

The Munits Residence

11 Myrtle Avenue, Dobbs Ferry, New York 10522

NOTES

1. All construction work shall be performed in compliance with the administrative Building Code of the village of Dobbs Ferry, NY, and all other applicable ordinances and regulation of all Governing Agencies having jurisdiction over the work.
2. All Construction, including Plumbing, Mechanical and Electrical work, to be performed by Licensed Contractors and all required permits and certification shall be obtained prior to commencement of work.
3. The services of Gregory Sharp Architect (GSA) are being performed solely for the client's benefit and no Contractor, Subcontractor, Supplier, Fabricator, Manufacturer, Tenant, Vendor, Consultant or other third party shall have any claim against GSA as a result of the architectural agreement with the client or the performance or non-performance of GSA's services. It is understood that this provision will be brought to the attention of the parties with whom the client contracts and have them do the same with those who they contract.
4. The Construction and vendor contracts shall include provision describing GSA's role as stated in this agreement with respect to construction and installation of the furnishing and require the Contractor(s) (and any Vendors(s) working on the job site) to indemnify the client and GSA as set forth in the indemnification clause below, which shall appearing in the Construction and Vendor Contracts. This obligation shall be insured by the contactor(s) and its subcontractors and any vendor working on the job site.
5. The contractor(s) shall defend, indemnify and hold harmless GSA and their respective directors, officers, partners, employees, and agents, from any and all claims directly or indirectly arising or alleged to arise out of the adjoining land or driveways, or streets or alleys used in connection with the performance of the work, and from any and all claims by Workmen, Suppliers or Subcontractors who are involved in the performance of the work.
6. The obligators set forth in this provision shall specifically include, but not be limited to, all claims directly or indirectly arising or alleged to arise under any scaffolding, structural work with respect to the protection of adjacent landowners.
7. The Contractor(s) shall be notified of any claims against GSA and given such reasonable information, authority and assistance as may be requested by him to enable him to perform the obligations set forth in this section. Failure to notify the Contractor(s) of a claim or to give such information, authority and assistance shall not discharge the obligations set forth in this section unless the Contractor(s) has been prejudiced in the defense of such a claim.
8. The Contractor(s) also expressly warrants and guarantees to GSA that all work performed by the Contractor(s), its Workmen, Suppliers and Subcontractors, shall conform to the requirements of the the contract documents and shall be performed in a safe and careful manner. The foregoing shall not deprive GSA of any other action, right or remedy otherwise available to them, at common law or otherwise. The term "Work" for purposes of this section means the obligations undertaken by the Contractor(s) pursuant to the contract documents. Work includes, unless specifically excepted, Furnishing all Material, Labor, Equipment, Supplies, Plant, Tools, Scaffolding, Transportation, Superintendence, Insurance, Taxes and all other Services, Facilities, and Expenses necessary for the full performance and Completion of the Requirements of the Contract Documents. Work also includes that which produced, constructed or built pursuant to the Contract Documents.
9. The Construction Contacts shall include a provision requiring the Contractor(s) or Vendor(s) to warrant to the Client and GSA that all Materials and Equipment Furnished will be new unless otherwise specified, and that all work will be of good quality, free from faults and defects and in conformance with the Construction Documents.

General Construction Notes: Building Department

- 1.0 The Building is a Single Family Residence
- 2.0 The New International Type Building Code went into effect in New York State on 2015. Building Code Chapter 92 - Final Version June, 2009
- 3.0 Special Inspection Items:
 - *Sediment and Erosion Control
 - *Footing
 - *Preparation for Concrete Slabs and Walls
 - *Framing
 - *Building Systems, including underground rough in.
 - *Fire resistant Construction and Penetrations
 - *Insulation
 - *Solid Fuel
 - *Foundation and Footing drain
 - *Energy Code Compliance
 - *Final Inspection for Cof O
 - *Additional State and Local Law Inspections as required.

- 4.1 Scope of work: Proposed Distribution in the existing house, Proposed facades and Proposed livingroom. The project can be summarized as a Basement plus 1 floor with attached Garage.
- 4.2 All Proposed work will be set on undisturbed soil.
- 4.3 All doors marked F.P.S.C. shall be at least 1 hour fire rated.
- 4.4 All masonry partitions shall be braced. All finishes over .036 of an inch in thickness shall comply with flame spread rating or be approved by the Board of Standards and Appeals. All sprinkler if required, Halon, fuel oil, etc. shall be filed under separate application.

General Safety Notes

- 1.2 Construction operations shall be confined to normal working hours:
7 am - 7 pm MONDAY-SATURDAY, except legal holidays.
- 2.1 All work shall be done in accordance with the New York State Building Code and regulations of all other state, local or federal agencies having jurisdiction.
- 2.2 The Contractor shall provide adequate bracing and shoring to ensure the structural stability of the premises.
- 2.3 The Contractor must conduct their activities so as not to endanger any individual. Contractors shall comply with all applicable OSHA codes.
- 2.4 All Contractors shall be equipped with safety equipment including gloves, eye protection or other specialized equipment required for the work being performed.
- 2.5 The Contractor shall maintain work areas and access ways thereto safe against intrusion of unauthorized persons. The Contractor shall be responsible for keeping unauthorized persons out of the work area and for protecting the safety and security of the Owners and general public.
- 2.6 The Contractor shall be required to protect from falling debris all persons and property in areas beneath and adjoining the work area.
- 2.7 Work which necessitates the use of chemicals or equipment that produces noxious fumes or excessive noise, will be allowed during normal business hours. Should such work be required, arrangements shall be made with the Owner. The Owner reserves the right to stop any work, which causes excessive disturbances.

- 2.8 Separate access to the affected areas shall be provided by the Contractor and shall be made safe and non-accessible during non-working hours. Construction-related traffic shall be permitted as designated by the Owner.
- 3.0 Storage
- 3.1 No flammable, toxic or hazardous materials or supplies shall be allowed in the Building unless specifically approved by the Owner. Storage of such materials is to be in a manner and location designated by the Property Owner.
- 3.2 Material Safety Data Statements covering safety information, contents and antidotes will be filed with the Property Owner for all materials used in the Building.
- 3.3 Contractor materials are not to be stored in any public or occupied areas. Owner is not responsible for the theft or damage of construction equipment or materials stored in the building.
- 3.4 All building materials stored at the construction area and/or in any area of the building are to be secured in a locked area. Access to such areas to be controlled by Owner and/or Contractor.
- 4.0 Deliveries
- 5.0 Sprinklers and Fire Alarms
- 5.1 No work is to be done which affects any aspect of the Buildings sprinkler or fire alarm system without prior approval of the Property Owner. Alarm panels must be returned to full operation by the end of the day.
- 5.2 There must be one (1) fire extinguisher for every seventy-five feet (75'-0") on the job at all times. ABC type all-purpose extinguishers shall be used.
- 5.3 All required permits, a Fire Watch (by persons caring of Qualification and Fitness) and protective blankets are required for all burning and welding.
- 6.0 Trash Removal
- 6.1 Construction debris and all trash shall be removed from the work area daily and placed in a legal container arranged for by the Contractor. Contractor is responsible for general area of where debris is disposed of (ie where trash drops or is blown from the container).
- 7.0 Damage
- 7.2 The Contractor shall assume responsibility to protect all materials from loss or damage at no cost to the Owner, until they are finally incorporated into the work and accepted, whether or not the Owner has paid them for.
- 8.0 Disconnecting Equipment, Utilities

Required Notes from Town:

- All work must conform to the satisfaction of the building inspector.
- The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.
 - "As-Built" drawings of the site improvements shall be submitted to the Village Engineer for the review prior to obtaining Certificate of Occupancy.
 - Infiltration system access ports shall be shown on the "As-Built".
 - The infiltration system must not be connected until construction is complete and the site is stabilized. A note, stating as much, should be added to the plans.
 - Cut/Fill material shall not be imported to or exported from the site.
 - Fill material imported to the site shall be certified in writing by a New York Licensed Professional Engineer as clean, non contaminated fill suitable for the intended use.
 - Before the plan site is signed by the chairman of the planning board, the applicant shall be required to post a performance bond or other type of acceptable monetary guarantee wicch shall be in the amount determined by the Planning Borad and the Village Engineer and in a form satisfactory to the Village Attorney.

ZONING TABLE				
PROPERTY LOCATION: 11 MYRTLE AVENUE, DOBBS FERRY N.Y. BLOCK:17 LOT:11 TAX ID NO 3.50-17-11				
OWNER: NATHAN MUNITS				
ZONING DISTRICT OF-2 ONE FAMILY RESIDENCE				
REQUIREMENT	UNITS	REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT SIZE	S.F.	20,000	29,245 SF.	29,245 SF.
MINIMUM LOT WIDTH	FT.	125	107.4	107.4
MINIMUM LOT DEPTH	FT.	125	240.75	240.75
MAXIMUM BUILDING COVERAGE	%	18	9.2	10.5
MAX. IMPERVIOUS COVEGARE	%	40	42.1	45.5
MINIMUM YARDS				
FRONT YARD SETBACK	FT.	30	107.4	107.6
SIDE YARD SETBACK (EACH)	FT.	20	19.8	19.8
SIDE YARD SETBACK (BOTH)	FT.	50	46.8	46.4
REAR YARD SETBACK	FT.	25	63.3	63.3
STORIES	#	2 ½	2	2
MAXIMUM HEIGHT	FT.	35	21'-4"	22'-2"
OFF STREET PARKING	#	2	2	2

TABLE OF CONTENTS

T-001	Title page
ST-001	Existing Site Plan & Pictures
ST-002	Survey
C-1	Existing Conditions
C-2	Stormwater Management Plan
C-3	Stormwater Management Plan - Details
WSP	Watershed Maps
LCP	Lot Coverage Plan
ST-003	Proposed Site Plan
T-003	Existing Conditions
A-001	Basement Construction Plan
A-002	1s Floor Construction Plan
A-003	Roof Construction Plan
A-004	Elevations
A-005	Elevations
A-006	Sections
A-007	Perspectives

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 10/03/2016)													
Location: Village of Dobbs Ferry Zip Code: 10522													
Ground Snow Load	Wind Design				Seismic Design Category (RCRY Only)	Subject to Damage From			Climate Zone	Ice Barrier Underlayment Req'd	Flood Hazards	Air Freezing Index	Mean Annual Temp
	Speed (mph)	Topo Effects	Special Wind Region	Wind-borne Debris Zone		Weathering	Frost Line Depth	Termites					
30	*Special Wind Region	NO	NO	NO	C	Severe	42"	Moderat e to Heavy	4A	YES	**FIRM COMMUNITY - PANEL MAP# 36170C0001P EFFECTIVE DATE: 9-28-2007	2000	51.6

*115 MPH to 120 MPH. The specialist wind region should serve as warning to design professionals is evaluating wind loading conditions. Wind speed higher than the derived values taken from Section 1609 of the IRC and Figure R301.2(4)A of the IRC are likely to occur and should be consider in the design.
*State if applicable. For Flood Hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the FEMA we site <http://floodmap.floodsimpler.com/>

2.Construction Sequences

Phase 1 - 3 weeks.

General Site Work, Silt Fence, Tree Protection, Tree removal, Excavation, Utility Connections, Locate Concrete Footings and Foundation Preparation.

Phase 1.2 - 4 weeks

Concrete Foundation, Underground plumbing,

Phase1.3 - 3 weeks

Basement Concrete Slab, Backfilling foundation, Site Grading, Soil Retention, Site Drainage.

Phase 2 - 16 Weeks

Rough Framing, Structural Steel work, Wood Framing, Sub-floors, Sub-Roof, Sheathing, Air Barrier.

Phase 2.1 - 8 Weeks

Roofing, Installing Windows, Installing Siding and Exterior Finishes, Interior Framing and Stairs

Phase 2.2 - 12 Weeks

All rough in Mechanical, Electrical, and Plumbing. Modifying Framing as required, prepare to accommodate finishes etc.

Phase 3 - 12 Weeks

Install Sheetrock, Tape and Prime, Tile and Stone Finishes, Bathroom and Kitchen Waterproofing, Wood Flooring, Decking etc.

Phase 4 - 12 Weeks

Install Millwork, Cabinets, Closets, Doors, Hardware, Appliances, Final Paint and Accessories

Phase 4.1 - 6 Weeks

Final Landscaping, Hardscape, Plantings, Clean Up, Close Out, C of O. Punch List.

*Case Development Projects that this project will take approximately 15 Months in total construction time and there will be some overlap between the phases. We are hoping to begin upon approval from the Village in the early spring 2017.

3.Maintenance Guidelines For Cultec Stormwater System

The following guidelines shall be adhered to for the operation and maintenance of the CULTEC stormwater management system:

- a. The owner shall keep a maintenance log which shall include details of any events which would have an effect on the system's operational capacity.
- b. The operation and maintenance procedure shall be reviewed periodically and changed to meet site conditions.
- c. Maintenance of the stormwater management system shall be performed by qualified workers and shall follow applicable occupational health and safety requirements.
- d. Debris removed from the stormwater management system shall be disposed of in accordance with applicable laws and regulations.

4. Suggested Maintenance Schedules

a. Minor Maintenance

The following suggested schedule shall be followed for routine maintenance during the regular operation of the stormwater system:

Frequency Action Monthly in first year Check inlets and outlets for clogging and remove any debris as required.

Spring and Fall Check inlets and outlets for clogging and remove any debris as required.

One year after commissioning and every third year following

Check inlets and outlets for clogging and remove any debris as required.

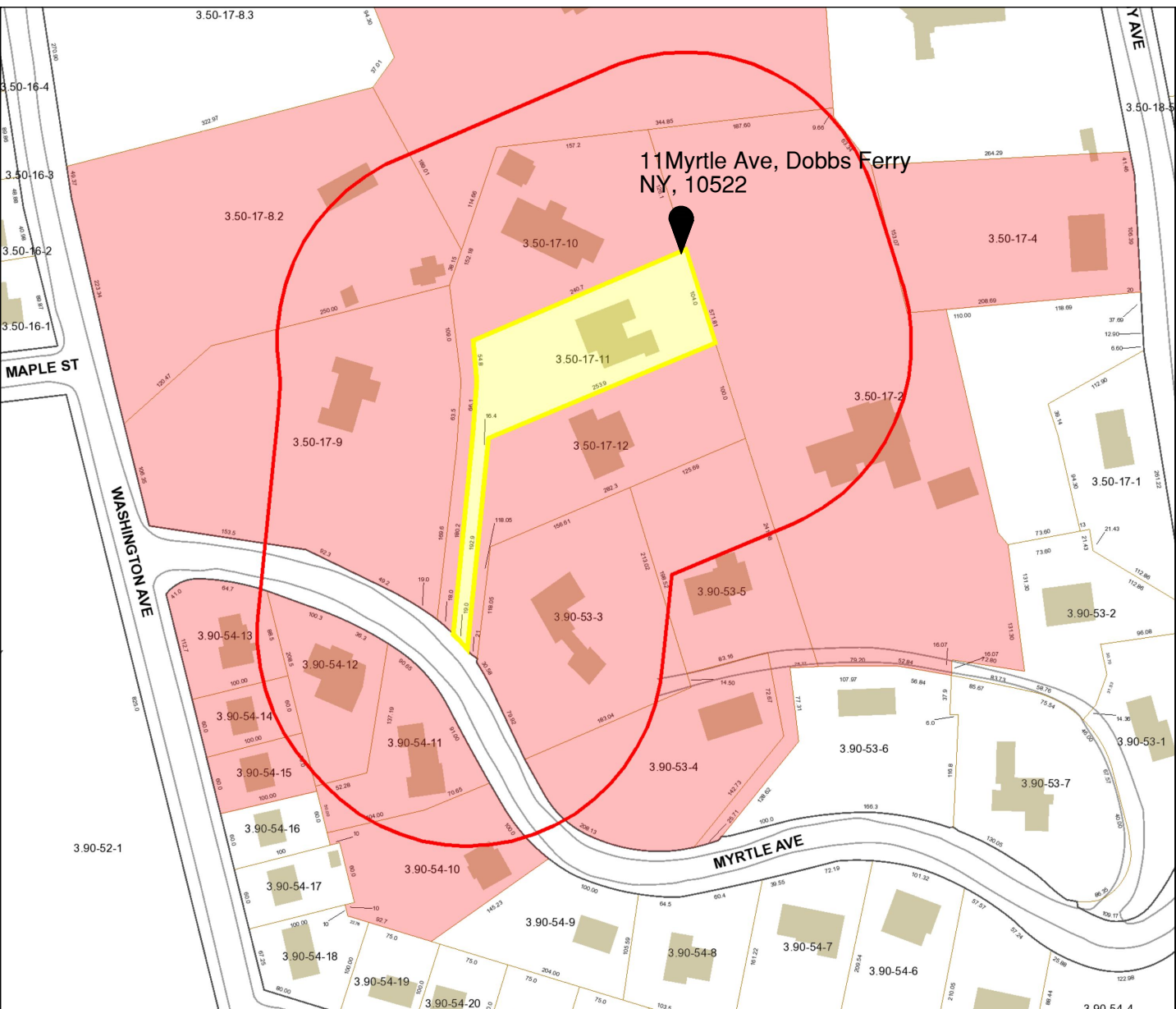
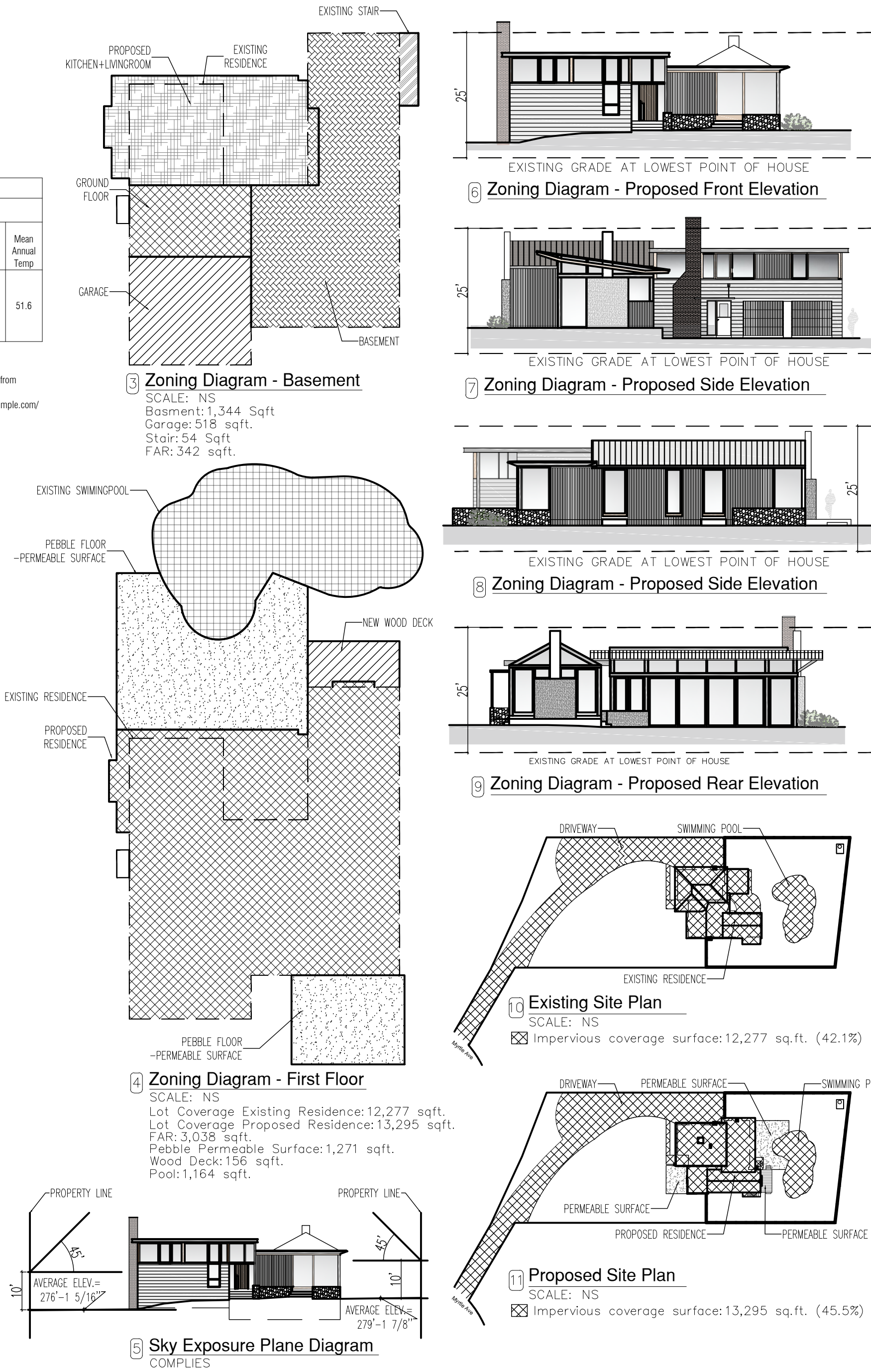
b. Major Maintenance

The following suggested maintenance schedule shall be followed to maintain the performance of the CULTEC stormwater management chambers. Additional work may be necessary due to insuffi cient performance and other issues that might be found during the inspection of the stormwater management chambers.



