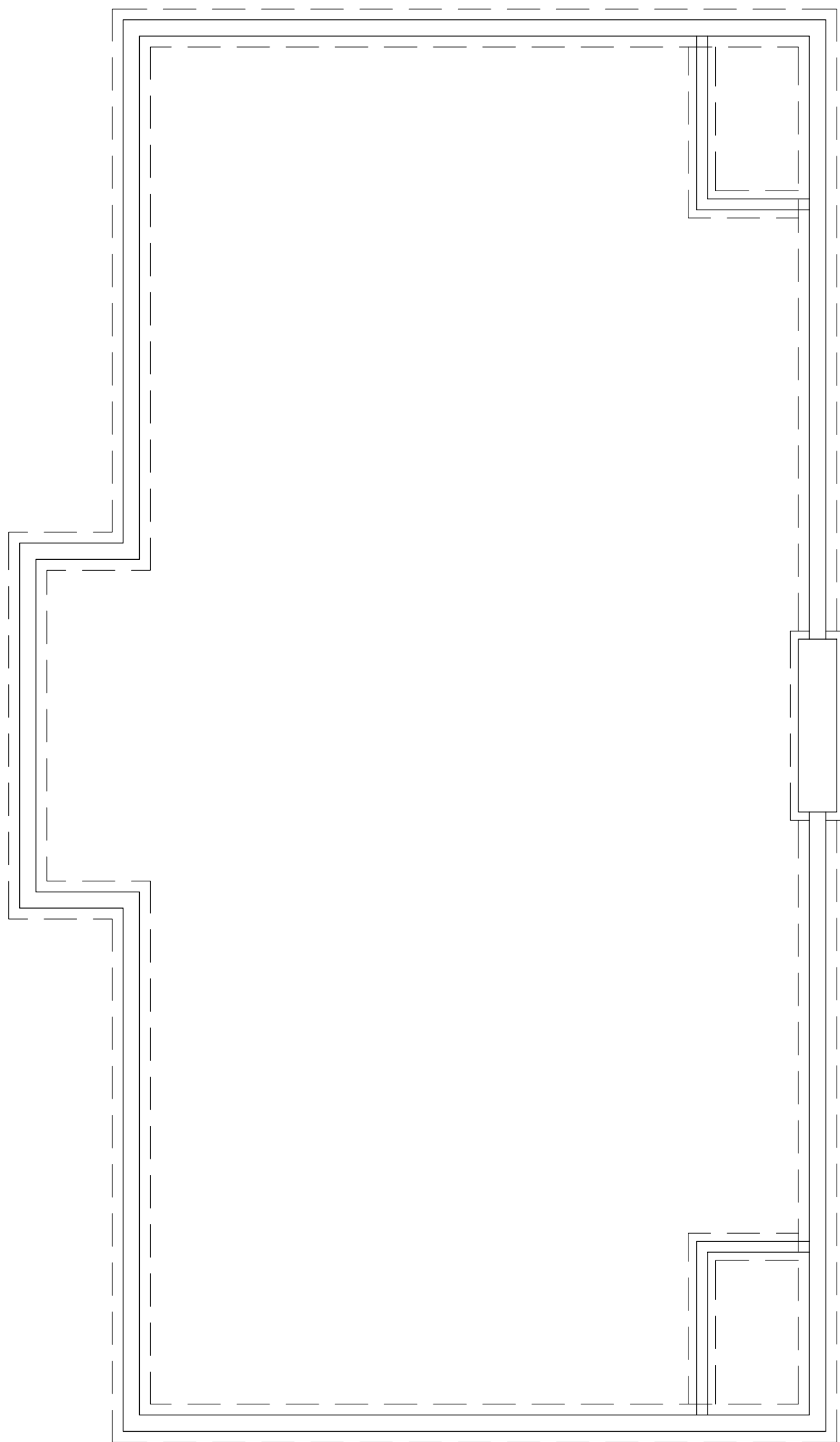
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AS SHOWN	2201	03/01/2022

