



RENDERING OF PROPOSED BUILDING

SCALE: NTS

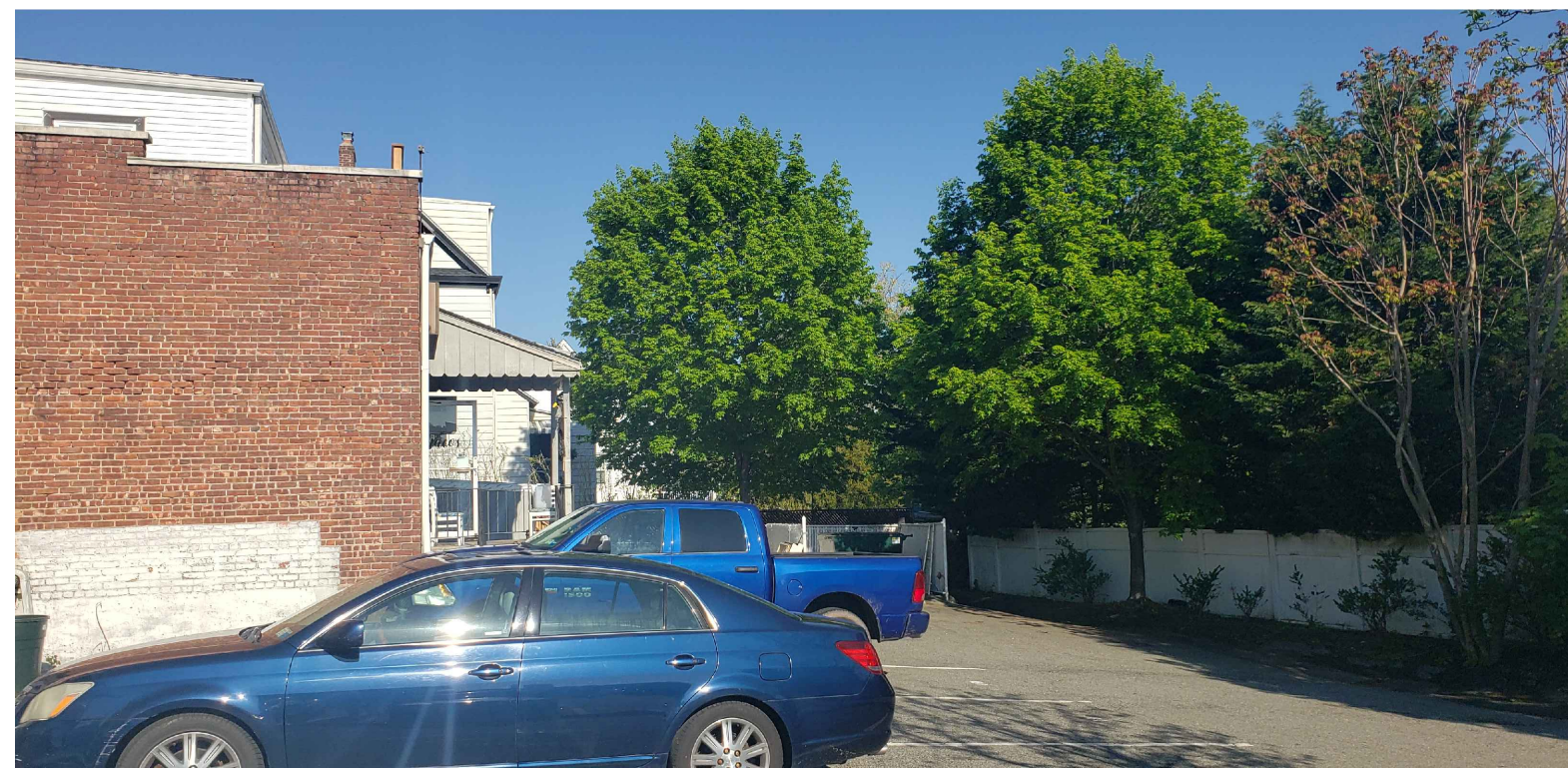
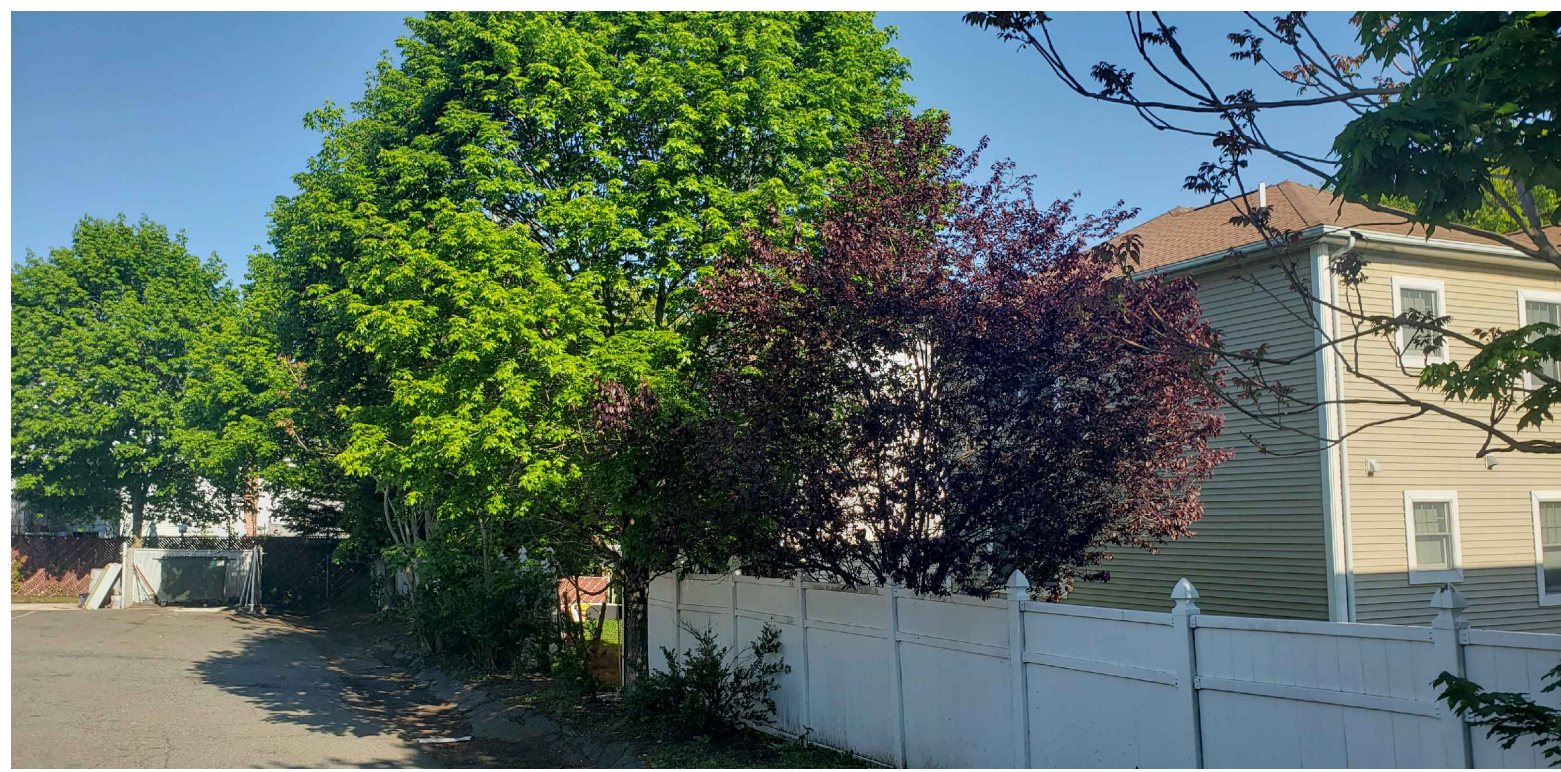
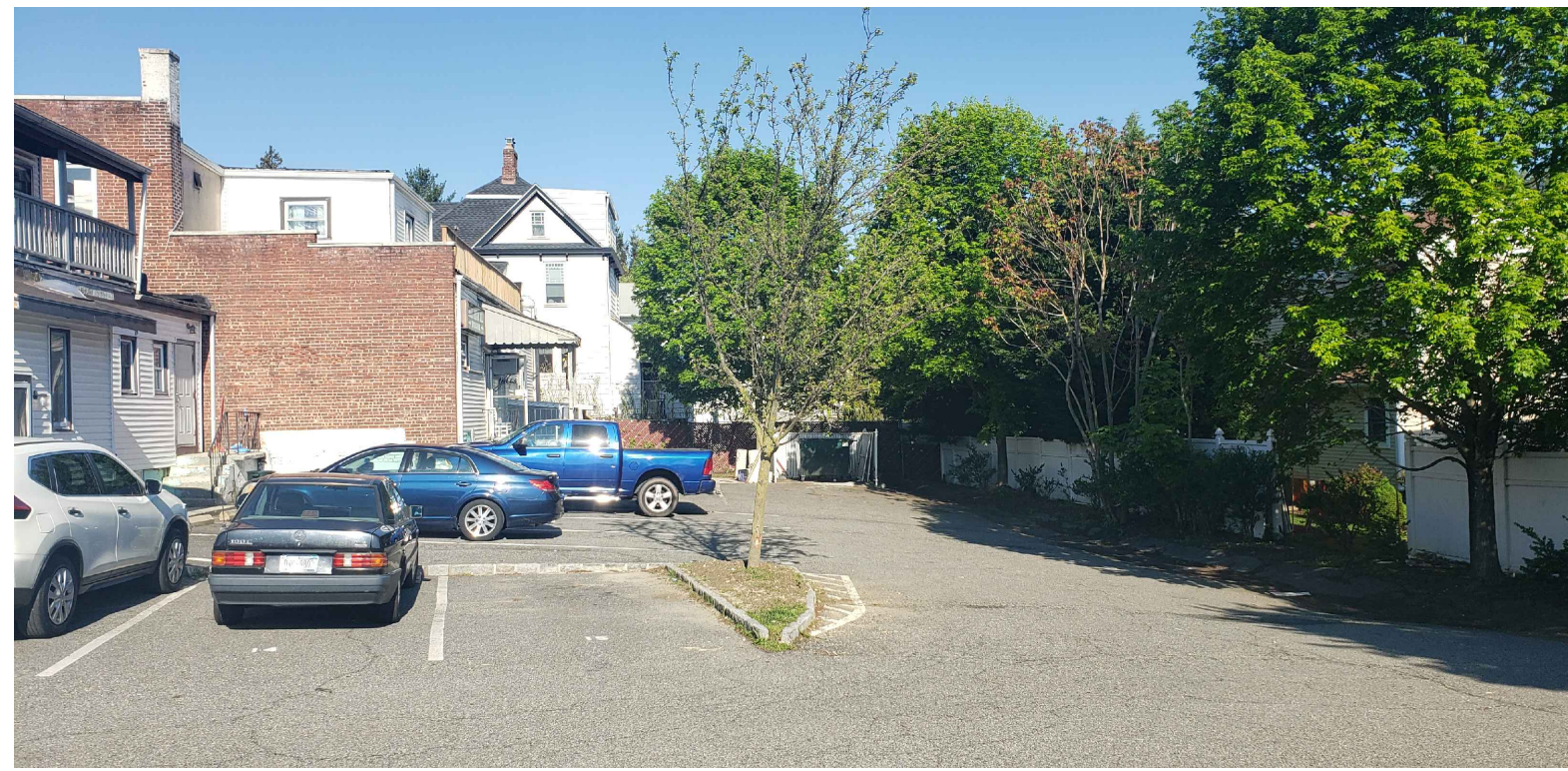
MULTI-USE BUILDING AT
185 - 191 ASHFORD AVENUE
 DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT PC
 10 Spring Street
 Hastings-on-Hudson, New York 10706
 914.478.0799
 www.christinagriffinarchitect.com