13 Rendering of Proposed Front

Do Not Scale See - Dimensions



13 Land Parcel and Surrounds from above

Do Not Scale See - Dimensions

Project Architect:

GSA
GREGORY SHARP ARCHITECT, PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc

145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

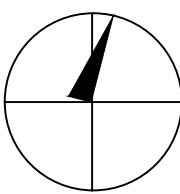
PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- | | |
|--|-----------------------|
| | Interior Elevation |
| | See Detail |
| | Elevation |
| | Section Cut |
| | Window Number |
| | Coordination Tag |
| | Door Number |
| | Wall Type |
| | 0.0' Elevation Target |
| | Revision |

North Arrow:



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

1-14-2020

D.O.B. No. -

A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:

THE MUNITS RESIDENCE
11 MYRTLE AVENUE
DOBBS FERRY, NY 10522

TITLE PAGE

SEAL AND SIGNATURE:



DATE: 1/14/2021

PROJECT No: MUNITS 2021

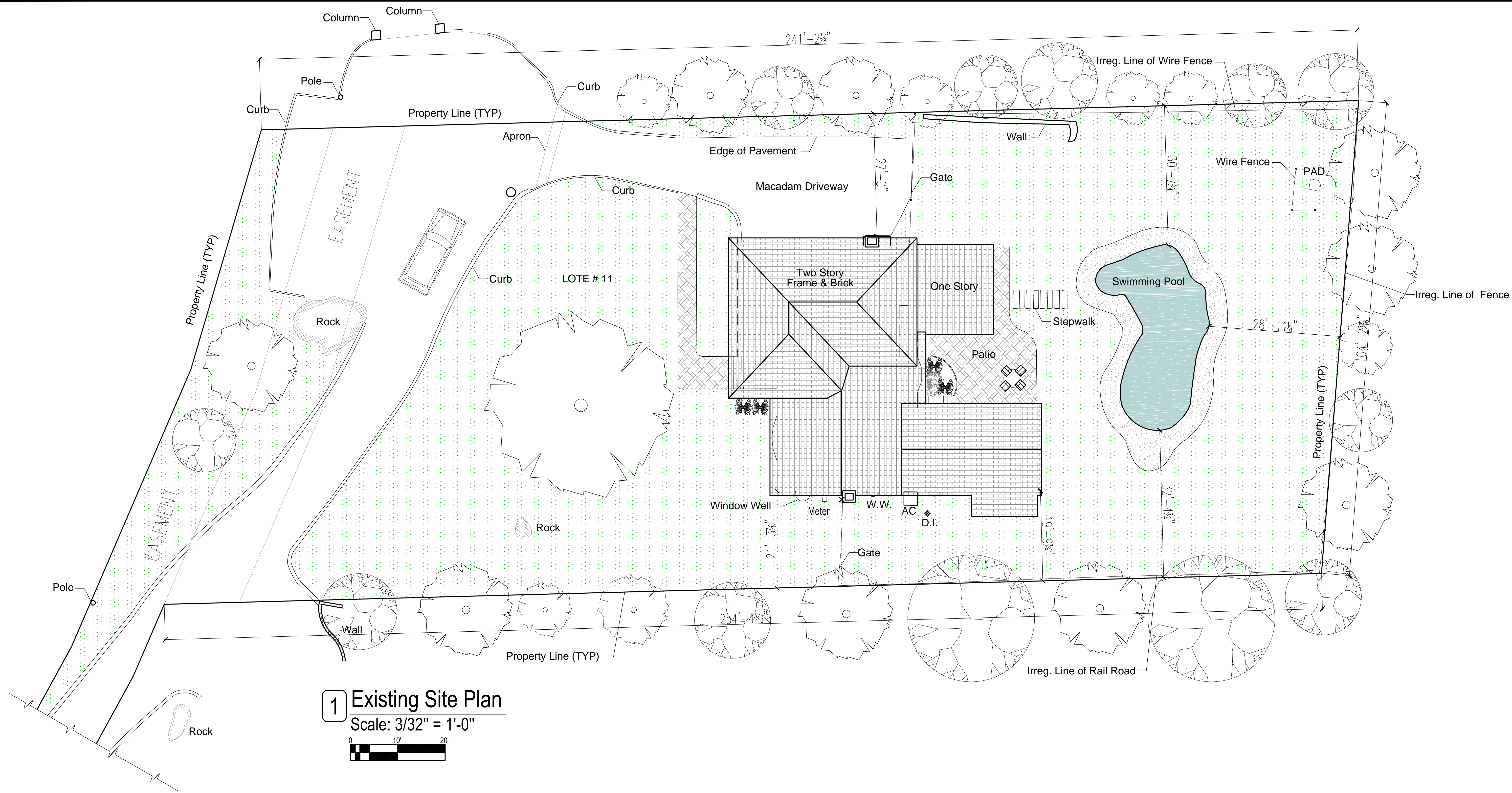
DRAWING BY: GS

CHECK BY:

DWG No: T-001.00

CADD No:

BSCAN:



2 Existing Pictures of the House

Project Architect:

GS
 GREGORY SHARP ARCHITECT, P.C.
 145 PALISADE STREET, SUITE 211
 DOBBS FERRY
 DIRECT 917 597 1982
 INFO@CASEDEVELOPMENT.COM
 OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
 145 PALISADE STREET, SUITE 211
 DOBBS FERRY, NY 10522
 WWW.CASEDEVELOPMENT.COM
 DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

ARBORIST

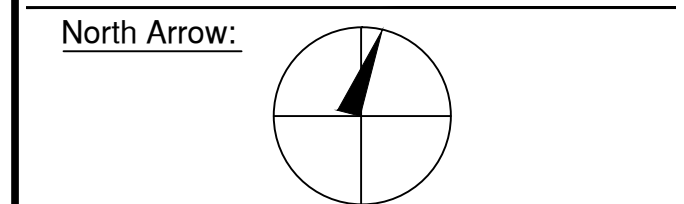
STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- Interior Elevation
- See Detail
- Elevation
- Section Cut
- Window Number
- Coordination Tag
- Door Number
- Wall Type
- 0.0' Elevation Target
- Revision



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE
 ISSUED FOR PRE-FILE
 ISSUED FOR PERMIT

1-14-2020

D.O.B. No. -

A Remodelation House located in
 Dobbs Ferry, NY developed by:
 The Munits Residence

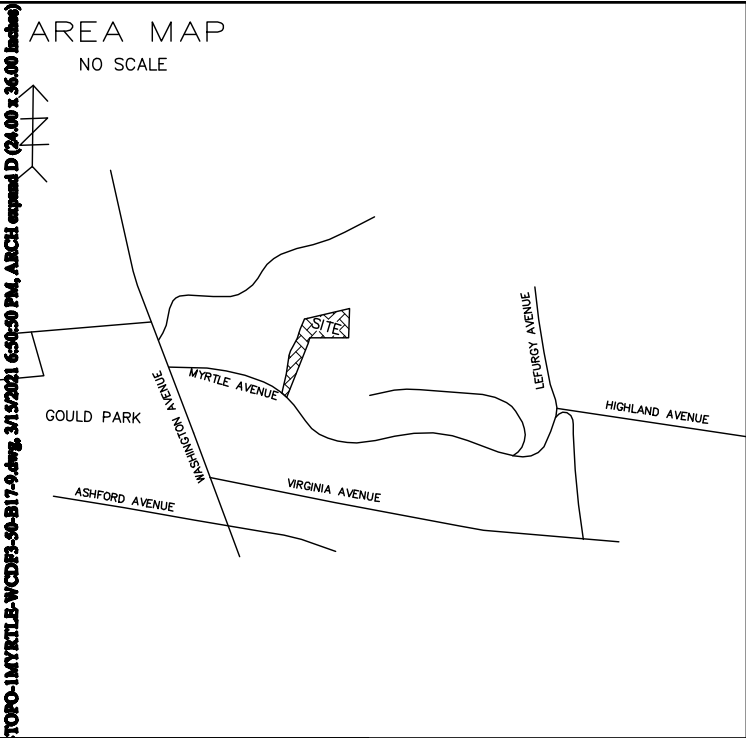
PROJECT:
THE MUNITS RESIDENCE
 11 MYRTLE AVENUE,
 DOBBS FERRY, NY 10522

EXISTING SITE PLAN

SEAL AND SIGNATURE:
 REGISTERED ARCHITECT
 GREGORY SHARP
 STATE OF NEW YORK

DATE: 1/14/2021
 PROJECT No: MUNITS 2021
 DRAWING BY: GS
 CHK BY:
 DWG No:
ST-001.00
 CADD No:

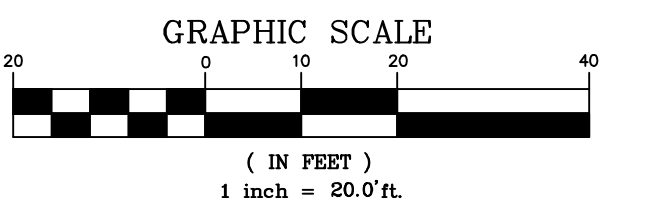
BSCAN:



- LEGENDS AND ABBREVIATIONS
- 67.32 EXISTING ELEVATION
 - TREE
 - DRAINAGE INLET
 - LIGHT POLE
 - HYDRANT
 - CONCRETE RET'N WALL
 - BUILDING
 - CONCRETE CURB
 - TOP CURB
 - BOTTOM CURB
 - TOP WALL
 - BOTTOM WALL
 - DROP CURB
 - UTILITY POLE
 - LIGHT
 - HYDRANT
 - LIGHT POLE
 - WATER VALVE
 - TRAFFIC SIGN
 - GAS VALVE
 - DRAINAGE INLET
 - CATCH BASIN
 - SEWER MANHOLE
 - ELECTRIC MANHOLE
 - WATER MANHOLE
 - WATER MAIN
 - SEWER
 - ELECTRIC LINE
 - GAS LINE
 - OVER HEAD WIRES
 - (C.L.F.)
 - TC TOP OF CURB
 - BC BOTTOM OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - LEGAL GRADE
 - (W.I.F.)
 - UMH= UTILITY MANHOLE

REVISIONS		
DATE	DESC.	BY

- ELEVATIONS SHOWN HEREON GENERALLY ALIGNED WITH NAVD 88 VERTICAL DATUM.
- THE INFORMATION GIVEN ON THIS SURVEY PERTAINING TO UTILITIES AND OR SUBSTRUCTURES IS NOT CERTIFIED TO ACCURACY OR COMPLETENESS.
- NO SEWER MANHOLE FOUND IN THE ROADWAY.
- GAS AND ELECTRIC INFORMATION SHOWN HEREON TAKEN FROM THE FIELD MARKINGS
- CONSULT THE APPROPRIATE UTILITY COMPANY PRIOR TO DESIGNING IMPROVEMENTS.



area = 29,245 Sq Ft 0.67 Ac.
TAX LOT 11 AREA= ±2,245 Sq Ft OR ±0.67 Ac.

- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.
- CODE 753 (UTILITY MARKINGS), NO UTILITY MARKINGS WERE FOUND ON THE DAY OF FIELD TRIP.
- CALL BEFORE YOU DIG:
PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION CALL 1800-272-4480.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS A VIOLATION OF 7209, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED SEAL OR EMBOSSED SEAL NOT BE CONSIDERED TO BE A TRUE AND VALID COPY.

BELOW SURFACE ENCROACHMENTS ARE NOT SHOWN. THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN HEREON, ARE NOT CERTIFIED.

A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED, A DEED OF THE SUBJECT PROPERTY WAS NOT PROVIDED.

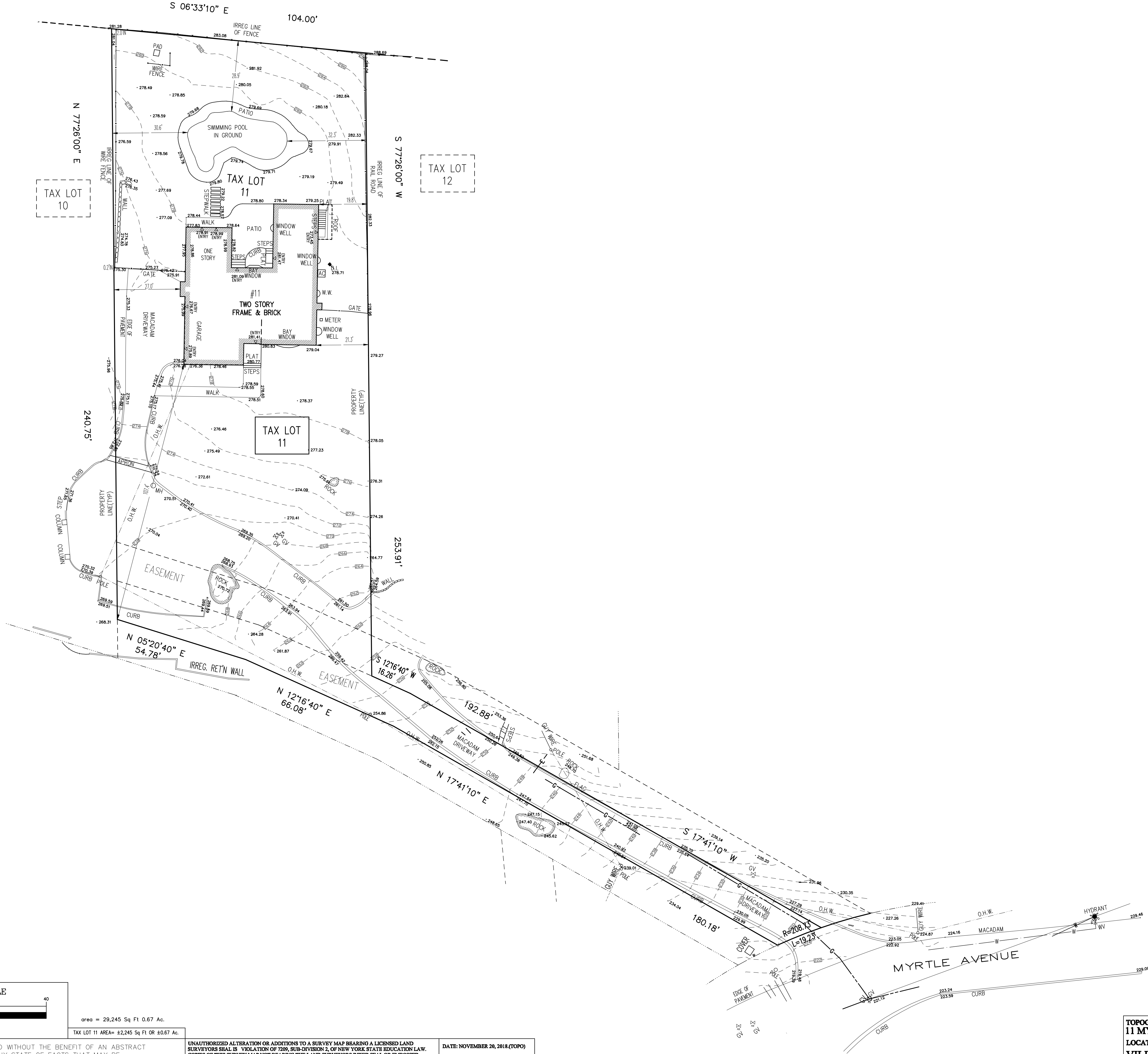
Certifications indicated are limited only to the person for whom this survey was prepared and on his or her behalf to the title company, governmental agency and lending institution for the title number listed hereon. The certifications are not transferable.

Certified To: Not for Title Transfer.

DATE: NOVEMBER 20, 2018(TOPO)

SCALE: 1"= 20.0'
Measurement in U.S. Standard.

JOB NUMBER
WCDF3-50-B17-9(TOPO).



TOPOGRAPHICAL SURVEY OF
11 MYRTLE AVENUE
LOCATED AT
VILLAGE OF DOBBS FERRY
TOWN OF GREENBURGH
WESTCHESTER COUNTY NEW YORK.

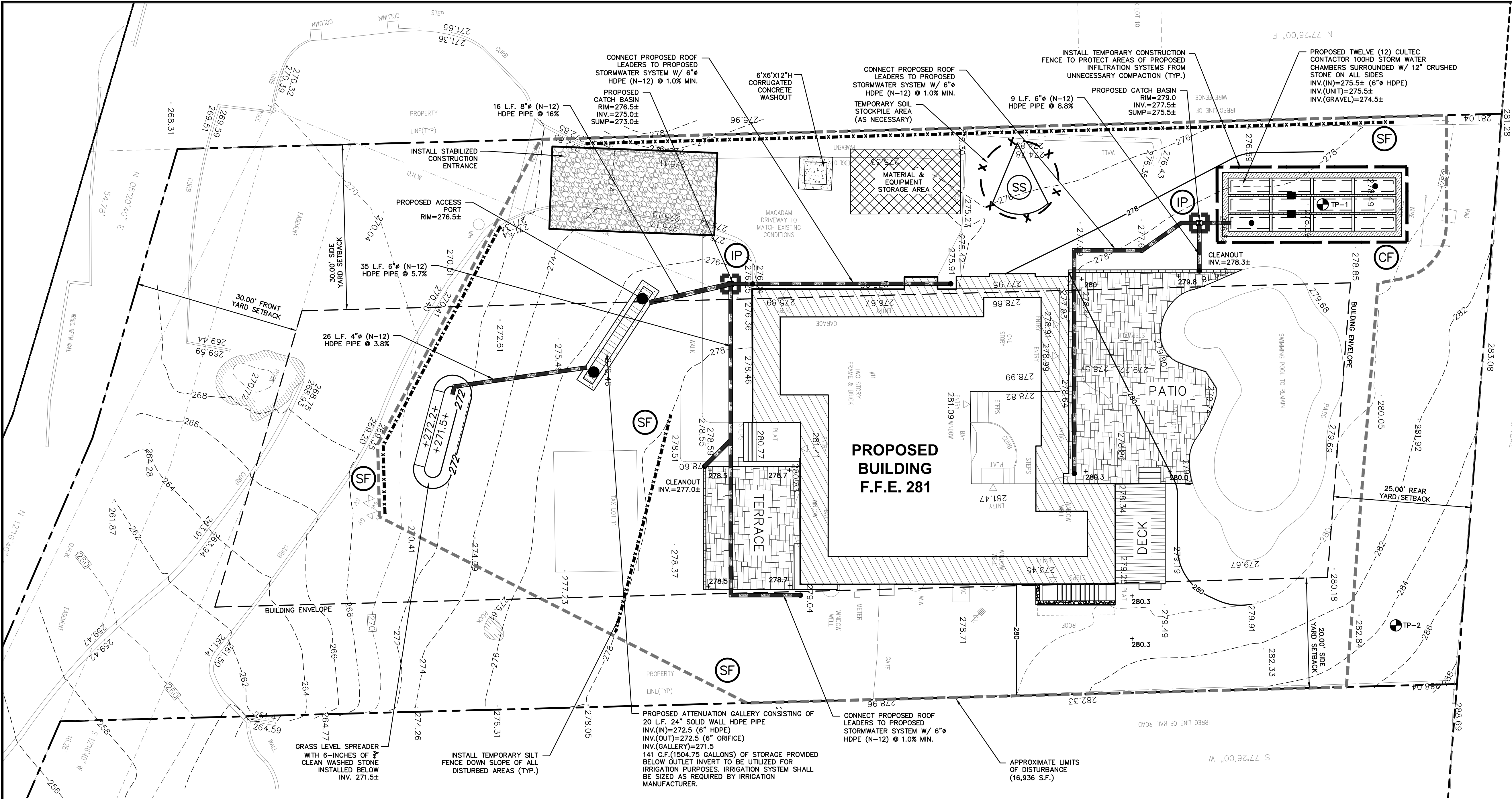
PARCEL ID: 3.50-17-11

COPYRIGHT ©2021 SUMMITT LAND SURVEYING P.C.

Summitt Land Surveying P.C.
21 Drake Lane
White Plains NY 10607
Tel. 914-297758

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Detail Requirements for the New York State Association of Land Surveyors."

Rakesh R. Behal, L.S. New York State License Number 050666.