Drawn	Checked	Approved
CT	CT	CT

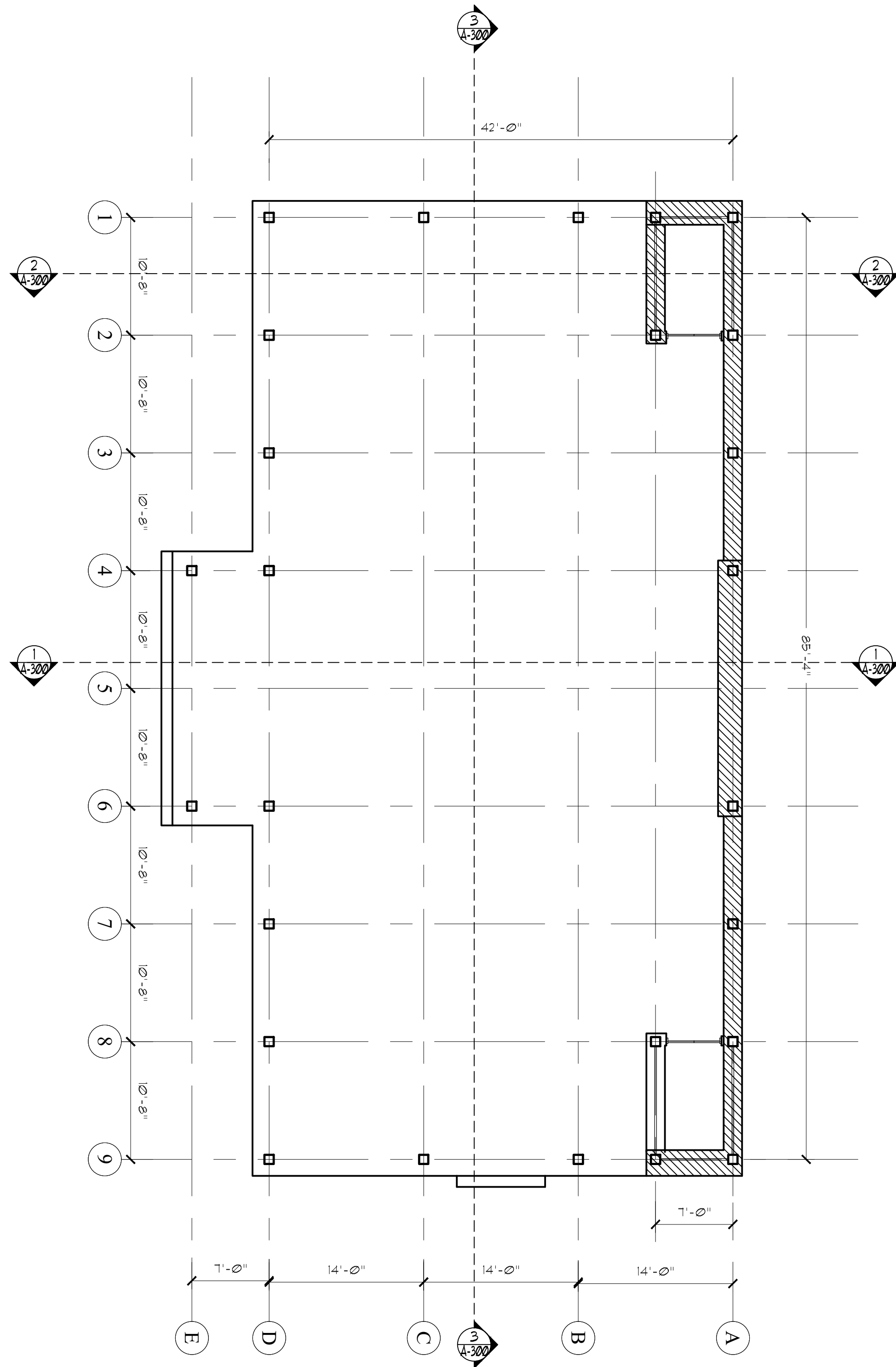
L-400

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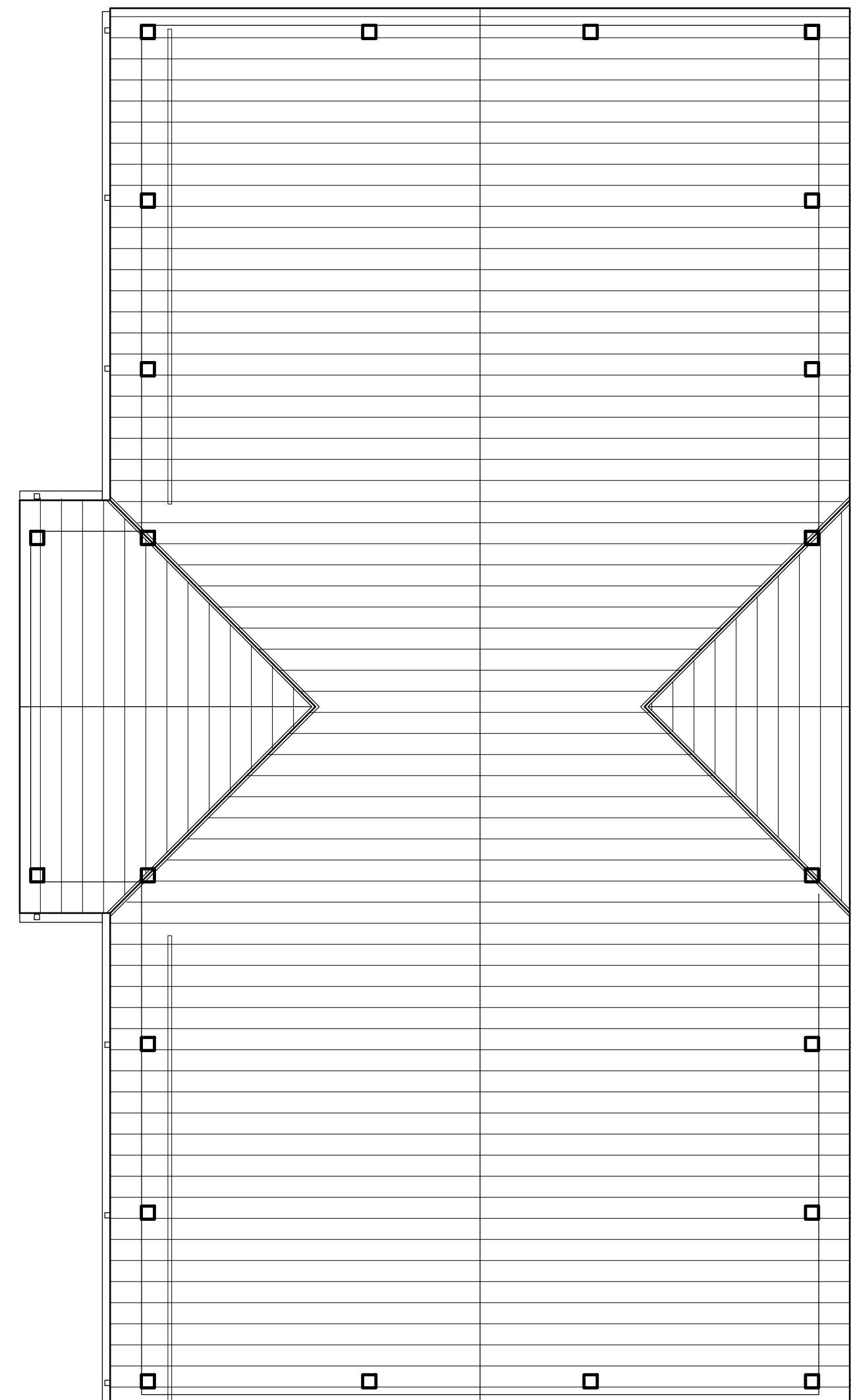
NOTE:
FINAL CONSTRUCTION DRAWINGS INCLUDING CONNECTION
DETAILS, STRUCTURAL SIZING, AND FOOTINGS FOR PAVILION TO
