



MEMORANDUM

To : Village of Dobbs Ferry Planning Board

From : George E. Pommer, P.E.
Vice President

Dated : May 11, 2021

Subject : Site Plan Review
Owner/Applicant – Meyer & Newport
35 Hillside Road
Tax ID: 3.120-112-6

Drawings Reviewed : “Site Plan, Pool and Landscaping”, Dated 3/9/21, Sheet S100.
“General Notes, Schedules”, Revised 4/8/21, Sheet SP100.
“Spa, Landscaping, Planting Plan and Details”, Revised 4/8/21,
Sheet L100.
“Survey of Tax Lot 6”, Dated 2/10/21.

Documents Reviewed : Site Plan Application, Dated 4/8/21.
Coastal Assessment Form (CAF), Dated 4/15/21.
Short Environmental Assessment Form (EAF), Dated 4/8/21.

The referenced plans have been reviewed for compliance with Article XII of the Village Code – Site Plan Review. The applicant proposes the construction of spa and landscaping on 0.25 acres in the OF-5 zoning district. The site is adjacent to the Old Croton Aqueduct State Park and is within 500 feet of US Route 9.

Pursuant to our review, the following items should be addressed by the applicant.

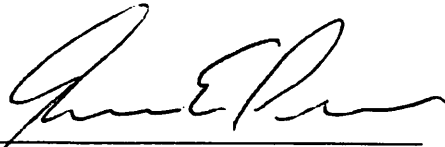
1. The proposed pool is approximately 5.5' away from an existing retaining wall. It should be verified that the pool will not adversely impact the wall or steep slope.
2. The proposed site is being modified, therefore topographic contours should be provided with contours at intervals of two (2') feet or less. Spot elevations should be provided to demonstrate that the area of development is draining away from the existing building.

3. A detail should be provided for the proposed lighting. Lighting shall conform to the requirements of Village Code §300-41 "Exterior Lighting."
4. Plant sizes should be provided. A planting schedule listing plant names, species, sizes and quantities should be provided.
5. Top and bottom wall elevations should be shown at all changes in elevation along the existing retaining wall.
6. The amount of impervious surface has been increased from the existing to the proposed conditions, therefore stormwater detention facilities and drainage calculations are required.
7. A detail for the proposed "gravel rill" should be provided.
8. Details and locations for a stabilized construction entrance and a soil stock pile should be provided.
9. If the proposed pool is connected to the water supply, then a backflow prevention device should be provided. It should satisfy Westchester County Department of Health and water utility requirements.
10. A temporary barrier shall completely surround the swimming pool during construction until the necessary latches and alarms are provided. The temporary barrier shall be a minimum of 48 inches in height. This should be noted on the plans.
11. The plans should indicate where and how the proposed pool will be drained.
12. The names and addresses of all owners of record should be shown on the site plan.
13. The following note should be shown on the plans:

"Before the Site Plans are signed by the Chairman of the Planning board, the applicant shall be required to post a performance bond or other type of acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer in a form satisfactory to the Village Attorney."
14. Site Plan note #1 should be revised to reference the "Village Engineer or Building Inspector," not the "Town Engineer."
15. Dashed outlines of two rectangles are shown on Sheet L100 north of the proposed pool. They should be identified.

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A written response and revised plans responding to the above comments should be submitted by the applicant for review. Any changes made that do not pertain to our comments should be identified separately in the written response. Additional comments may be generated based on the revised plans.

A handwritten signature in black ink, appearing to read "John E. Ryan", is written over a horizontal line.

GEP:WJA:ay/cg