LEGEND

PROPERTY LINE	---
PROPOSED WALKWAY/PATIO	[Pattern]
PROPOSED STONE MASONRY WALL	[Pattern]
PROPOSED CONTOUR	526
PROPOSED SPOT GRADE	+526.25
PROPOSED STORM PIPE	[Symbol]
PROPOSED DRAIN INLET	[Symbol]
PROPOSED CHANNEL DRAIN	[Symbol]
PROPOSED TRENCH DRAIN	[Symbol]
TEMPORARY INLET PROTECTION	[Symbol]
TEMPORARY SILT FENCE	[Symbol]
TEMPORARY CONSTRUCTION FENCE	[Symbol]
TEMPORARY SOIL STOCKPILE AREA	[Symbol]
STABILIZED CONSTRUCTION ENTRANCE	[Symbol]
TEST PIT LOCATION	[Symbol]
PROPOSED LIMIT OF DISTURBANCE	---

Zoning Table				
Section:	3.5	District: OF2		
Block:	17	(One-Family Residence)		
Lot	11	Required Existing	Proposed	
Regulation				
Lot size (s.f.)	20,000	29,245	29,245	
Min. Lot Width (ft.)	125	107.4	107.4	
Min. Lot Depth (ft.)	125	240.75	240.75	
Min. Yards				
Front (ft.)	30	107.4	107.6	
Side 1 (ft.)	20	19.8*	19.8*	
Side Both (ft.)	50	46.8*	46.4*	
Rear (ft.)	25	63.3	63.3	
Max Building Coverage (%)	18%	9.2%	10.5%	
Max. Impervious Coverage (%)	40%	42.1%*	45.5%**	

Existing Non-conforming*
Variant required **

INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY
MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT. INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY - FINAL GRADING
REMOVE UNNEEDED SUBGRADE FROM SITE. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEED. HAND RAKE LEVEL. BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL LANDSCAPING

GRASS ESTABLISHED.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL INSPECTION

ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

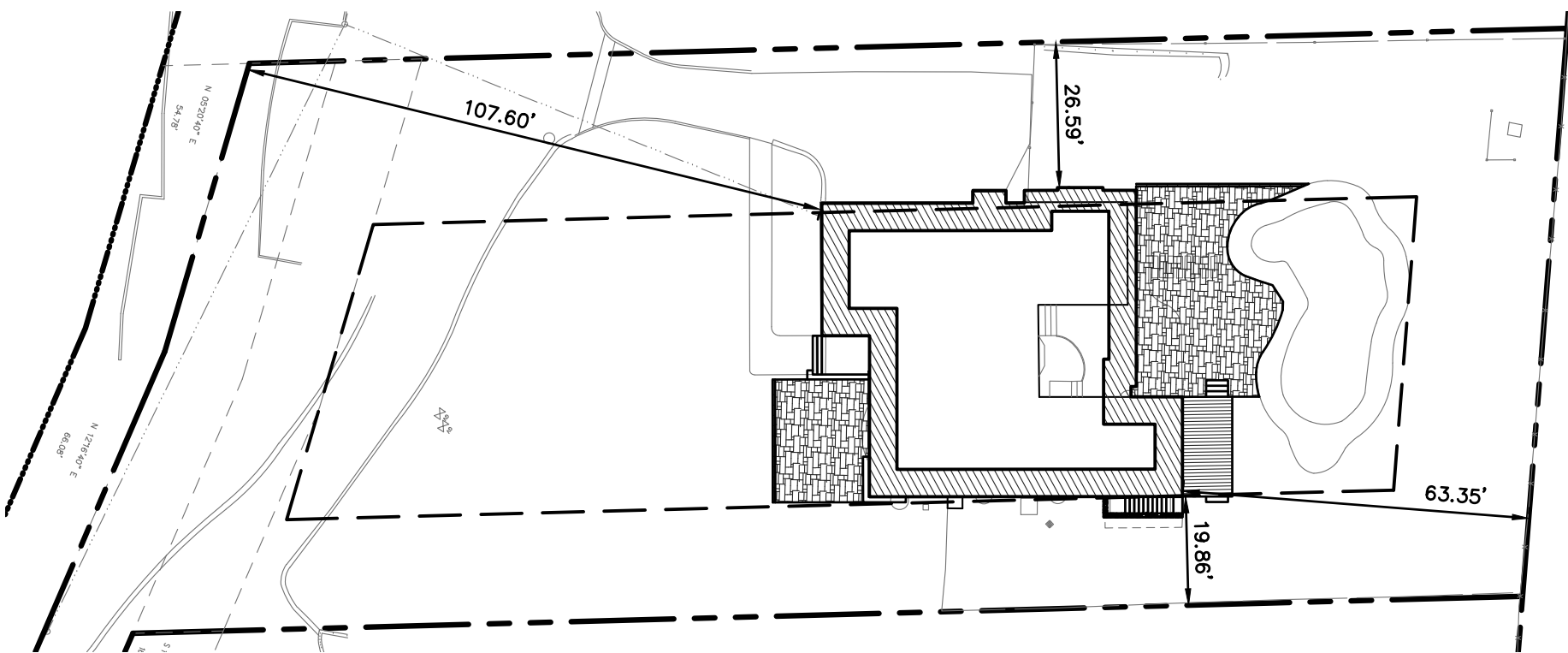
GENERAL NOTES:

- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
- NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CHAPTER 987.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO ACO, AISC, ZONING, AND THE NEW YORK STATE BUILDING CODE.
- ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
- ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.
- THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES.
- FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE.
- ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
- OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED TO PERFORM THE WORK SHALL BE ENDORSED TO NAME HUDSON ENGINEERING & CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL STIPULATE THAT THIS INSURANCE IS PRIMARY, AND THAT ANY OTHER INSURANCE OR SELF-INSURANCE MAINTAINED BY HUDSON ENGINEERING & CONSULTING, P.C., SHALL BE EXCESS ONLY AND SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE. ISO ADDITIONAL INSURED ENDORSEMENT FORM NUMBER CO2010 1185 UNDER GL. COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
- INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

TEST HOLE DATA:

TEST HOLE #1
DEPTH - 75"
0-6" TOPSOIL
6-75" LOOSELY COMPACTED BROWN SANDY LOAM
NO GROUNDWATER
LEDGE ROCK AT 75"
PERC. = 8.99 INCHES/HOUR
(DESIGN = 8 INCHES/HOUR)

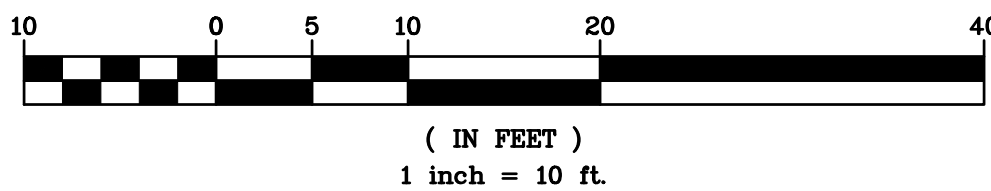
TEST HOLE #2
DEPTH - 41"
0-6" TOPSOIL
6-41" LOOSELY COMPACTED BROWN SANDY LOAM WITH ROCKS
NO GROUNDWATER
LEDGE ROCK AT 41"



BUILDING SETBACK

11 MYRTLE AVENUE STORMWATER MANAGEMENT PLAN BASED UPON EXISTING INFORMATION PROVIDED BY SUMMIT LAND SURVEYING P.C., NOVEMBER 20, 2018

GRAPHIC SCALE

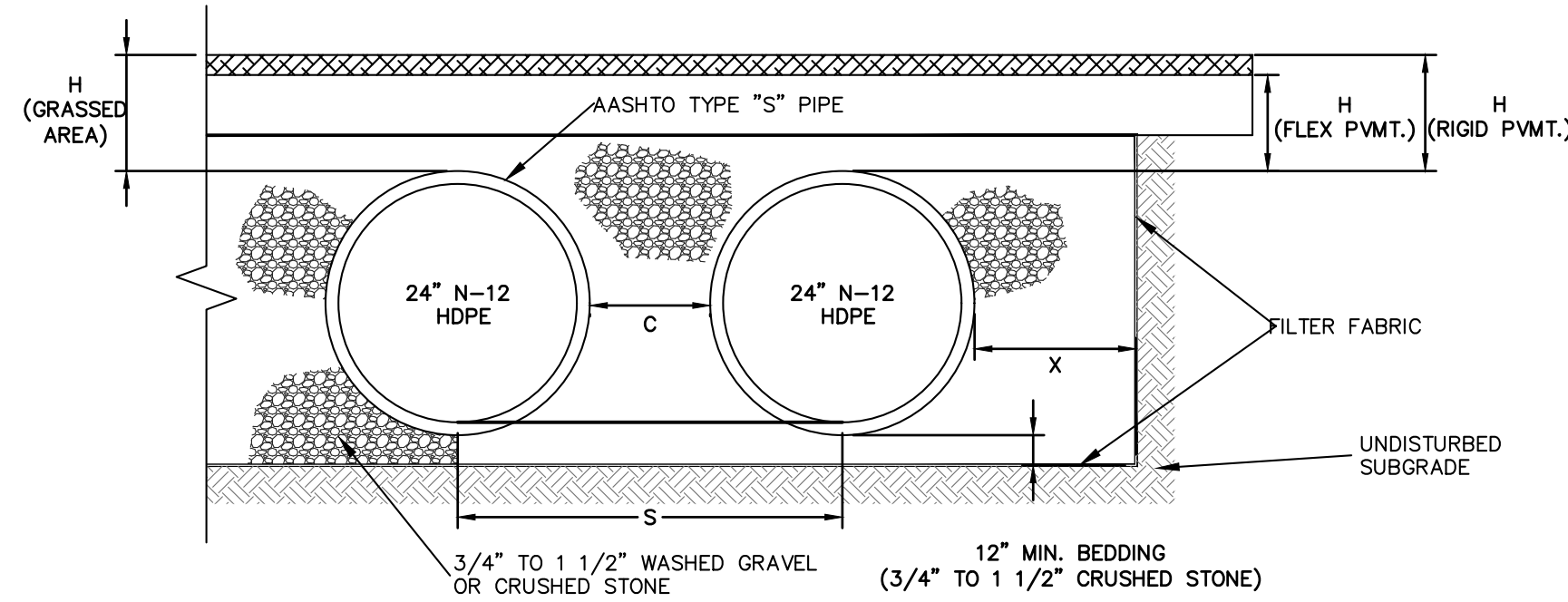


No.	Description	Revisions	Date	PROJECT:
				PROPOSED SINGLE FAMILY DWELLING 11 MYRTLE AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY - NEW YORK
				STORMWATER MANAGEMENT PLAN
				HUDSON ENGINEERING CONSULTING, P.C. 45 Knollwood Road, Suite 201 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086 © 2021
				DATE: 04/01/21 Scale: 1" = 10' Designed By: D.Y. Checked By: M.S. Sheet No. 3

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEER'S SEAL & SIGNATURE

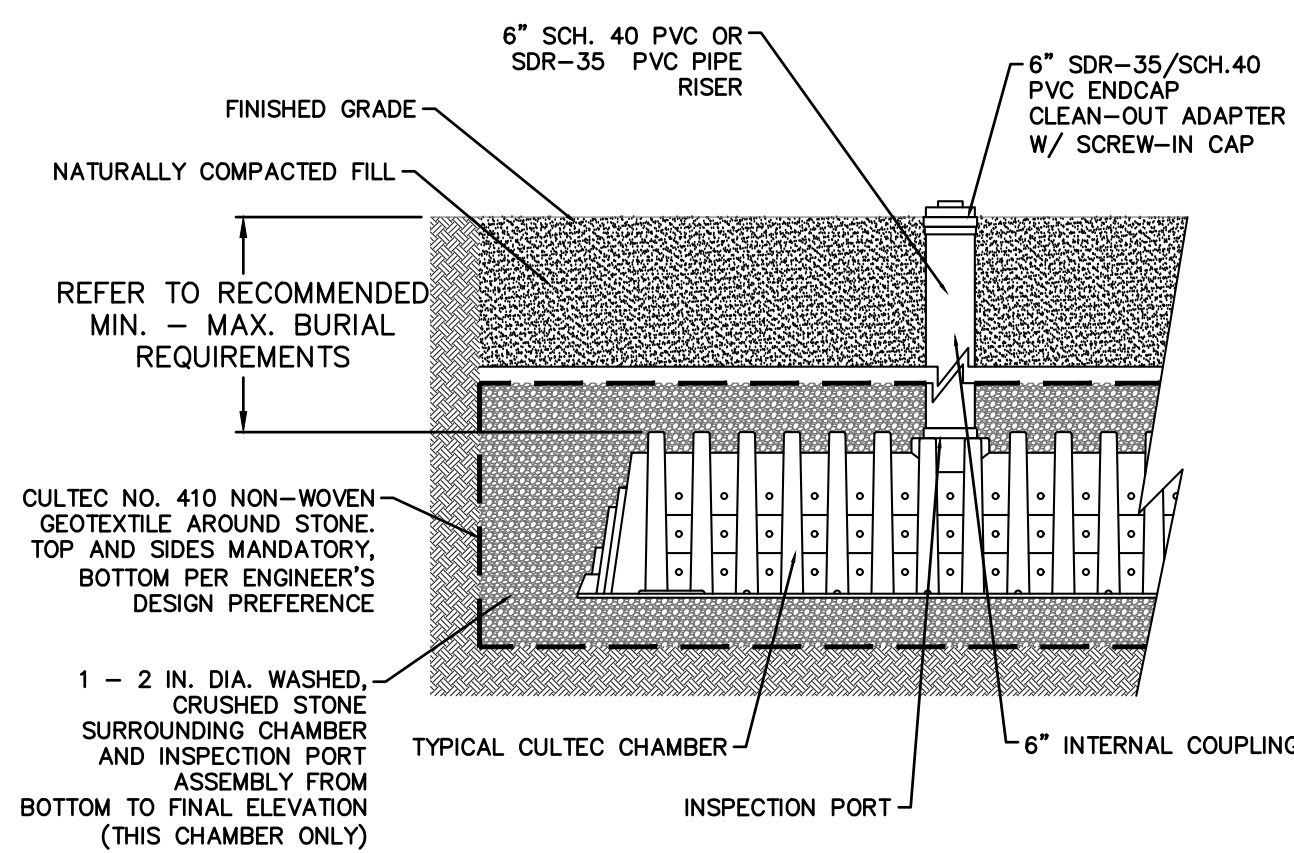
HEC

C-2

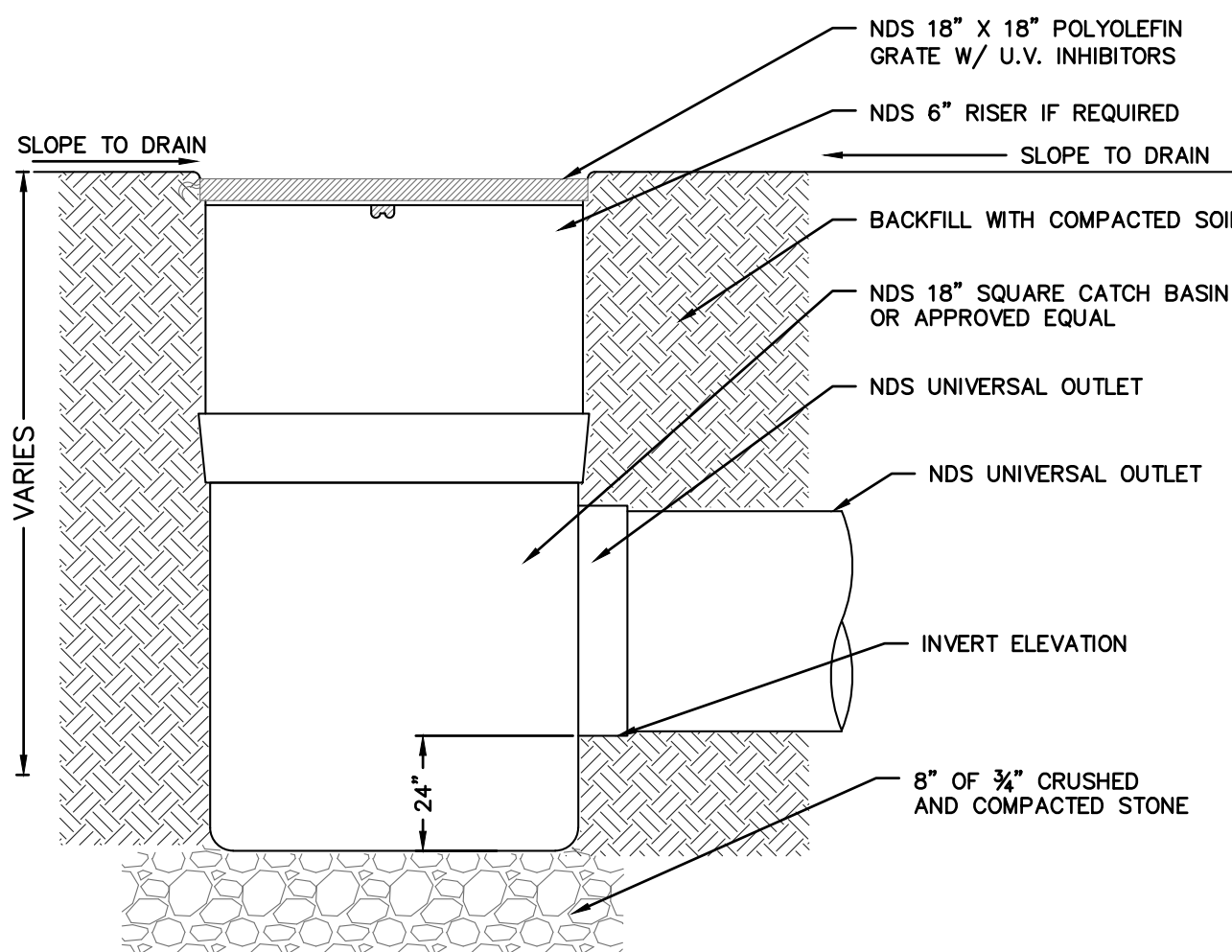


ATTENUATION GALLERY SECTION

- NOTES:**
1. ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 2. THE ATTENUATION GALLERY SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
 3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED, SEE ASTM D2321.
 4. FILTER FABRIC: A GEOTEXTILE FABRIC SHALL BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
 5. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 6. BEDDING: SUITABLE MATERIAL SHALL BE 3/4" TO 1 1/2" WASHED GRAVEL OR CRUSHED STONE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 12" MINIMUM.
 7. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE 3/4" TO 1 1/2" WASHED GRAVEL OR CRUSHED STONE. IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 8. MINIMUM COVER: MINIMUM COVER OVER ALL ATTENUATION GALLERIES IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
 9. ALL PIPE STUBS, ORIFICE PLATES, FITTINGS, BENDS, TEES, ETC. SHALL BE MANUFACTURED AT THE FACTORY.