BE PROVIDED BY HARMONY TIMBERWORKS



FOUNDATION PLAN



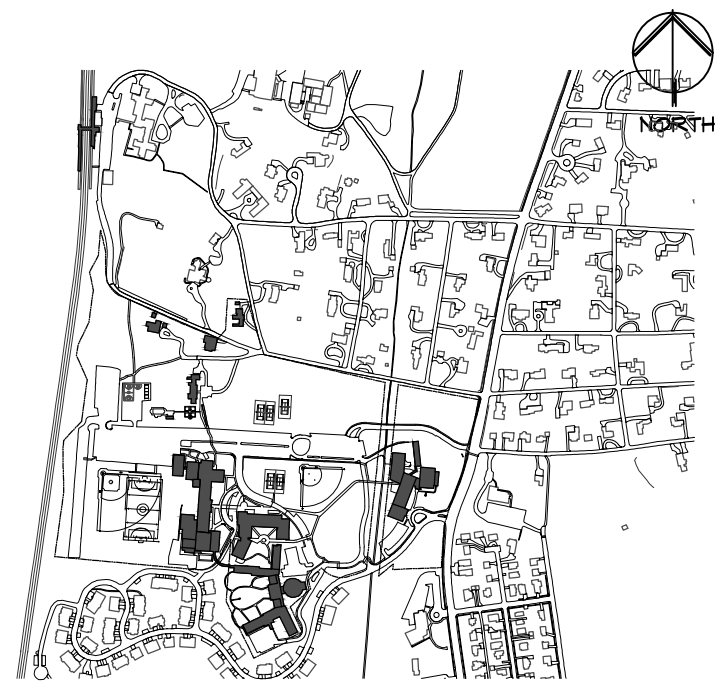
PAVILION PLAN



PAVILION ROOF PLAN



SCALE: 1/8" = 1'-0"



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No.	Date	Revision/Submission