Date	PLANNING BOARD REVISIONS 3-24-21
Drawing Title	
Scale	

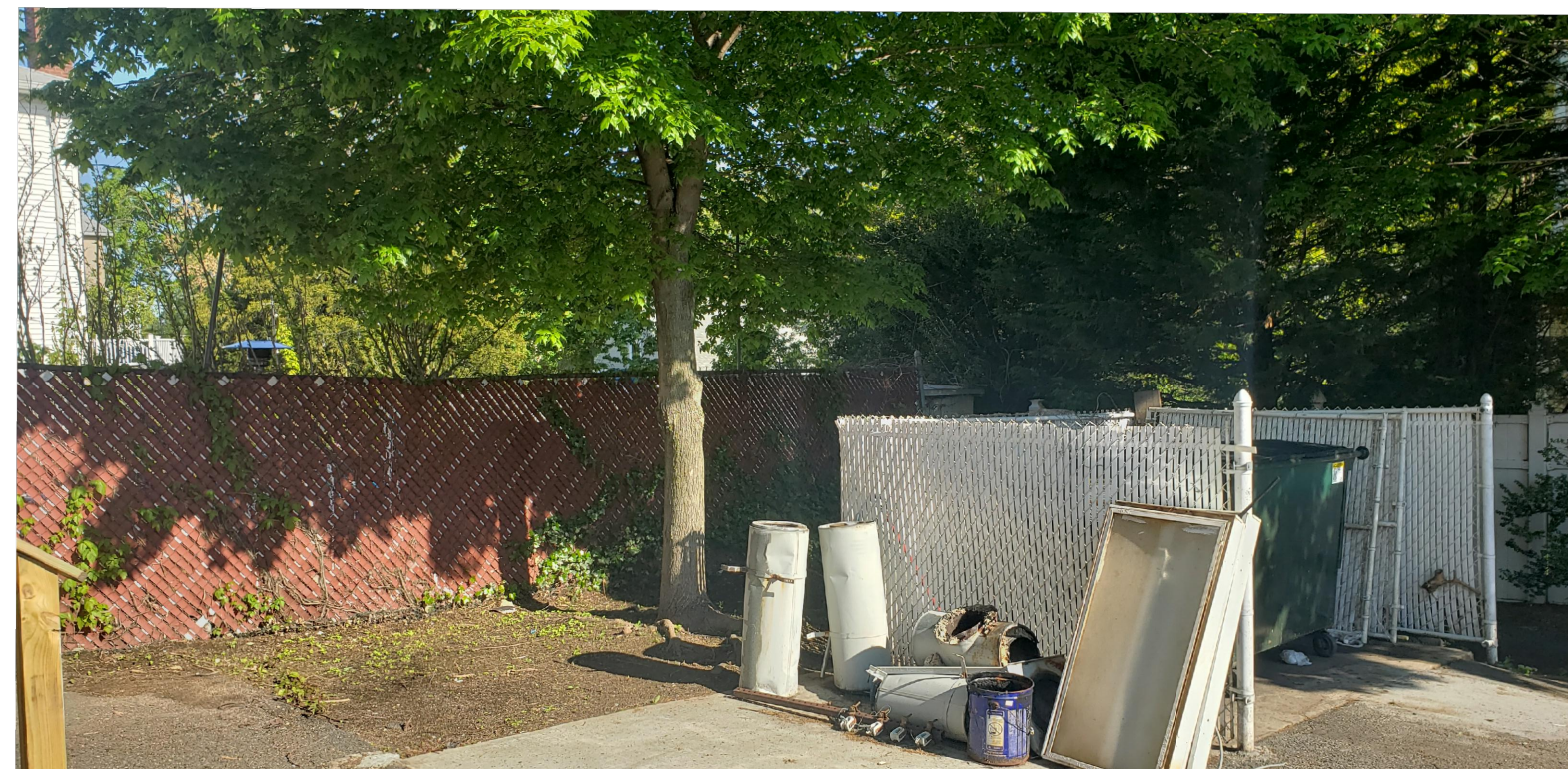
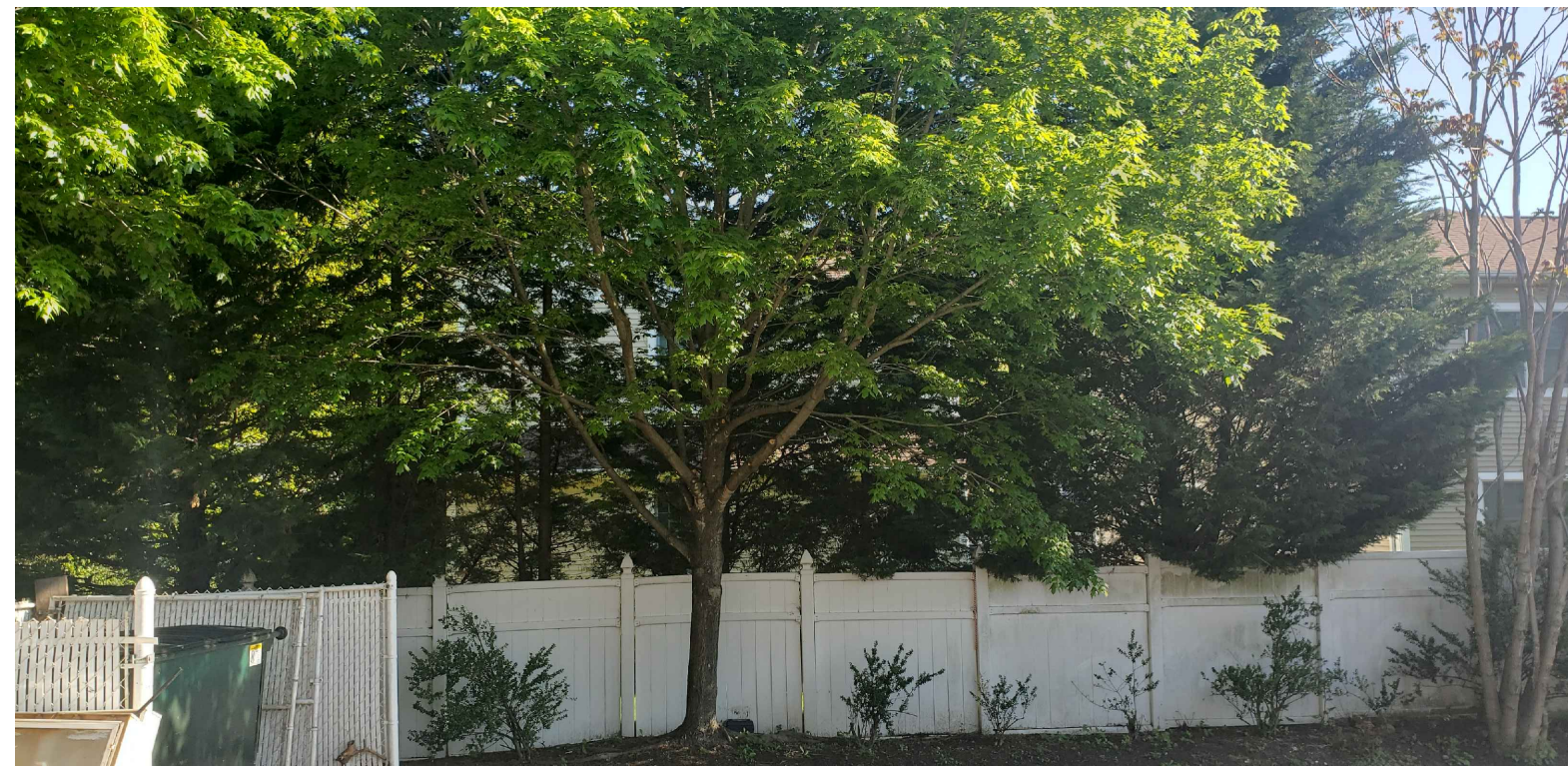


R-2



PHOTOGRAPHS AT REAR OF EXISTING PROPERTY

SCALE: 1/8" = 1'-0"



MIXE-USE BUILDING AT
185 - 191 ASHFORD AVENUE
DOBBS FERRY, NY 10522

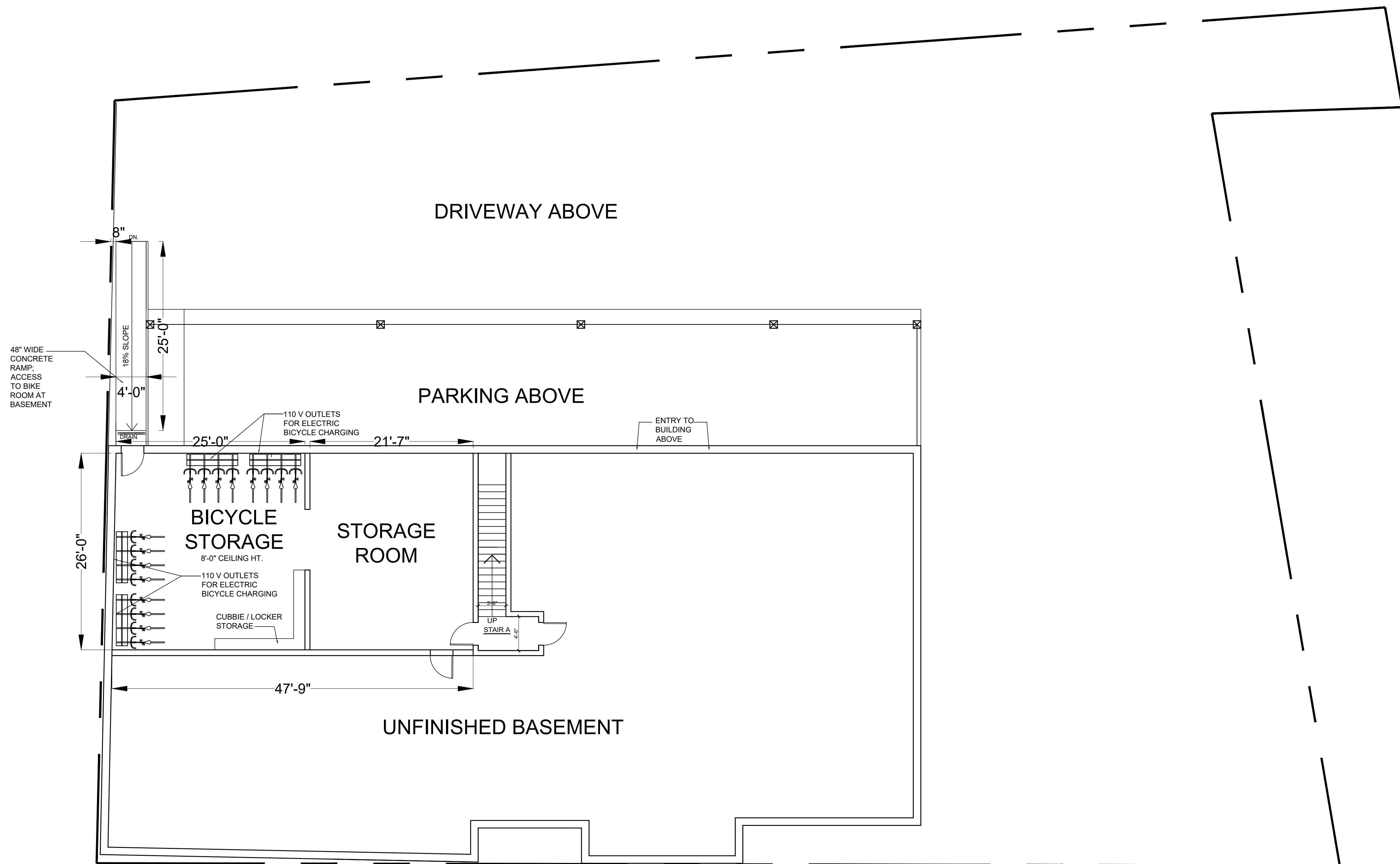
CHRISTINA GRIFFIN ARCHITECT PC
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Hastings-on-Hudson, New York 10706
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Date	DESCRIPTION
DESIGN DRAWINGS 5-29-20	PB SUB. 5-12-21
DESIGN DRAWINGS 6-24-20	PB SUB. 5-18-21
REVISED BOT. SUBMISSION 6-14-20	
REVISED BOT. SUBMISSION 10-16-20	
PLANNING BOARD SUBMISSION 12-21-20	
PLANNING BOARD / BOT. REVISIONS 1-27-21	
PLANNING BOARD SUBMISSION 3-24-21	
PLANNING BOARD SUBMISSION 4-22-21	

Drawing Title
BASEMENT PLAN

Scale:
AS SHOWN

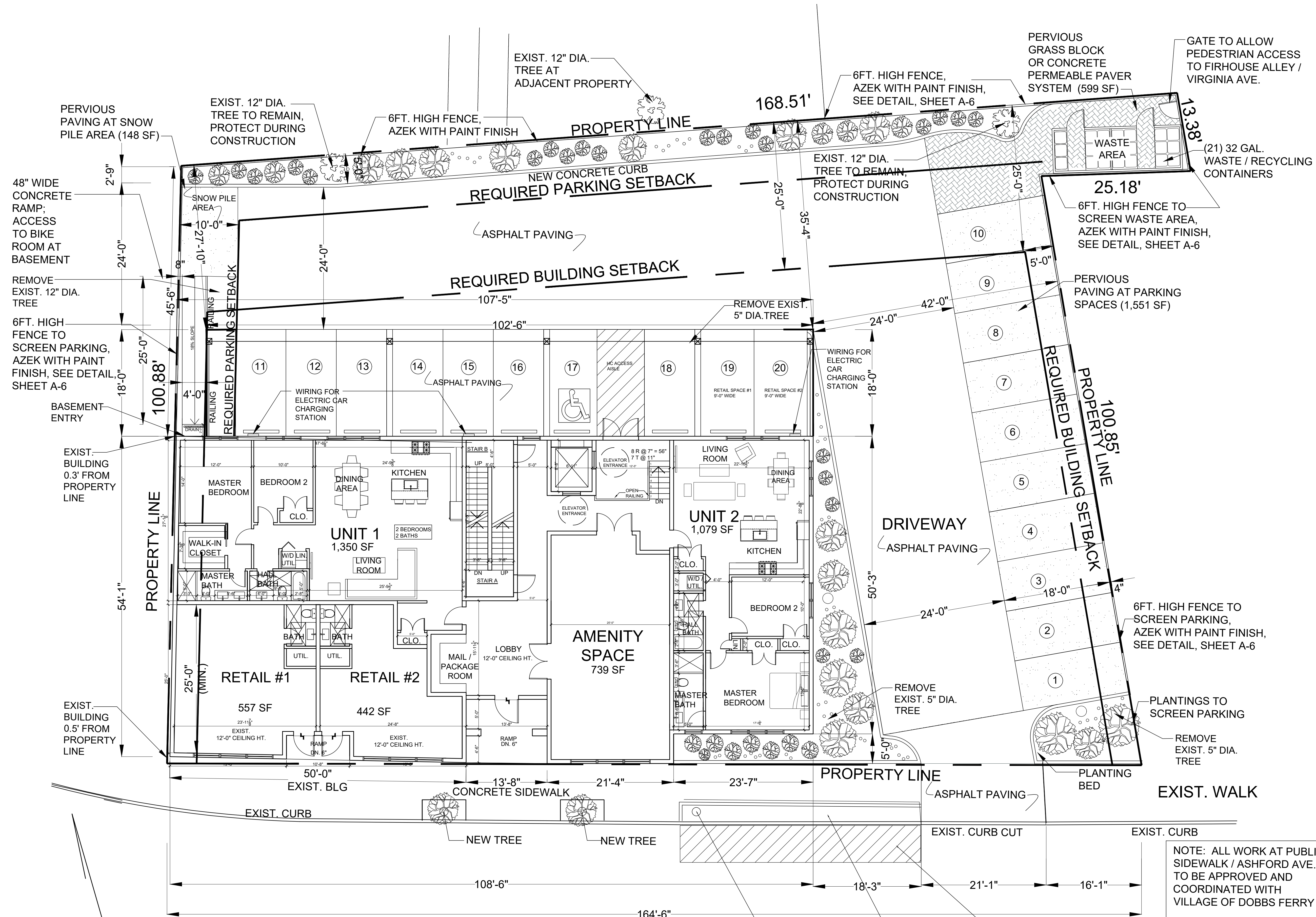
B-1



BASEMENT PLAN

SCALE: 1/8" = 1'-0"





ASHFORD AVENUE
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MIXE-USE BUILDING AT
185 - 191 ASHFORD AVENUE
DOBBS FERRY, NY 10522