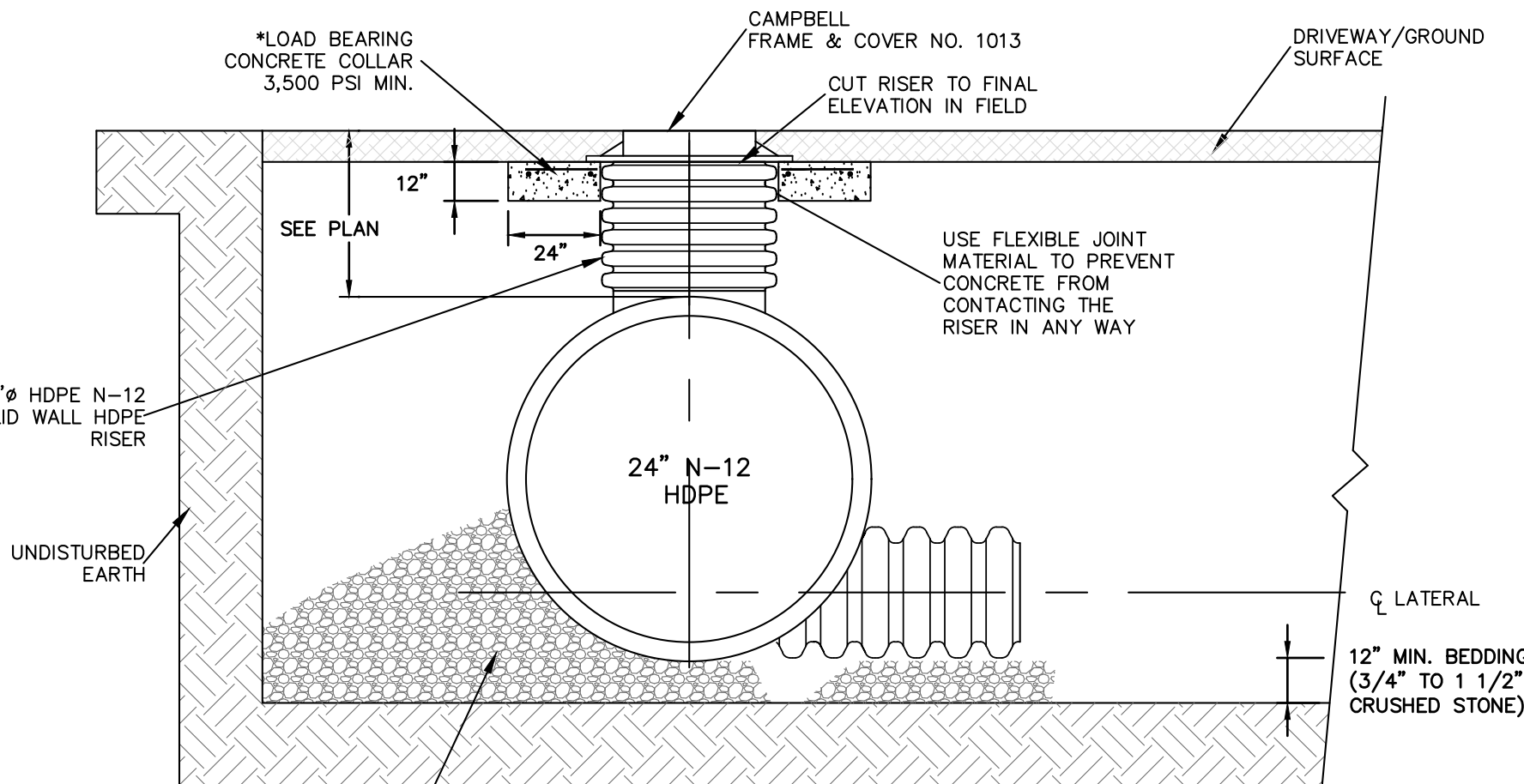


CULTEC ACCESS PORT



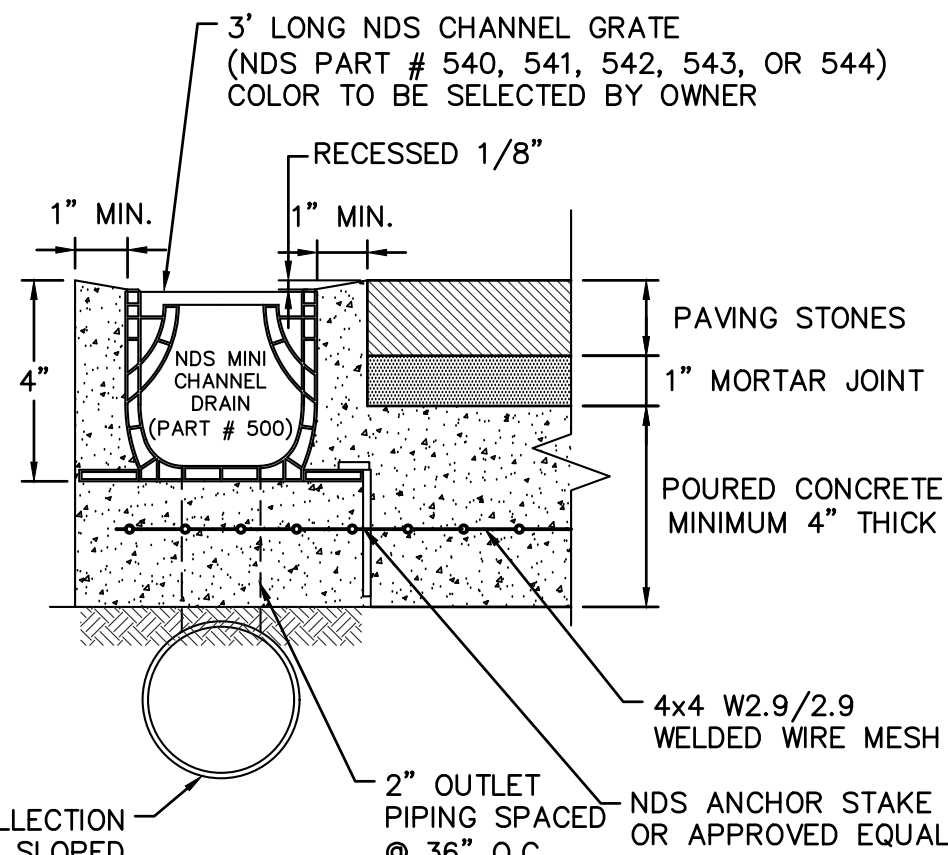
NDS SQUARE CATCH BASIN

NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "C"	TYPICAL SPACING "S"	TYPICAL SIDE WALL "X"	H (NON-TRAFFIC)	H (TRAFFIC)
12"	14.5"	11"	25.4"	8"	12"	12"
15"	18"	12"	28.9"	8"	12"	12"
18"	21"	17"	33.9"	9"	12"	12"
24"	28"	13"	40.7"	10"	12"	12"
30"	36"	18"	53.1"	18"	12"	12"
36"	42"	22"	63"	18"	12"	12"
42"	48"	24"	71.9"	18"	12"	24"
48"	54"	25"	78.5"	18"	12"	24"
60"	67"	24"	90"	18"	12"	24"

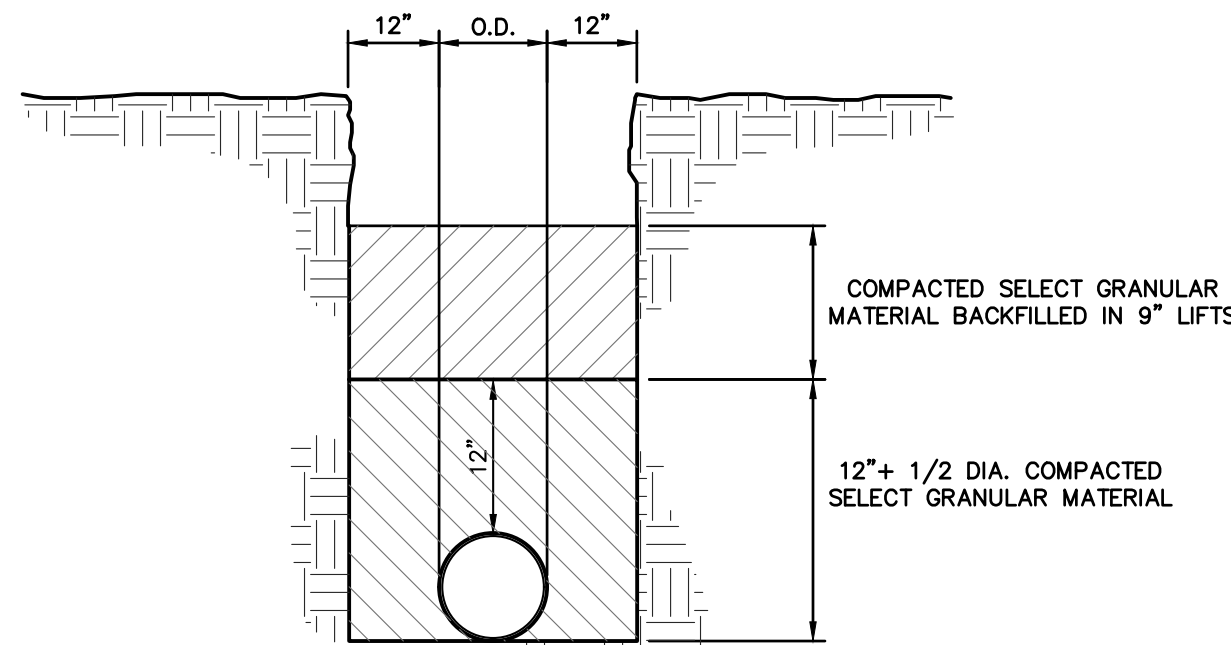


ACCESS MANHOLE STRUCTURE

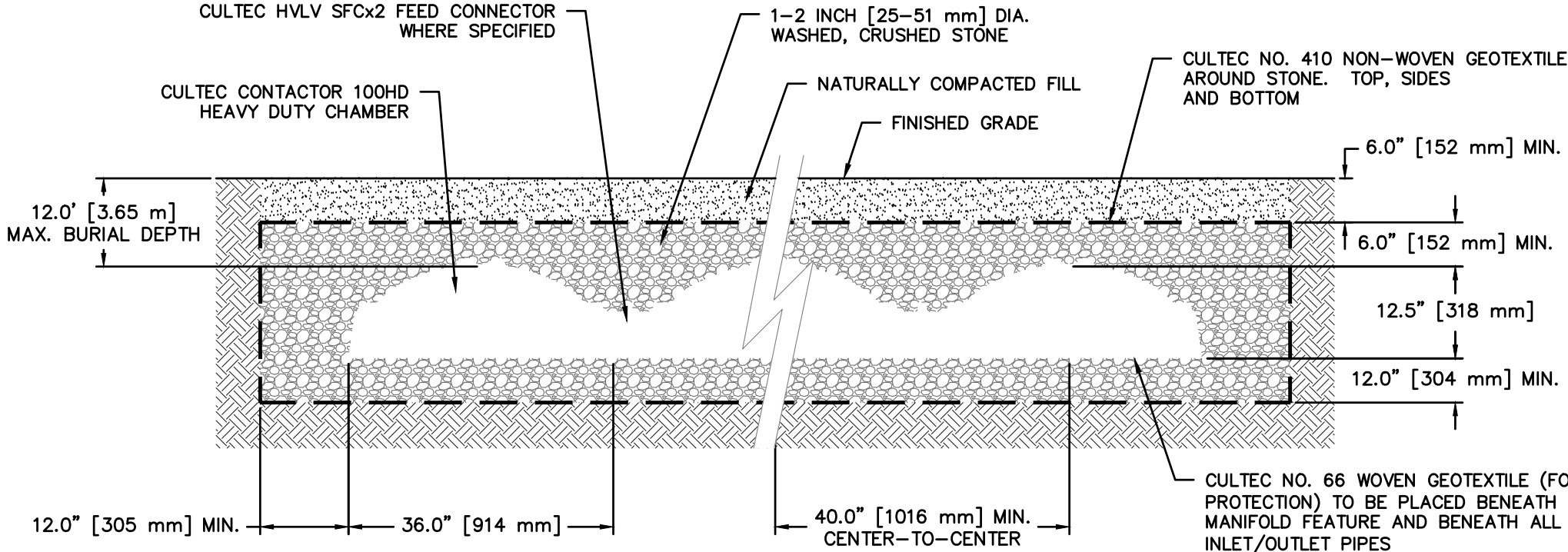
- * LOAD BEARING CONCRETE COLLAR SHALL BE CONSTRUCTED IN TRAFFIC AREAS SUCH THAT THE LIVE LOAD IS TRANSMITTED TO THE SURROUNDING SOIL AND NOT DIRECTLY TO THE RISER.



NDS MINI CHANNEL DRAIN



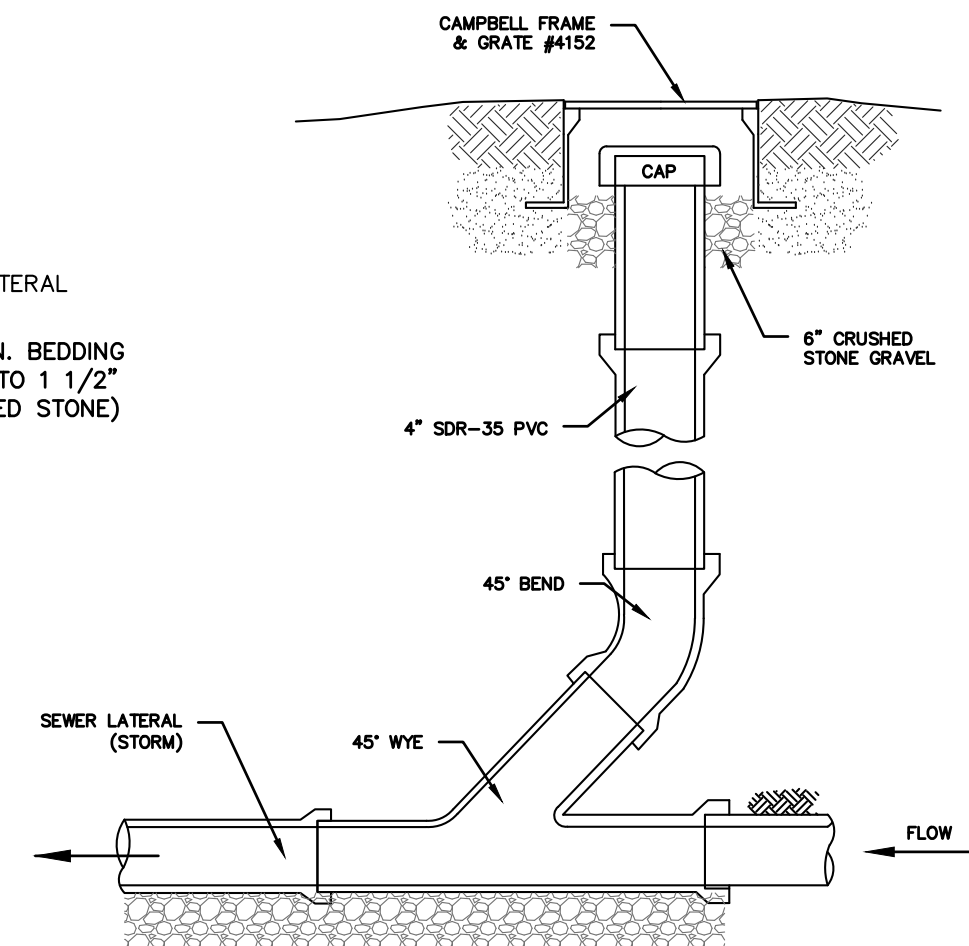
TRENCH BEDDING



- GENERAL NOTES**
- CONTACTOR 100HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 3.84 CF/FT [0.82 M³/3] PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER ON TOP OF UNIT SHALL BE 12.0' [3.66 m]. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS.

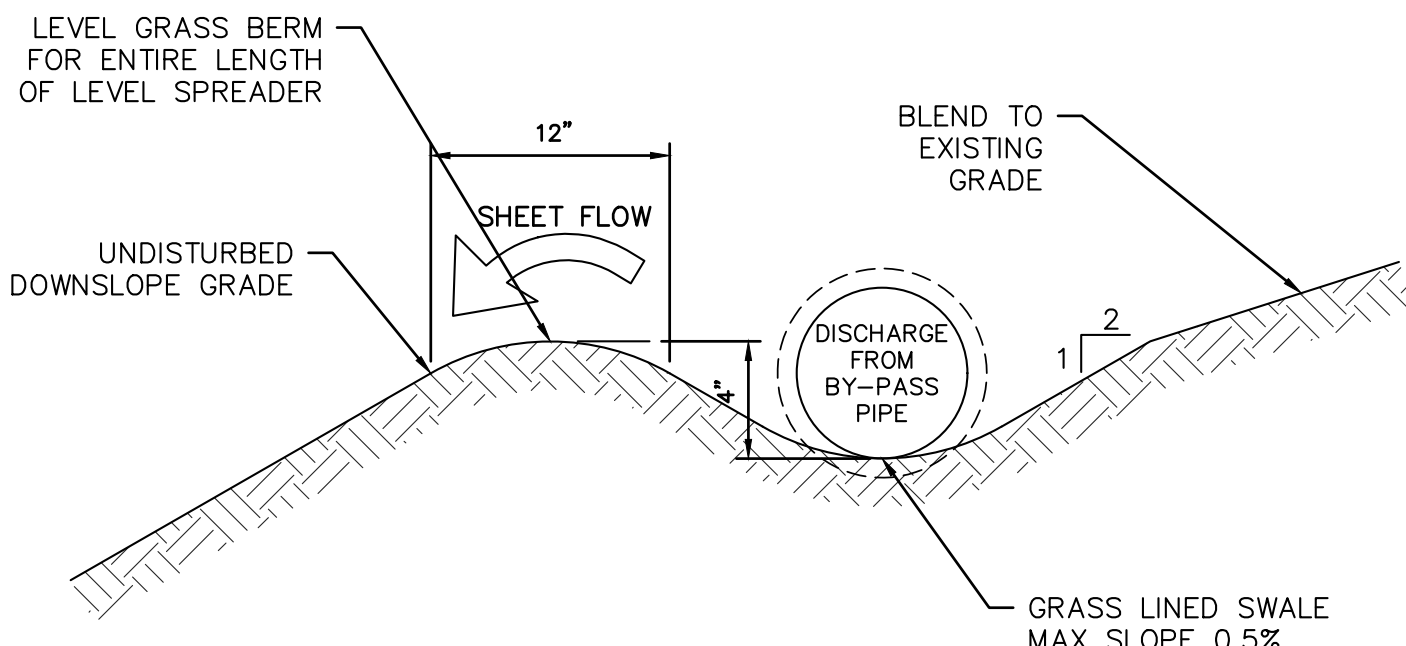
- WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS, ALL CONTACTOR 100HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL CONTACTOR 100 CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

CULTEC CONTACTOR 100HD



- NOTES (STORM SEWER):**
1. REFER TO PLAN FOR SPECIFIC PIPE SIZING AND SLOPE SPECIFICATIONS; HOWEVER, IN GENERAL, ALL STORM SEWER SERVICES TO BE 6" SCH. 40 @ 1.0% MINIMUM.
 2. CLEANOUTS SHALL BE PLACED BEFORE SIGNIFICANT PIPE BEND LOCATIONS (I.E., JUNCTIONS, 90-DEGREE BENDS, ETC.) UNLESS A ROOF LEADER DOWNSPOUT CONNECTION IS PROPOSED.

SEWER CLEANOUT DETAIL (GRAVITY)

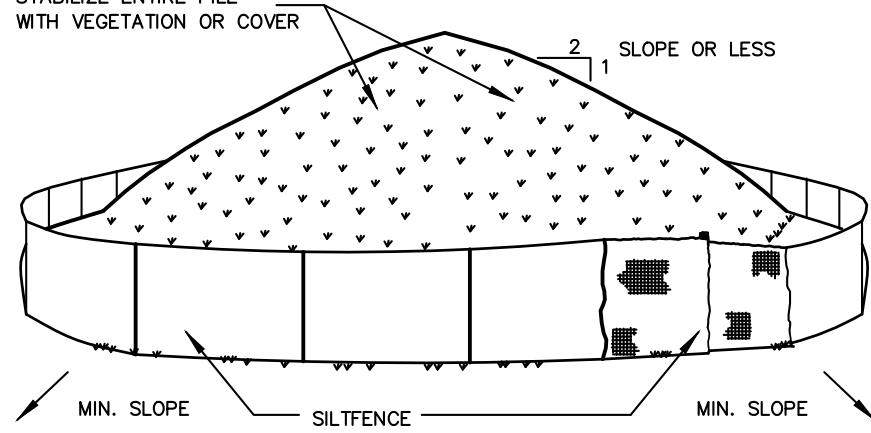


LEVEL SPREADER

- NOTES:**
1. CONCRETE WASHOUT AREA TO BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. CONCRETE WASHOUT AREA TO BE ENTIRELY SELF CONTAINED.
 2. HAY BALES SHALL BE PROVIDED AROUND THE PERIMETER OF CONCRETE WASHOUT AREA FOR CONTAINMENT.
 3. WASHOUT AREA SHALL BE LINED WITH PLASTIC SHEETING NO THINNER THAN 10 MILS. SHEETING SHALL HAVE NO HOLES OR TEARS AND SHALL BE ANCHORED BY SAND BAGS ON ALL SIDES EXCEPT ACCESS SIDE. PLASTIC LINING TO BE REPLACED WITH EACH CLEANING.
 4. SIGNS SHALL BE PROVIDED AT THE CONSTRUCTION ENTRANCE AND CONCRETE AREAS INDICATING LOCATION OF WASHOUT AREA.
 5. WASHOUT AREA TO BE ENCLOSED IN CONSTRUCTION FENCE.
 6. WASHOUT AREAS TO BE INSPECTED DAILY TO ENSURE LINER IS INTACT AND ADEQUATE CAPACITY IS AVAILABLE AT ALL TIMES. WASHOUT AREAS SHALL BE INSPECTED IMMEDIATELY AFTER HEAVY RAINS. DAMAGED OR LEAKING WASHOUT AREAS TO BE DEACTIVATED AND REPAIRED IMMEDIATELY.
 7. CONCRETE WASTE SHALL BE REMOVED AND DISPOSED OF ONCE IT REACHES THREE-QUARTERS OF THE WASHOUT AREA'S HEIGHT. ALL WASTE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH APPLICABLE LAWS, REGULATIONS, AND GUIDELINES OF MUNICIPALITY.