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Project Title

MERCY COLLEGE
GROVE PAVILION

Mercy College
555 Broadway
Dobbs Ferry, NY 10522

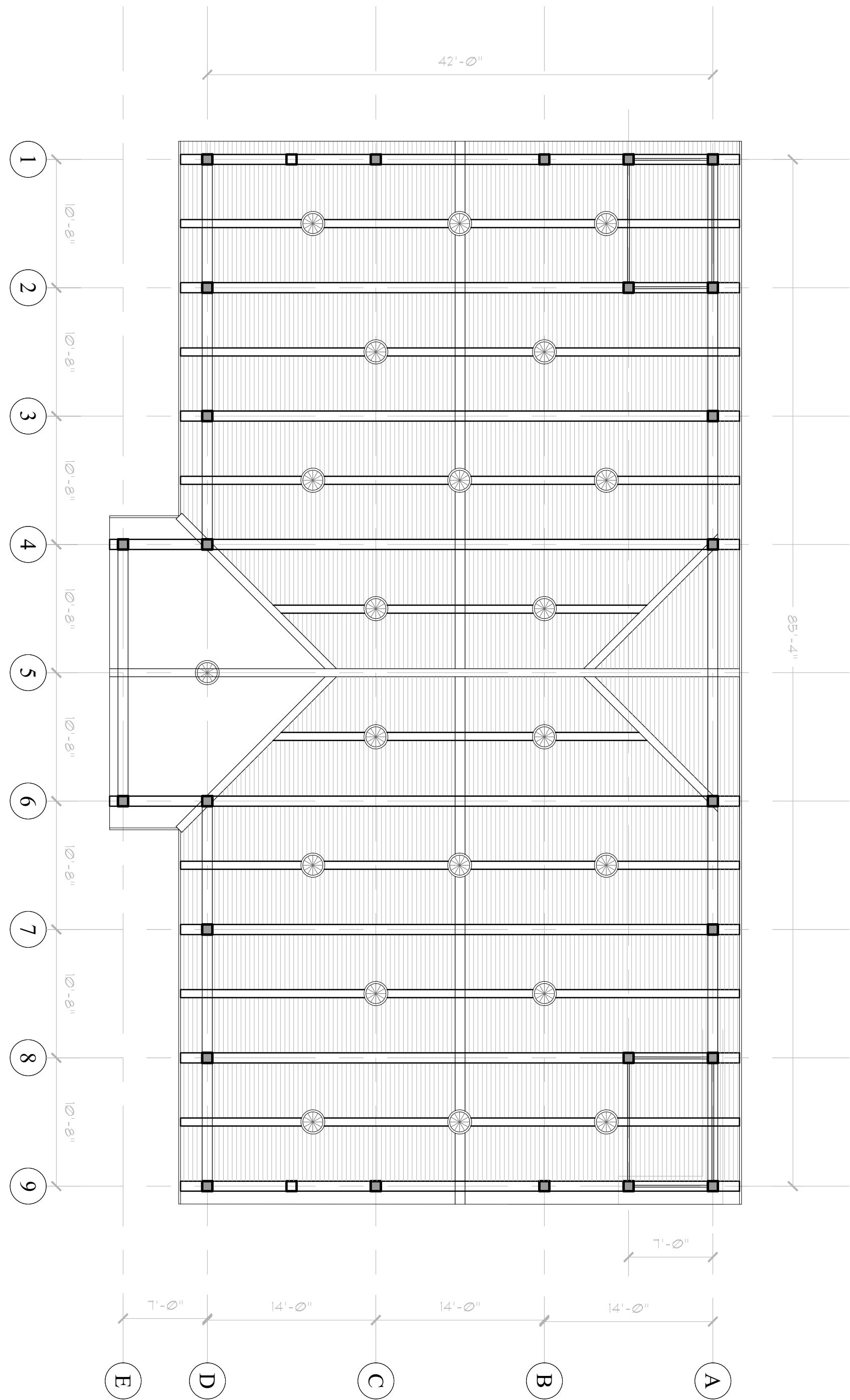
Drawing Title

PAVILION PLAN

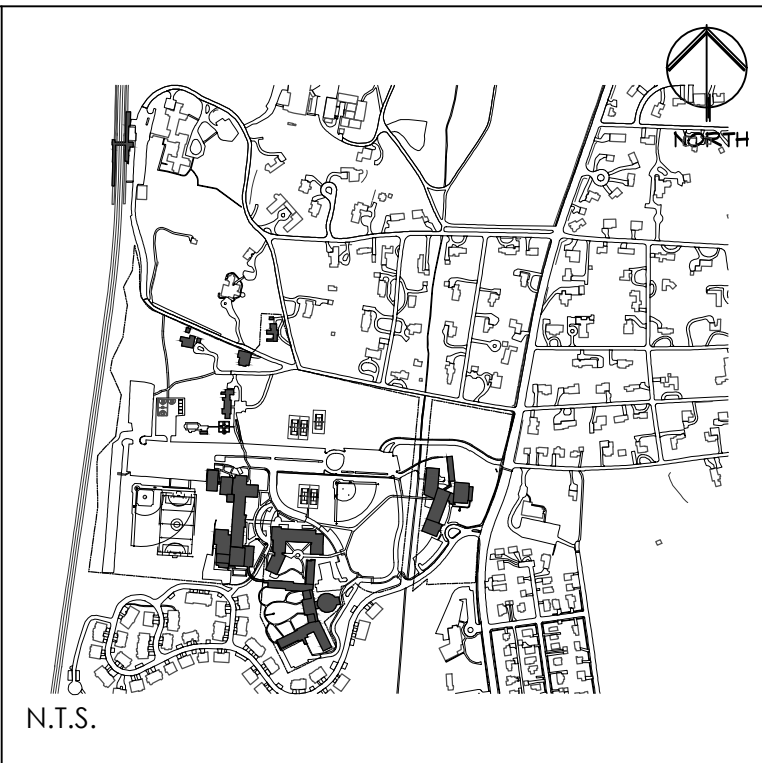
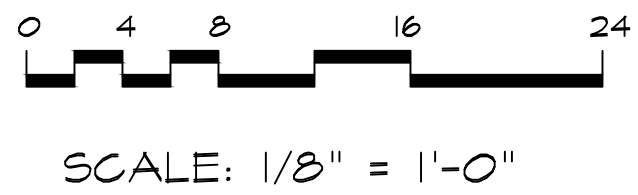
Scale	Job No.	Date	Drawing No.
AS SHOWN	2201	03/01/2022	A-100
Drawn	Checked	Approved	
CT	CT	CT	