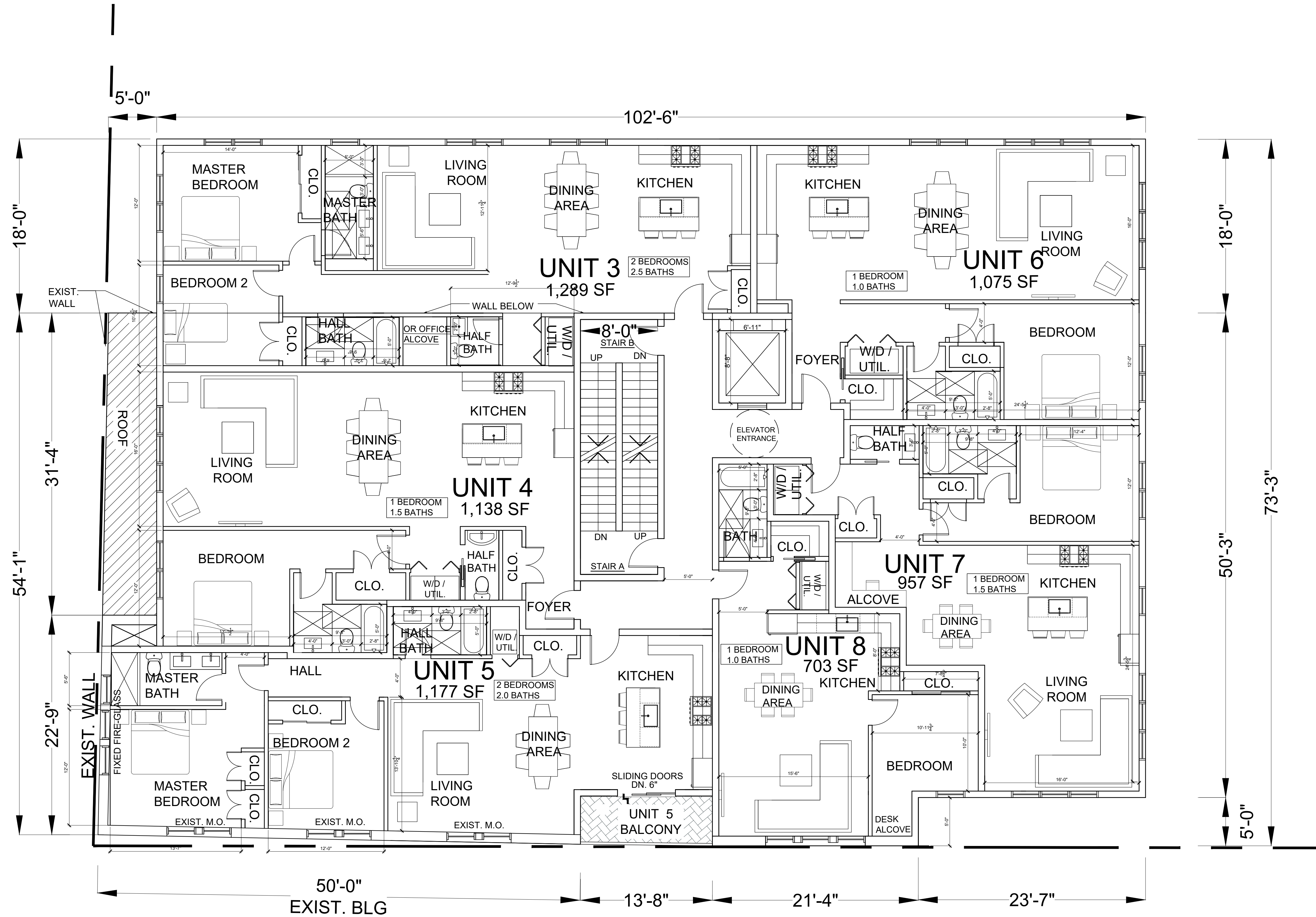
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Date	DESIGN DRAWINGS 5-29-20
DESIGN DRAWINGS 6-24-20	PB SUB. 5-12-21
REVISED BOT SUBMISSION 6-14-20	PB SUB. 5-18-21
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PLANNING BOARD SUBMISSION 12-21-20	
PLANNING BOARD / BOT REVISIONS 1-27-21	
PLANNING BOARD SUBMISSION 3-24-21	
PLANNING BOARD SUBMISSION 4-22-21	

Drawing Title: FIRST FLOOR PLAN
Scale: AS SHOWN



A-1

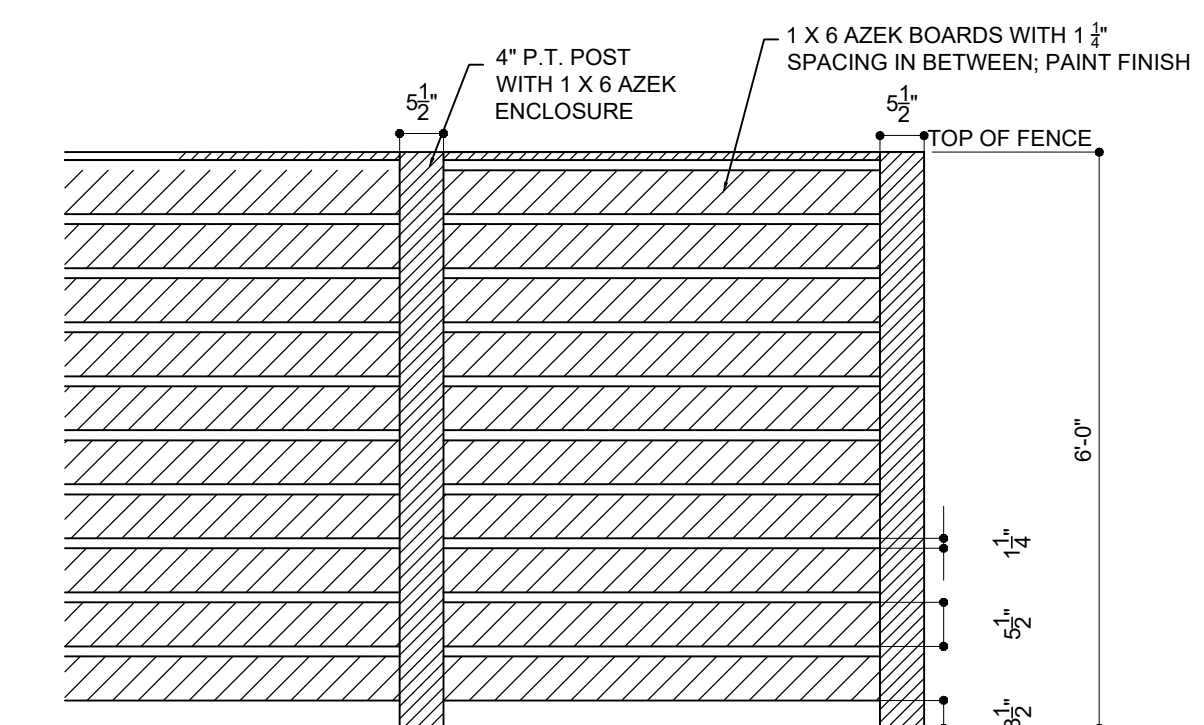
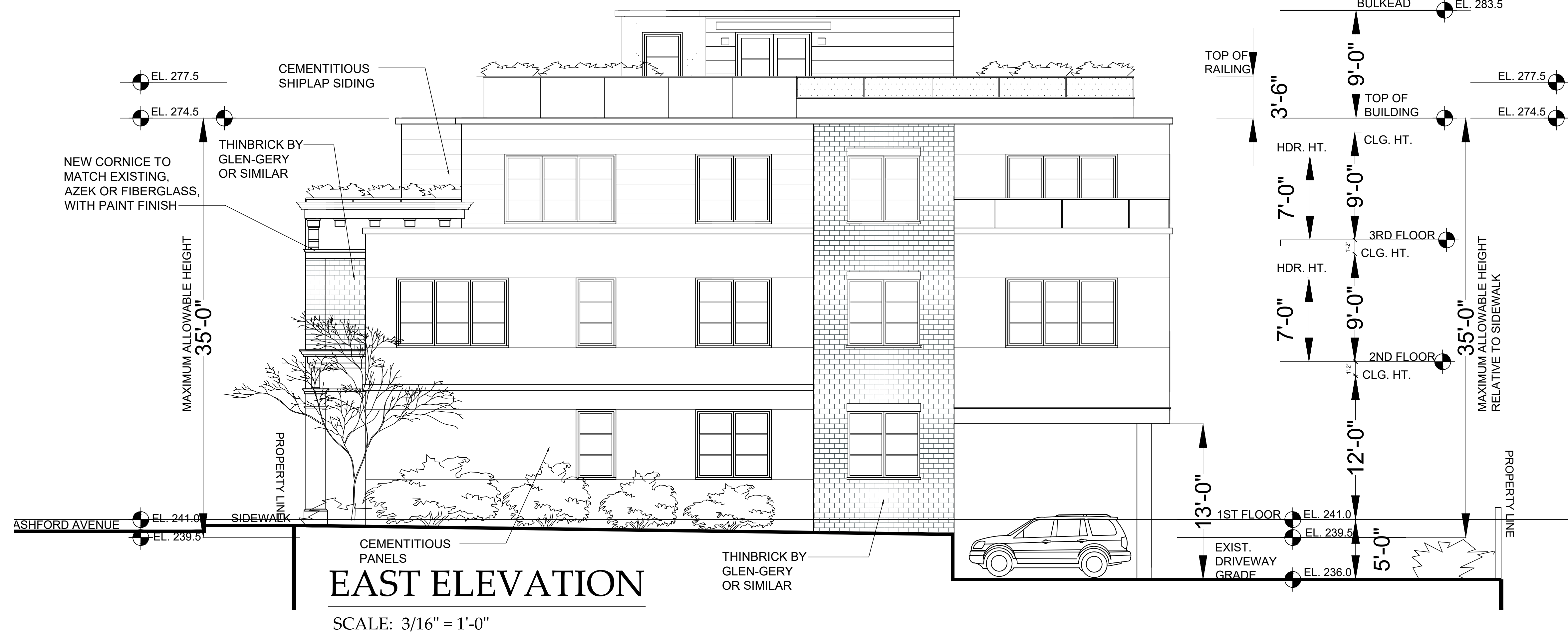
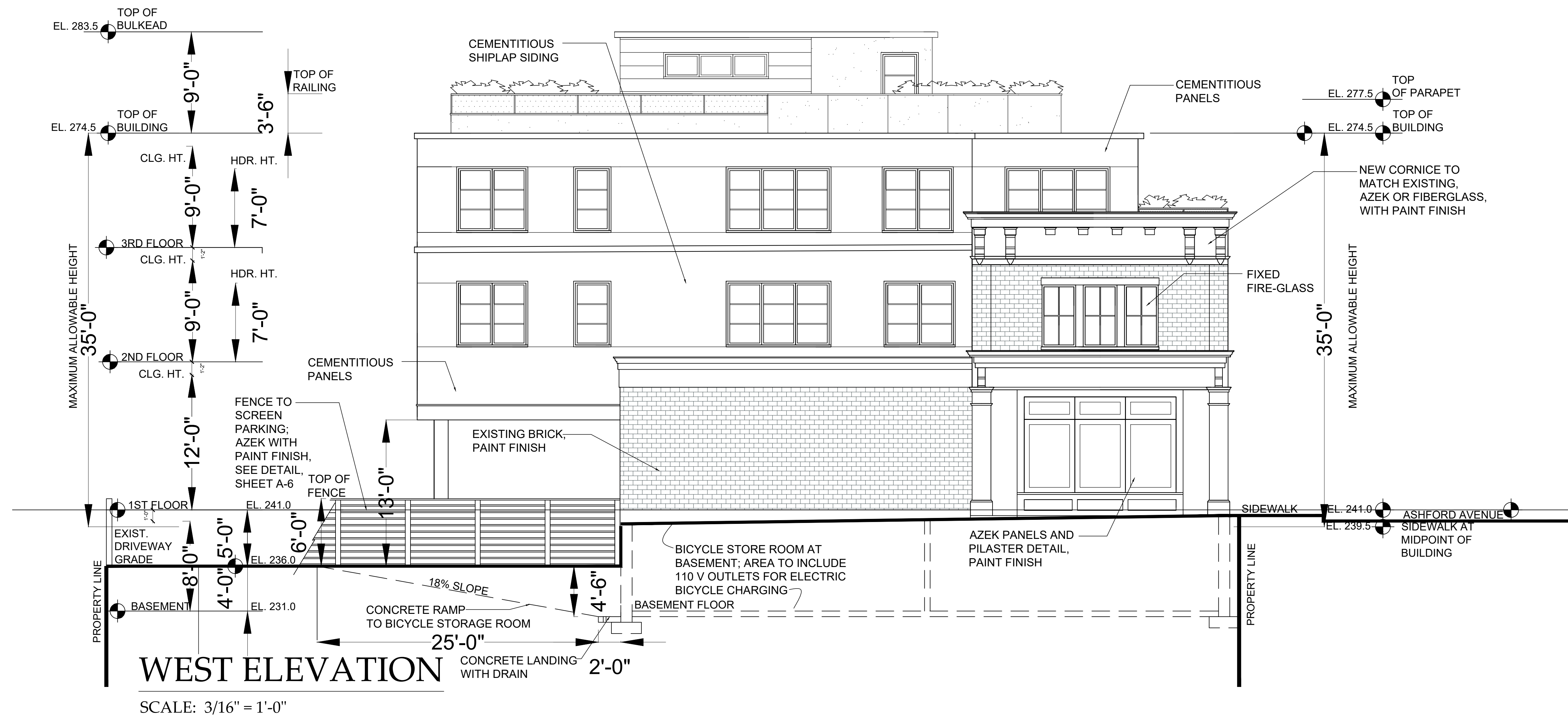


SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"



MIXED-USE BUILDING AT
185 - 191 ASHFORD AVENUE
DOBBS FERRY, NY 10522

Drawing Title SECOND FLOOR PLAN	Date BOT SUBMISSION 8-14-20	Scale: AS SHOWN PB SUB. 5-18-21
	REVISIONS 9-23-20	
	REVISIONS 10-16-20	
	REVISIONS 11-21-20	
	PLANNING BOARD SUBMISSION 1-27-21	
Christina Griffin ARCHITECT PC 10 Spring Street Hastings-on-Hudson, New York 10706 914.478.0799 www.christinagriffinarchitect.com	PLANNING BOARD REV. 3-12-21	PB SUB. 5-18-21
	PLANNING BOARD SUBMISSION 3-24-21	
	PLANNING BOARD SUBMISSION 3-24-21	
	PLANNING BOARD SUBMISSION 3-24-21	
	PLANNING BOARD SUBMISSION 3-24-21	