CONCRETE WASHOUT AREA

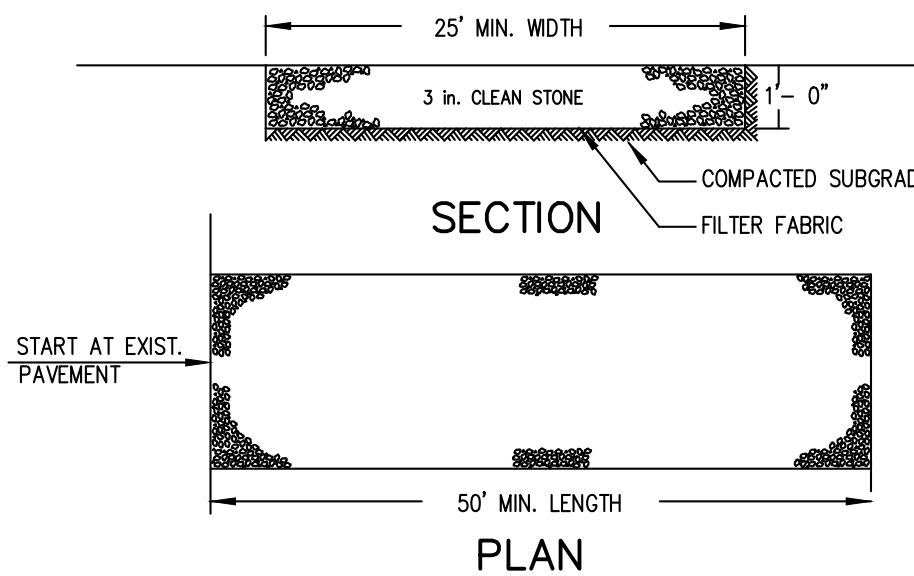
SOIL STOCKPILING



INSTALLATION NOTES

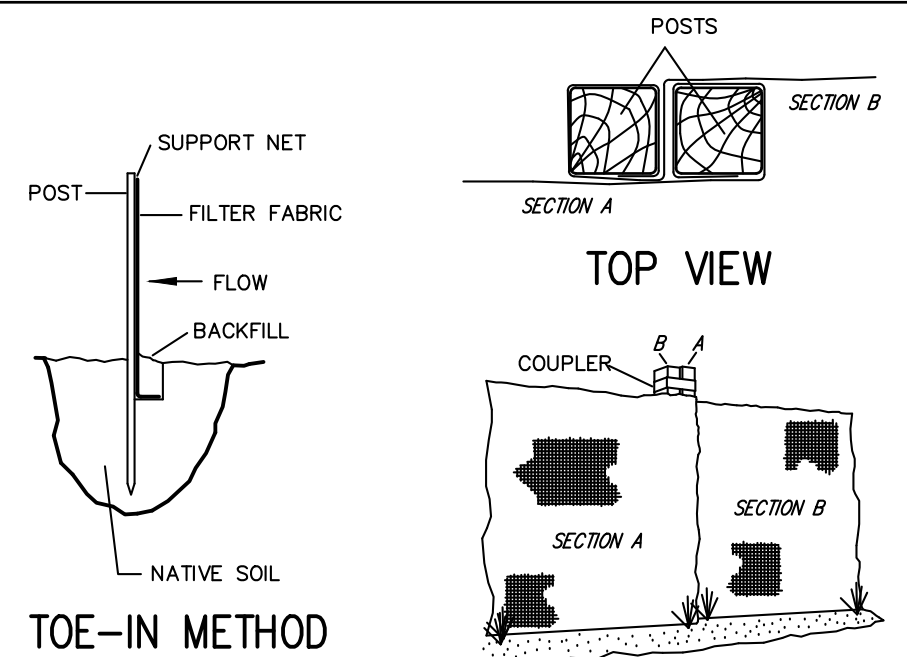
- INSTALLATION NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEAST PORTION OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
 5. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

STABILIZED CONSTRUCTION ENTRANCE



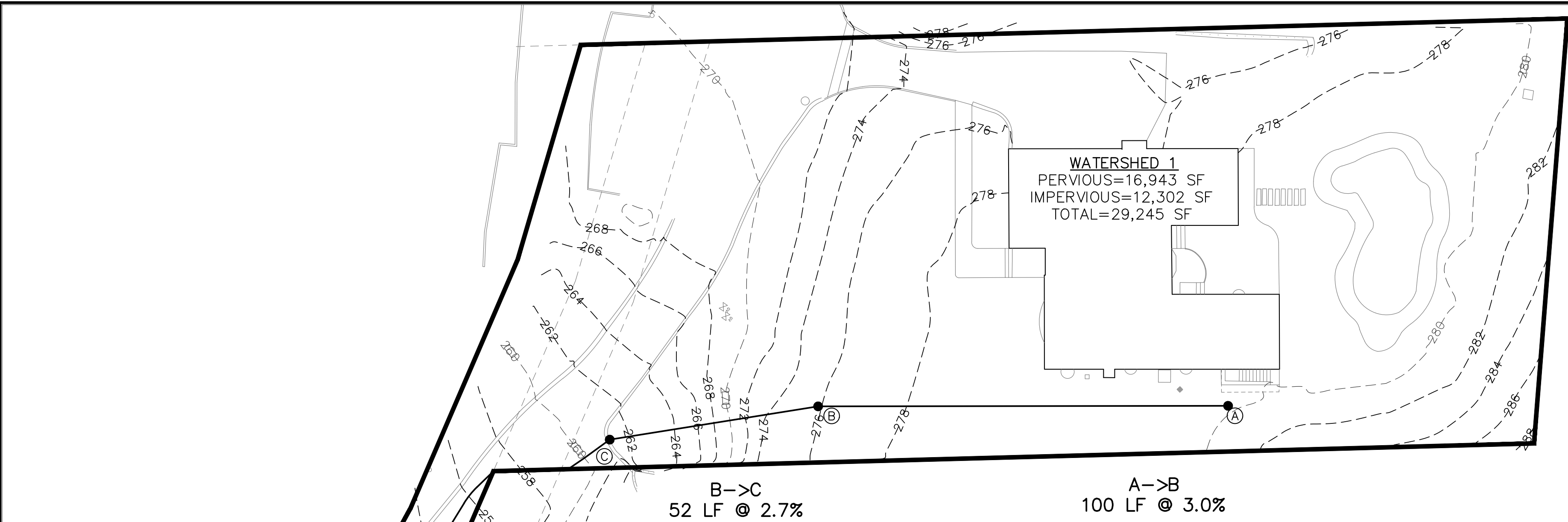
- INSTALLATION NOTES:**
1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SILT FENCE

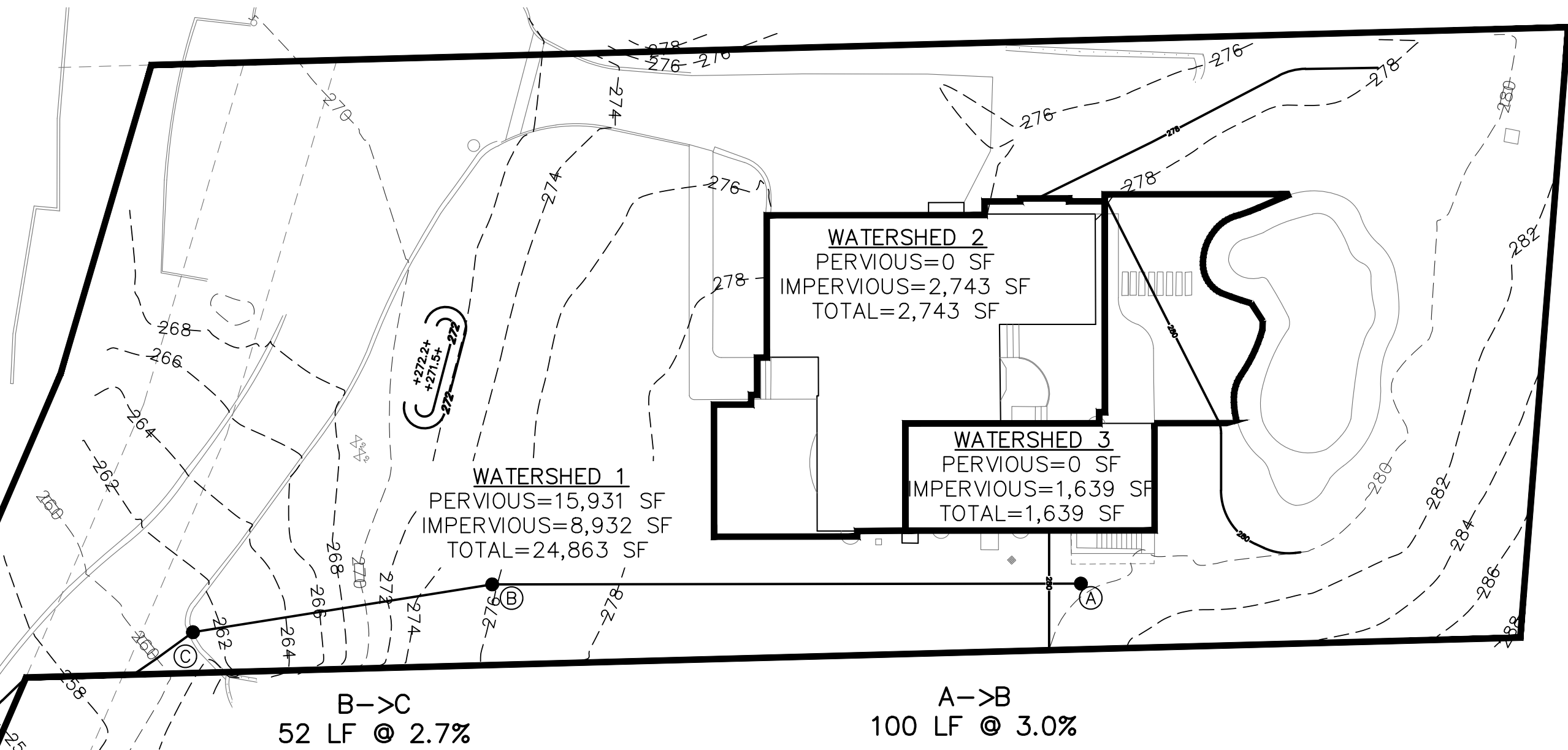


JOINING SECTIONS OF FENCING

- INSTALLATION NOTES:**
1. EXCAVATE A 4 INCH x 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
 5. JOIN SECTIONS AS SHOWN ABOVE.



EXISTING WATERSHED



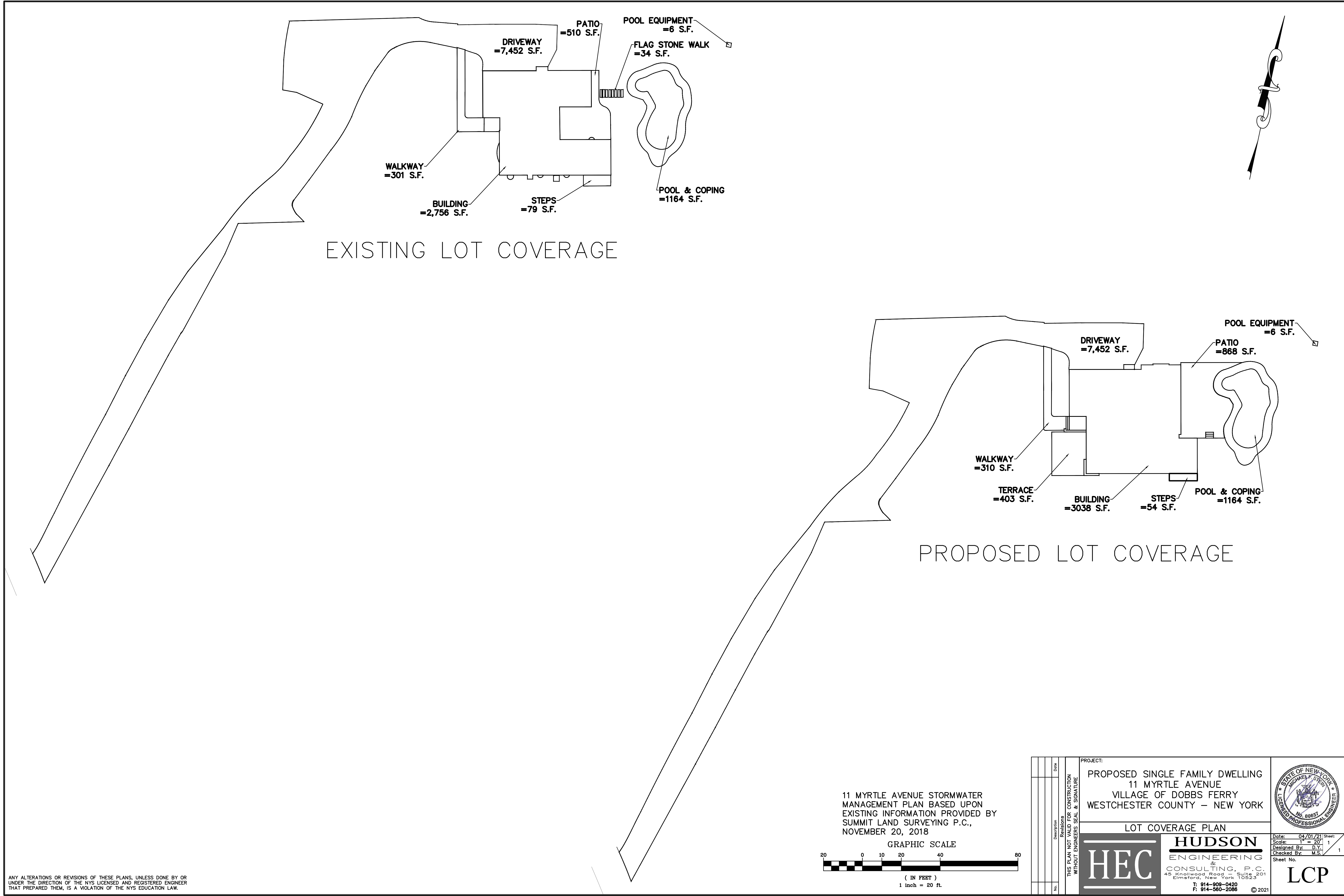
PROPOSED WATERSHED

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

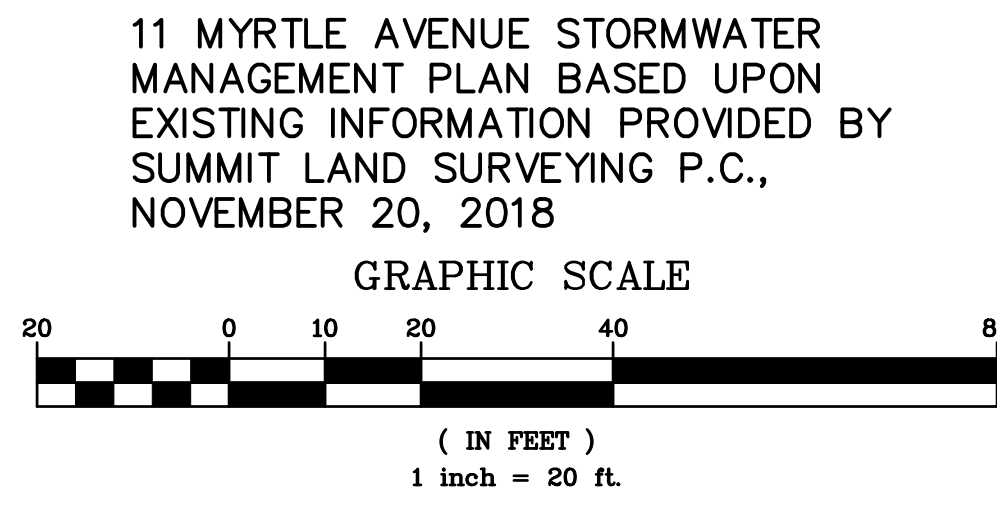
11 MYRTLE AVENUE STORMWATER
MANAGEMENT PLAN BASED UPON
EXISTING INFORMATION PROVIDED BY
SUMMIT LAND SURVEYING P.C.,
NOVEMBER 20, 2018

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

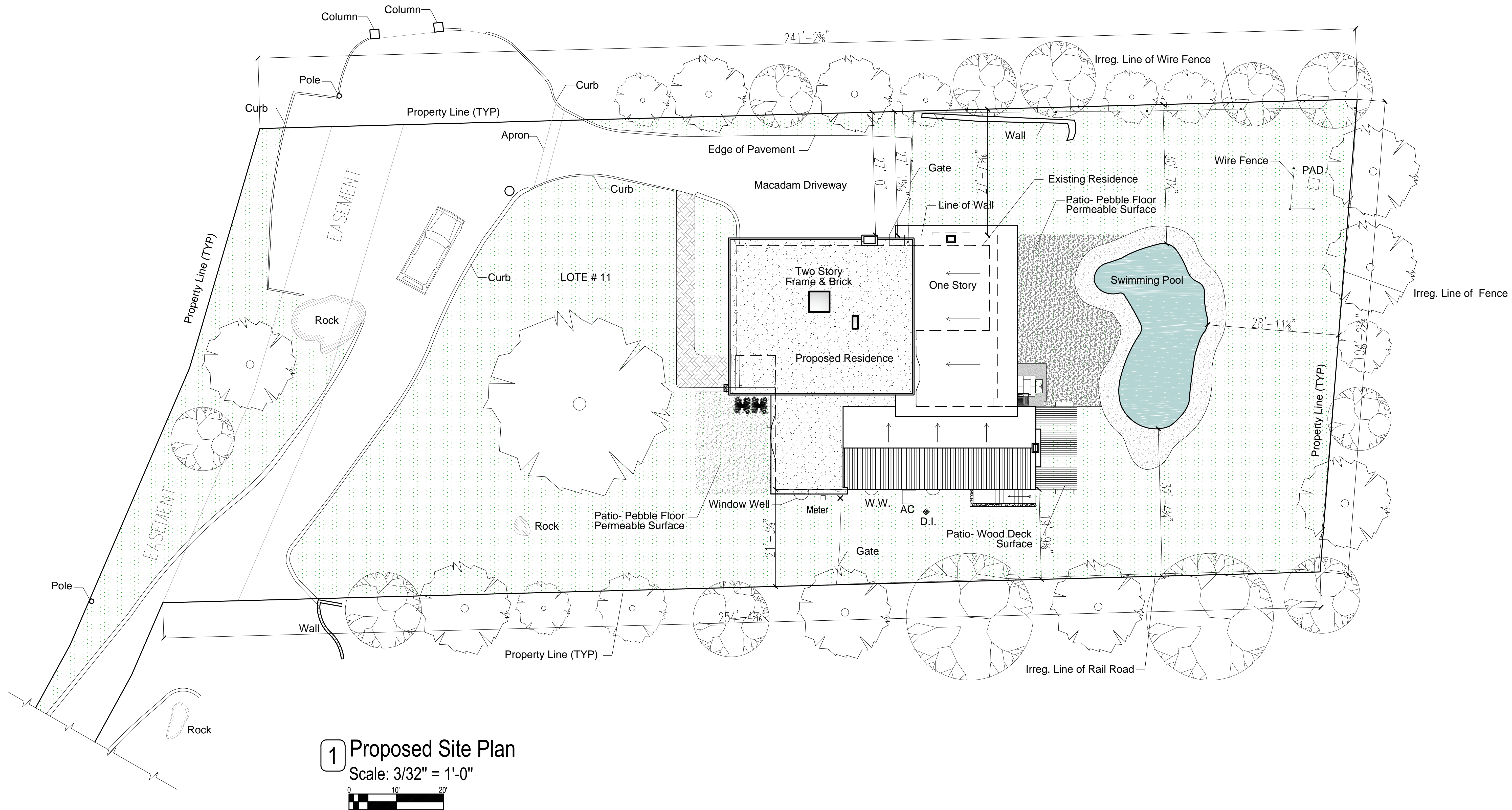
No.	Description	Date	PROJECT:	
			PROPOSED SINGLE FAMILY DWELLING 11 MYRTLE AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY – NEW YORK	
			WATERSHED MAPS	
			HUDSON ENGINEERING CONSULTING, P.C. 45 Knollwood Road, Suite 201 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086 © 2021	
THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE			Date: 04/01/21 Sheet: 1 Scale: 1" = 20' Designed By: D.Y. Checked By: M.S. Sheet No.	
			 WSP	



ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.



<div>Revisions</div> <table border="1"><thead><tr><th>No.</th><th>Description</th><th>Date</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></tbody></table>	No.	Description	Date										PROJECT: PROPOSED SINGLE FAMILY DWELLING 11 MYRTLE AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY – NEW YORK	
	No.	Description	Date											
LOT COVERAGE PLAN														
<div>HUDSON ENGINEERING & CONSULTING, P.C. 45 Knollwood Road, Suite 201 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086 © 2021</div>														
THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE														
Date: 04/01/21 Sheet: 1 Scale: 1" = 20' Designed By: D.Y. Checked By: M.S. Sheet No.														