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NOTE:
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DETAILS, STRUCTURAL SIZING, AND FOOTINGS FOR PAVILION TO
BE PROVIDED BY HARMONY TIMBERWORKS



REFLECTED CEILING PLAN



Key Plan Not to Scale

1.	04/15/2022	PLANNING BOARD SUBMISSION
No.	Date	Revision/Submission



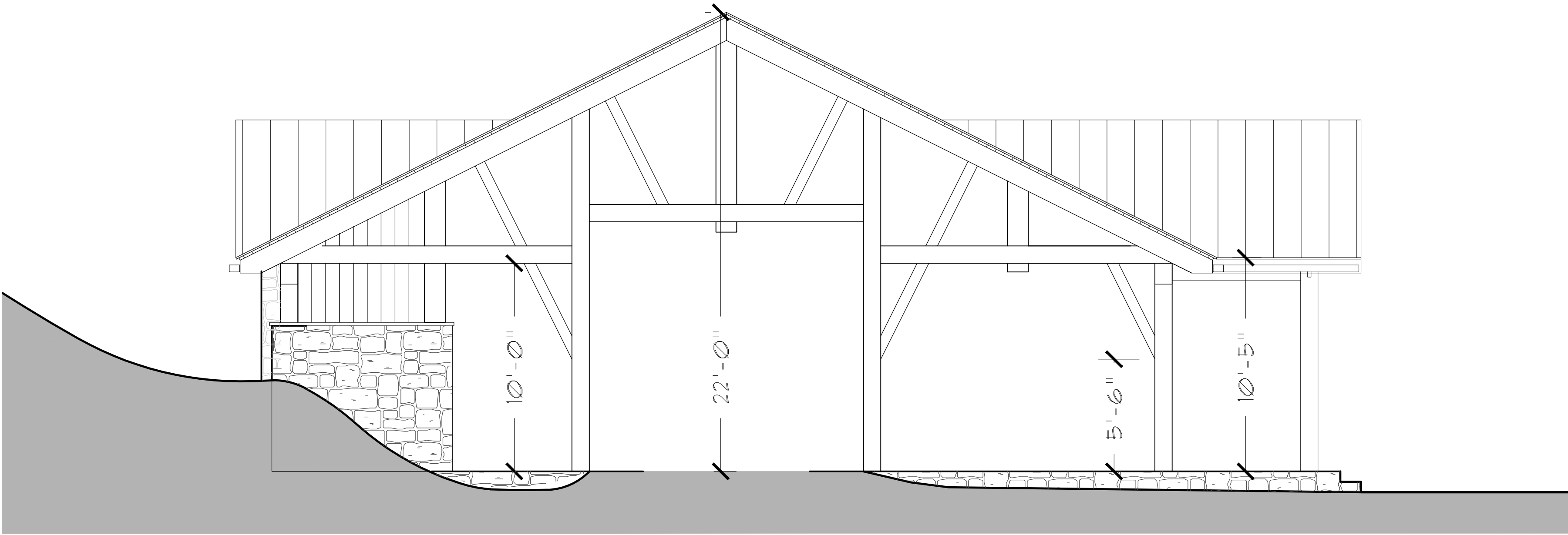
Project Title
**MERCY COLLEGE
GROVE PAVILION**