MIXE-USE BUILDING AT
185 - 191 ASHFORD AVENUE
DOBBS FERRY, NY 10522

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Drawing Title
 EXTERIOR ELEVATIONS
 BOT SUBMISSION 8-14-20
 REVISED BOT SUBMISSION 10-16-20
 PLANNING BOARD SUBMISSION 12-21-20
 PLANNING BOARD SUBMISSION 1-27-21
 PLANNING BOARD SUBMISSION 3-11-21
 PLANNING BOARD SUBMISSION 3-24-21
 PLANNING BOARD SUBMISSION 4-22-21
 PB SUB 5-12-21
 PB SUB 5-16-21
 Scale: AS SHOWN

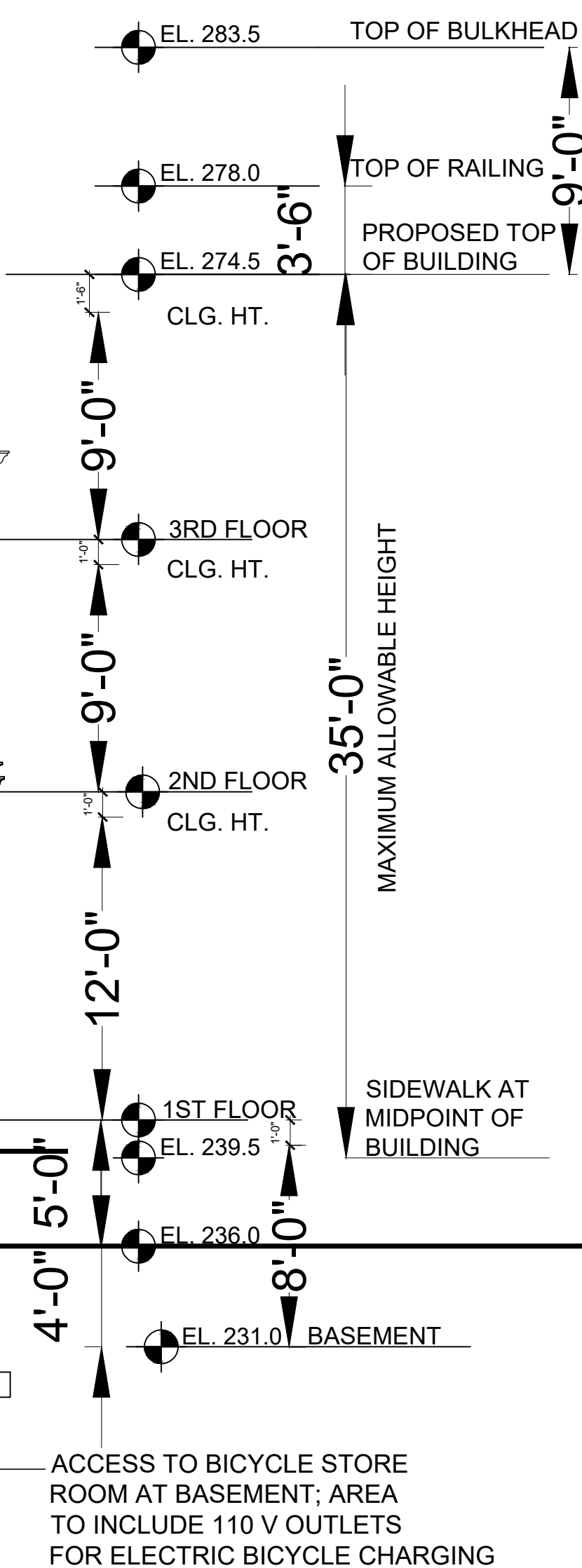
A-6





NORTH ELEVATION

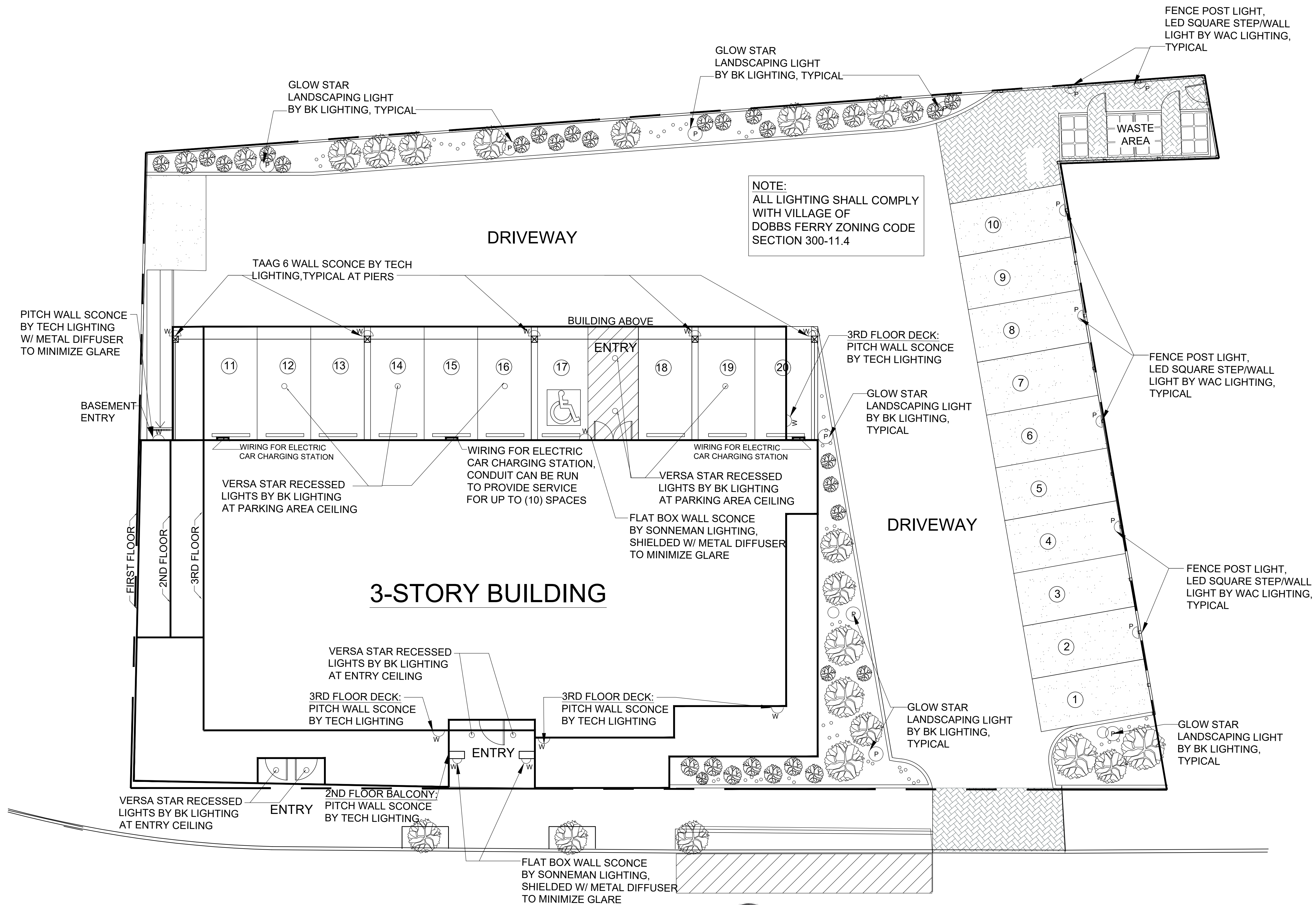
SCALE: 3/16" = 1'-0"



MIXE-USE BUILDING AT
185 - 191 ASHFORD AVENUE
DOBBS FERRY, NY 10522

Drawing Title EXTERIOR ELEVATIONS	Date BOT SUBMISSION 8-14-20
	REVISED BOT SUBMISSION 10-16-20
	PLANNING BOARD SUBMISSION 12-21-20
	PLANNING BOARD / BOT REVISIONS 1-27-21
	PLANNING BOARD REVISIONS 3-12-21
Scale AS SHOWN	PLANNING BOARD SUBMISSION 3-24-21
	PB SUB. 5-12-21
	PB SUB. 5-18-21

A-7



ELECTRICAL PLAN - EXTERIOR

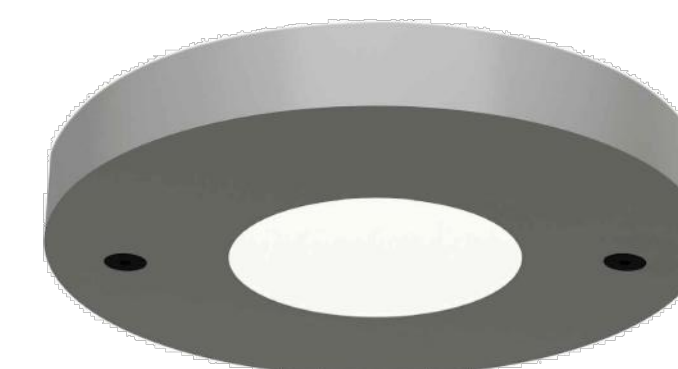
SCALE: 1/8" = 1'-0"



PITCH WALL SCONCE
BY TECH LIGHTING,
5" W. x 5" H. x 3.9" D.,
CHARCOAL FINISH



LED SQUARE STEP/WALL
LIGHT BY WAC LIGHTING,
2.75" W. x 3.25" H. x 1.88" D.,
BRONZED STAINLESS
STEEL FINISH



VERSA STAR RECESSED
LIGHT BY BK LIGHTING,
5" DIAMETER,
ALUMINUM FINISH



GLOW STAR
LANDSCAPING LIGHT
BY BK LIGHTING, STYLE "J"
2 1/4" DIA., 12" H.,
ALUMINUM FINISH



FLAT BOX WALL SCONCE
BY SONNEMAN LIGHTING,
6" W. x 17" H. x 2.5" D.,
TEXTURED GREY FINISH



TAAG 6 WALL SCONCE
BY TECH LIGHTING,
5" W. x 5.9" H. x 5.7" D.,
CHARCOAL FINISH
(OR TAAG 10, 10.2" W,
9.8 H. 10.2" D.)

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
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914.478.0799
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Date: PLANNING BOARD PRESENTATION 5-5-21
PLANNING BOARD SUBMISSION 5-19-21

Drawing Title:
ELECTRICAL PLAN

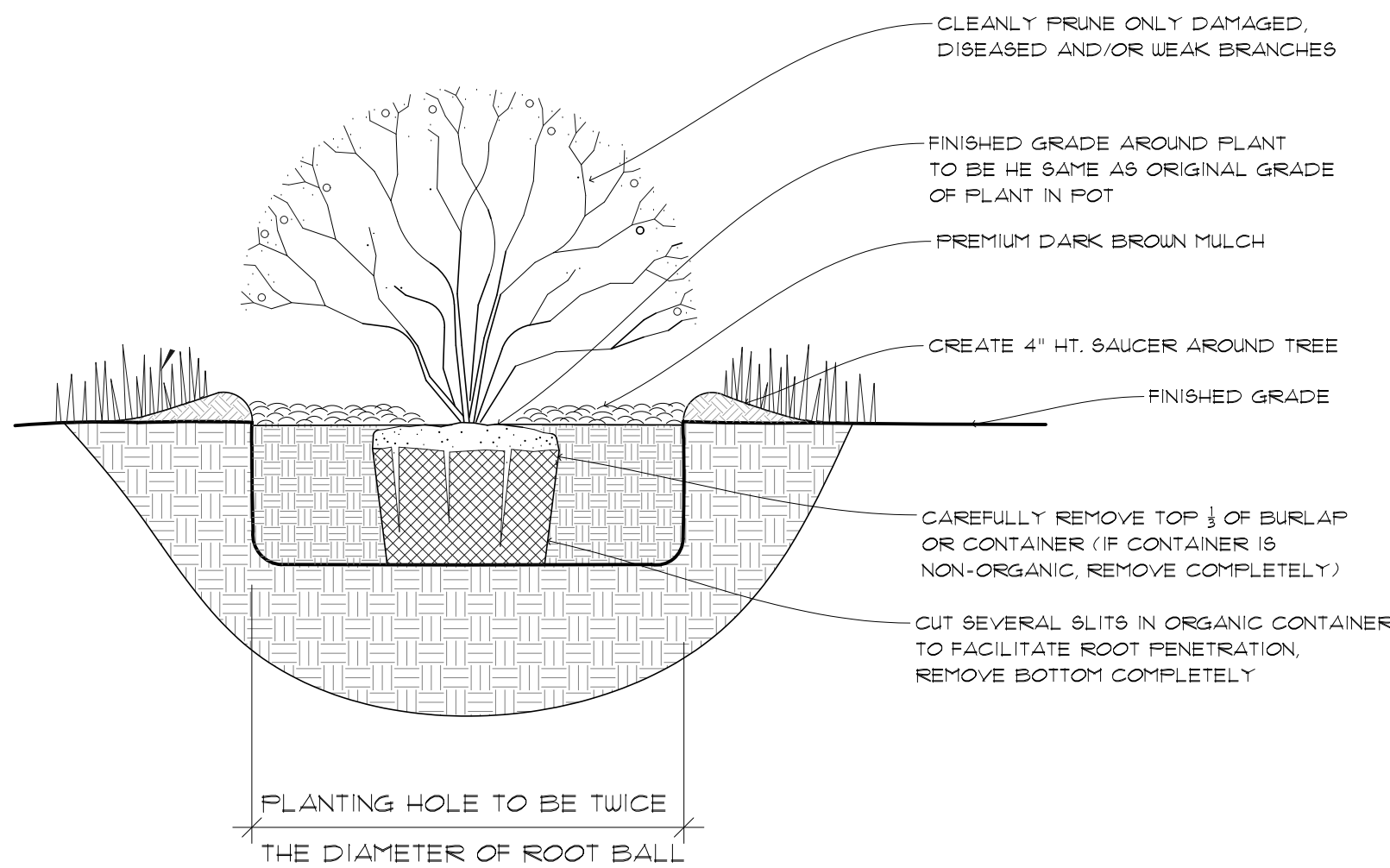
Scale:
AS SHOWN

E-1

MIXE-USE BUILDING AT
185 - 191 ASHFORD AVENUE
DOBBS FERRY, NY 10522

PLANT SCHEDULE

Key	Qty.	Common & Botanical Name	Size	Root
AR	1	October Glory Maple <i>Acer Rubrum</i> 'October Glory'	3-3 1/2" Cal.	B4B
TC	3	Greenspire Linden <i>Tilia cordata</i>	3"-3 1/4" Cal.	B4B
TO	14	Green Giant Arborvitae <i>Thuja standishii</i> x <i>plicata</i>	8'-10' Ht.	B4B
HOL	5	Dragon Lady Holly <i>Ilex x aquipernyi</i> 'Dragon Lady'	5' Ht.	
HYD	16	All Summers Beauty <i>Hydrangea</i> 'All Summers Beauty'	5 Cont.	
CA	20	Feather Reed Grass <i>Calamagrostis acutiflora</i> 'Karl Foerster'	#2 Cont.	
FEN	50	Fountain Grass <i>Pennisetum alopecuroides</i> 'Hameln'	#2 Cont.	
DAY	22	Happy Returns Daylily <i>Hemerocallis</i> 'Happy Returns'	#1 Cont.	
LIR	28	Big Blue Lilly Turf <i>Liriope muscari</i>	#1 Cont.	