Project Architect:
GSA
 GREGORY SHARP ARCHITECT, PC
 145 PALISADE STREET, SUITE 211
 DOBBS FERRY
 DIRECT 917 597 1982
 INFO@CASEDEVELOPMENT.COM
 OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
 145 PALISADE STREET, SUITE 211
 DOBBS FERRY, NY 10522
 www.casedevelopment.com
 DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

ARBORIST

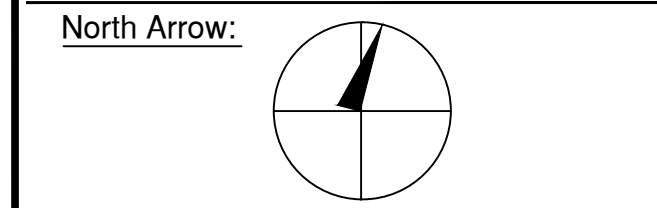
STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

	Interior Elevation
	See Detail
	Elevation
	Section Cut
	Window Number
	Coordination Tag
	Door Number
	Wall Type
	0.0' Elevation Target
	Revision



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE
 ISSUED FOR PRE-FILE
 ISSUED FOR PERMIT

1-14-2020

D.O.B. No. -

A Remodelation House located in
 Dobbs Ferry, NY developed by:
 The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
 11 MYRTLE AVENUE,
 DOBBS FERRY, NY 10522

PROPOSED SITE PLAN

SEAL AND SIGNATURE:

DATE: 1/14/2021

PROJECT No: MUNITS 2021

DRAWING BY: GS

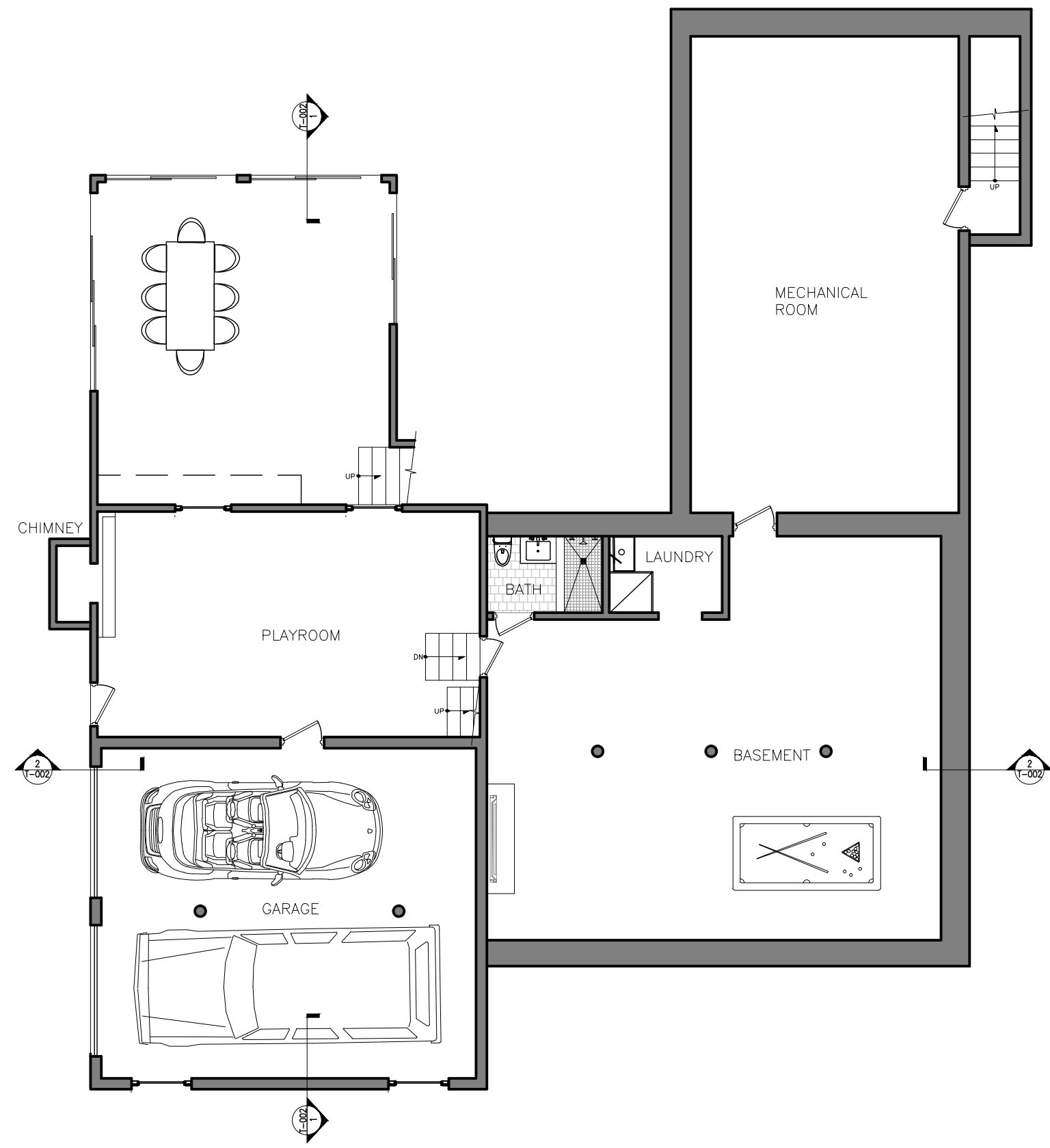
CHECK BY:

DWG No:

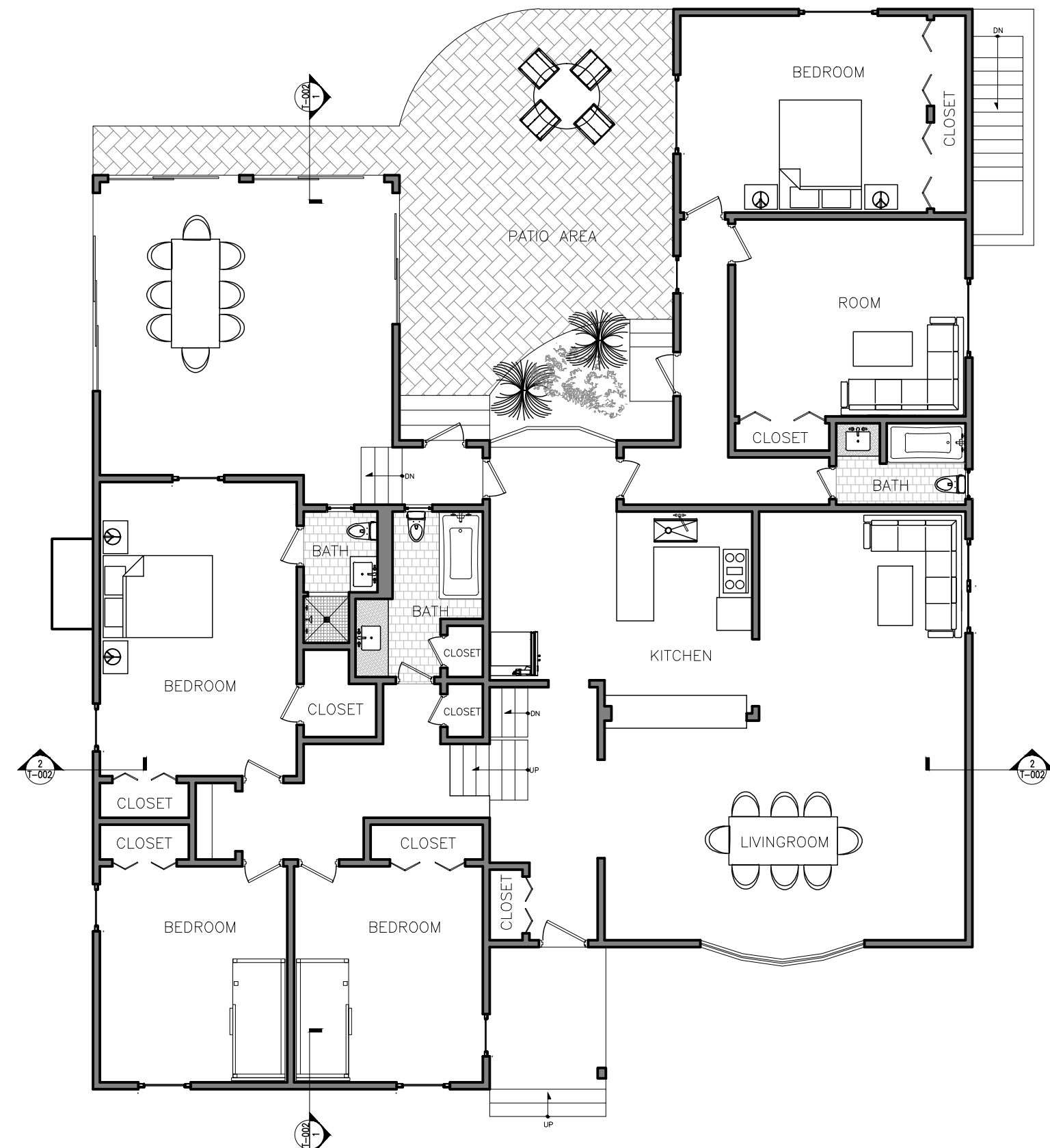
ST-003.00

CADD No:

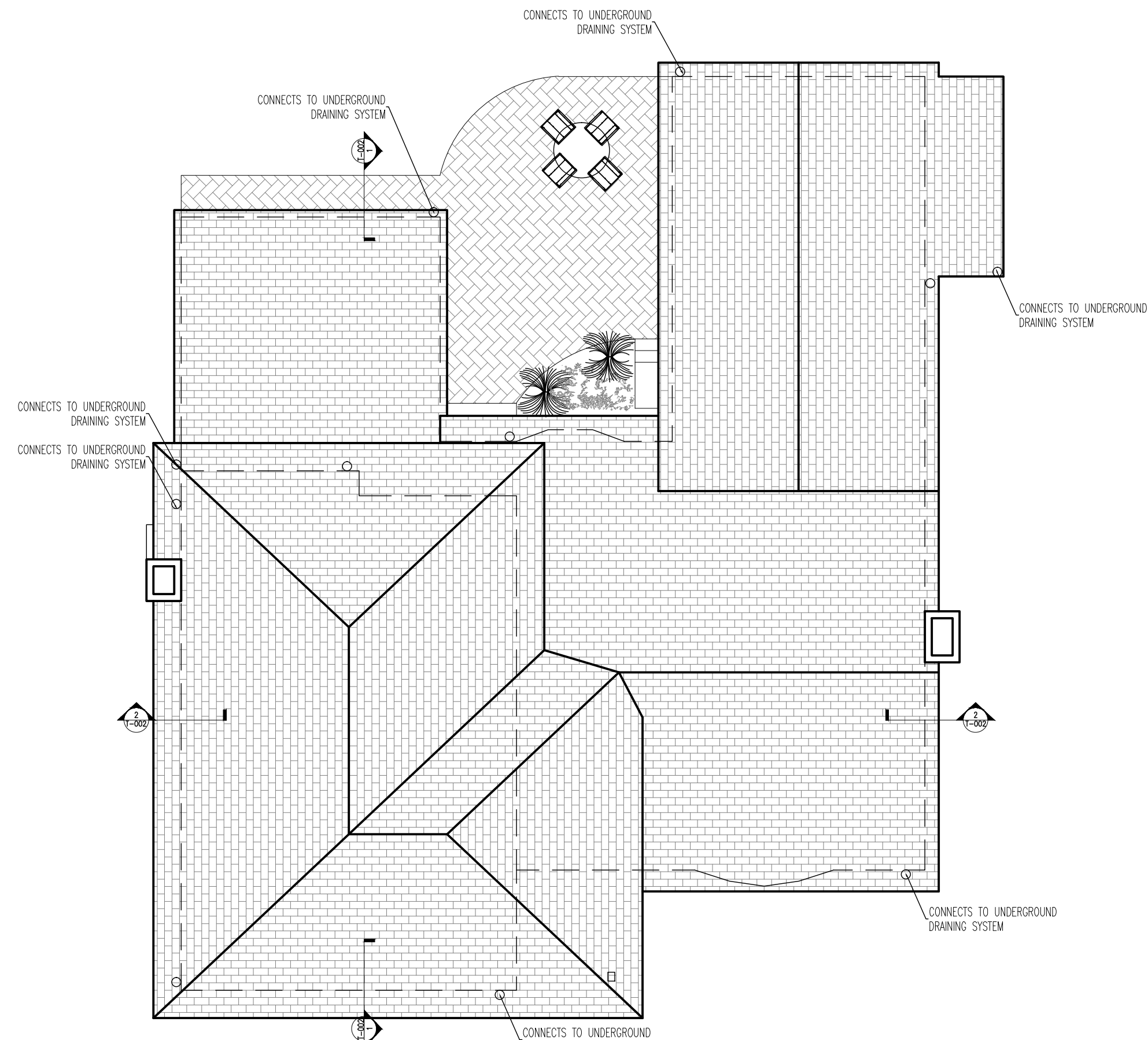
BSCAN:



1 Existing Basement Floor Plan
Scale: 1/8"=1'-0"



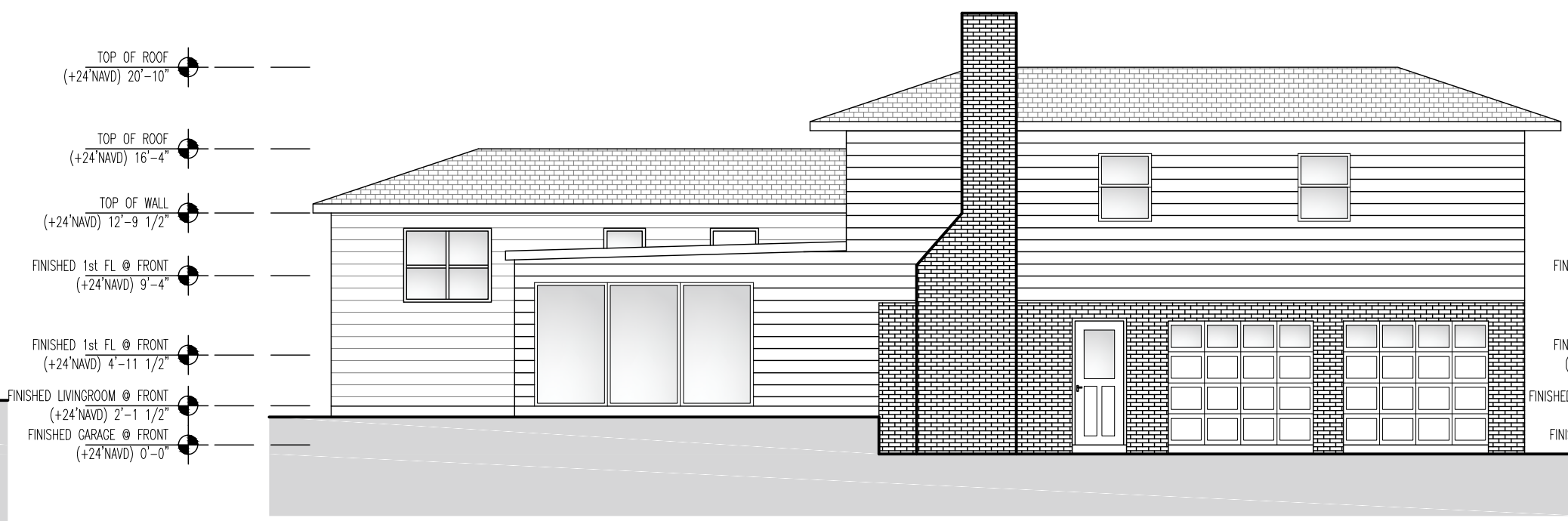
2 Existing First Floor Plan
Scale: 1/8"=1'-0"



3 Existing Roof Plan
Scale: 1/8"=1'-0"



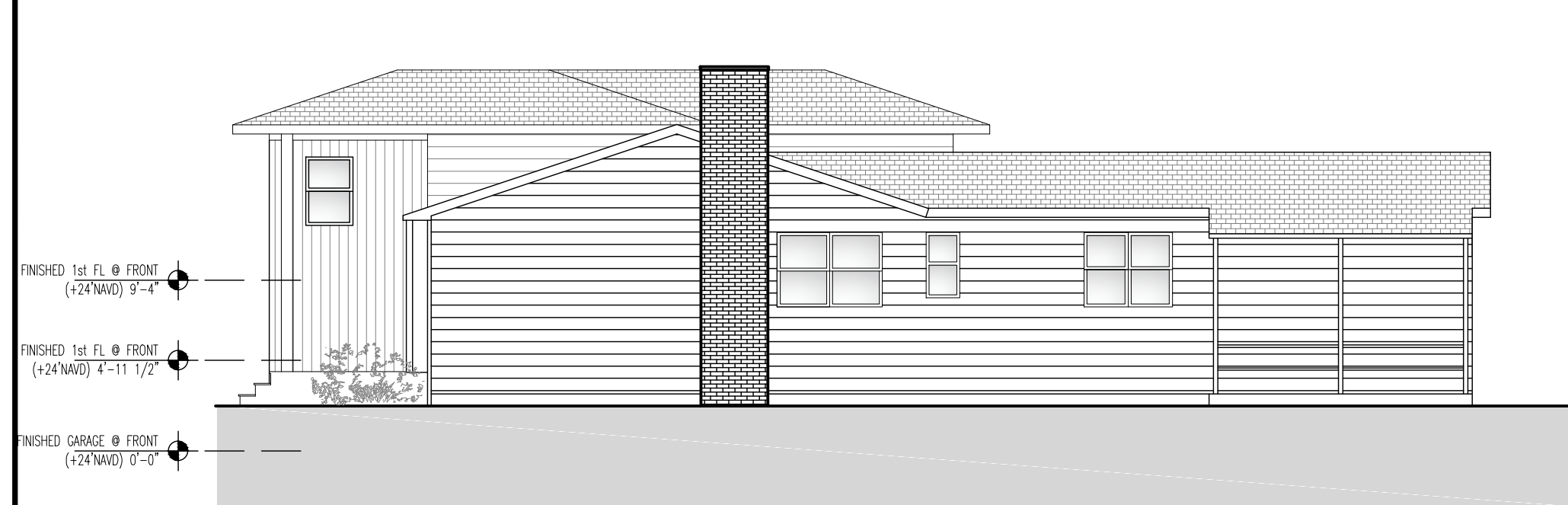
4 Existing Front Elevation
Scale: 1/8"=1'-0"



5 Existing Side Elevation
Scale: 1/8"=1'-0"



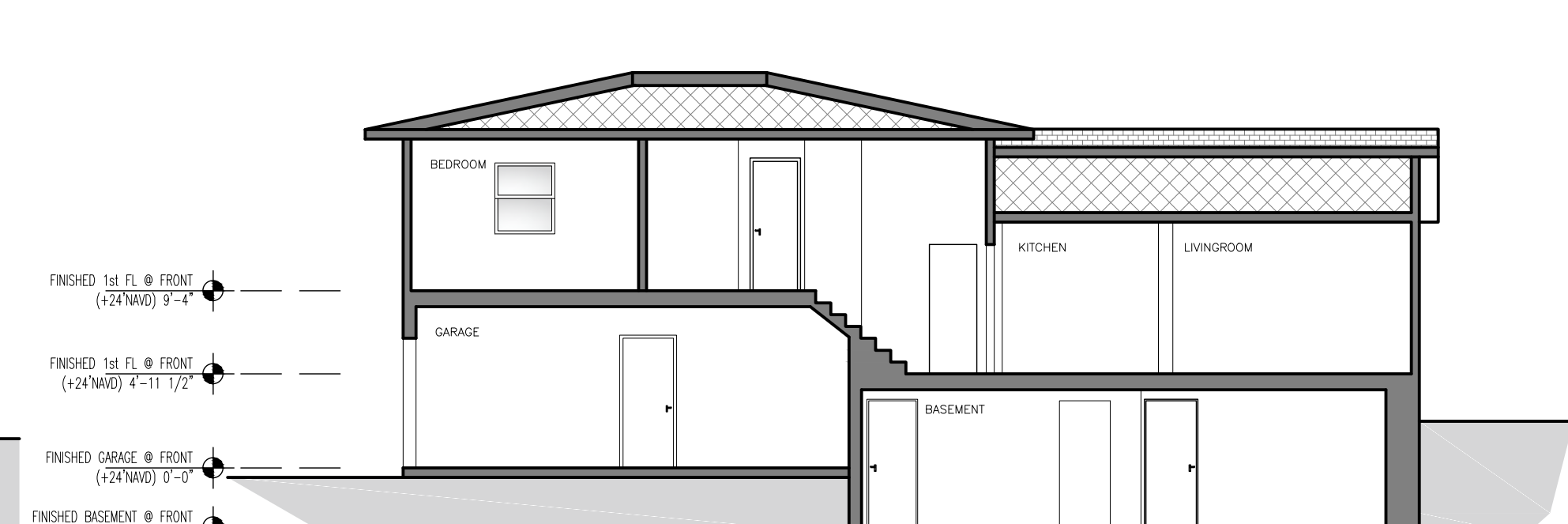
6 Existing Section 1
Scale: 1/8"=1'-0"



7 Existing Side Elevation
Scale: 1/8"=1'-0"



8 Existing Rear Elevation
Scale: 1/8"=1'-0"



9 Existing Section 2
Scale: 1/8"=1'-0"

Project Architect:
GS
GREGORY SHARP ARCHITECT, PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM
OWNER'S REP / PROJECT MANAGER
CASE DEVELOPMENT
Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

ARBORIST

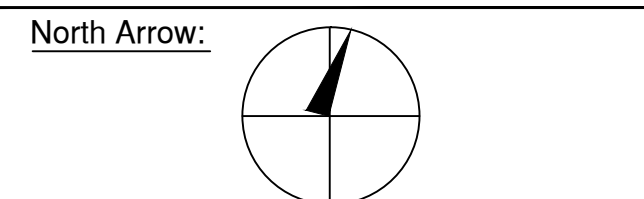
STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

See Detail	Interior Elevation
Elevation	Coordination Tag
Section Cut	Door Number
Window Number	Wall Type
	0.0' Elevation Target
	Revision