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555 Broadway
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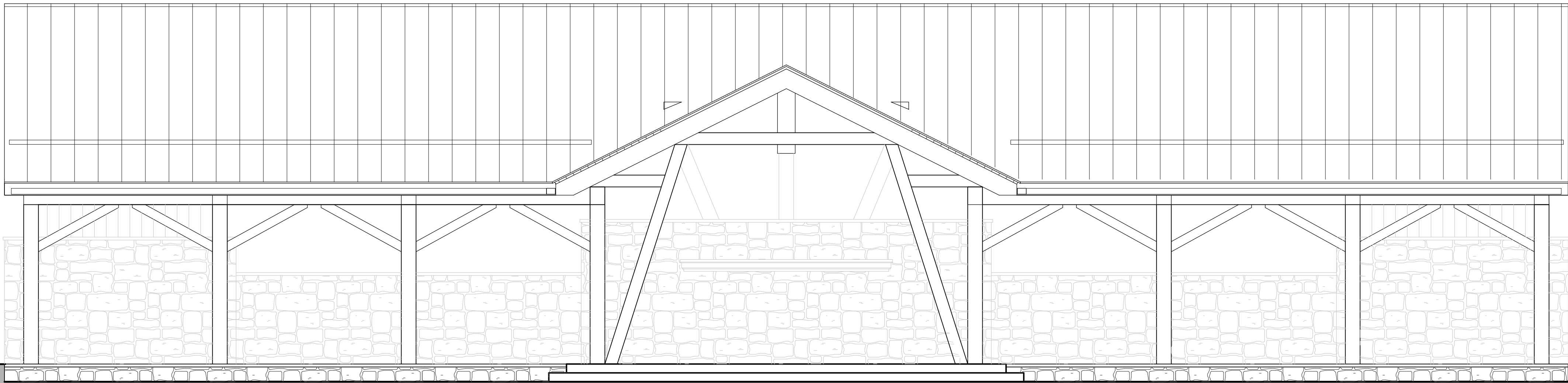
Drawing Title
**PAVILION REFLECTED
CEILING PLAN**

Scale	Job No.	Date	Drawing No.
AS SHOWN	2201	03/01/2022	A-150
Drawn CT	Checked CT	Approved CT	

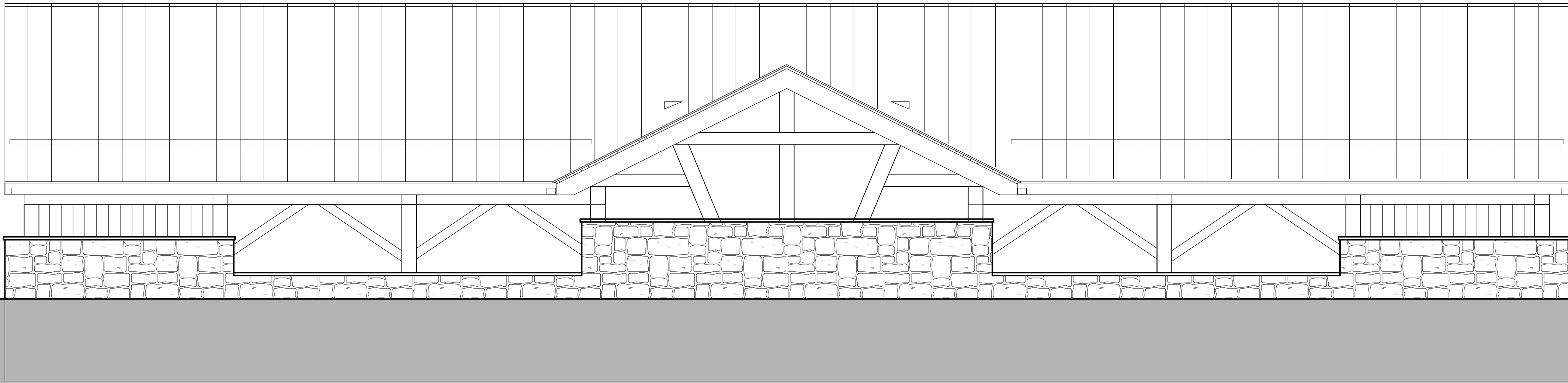
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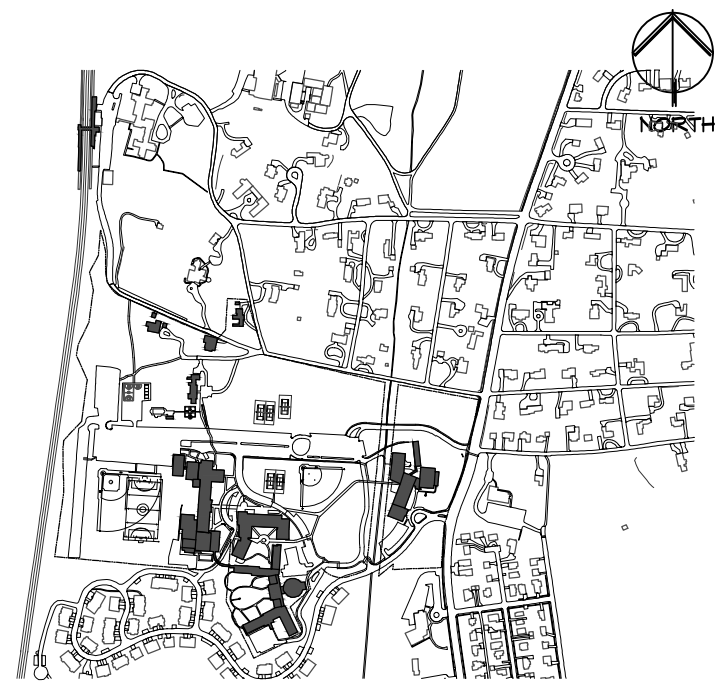
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