1 SHRUB PLANTING DETAIL
LP-10 NTS

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TUGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEE STAKING DETAIL.

WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEE WRAPPING DETAIL.

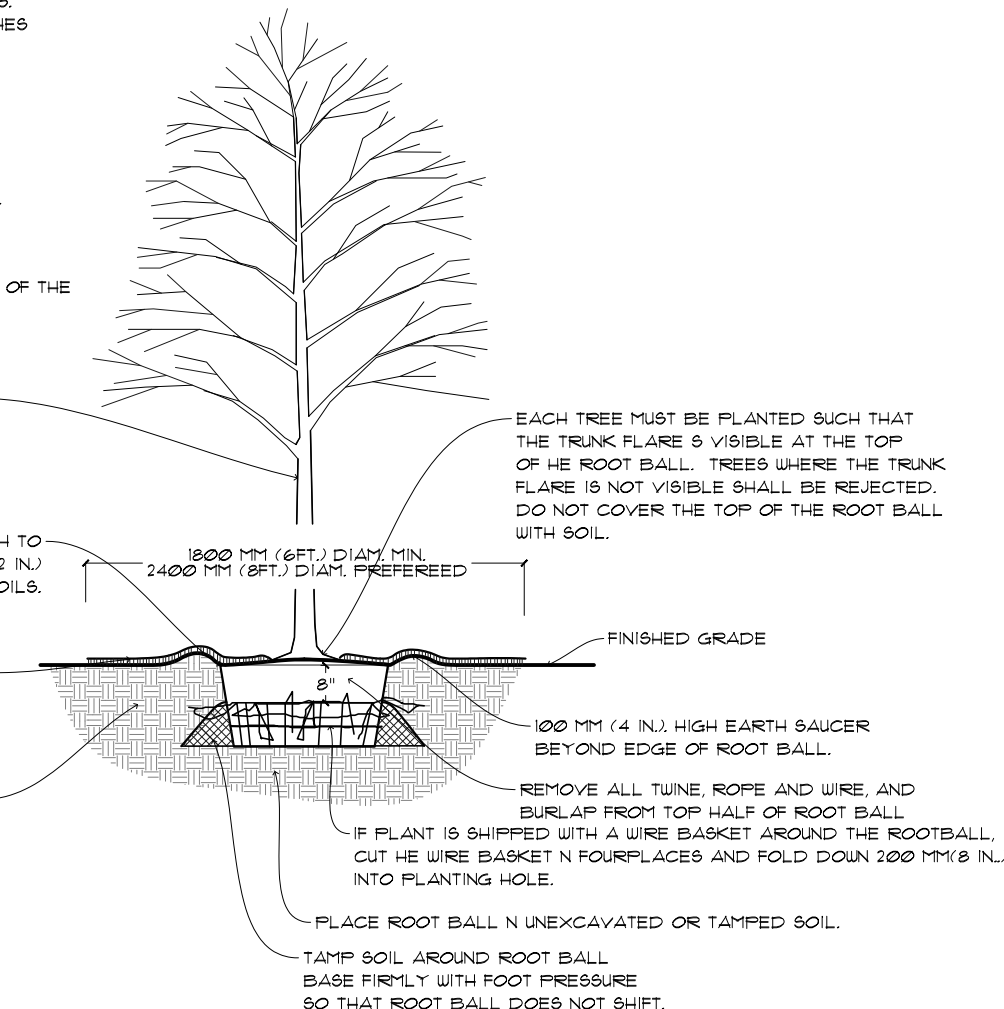
MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOUPLY DRAINING SOILS.

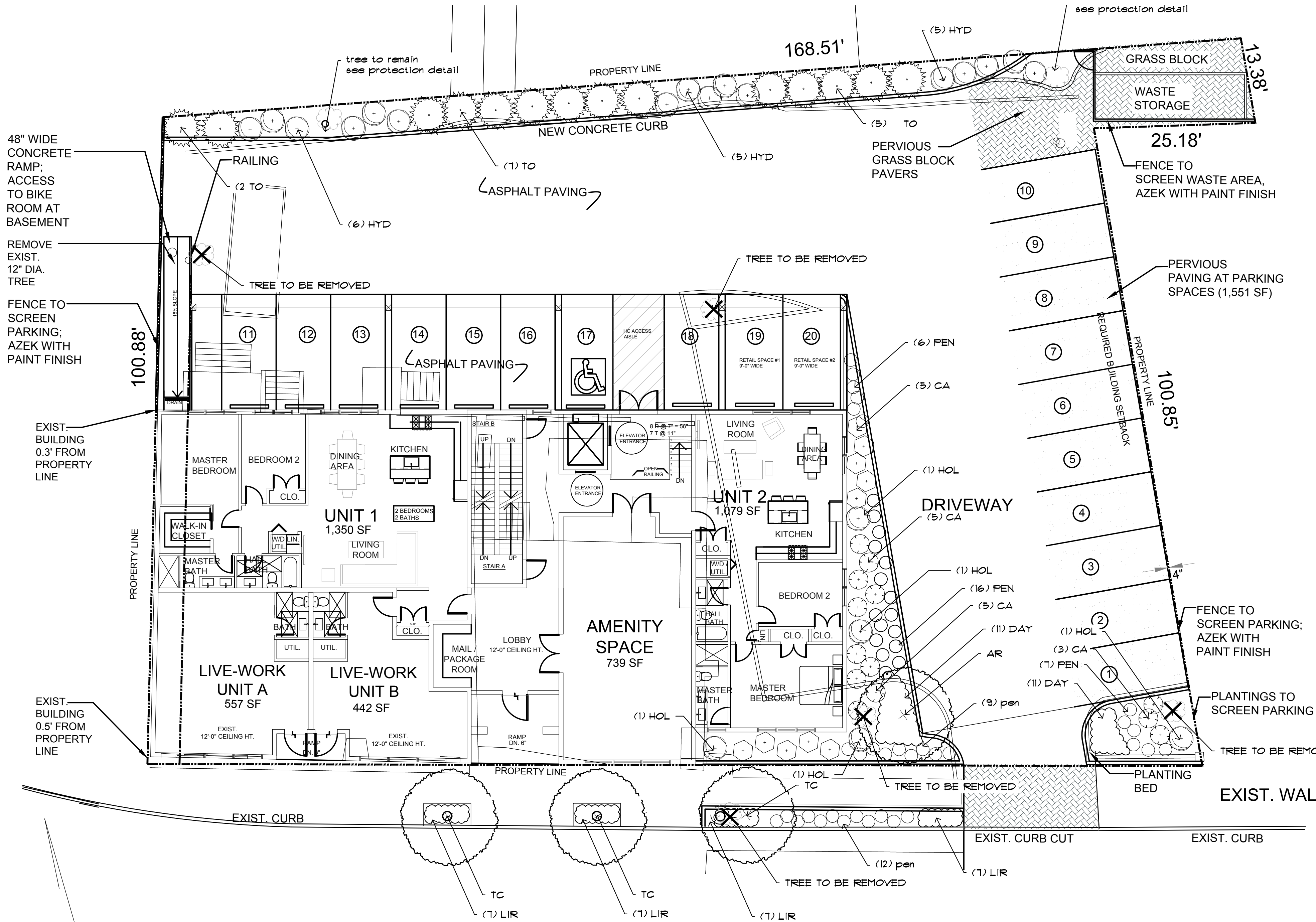
50 MM (2 IN.) MULCH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH USED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

NOTE: FOR DIMENSIONS OF PLANTING AREAS, TYPES OF SOIL AMENDMENTS, OR SOIL REPLACEMENT, SEE "SOIL IMPROVEMENT DETAILS."

PLACE ROOT BALL IN UNEXCAVATED OR TAMPED SOIL. TAMP SOIL AROUND ROOT BALL. BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.



2 TREE PLANTING DETAIL
LP-10 NTS

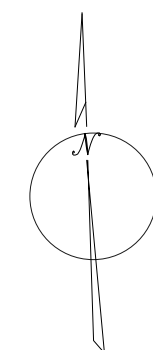


ASHFORD AVENUE

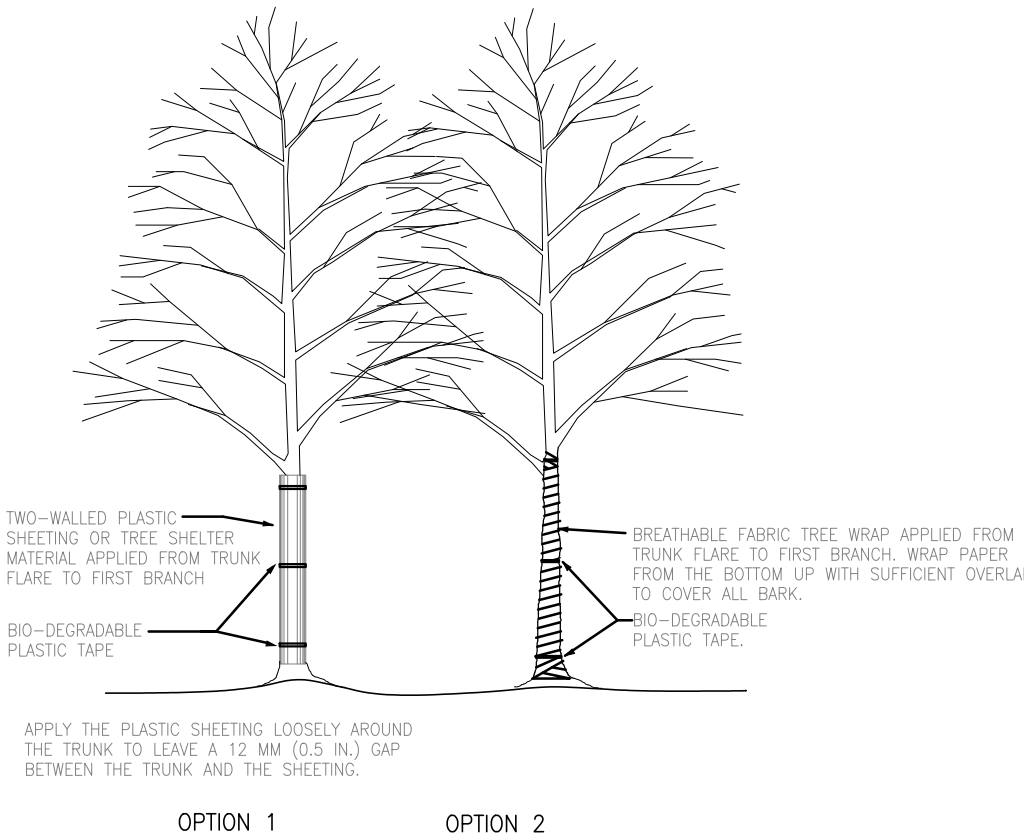
NOTES

- Survey Site Information taken from a survey by Hudson Engineering Inc, titled, Refer to these plans for more information.
- Location of existing utilities not performed by this office, confirm location of all utilities prior to construction. Call CALL DIG SAFELY NEW YORK.
- Contractor to verify all grades and dimensions prior to construction, contractor to inform Landscape Architect with any discrepancies.

0' 20' 40' 80'
1" = 20' - 0"



2 TREE PROTECTION DETAIL
LP-10 NTS



TREE WRAP SHOULD BE INSTALLED AT TIME OF PLANTING AND BE REMOVED WHEN DIRECTED BY THE LANDSCAPE ARCHITECT, BUT NO LATER THAN 12 MONTHS AFTER PLANTING.

TREES WHOSE NORTH ORIENTATION IS NOT CHANGED FROM THE NURSERY DO NOT NEED TO BE WRAPPED EXCEPT TREES WITH VERY THIN BARK, SUCH AS RED MAPLE, SHOULD BE WRAPPED IF APPROVED BY THE LANDSCAPE ARCHITECT.

NOTES
1. PLEASE REFER TO INTRODUCTION AND USE CRITERIA PRIOR TO USING THIS DETAIL.