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

1-14-2021

D.O.B. No. -

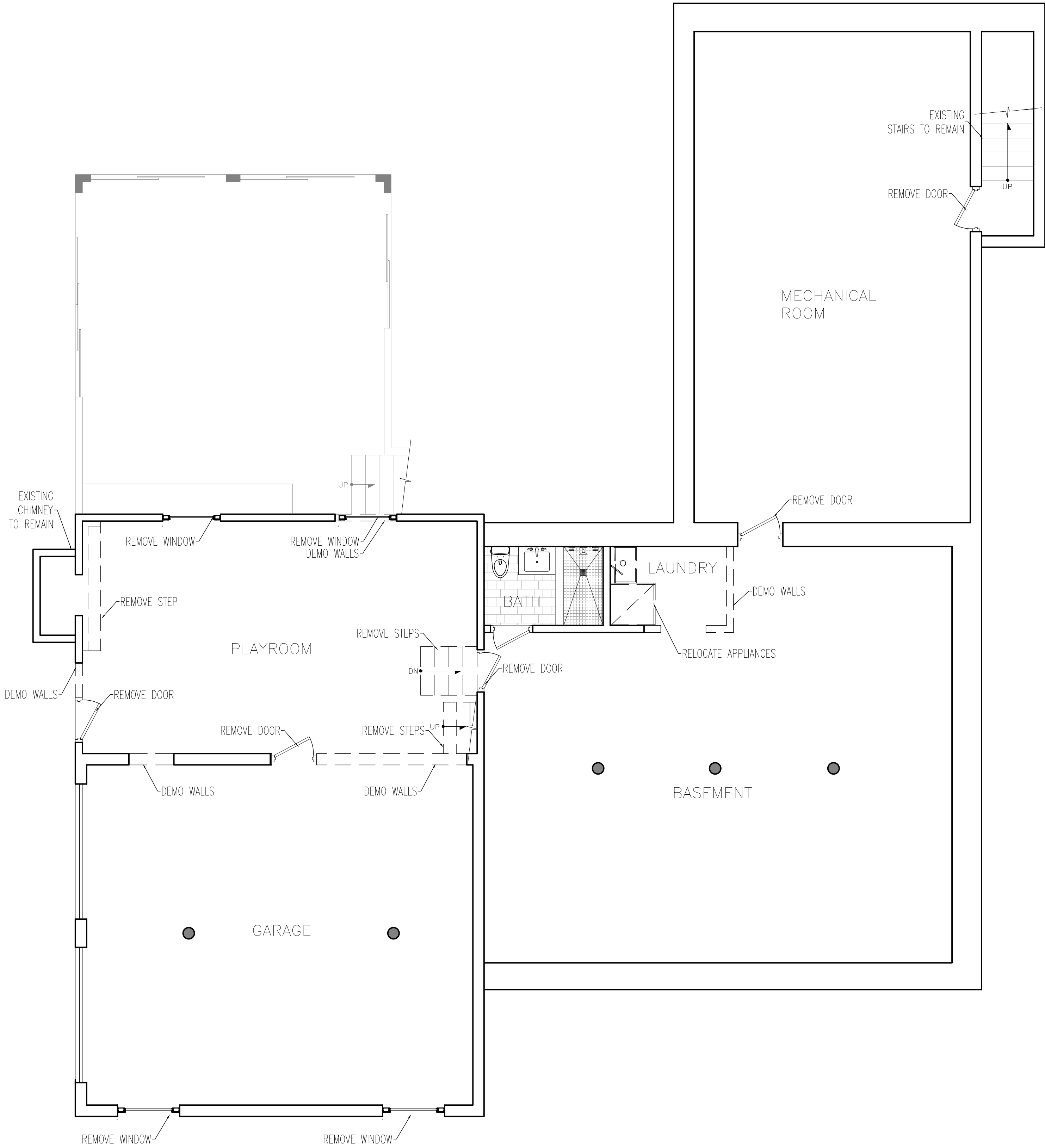
A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
11 MYRTLE AVENUE,
DOBBS FERRY, NY 10522

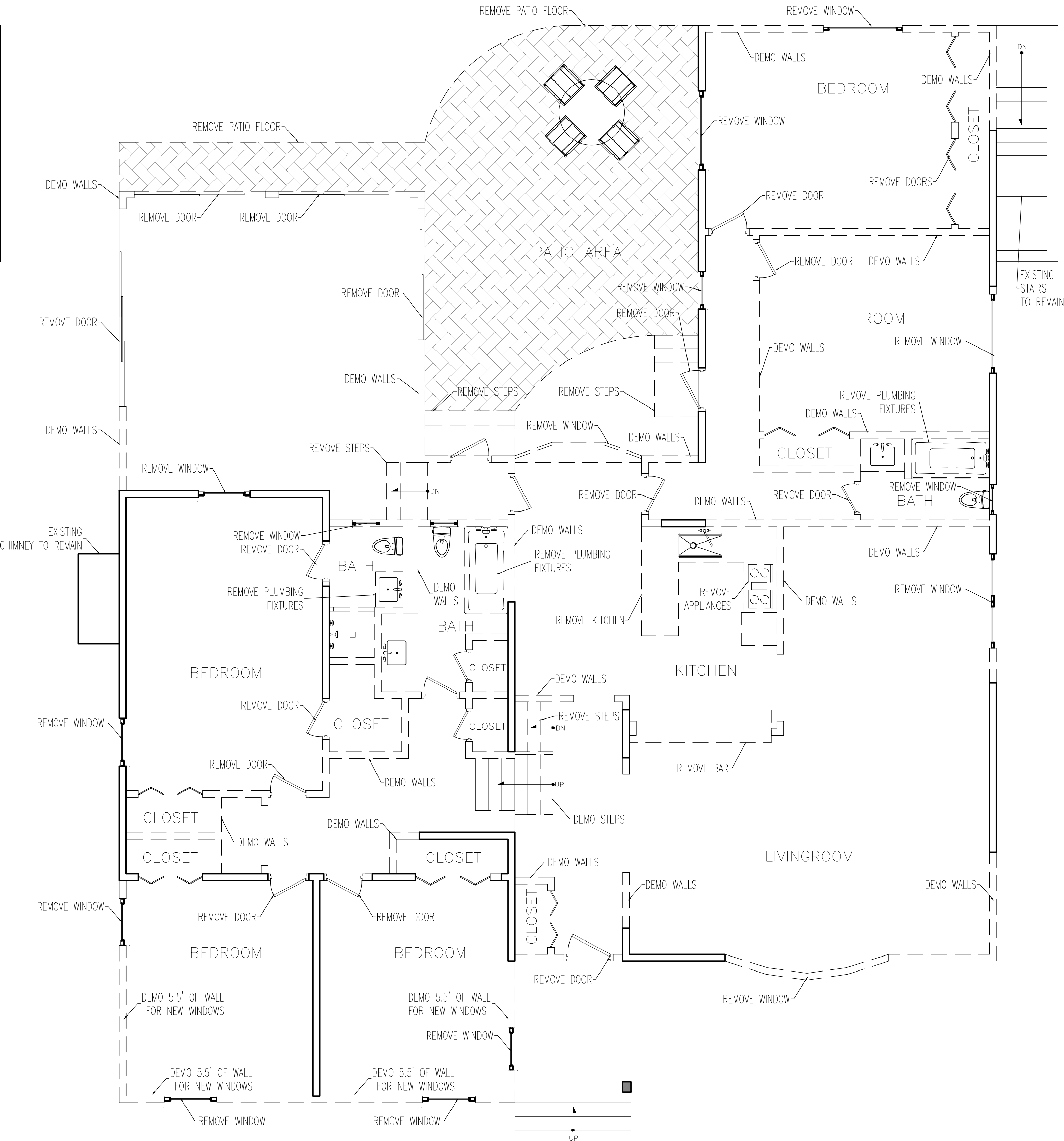
EXISTING CONDITIONS

SEAL AND SIGNATURE:
GREGORY SHARP
REGISTERED ARCHITECT
STATE OF NEW YORK
DATE: 1/14/2021
PROJECT No: MUNITS 2021
DRAWING BY: GS
DWG No: **T-003.00**
CADD No:

BSCAN:



1 Demolition - Basement Floor Plan
Scale: 1/4"=1'-0"



2 Demolition - First Floor Plan
Scale: 1/4"=1'-0"

- DEMOLITION NOTES:**
1. DEMOLISH ALL NON-BEARING WALLS (AS INDICATED BY DASHED LINES ON PLANS), PARTITIONS, DOORS, WALL COVERINGS, LOOSE PLASTER, LOOSE PAINT, WOOD TRIM, LOOSE FLOORING AND MISC DEBRIS OR DAMAGED MATERIALS FROM EXISTING CONDITION. CLEAN AND PREPARE ALL SURFACES FOR NEW WALLS AND FINISHES.
 2. REMOVE AND CAP ALL MECHANICAL, ELECTRIC AND PLUMBING. DISCONNECT ALL POWER PRIOR TO DEMOLITION. PREPARE TO RELOCATE AS REQUIRED.
 3. STRUCTURAL DEMOLITION REQUIRED. STRUCTURAL AND SOE WORK FILED UNDER SEPERATE APPLICATION.
 4. STRUCTURAL DEMOLITION REQUIRED. CONTRACTOR TO PROVIDE STRUCTURAL DEMOLITION DRAWINGS AS REQUIRED FOR SUPPORT BRACING AND APPROVED METHOD OF REMOVAL. SUBMIT TO ARCHITECT.
 5. NO MECHANICAL DEMOLITION EQUIPMENT WILL BE USED FOR THE DEMOLTION WORK AS INDICATED.

Project Architect:
GS
GREGORY SHARP ARCHITECT.PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER
CASE DEVELOPMENT
Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

ARBORIST

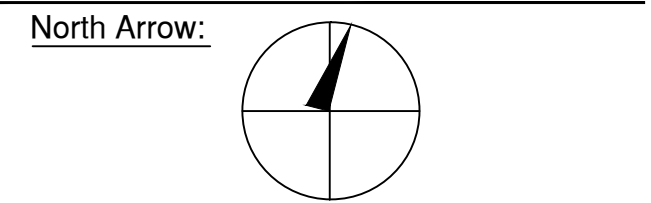
STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

	Interior Elevation		Coordination Tag
	See Detail		Door Number
	Elevation		Wall Type
	Section Cut		0.0' Elevation Target
	Window Number		Revision



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT. WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE 1-14-2021
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

D.O.B. No. -

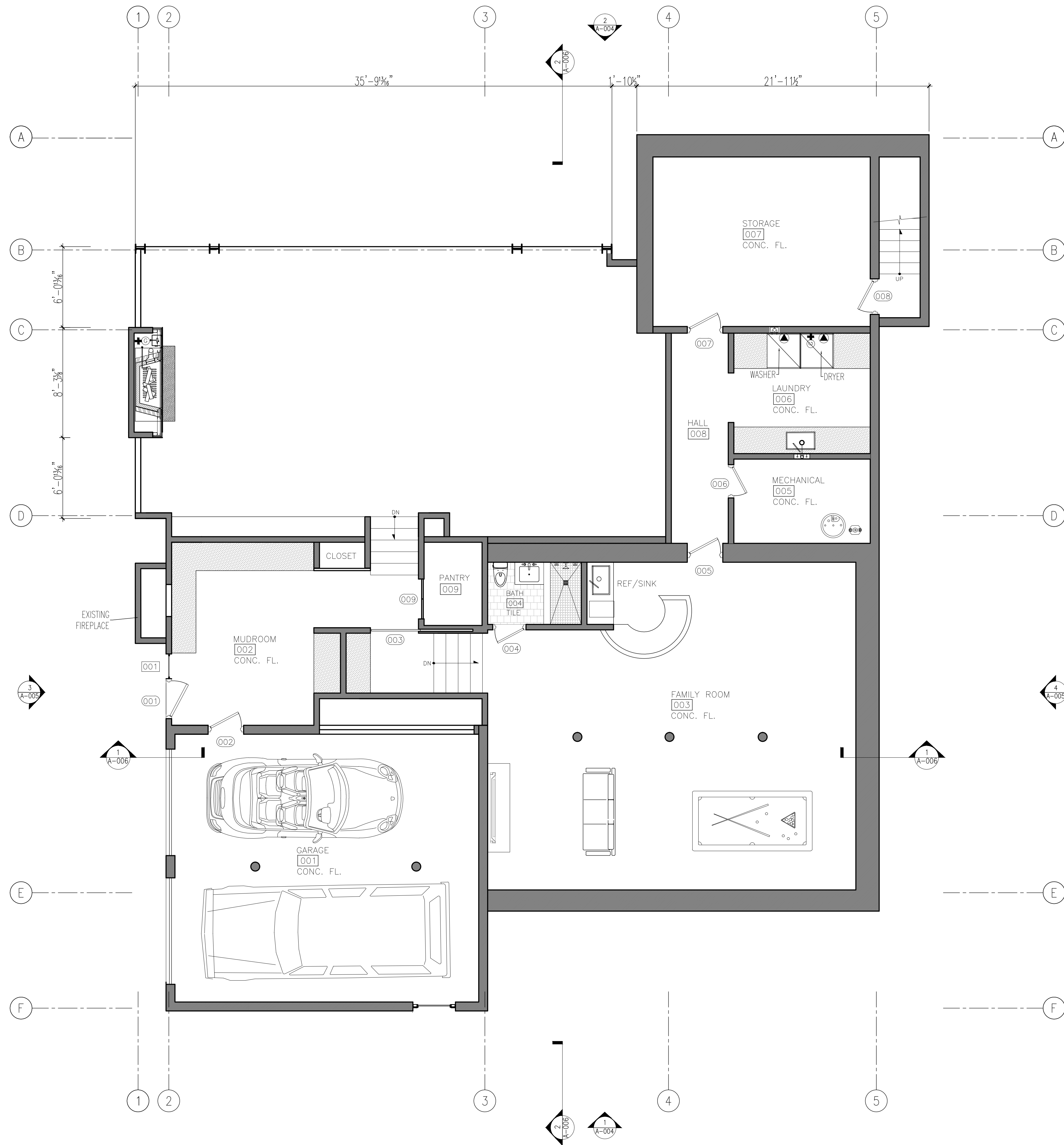
A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
11 MYRTLE AVENUE,
DOBBS FERRY, NY 10522

DEMOLITION

SEAL AND SIGNATURE: 	DATE: 1/14/2021 PROJECT No: MUNITS 2021 DRAWING BY: GS DWG No: D-001.00 CADD No:
-------------------------	-----------------------------------------------------------------------------------------------------

BSCAN:



1 Proposed Basement Floor Plan
Scale: 1/4"=1'-0"

Project Architect:
GSA
GREGORY SHARP ARCHITECT, P.C.
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM
OWNER'S REP / PROJECT MANAGER
CASE DEVELOPMENT
Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

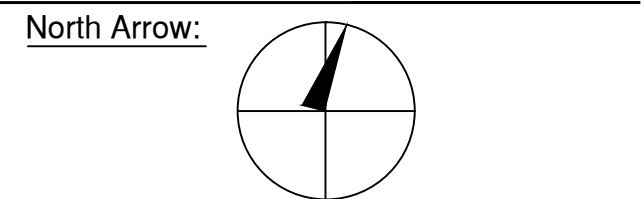
ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND	
	Interior Elevation
	See Detail
	Elevation
	Section Cut
	Window Number
	Coordination Tag
	Door Number
	Wall Type
	0.0' Elevation Target
	Revision



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION	
ISSUED FOR PRE-FILE	1-14-2020
ISSUED FOR PERMIT	

D.O.B. No. -

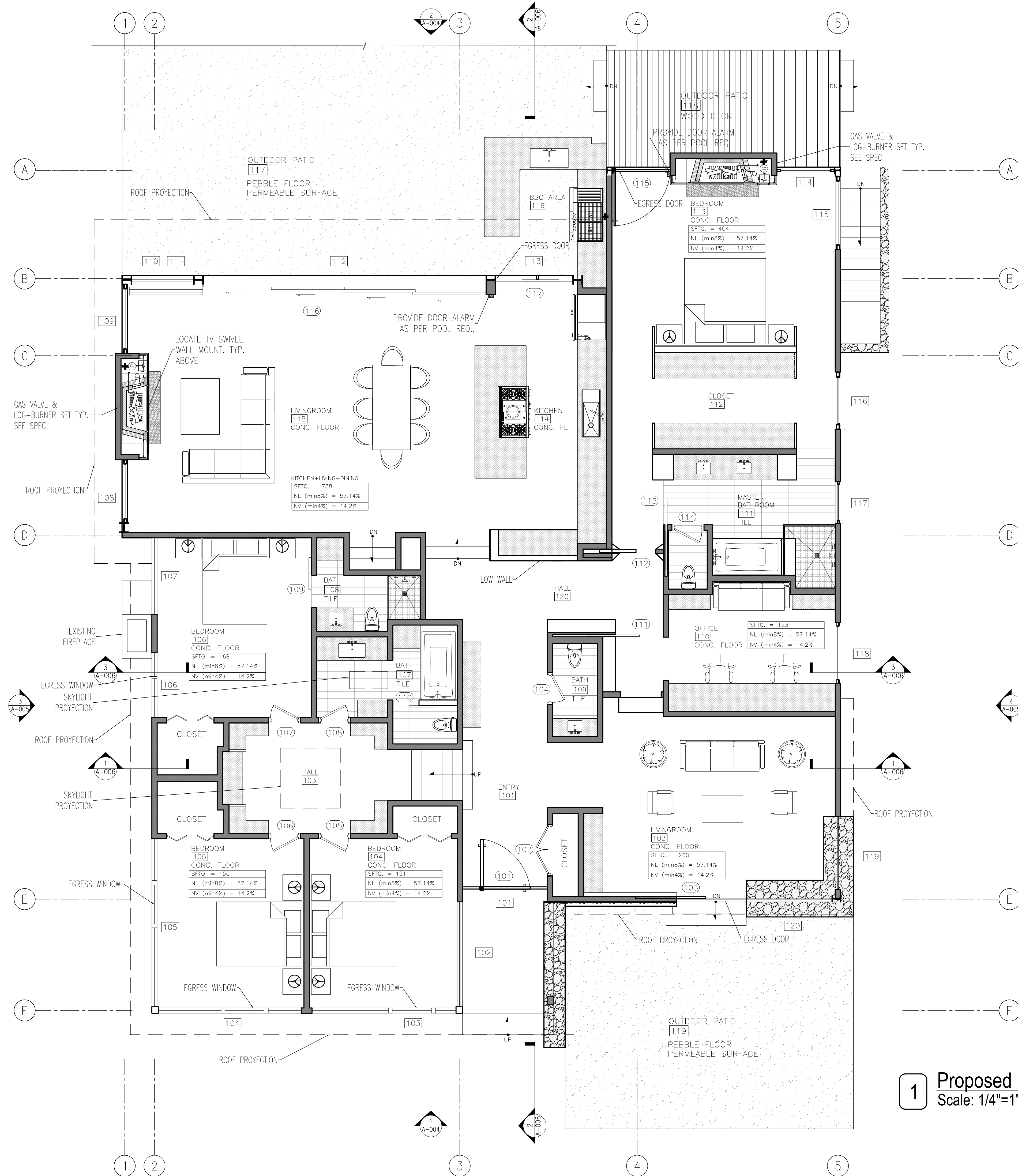
A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
11 MYRTLE AVENUE,
DOBBS FERRY, NY 10522

BASEMENT FLOOR PLAN

SEAL AND SIGNATURE: 	DATE: 1/14/2021 PROJECT No: MUNITS 2021 DRAWING BY: GS DWG No: A-001.00 CADD No:
-------------------------	-----------------------------------------------------------------------------------------------------

BSCAN:



1 Proposed First Floor Plan
Scale: 1/4"=1'-0"

Project Architect:
GS A
GREGORY SHARP ARCHITECT.PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM
OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

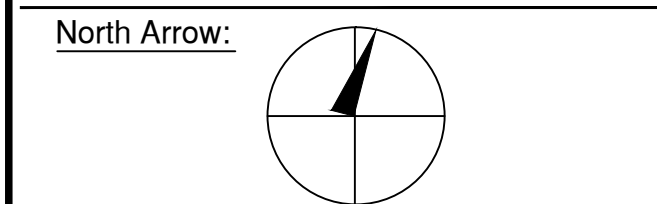
ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND	
	Interior Elevation
	See Detail
	Elevation
	Section Cut
	Window Number
	Coordination Tag
	Door Number
	Wall Type
	0.0' Elevation Target
	Revision



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

1-14-2020

D.O.B. No. -

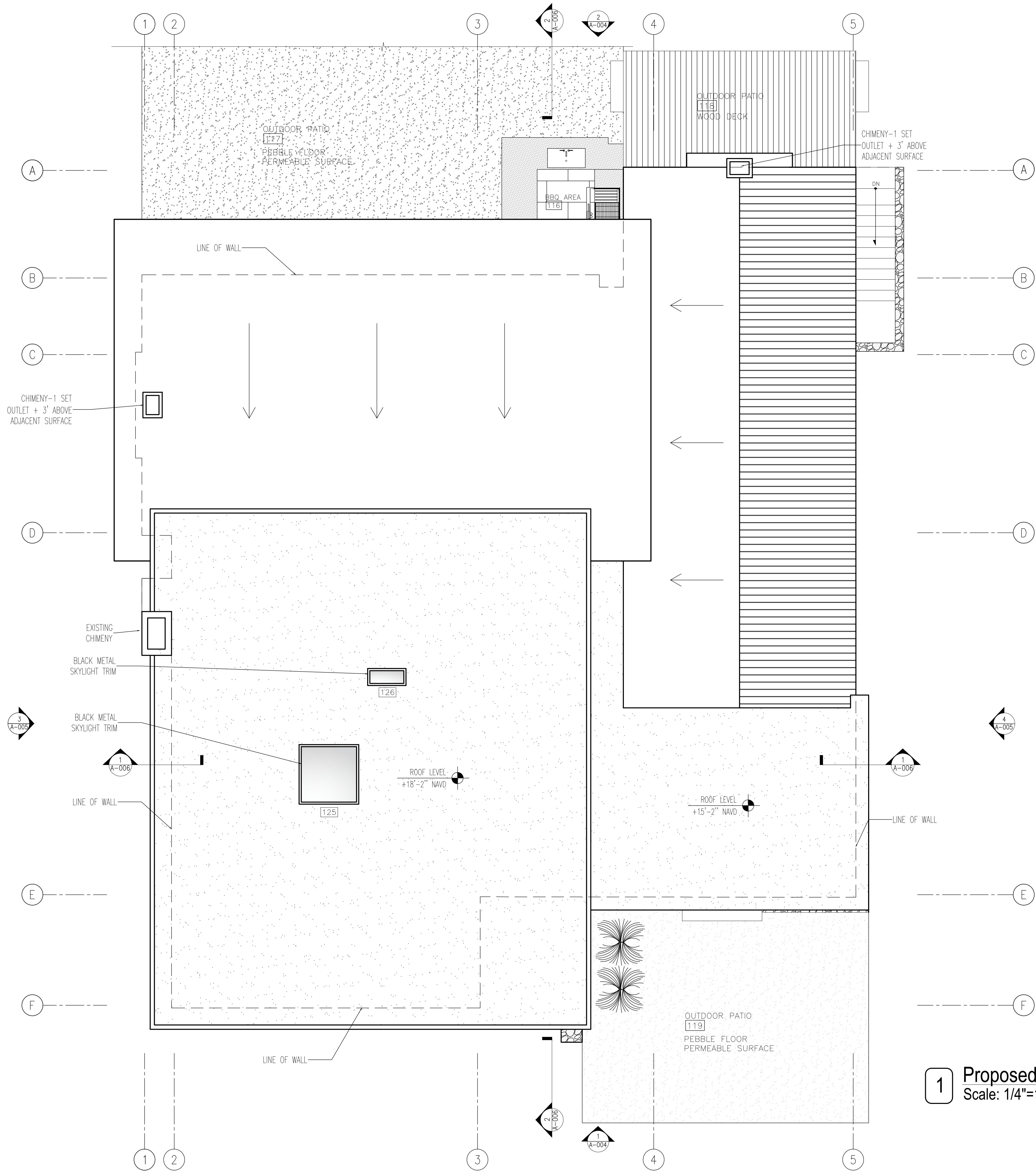
A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
11 MYRTLE AVENUE,
DOBBS FERRY, NY 10522