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Key Plan

Not to Scale

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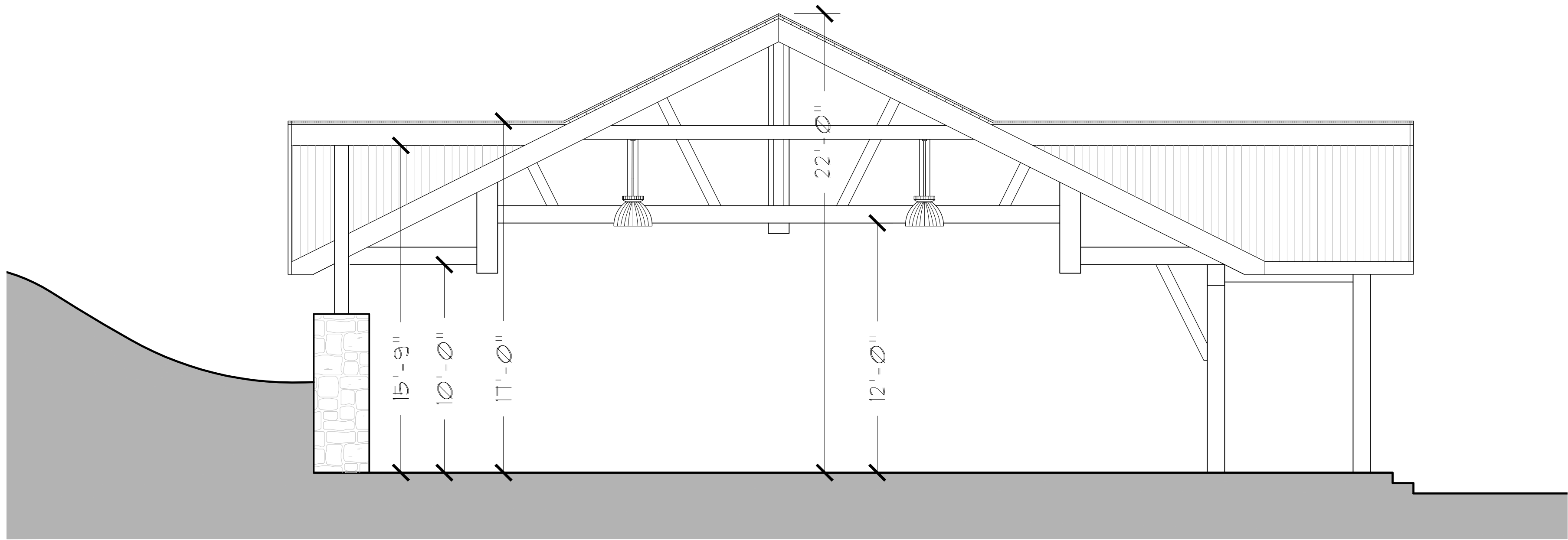
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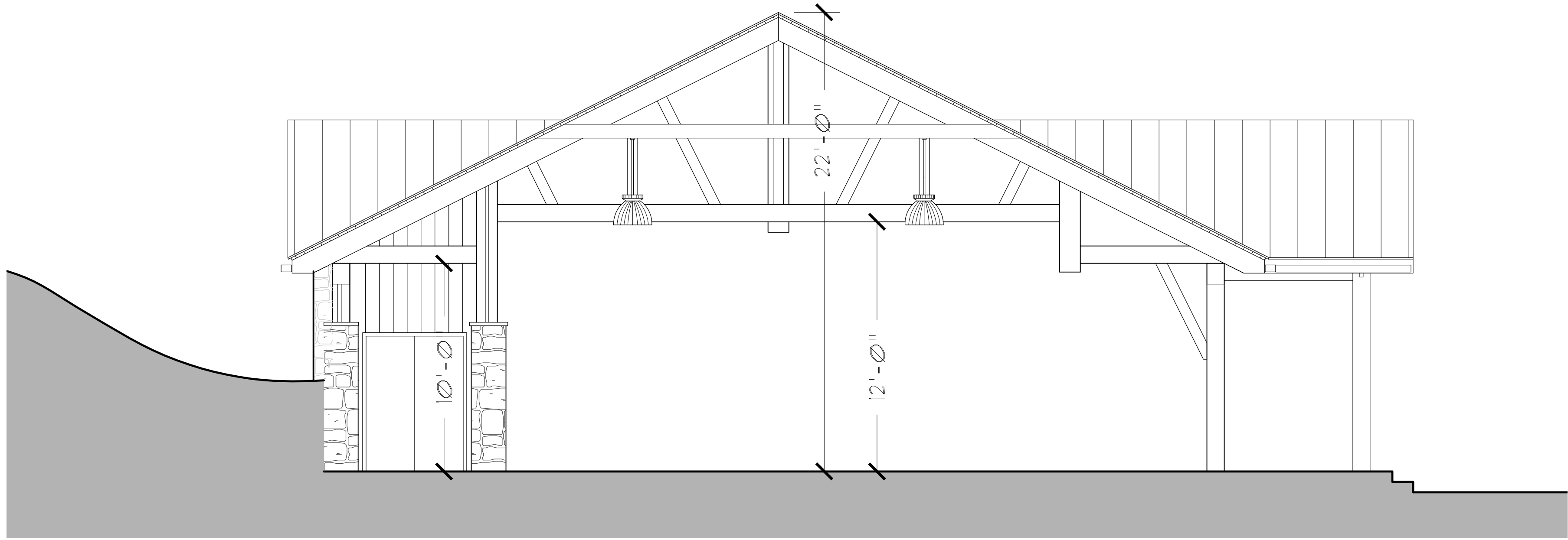
PAVILION ELEVATIONS