NORTH

ROBERT SHERWOOD
LANDSCAPE ARCHITECT, LLC
P.O. BOX 564, BROOKFIELD CT 06804
p/203.798.1547 c/203.994.5337 e/robertsherwood@me.com



LANDSCAPE PLAN

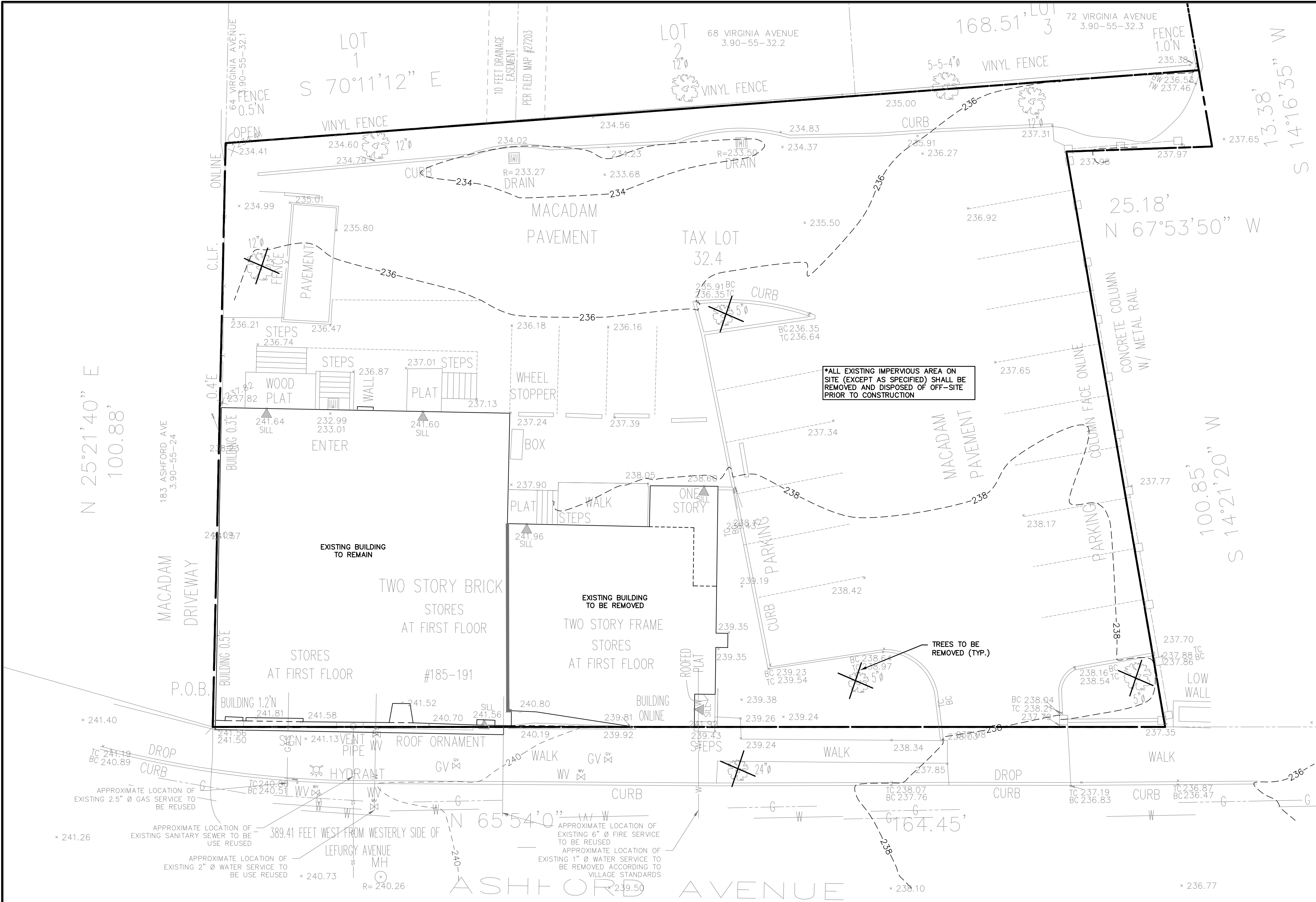
PROJECT:

#1 TREE REMOVAL 5.19.21
REVISIONS:
SCALE: AS NOTED
DATE: 04.21.21
JOB NO: 21.12
DRAWING NO:

LP-1.0
1 OF 1

Ashford Avenue Apartments
145 Palisade St.
Dobbs Ferry NY 10522

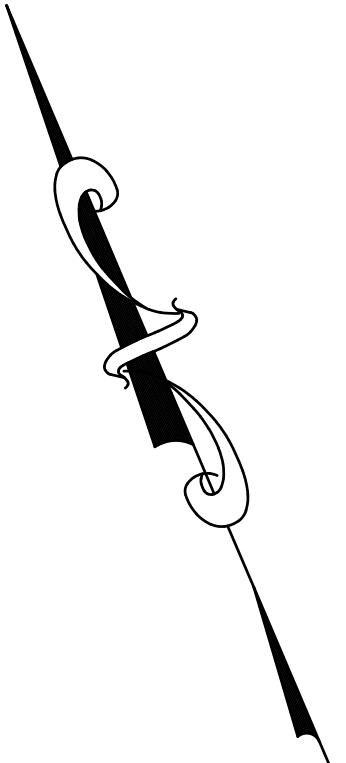
CLIENT:



LEGEND

PROPERTY LINE

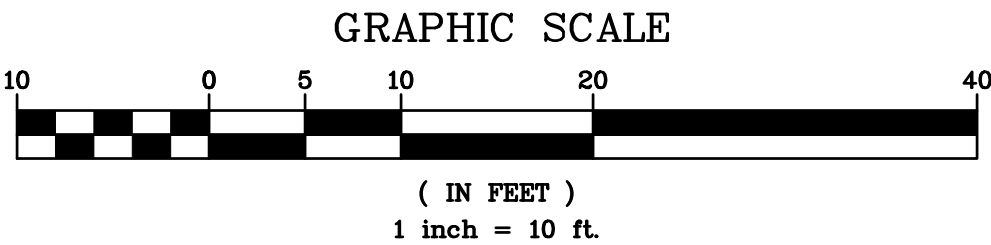
PROPOSED TREE TO BE REMOVED



NOTES:

1. ALL MATERIAL TO BE REMOVED SHALL BE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

191 ASHFORD AVENUE EXISTING AND DEMOLITION PLAN BASED UPON EXISTING INFORMATION PROVIDED BY SUMMIT LAND SURVEYING P.C. LOCATED AT 21 DRAKE LANE, WHITE PLAINS, NY 10607, DATED MAY 8, 2020



NO.	REVISIONS	DATE
1	TOWN COMMENTS	5/17/2021
2	ADDITIONAL COMMENTS	5/18/2021
3	ADDITIONAL COMMENTS	5/18/2021
4	ADDITIONAL COMMENTS	5/18/2021

PROJECT:
**PROPOSED BUILDING
191 ASHFORD AVENUE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY – NEW YORK**

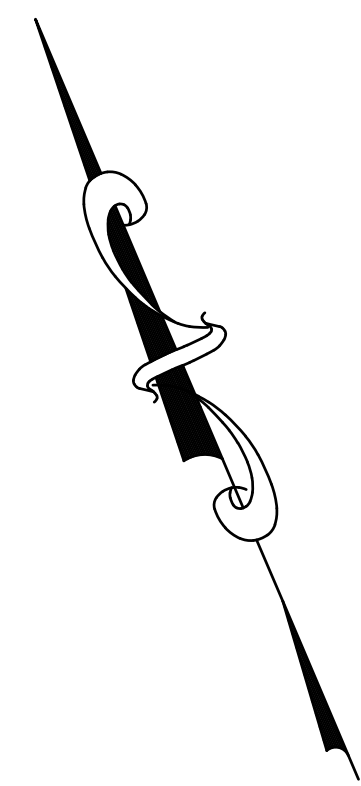
EXISTING AND DEMOLITION PLAN

HEC
ENGINEERING & CONSULTING, P.C.
45 Knollwood Road – Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086

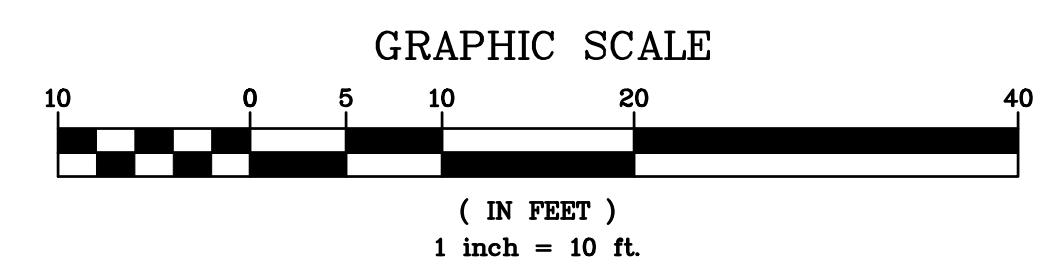
HUDSON
ENGINEERING & CONSULTING, P.C.
45 Knollwood Road – Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086

Date: 03/23/21 Sheet: 1
Scale: 1" = 10'
Designed By: D.Y.
Checked By: M.S.
Sheet No. 4

C-1

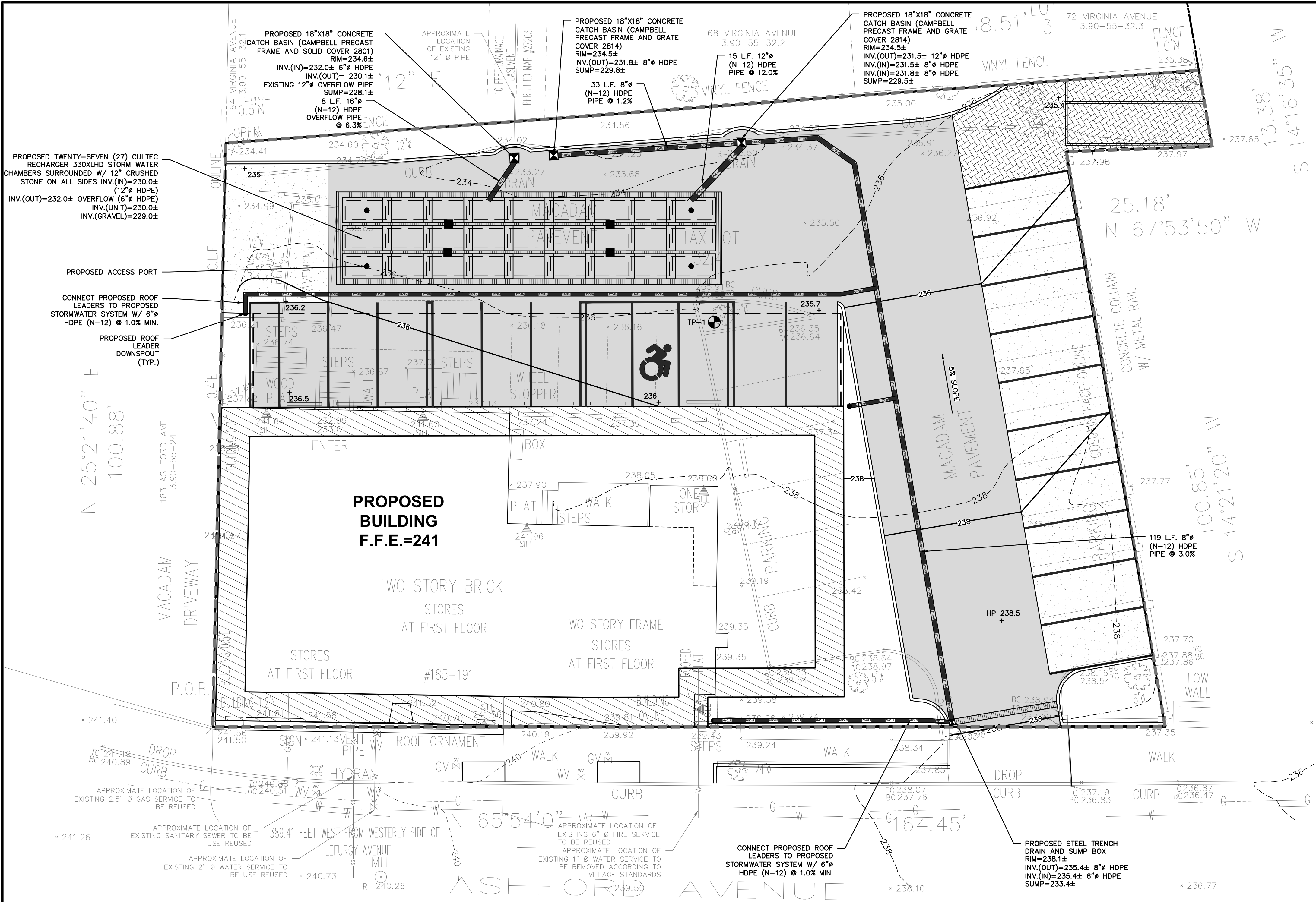


1. TEMPORARY PEDESTRIAN TRAFFIC CONTROLS WILL BE REQUIRED TO MAINTAIN SAFE AND ACCESSIBLE USE OF THE SIDEWALK THROUGHOUT CONSTRUCTION. ADDITIONAL TRAFFIC CONTROLS MAY BE REQUESTED BY THE VILLAGE IF DEEMED APPROPRIATE.
2. THE LIMITS OF POROUS PAVEMENT AND PERVIOUS GRASS BLOCK PAVERS SHALL BE SHOWN ON THE "AS-BUILT" SURVEY SUBMITTED TO THE VILLAGE



C-2

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.



