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May 4, 2021

George E. Pommer, P.E.
Vice President
James J. Hahn Engineering, P.C.
Putnam Business Park
1689 Route 22
Brewster, NY 10509

Re: Site Plan Review
185-191 Ashford Avenue
Dobbs Ferry – New York

Dear Mr. Pommer:

We have received your comment letter dated April 29, 2021, and offer the following responses:

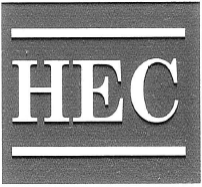
1. The existing building has a non-conforming side yard setback. The proposed project will modify the existing non-conforming building, reducing the non-conformity by reducing the height of the non-conforming portion of the building. The Owner will seek a variance for this work from the Zoning Board as required.
2. The sidewalk in the Village right of way has been revised to show a concrete walk, which will conform to Village standards. See detail on C-4.
3. Note added to Village Notes on C-2.
4. The proposed plantings as indicated on the Landscape Plan, Sheet L-1, shall conform with Village standard practice. We will await comments on the Landscape Plan from the consulting Village Landscape Architect.
5. An exterior lighting plan has been provided, see Sheet E-1. Also see the exterior lighting fixture specifications, also provided.
6. The proposed building consists of 12 residential units and 1,000 square feet of office space. The Total Daily Hydraulic Loading is approximately 2,350 gallons per day. The Peak Hourly Flow Rate for the facility is calculated as 7.66 gpm. The existing sewer lateral is shall remain and reused for the proposed building.
7. Existing utility service connections will be reused reflected in design drawings.



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8. A concrete walkway detail has been added to C-4. Work in the right-of-way has been noted on the plans to conform to Village standards.
9. A concrete curb detail has been added to C-4.
10. Tree removal has been added to the demolition plan (C-1). Tree protection has been added to Erosion and Sediment Control Plan (C-2) and Tree protection detail on the details (C-4).
11. The Village sanitation truck currently back into the existing driveway to collect waste from the existing building. The proposed plan re-locates the waste storage closer to the main driveway, which will increase ease of access for the Village sanitation truck. The Owner shall provide proof of ownership, written consent, and a hold harmless agreement per the requirements of 258-5 D of the Dobbs Ferry Village code. This documentation to follow separately from the Owner.
12. The Site Plan has been revised to show the limits of the proposed fence, see Sheets S-1 and Sheet A-1, and a fence detail has been provided, see Sheet A-6.
13. The cut and fill analysis has been added to C-3 of the plans.
14. The trench drain detail references the frost level protection on C-4.
15. All catch basin/details have been adjusted to account for 24" of sump.
16. An access port has been added to the plans C-2 and C-3, the detail can be found in C-4
17. All pipes have been adjusted to meet 2' of cover.
18. The size and approximate location of the existing overflow pipe has been added to C-2 and C-3 of the plans.
19. A tributary area map has been added to the drainage analysis.



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20. A call out on C-2 states porous pavement and paver areas shall be decompacted prior to installation.

21. Note added to Village notes on C-2.

22. The post-construction maintenance notes are added to C-3.

If you should have any additional questions or comments, please do not hesitate to contact our office at (914) 909-0420, or via email at david@hudsonec.com.

Sincerely,

David Young
Project Engineer