Scale	Job No.	Date	Drawing No.
AS SHOWN	2201	03/01/2022	A-200
Drawn	Checked	Approved	
CT	CT	CT	

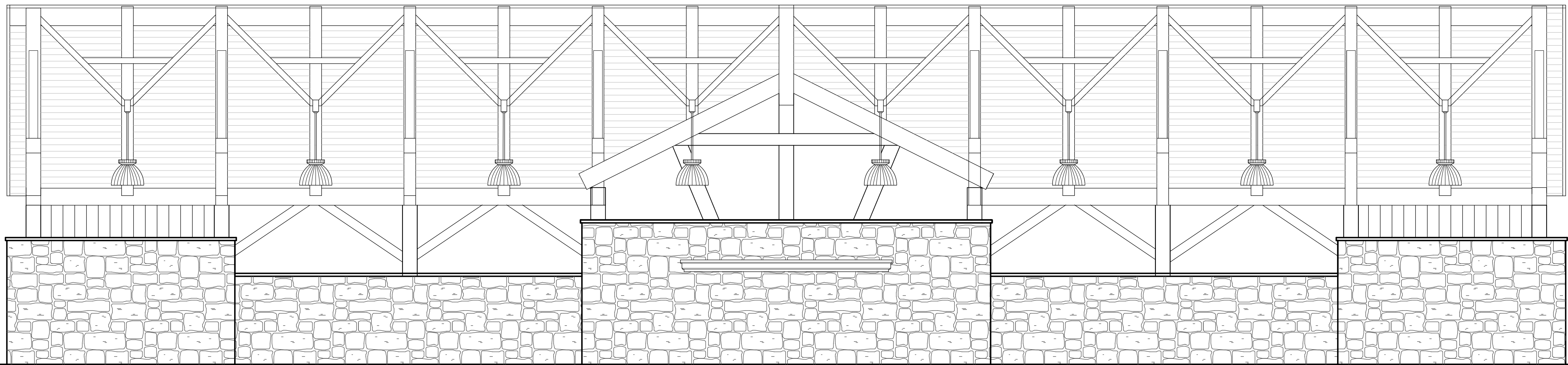
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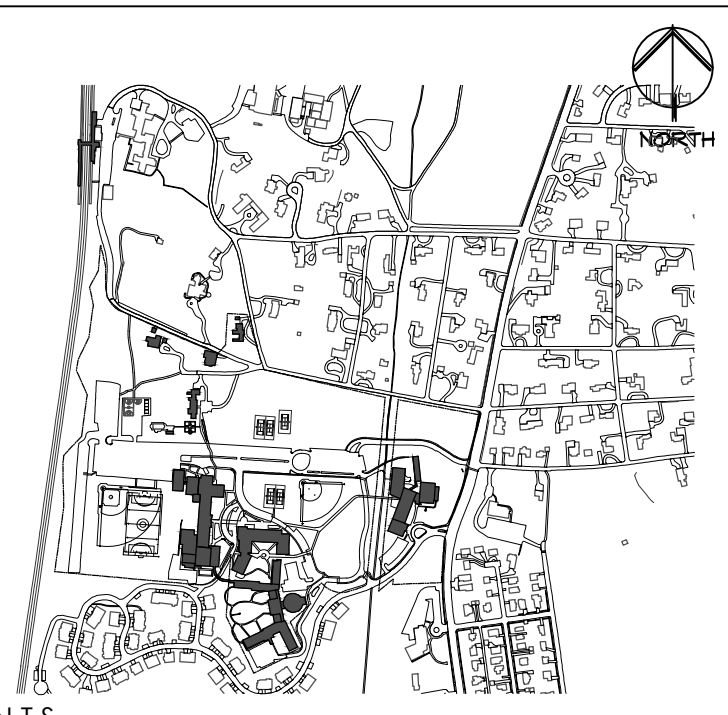
1 SECTION @ SECONDARY RIDGE
SCALE: 1/4"=1'-0"



2 SECTION @ LOCKABLE STORAGE
SCALE: 1/4"=1'-0"



3 SECTION @ MAIN RIDGE
SCALE: 1/4"=1'-0"



Key Plan Not to Scale

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**MERCY COLLEGE
GROVE PAVILION**

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Drawing Title
PAVILION SECTIONS

Scale	Job No.	Date	Drawing No.
AS SHOWN	2201	03/01/2022	A-300
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