LEGEND

PROPERTY LINE	---
PROPOSED CONCRETE CURB	=====
PROPOSED CONTOUR	-----238-----
PROPOSED SPOT GRADE	+238.5
PROPOSED STORM PIPE	=====
PROPOSED DRAIN INLET	⊠
PROPOSED TRENCH DRAIN	=====
TEST PIT LOCATION	TP-1
PROPOSED LIMIT OF DISTURBANCE	-----
PROPOSED ASPHALT DRIVEWAY/PARKING LOT	=====
PROPOSED PEROUS GRASS PAVERS	=====
PROPOSED PEROUS PAVEMENT	=====

TEST HOLE DATA:

TEST HOLE #1
DEPTH - 98"
0-6" TOPSOIL
6-12" CONCRETE/STONE
12-48" BROWN SANDY SILT W/ ROCKS
48-98" LOOSELY COMPACT BROWN SANDY LOAM W/ ROCKS
NO GROUNDWATER
LEDGE ROCK AT 98"
PERC. = 181.82 INCHES/HOUR

GENERAL NOTES:

- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
- NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CHAPTER 987.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO, A.S.C. ZONING AND THE NEW YORK STATE BUILDING CODE.
- ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
- ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.
- THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES.
- FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE.
- ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
- OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED TO PERFORM THE WORK SHALL BE ENDORSED TO NAME HUDSON ENGINEERING & CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL STIPULATE THAT THIS INSURANCE IS PRIMARY, AND THAT ANY OTHER INSURANCE OR SELF-INSURANCE MAINTAINED BY HUDSON ENGINEERING & CONSULTING, P.C., SHALL BE EXCESS ONLY AND SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE. ISO ADDITIONAL INSURED ENDORSEMENT FORM NUMBER CG2010 1185 UNDER OLC COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
- INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

NOTES:

- THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
- "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
- "THE RESTORATION FOR WORK PERFORMED WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS."
- "BEFORE THE SITE PLANS ARE SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN THE AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY."
- CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

STORMWATER MANAGEMENT FACILITIES MAINTENANCE PROGRAM

MEASURE	DATES FOR INSPECTION	TIMING, ACTIVITY, AND LOCATION
GENERAL MAINTENANCE (STORM SEWER, CATCH BASINS/ DRAIN INLETS, MANHOLES, PRE-TREATMENT DEVICE AND INFILTRATION BASIN)	ALL	ALL STORMWATER FACILITIES SHALL BE INSPECTED IMMEDIATELY AFTER COMPLETION OF CONSTRUCTION, AND THEN MONTHLY FOR THE FIRST THREE (3) MONTHS FOLLOWING THE COMPLETION OF THE PROJECT. WITHIN THE FIRST THREE (3) MONTHS, INSPECTIONS SHALL IMMEDIATELY BE PERFORMED FOLLOWING A LARGE STORM EVENT (I.E. PRODUCING 1/2" (ONE-HALF INCH) OF RAIN OR GREATER. THEREAFTER, THESE FACILITIES SHALL BE INSPECTED AS DESCRIBED AS FOLLOWS: UPON INSPECTION, FACILITIES SHALL BE IMMEDIATELY MAINTAINED AND/OR CLEANED AS MAY BE REQUIRED. ANY SITE AREAS EXHIBITING SOIL EROSION OF ANY KIND SHALL BE IMMEDIATELY RESTORED AND STABILIZED WITH VEGETATION, MULCH OR STONE, DEPENDING ON THE AREA TO BE STABILIZED. UPON EACH INSPECTION, ALL VISIBLE DEBRIS INCLUDING, BUT NOT LIMITED TO, TWIGS, LEAF AND FOREST LITTER SHALL BE REMOVED FROM THE BASIN, OVERFLOW DISCHARGE POINTS AND FRAMES AND GRATES OF DRAINAGE STRUCTURES.
SUMPS - CATCH BASIN/DRAIN INLETS AND DRAIN MANHOLES	UPON COMPLETION OF CONSTRUCTION: -ONCE A MONTH FOR THE FIRST THREE (3) MONTHS -EVERY FOUR (4) MONTHS THEREAFTER	ALL CATCH BASIN/DRAIN INLETS AND DRAIN MANHOLES WITH SUMPS HAVE BEEN DESIGNED TO TRAP SEDIMENT PRIOR TO ITS TRANSPORT TO THE INFILTRATION PRACTICE AND, ULTIMATELY, DOWNSIDE. THESE SUMPS WILL REQUIRE PERIODIC INSPECTION AND MAINTENANCE TO ENSURE THAT ADEQUATE DEPTH IS MAINTAINED WITHIN THE SUMPS. THE OWNER, OR THEIR DULY AUTHORIZED REPRESENTATIVE, SHALL TAKE MEASUREMENTS OF THE SUMP DEPTH. IF SEDIMENT HAS ACCUMULATED TO 1/2 (ONE-HALF) THE DEPTH OF THE SUMP, ALL SEDIMENT SHALL BE REMOVED FROM THE SUMP. SEDIMENTS CAN BE REMOVED WITH HAND-LABOR OR WITH A VACUUM TRUCK. THE USE OF ROAD SALT SHALL BE MINIMIZED FOR MAINTENANCE OF ROADWAY AND DRIVEWAY AREAS.
SUBSURFACE EXFILTRATION CHAMBERS/DRY WELL	UPON COMPLETION OF CONSTRUCTION: -IMMEDIATELY AFTER CONSTRUCTION -EVERY SIX (6) MONTHS THEREAFTER (SPRING & FALL) BY INDIVIDUAL HOMEOWNERS	ALL EXFILTRATION SYSTEMS SHALL BE INSPECTED EVERY SIX (6) MONTHS (SPRING AND FALL) FOR EXCESS SEDIMENT ACCUMULATION AND CLOGGING OF INLET AND OUTLET PIPING. DURING DRY WEATHER CONDITIONS, WHEN SEDIMENT HAS ACCUMULATED TO AN AVERAGE DEPTH EXCEEDING 3" (THREE INCHES), THE GALLERY SHALL BE WATER JETTED CLEAN, AND ALL ACCUMULATED SEDIMENTS SHALL BE VACUUMED OUT OR REMOVED MANUALLY. A STADIA ROD MAY BE INSERTED TO DETERMINE THE DEPTH OF THE SEDIMENT. MAINTENANCE OF THE INFILTRATION SYSTEMS LOCATED ON EACH INDIVIDUAL LOT SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.

CONSTRUCTION SEQUENCING:

- THE FOLLOWING EROSION CONTROL SCHEDULE SHALL BE UTILIZED:
- ESTABLISH A CONSTRUCTION ENTRANCE TO THE DEVELOPMENT AREA.
 - ESTABLISH CONSTRUCTION STAGING AREA.
 - SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION.
 - INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.
 - STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS (UP GRADIENT OF EROSION CONTROL MEASURES). TEMPORARILY STABILIZE TOPSOIL STOCKPILES (HYDROSEED DURING MAY, 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH A TARP(AULIN(S) NOVEMBER 1ST THROUGH APRIL 30TH INSTALL SILT FENCE AROUND TOE OF SLOPE.
 - DEMOLISH ANY EXISTING SITE FEATURES AND/OR STRUCTURES NOTED AS BEING REMOVED ON THE CONSTRUCTION DOCUMENTS, AND DISPOSE OF OFF-SITE.
 - ROUGH GRADE SITE.
 - EXCAVATE AND INSTALL EXFILTRATION SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. EXFILTRATION SYSTEMS SHALL BE TEMPORARILY PLUGGED UNTIL THE COMPLETION OF CONSTRUCTION AND THE SITE IS STABILIZED.
 - INSTALL ALL PRETREATMENT DEVICES, CATCH BASINS AND PIPING.
 - EXCAVATE AND CONSTRUCT FOUNDATION.
 - CONSTRUCT BUILDING.
 - FINE GRADE AND SEED ALL DISTURBED AREAS. CLEAN DRAIN LINES, CATCH BASINS, PRETREATMENT DEVICES AND EXFILTRATION SYSTEMS. ENSURE GRASS STAND IS ACHIEVED.
 - UNPLUG INFILTRATION/EXFILTRATION/ SYSTEMS. CONNECT ALL PROPOSED PIPING TO PREVIOUSLY INSTALLED EXFILTRATION/ATTENUATION GALLERIES.
 - INSTALL 4"-6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND INSTALL LANDSCAPE PLANTINGS. SPREAD SALT HAY OVER SEEDS AREAS.
 - PAVE PARKING LOT.
 - REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.
- *SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR WEEKLY AND PRIOR TO AND AFTER EVERY 1/2" OR GREATER RAINFALL EVENT.

VILLAGE NOTES:

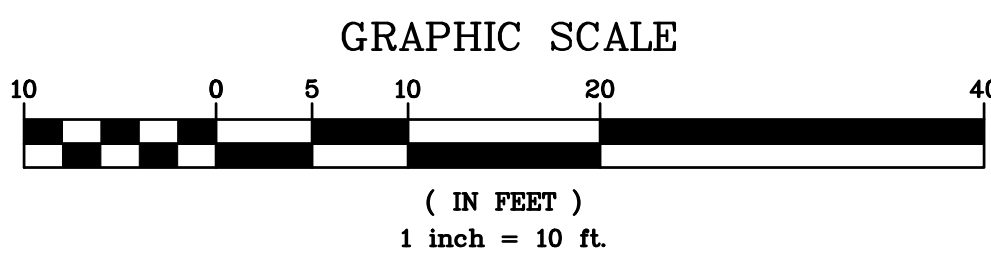
- THE PROPERTY IS LOCATED APPROXIMATELY 1.0 MILES FROM THE HUDSON RIVER AND THERE ARE NO WETLANDS/WATERCOURSES IN THE VICINITY OF THE PROPERTY.
- THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
- AS-BUILT PLANS OF THE PROPOSED DRIVEWAY AND DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
- BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.
- THE APPLICANT SHALL NOTIFY THE BUILDING DEPARTMENT OR VILLAGE'S CONSULTING ENGINEER IN WRITING AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING SO THAT ANY INSPECTION MAY BE PERFORMED.
 - START OF CONSTRUCTION.
 - INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES.
 - COMPLETION OF SITE CLEARING.
 - INSTALLATION OF SMP'S.
 - COMPLETION OF FINAL GRADING AND STABILIZATION OF DISTURBED AREAS.
 - CLOSURE OF CONSTRUCTION.
 - COMPLETION OF FINAL LANDSCAPING; AND
 - SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS
- THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR INSPECT AND DOCUMENT THE EFFECTIVENESS OF ALL EROSION AND SEDIMENTATION CONTROL PRACTICES AND PREPARE INSPECTION REPORTS AT LEAST ONCE A MONTH. THESE REPORTS MUST BE KEPT ON SITE AND AVAILABLE FOR REVIEW.

EARTHWORK ANALYSIS

CUT	FILL	NET
108.94 CU. YD.	44.10 CU. YD.	64.84 CU. YD. <CUT>

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

191 ASHFORD AVENUE STORMWATER MANAGEMENT PLAN BASED UPON EXISTING INFORMATION PROVIDED BY SUMMIT LAND SURVEYING P.C. LOCATED AT 21 DRAKE LANE, WHITE PLAINS, NY 10607, DATED MAY 8, 2020



DATE	5/17/2021
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REVISIONS	
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THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEER'S SEAL & SIGNATURE

PROJECT:

PROPOSED BUILDING
191 ASHFORD AVENUE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY - NEW YORK

STORMWATER MANAGEMENT PLAN

HUDSON
ENGINEERING

CONSULTING, P.C.
45 Knollwood Road - Suite 201
Elmsford, New York 10523

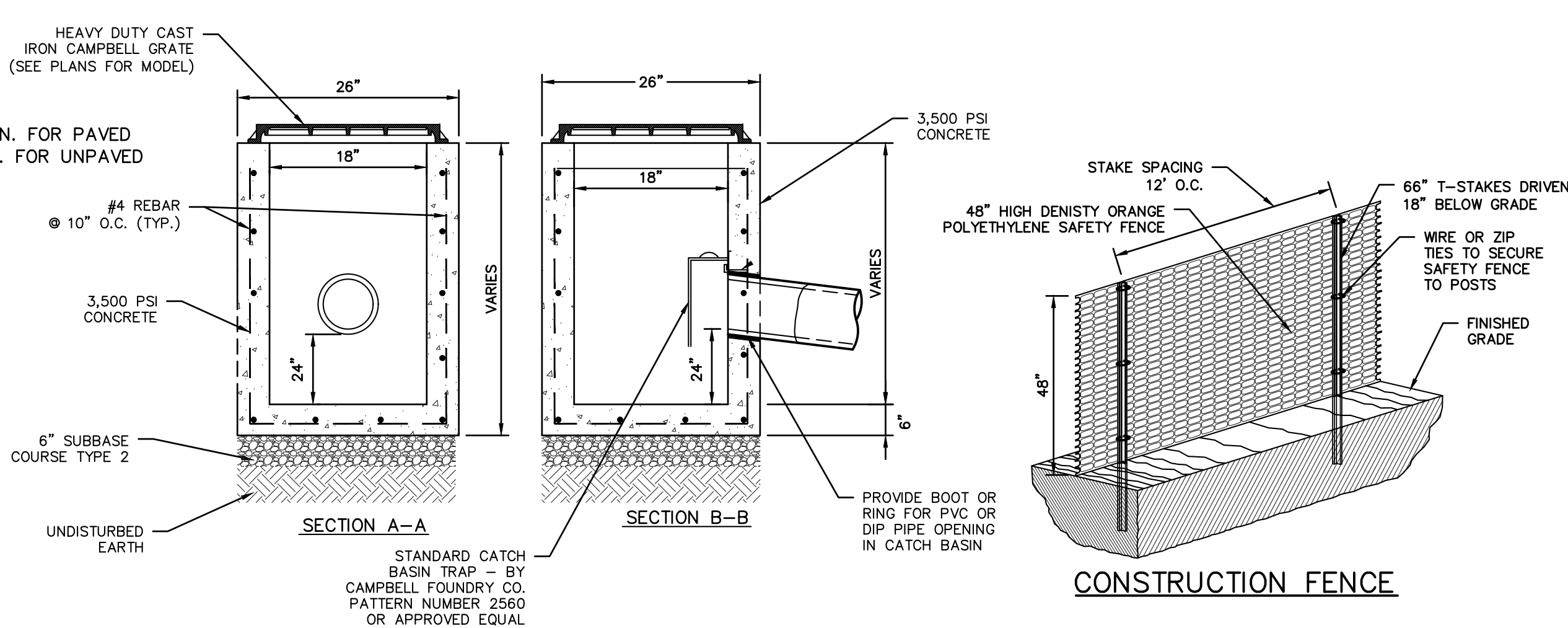
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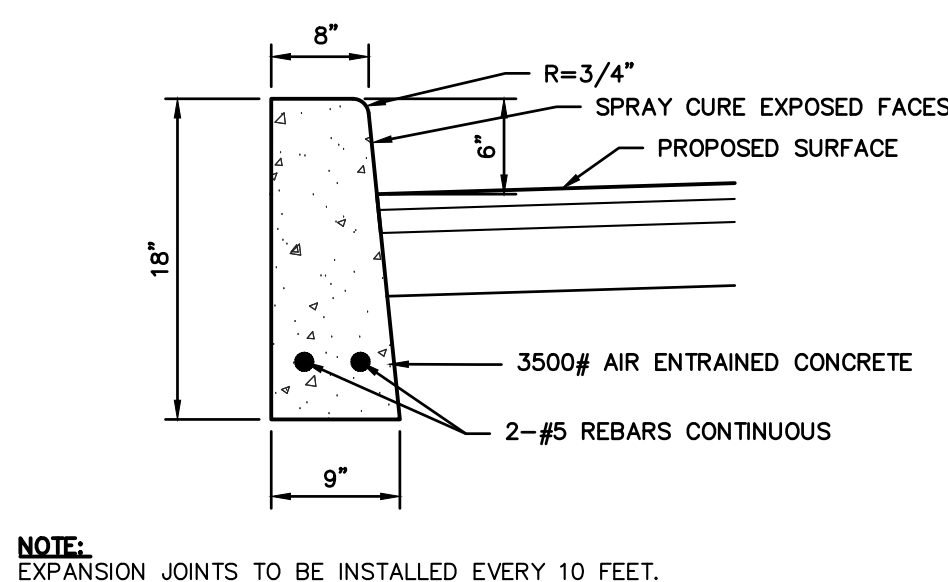
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NOTES:

1. CONCRETE - 3,500 PSI MINIMUM STRENGTH @ 28 DAYS
2. DESIGN LOADING - AASHTO HS20-44
3. EARTH COVER - 0 TO 5 FEET
4. CONSTRUCTION JOINT - LAPPED



CAMPBELL FRAME & COVER NO. 2800 OR APPROVED EQUAL

FINISHED GRADE

12"X12" PRECAST DRAIN INLET & GRATE

6" SUBBASE COURSE TYPE 2

UNDISTURBED

12"

PIPE

24" SUMP

18"

The diagram illustrates a rectangular washout basin. The top surface is labeled "6 MIL POLY LINER". The side of the basin features the "Outpak Washout" logo, which includes a recycling symbol. A small tab on the right side is labeled "OPTIONAL TAB TO SECURE WASHOUT TO GROUND".

1. THE WASHOUT SHALL BE INSTALLED PRIOR TO USING MATERIALS THAT REQUIRE WASHOUT ON THIS PROJECT.
2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE WASHOUT.
3. THE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR LIQUID WASTE.
4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
7. LOCATE WASHOUT AT LEAST 50' (15 METERS) FROM STORM DRAIN, OPEN DITCHES, OR WATER BODIES.
8. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.

Diagram illustrating the cross-section of a trench backfilled with compacted select granular material. The trench width is 12" at the top and 12" at the bottom. The backfill is composed of compacted select granular material in 9" lifts. A 12" diameter hole is shown in the bottom lift.

The diagram illustrates the cross-section of a turfstone installation. At the top, a 3D view shows a grid of interlocking turfstone pavers. Below this, a cross-section shows the layers from top to bottom: a layer of turfstone pavers (labeled 'TURFSTONE PAVER UNIT (50% VOIDS AT SURFACE)'), a layer of sod plugs or grass seeds (labeled 'SOD PLUG OR GRASS SEED'), a 12-inch layer of clean washed crushed stone base (labeled '12" OF 3/4" CLEAN WASHED CRUSHED STONE BASE'), a 1-inch layer of bedding sand (labeled '1" OF BEDDING SAND'), and a non-woven geotextile fabric at the sides and bottom of the gravel base (labeled 'NON-WOVEN GEOTEXTILE FABRIC AT SIDES AND BOTTOM OF GRAVEL BASE'). The entire assembly is surrounded by compacted soil (labeled 'COMPACTED SOIL PERIMETER'). The bottom layer is labeled 'UNCOMPACTED SUBGRADE'.

DRIVEWAY PAVEMENT SECTION

SECTIONS TO BE BOLTED TOGETHER WITH 3/8" NUTS AND BOLTS (AS FURNISHED BY MANUFACTURER)

6" HEAVY DUTY STEEL GRATE AS PROVIDED BY MANUFACTURER (OR APPROVED EQUAL)

6" HEAVY DUTY STEEL GRATE AS PROVIDED BY MANUFACTURER (OR APPROVED EQUAL)

4" 4,000 PSI CONCRETE AT SIDES AND BOTTOM OF STRUCTURE ALONG ENTIRE LENGTH

6" PETCO CLOSED BOTTOM TRENCH DRAIN UNIT (AVAILABLE IN 1FT, 4FT, 5FT & 6FT LENGTHS)

ISOMETRIC

SECTION

CRUSHED STONE EXTENDING TO FROST LEVEL

1/2"

4"

4"

6" PETCO CLOSED BOTTOM TRENCH DRAIN UNIT (OR APPROVED EQUAL)

NOTES:

1. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ANY DIRECTION.
2. HANDICAPPED STALLS SHALL BE DESIGNATED AS RESERVED BY A SIGN. THE SIGN SHALL BE SET A MINIMUM OF 84" ABOVE GRADE AND NOT BE OBSCURED BY A VEHICLE WHEN PARKED.

SECTIONS TO BE BOLTED TOGETHER WITH 3/8" NUTS AND BOLTS (AS FURNISHED BY MANUFACTURER)

6" HEAVY DUTY STEEL GRATE AS PROVIDED BY MANUFACTURER (OR APPROVED EQUAL)

TYPICAL 6" PETCO CLOSED BOTTOM TRENCH DRAIN UNIT (AVAILABLE IN 1FT, 4FT, 5FT & 6FT LENGTHS)

ISOMETRIC

CRUSHED STONE EXTENDING TO FROST LEVEL

SECTION

6" HEAVY DUTY GRATE AS PROVIDED BY MANUFACTURER (OR APPROVED EQUAL)

6" PETCO CLOSED BOTTOM TRENCH DRAIN UNIT (OR APPROVED EQUAL)

4" OF 4,000 PSI CONCRETE AT SIDES AND BOTTOM OF STRUCTURE ALONG ENTIRE LENGTH

4"

4"

1/2"

NOTE:

1. EACH SILTSACK SHALL BE PROPERLY SIZED FOR EACH INLET.
2. ALL CURB INLETS SHALL UTILIZE SILTSACK MODELS WITH BUILT IN CURB DEFLECTOR
3. SILTSACKS SHOULD ONLY BE UTILIZED ON DRAIN INLETS OUTSIDE OF THE DISTURBED AREAS TO PREVENT CONTAMINATION OF DOWN STREAM STORMWATER STRUCTURES.
4. SILTSACK SHALL BE REMOVED FROM EACH SILTSACK WHEN SILT DEPTH EXCEEDS 6-INCHES.
5. SILTSACKS SHOULD BE INSPECTED REGULARLY FOR DAMAGE. ANY DAMAGED SILTSACKS SHOULD BE REPLACED.

A diagram showing a tree with a trunk and a dense canopy. Below the tree, there are two types of fences. The first is a 'BOARD FENCE' made of vertical wooden boards. The second is a 'CORD FENCE' made of horizontal cords or wires. The fences are positioned around the base of the tree.

TRIANGULAR BOARD FENCE

CORRECT TRUNK ARMORING

Diagram illustrating the installation of a vegetative stabilization structure. The structure is a large, conical pile of material, stabilized by vegetation or cover. The slope is indicated as 2:1 or less. The base of the pile is reinforced with a silt fence. The structure is supported by a foundation of minimum slope material.

INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILE OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED WITHIN THE PROJECT SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
4. STOCKPILE SHALL BE COVERED WITH A 4" MINIMUM THICKNESS OF GEOTEXTILE OR SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND COVERED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

The drawing consists of two parts: a cross-section and a plan view.

Cross-Section: Shows a rectangular basin with a width of 25' MIN. The interior is labeled "3 in. CLEAN STONE". The top right corner shows a vertical dimension of 1'-0". Labels with leader lines point to the "COMPACTED SUBGRADE" and "FILTER FABRIC" at the bottom.

Plan View: Shows the top-down view of the basin. The length is labeled as 50' MIN. The left side is labeled "START AT EXIST. PAVEMENT" with an arrow pointing to the left edge of the basin.

INSTALLATION NOTES:

1. STONE SIZE - USE #3 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE DRIVEWAY WHERE 25 FEET MAY BE USED IF THE DRIVEWAY WOULD APPLY.)
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE THE DRIVEWAY ENDS OR OCCURS.
5. FILTER CLOTH - WILL BE LAYED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. IT WILL BE REINFORCED WITH 2" X 4" STUDS AT 4' ON CENTER.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE CURB SHALL BE INSTALLED TO DIVERT WATER TO THE STREET.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC WASHING OF THE ENTRANCE. WHEN WASHING IS REQUIRED, THE CONTRACTOR SHALL PROVIDE CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED INTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING OF THE ENTRANCE DURING RAIN OR AN APPROPRIATE TRAFFIC DEVICE INTO PUBLIC RIGHT OF WAY: WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA OF THE DRIVEWAY NOT USED BY TRAFFIC.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

POST

SUPPORT NET

FILTER FABRIC

FLOW

BACKFILL

NATIVE SOIL

TOE-IN METHOD

POSTS

SECTION B

SECTION A

TOP VIEW

COUPLER

SECTION A

SECTION B

JOINING SECTIONS OF FENCING

INSTALLATION NOTES:

1. EXCAVATE A 4 INCH * 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BEHIND THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.

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PROJECT: PROPOSED ADDITION & ALTERATIONS
191 ASHFORD AVENUE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY – NEW YORK

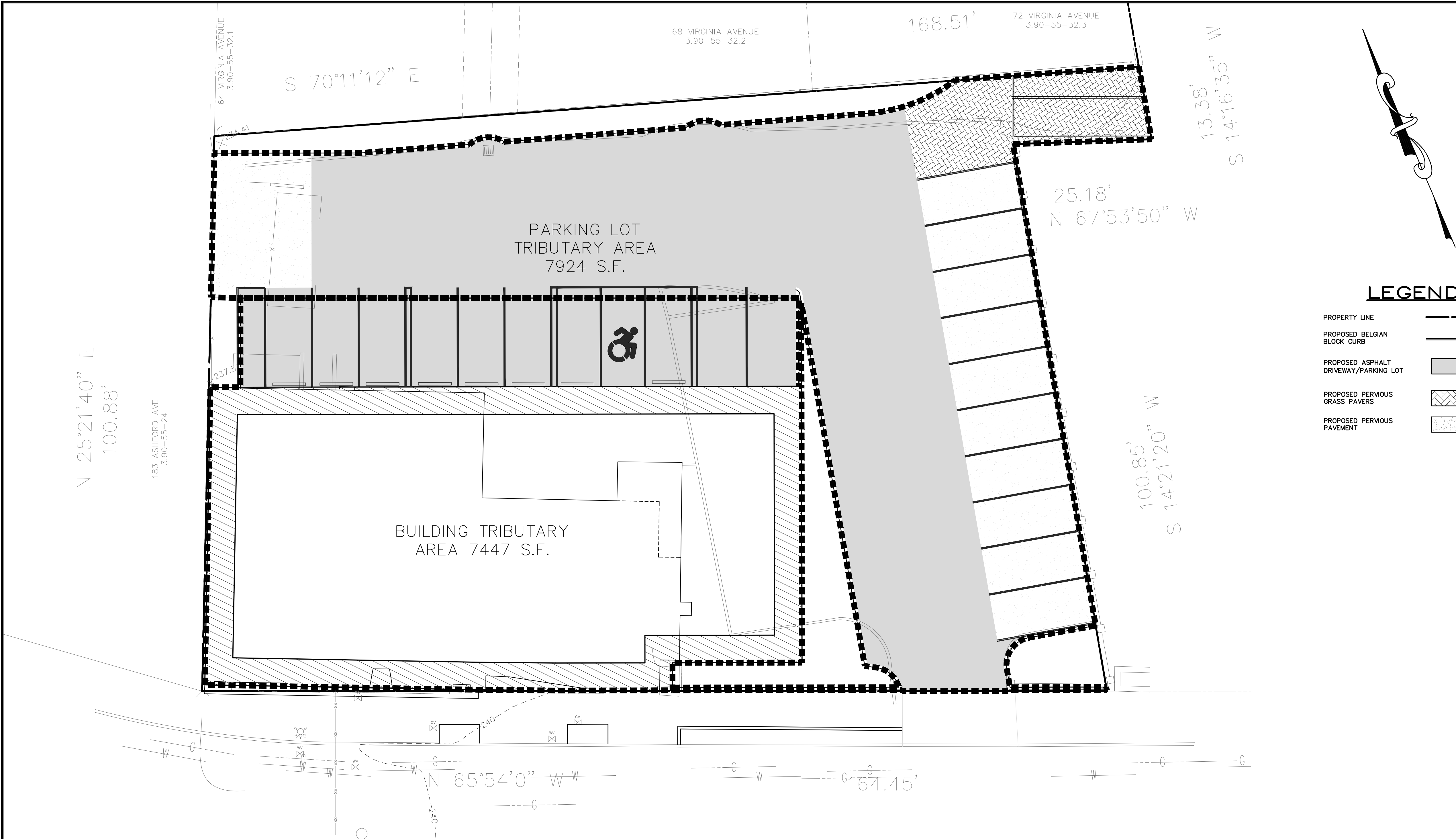
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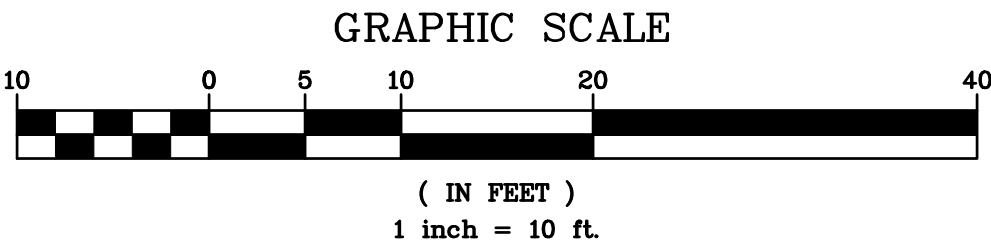
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LEGEND

- PROPERTY LINE
- PROPOSED BELGIAN BLOCK CURB
- PROPOSED ASPHALT DRIVEWAY/PARKING LOT
- PROPOSED PERVIOUS GRASS PAVERS
- PROPOSED PERVIOUS PAVEMENT

191 ASHFORD AVENUE TRIBUTARY AREA
MAP BASED UPON EXISTING
INFORMATION PROVIDED BY SUMMIT
LAND SURVEYING P.C. LOCATED AT 21
DRAKE LANE, WHITE PLAINS, NY 10607,
DATED MAY 8, 2020



191 ASHFORD AVENUE TRIBUTARY AREA MAP

HEC

HUDSON ENGINEERING CONSULTING, P.C.

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PROJECT:
PROPOSED BUILDING
191 ASHFORD AVENUE
VILLAGE OF DOBBS FERRY
WESTCHESTER COUNTY - NEW YORK

TRIBUTARY AREA MAP

THIS PLAN NOT VALID FOR CONSTRUCTION
WITHOUT ENGINEERS SEAL & SIGNATURE

Revisions
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