1ST FLOOR PLAN

SEAL AND SIGNATURE: 	DATE: 1/14/2021 PROJECT No: MUNITS 2021 DRAWING BY: GS DWG No: A-002.00 CADD No:
-------------------------	-------------------------------------------------------------------------------------------------

BSCAN:



1 Proposed Roof Plan
Scale: 1/4"=1'-0"

Project Architect:
GS
GREGORY SHARP ARCHITECT, PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER
CASE DEVELOPMENT
Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

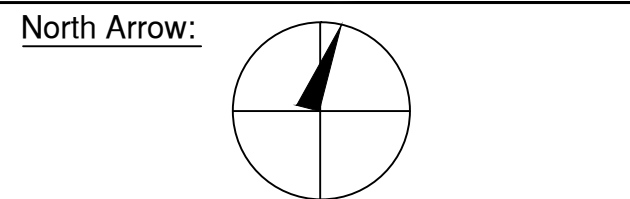
ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND	
	Interior Elevation
	See Detail
	Elevation
	Section Cut
	Window Number
	Coordination Tag
	Door Number
	Wall Type
	0.0' Elevation Target
	Revision



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION	
ISSUED FOR PRE-FILE ISSUED FOR PRE-FILE ISSUED FOR PERMIT	1-14-2020

D.O.B. No. -

A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
11 MYRTLE AVENUE,
DOBBS FERRY, NY 10522

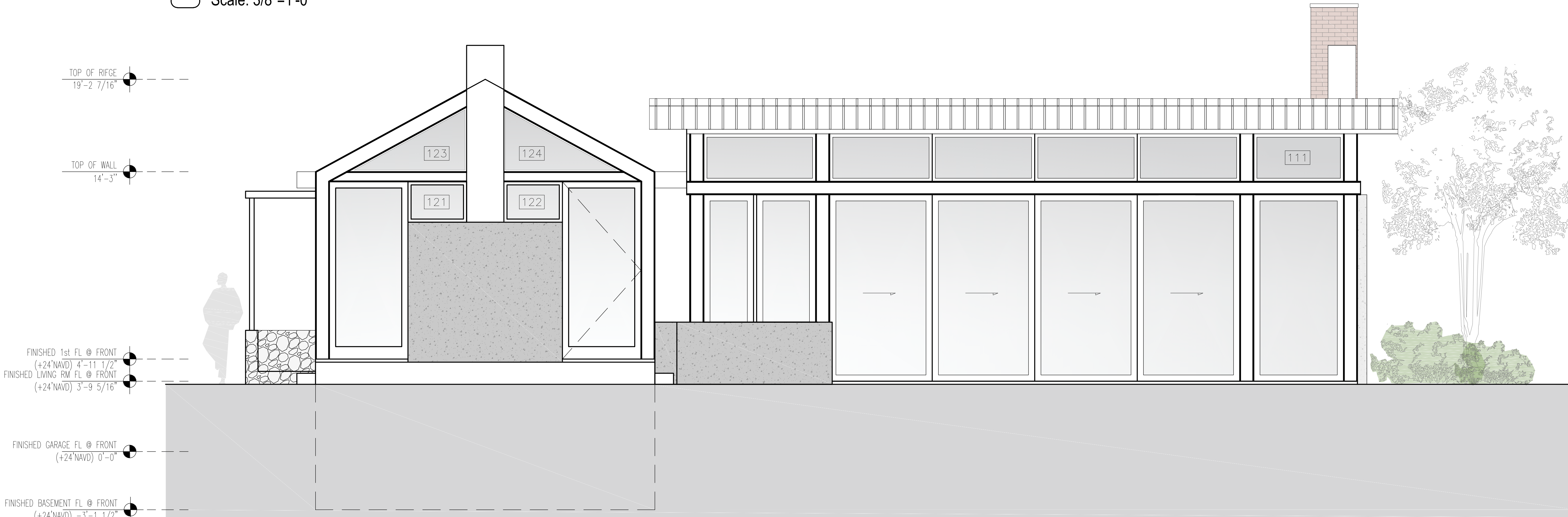
ROOF FLOOR PLAN

SEAL AND SIGNATURE: 	DATE: 1/14/2021 PROJECT No: MUNITS 2021 DRAWING BY: GS DWG No: A-003.00 CADD No:
-------------------------	----------------------------------------------------------------------------------------------

BSCAN:



1 Proposed Front Elevation
Scale: 3/8"=1'-0"



2 Proposed Rear Elevation
Scale: 3/8"=1'-0"

Project Architect:
GSA
GREGORY SHARP ARCHITECT, PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM
OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

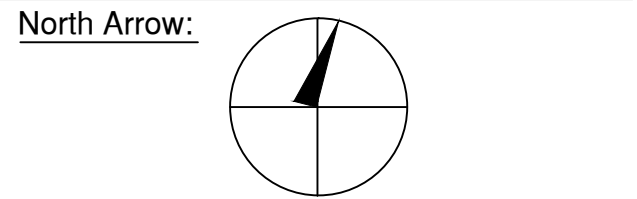
ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND			
	Interior Elevation		Coordination Tag
	See Detail		Door Number
	Elevation		Wall Type
	Section Cut		0.0' Elevation Target
	Window Number		Revision



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE 1-14-2020
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

D.O.B. No. -

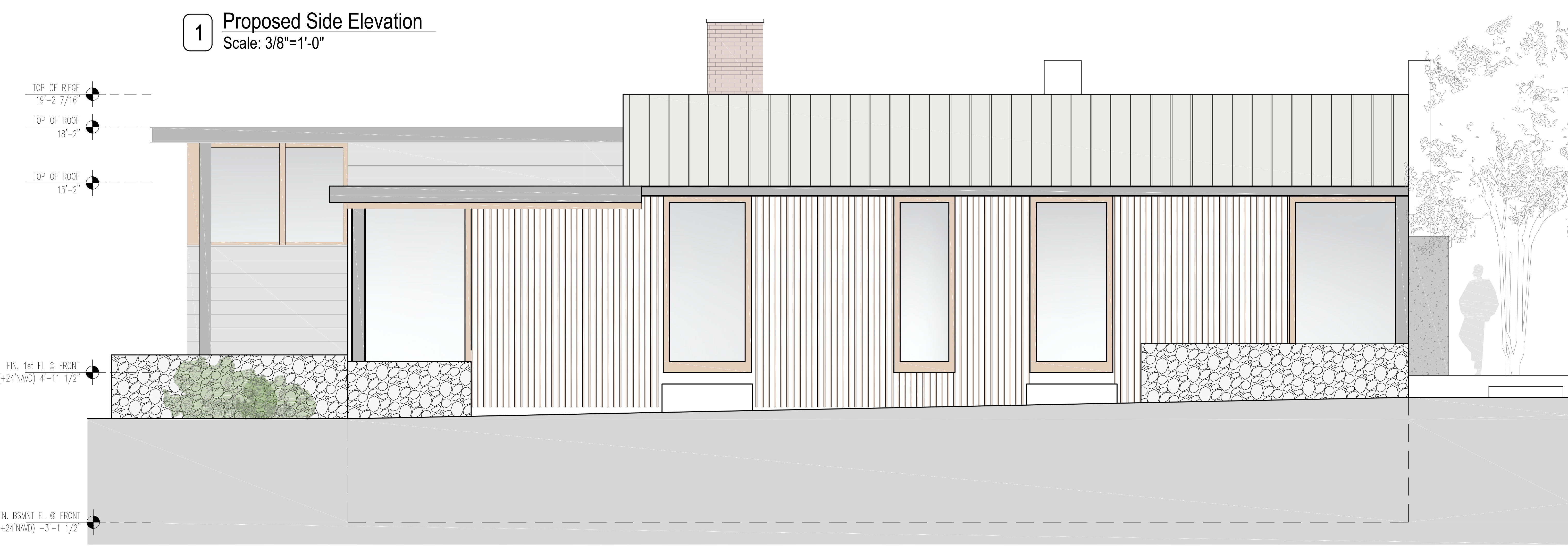
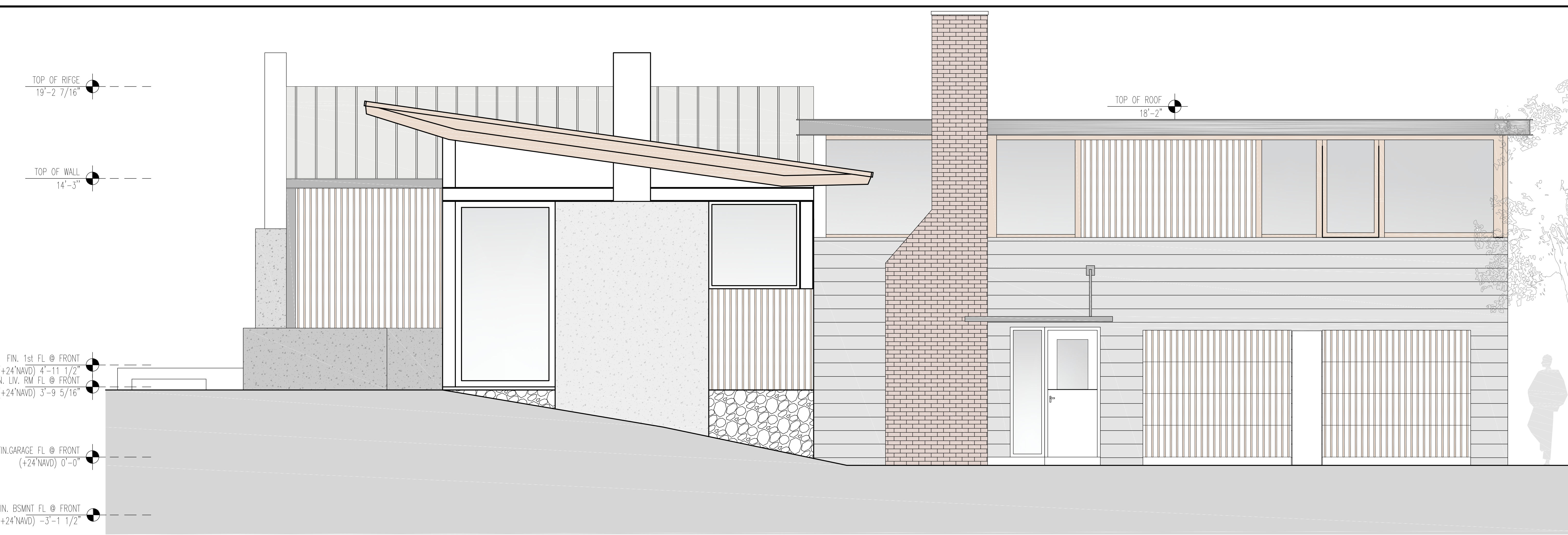
A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
11 MYRTLE AVENUE,
DOBBS FERRY, NY 10522

ELEVATIONS

SEAL AND SIGNATURE:	DATE: 1/14/2021
	PROJECT No: MUNITS 2021
	DRAWING BY: GS
	CHECK BY:
	DWG No:
	A-004.00
	CADD No:

BSCAN:



Project Architect:

GSA

GREGORY SHARP ARCHITECT, PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
WWW.CASEDEVELOPMENT.COM
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

	Interior Elevation
	See Detail
	Elevation
	Section Cut
	Window Number
	Coordination Tag
	Door Number
	Wall Type
	0.0' Elevation Target
	Revision

North Arrow:

DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE ISSUED FOR PRE-FILE ISSUED FOR PERMIT	1-14-2020
-----------------------------------------------------------------	-----------

D.O.B. No. -

A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
11 MYRTLE AVENUE,
DOBBS FERRY, NY 10522

ELEVATIONS

SEAL AND SIGNATURE:

DATE: 1/14/2021

PROJECT No: MUNITS 2021

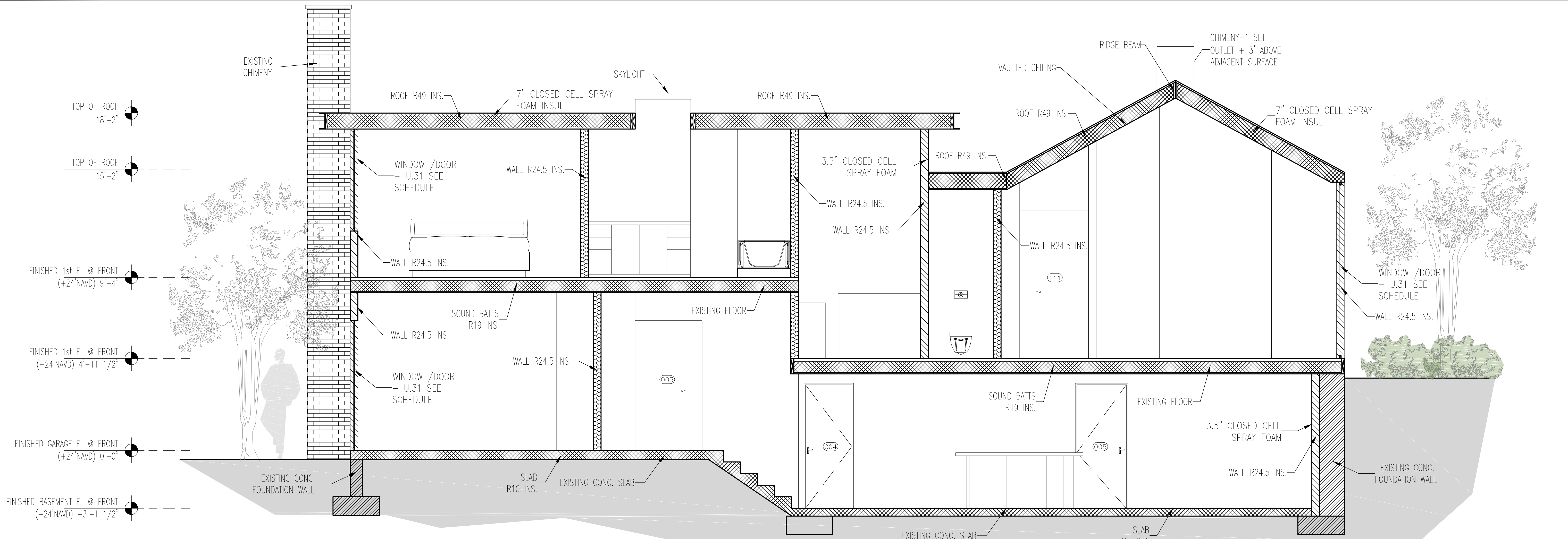
DRAWING BY: GS

CHK BY:

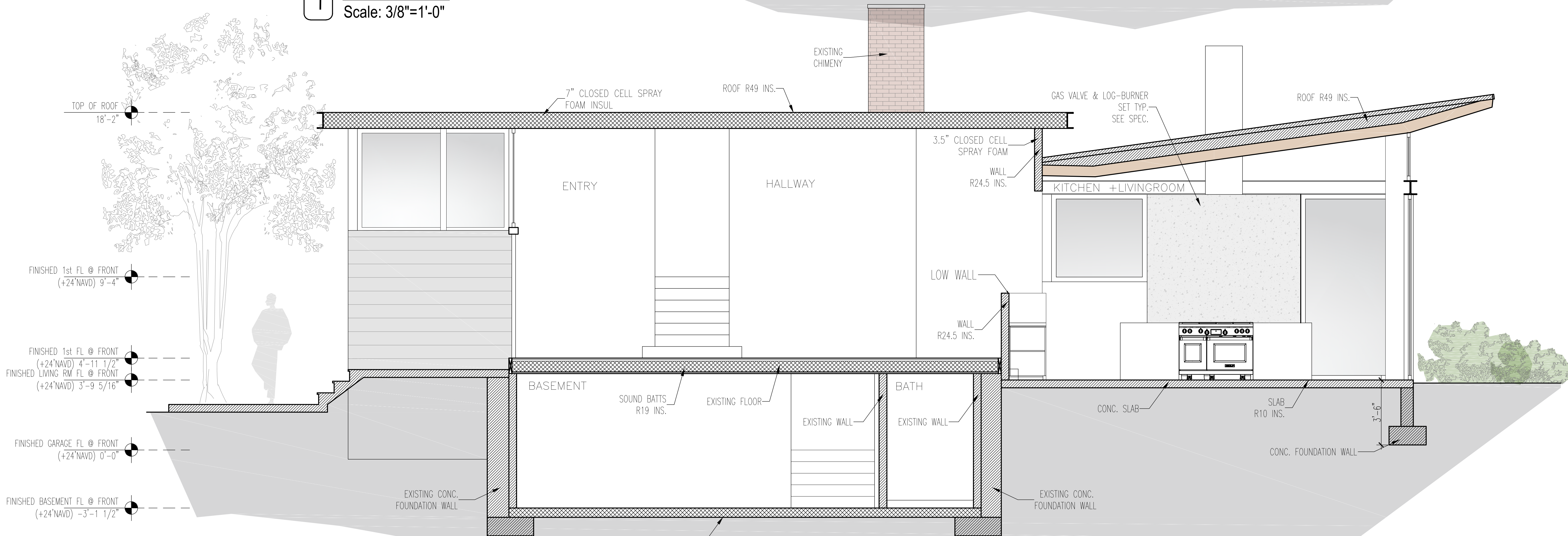
DWG No: **A-005.00**

CADD No:

BSCAN:



1 Section 1
Scale: 3/8"=1'-0"



2 Section 2
Scale: 3/8"=1'-0"

Project Architect:
GSA
GREGORY SHARP ARCHITECT, PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM
OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

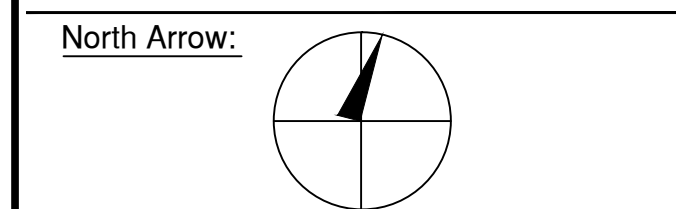
ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND	
	Interior Elevation
	See Detail
	Elevation
	Section Cut
	Window Number
	Coordination Tag
	Door Number
	Wall Type
	0.0' Elevation Target
	Revision



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

1-14-2020

D.O.B. No. -

A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
11 MYRTLE AVENUE,
DOBBS FERRY, NY 10522

SECTIONS

SEAL AND SIGNATURE:	DATE: 11/4/2021
	PROJECT No: MUNITS 2021
	DRAWING BY: GS
	DWG No: A-006.00
	CADD No:

BSCAN:



Project Architect:

GS^A
GREGORY SHARP ARCHITECT, PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

D.O.B CONSULTANT

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

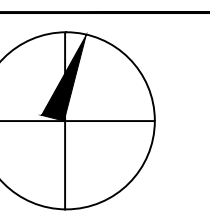
PROJECT ENGINEER

NOTES

SYMBOL LEGEND

	See Detail		Coordination Tag
	Elevation		Door Number
	Section Cut		Wall Type
	Window Number		Elevation Target
			Revision

North Arrow:



DRAWINGS AND SPECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

1-14-2020

D.O.B. No. -

A Remodelation House located in
Dobbs Ferry, NY developed by:
The Munits Residence

PROJECT:
THE MUNITS RESIDENCE
11 MYRTLE AVENUE,
DOBBS FERRY, NY 10522

PERSPECTIVES

SEAL AND SIGNATURE:



DATE: 1/14/2021

PROJECT No: MUNITS 2021

DRAWING BY: GS
CHK BY: _____

WG No: _____

A.007 00

RECAP: