

GOTHAM

Padriac Steinschneider
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329 Broadway
Dobbs Ferry, New York 10522
(914) 693-5093 ■ Fax: (914) 693-5390
Cell (914) 906-4802 ■ arch329@gmail.com

February 24, 2020

Dobbs Ferry Planning Board
112 Main Street
Dobbs Ferry, New York 10522

**Re: 156 Palisade Street
Site Plan Review**

Dear Members of the Planning Board:

After the site walk on February 16, we took a look at how we could integrate several of the suggestions that were made. It was interesting to hear the appreciation for the building at 134 Palisade in terms of its aesthetics from both members of the Planning Board and from the members of the Architectural and Historic Review Board who were present.

Submitted please find copies of a revised design that changes the previous aesthetic to one that is more consistent with the 134 Palisade building and perhaps with more than half of the buildings on the block. Where we had looked at this previously as a place for pitched roofs in context with the immediately neighboring buildings, we have designed this with a flat roof.

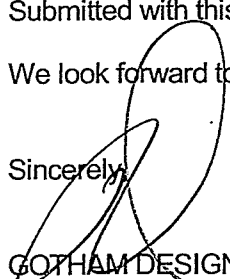
We have also addressed several other issues of concern that were mentioned, such as the height of the building that is closest to the street and the character of the entry. From the street to the top of the flat roof that is on the portion of the building adjacent to the street, the height would average 30 feet with the garage in the basement appearing as a story from the street and two stories with apartments above. The portion of the building that is set back from the front would then have the third story with two more apartments, but that height measured from the grade adjacent to the building on the side and back would be approximately 31 feet. The amount of the third floor that would cut back from the front has several different layouts, which we can present at the next meeting. We have added a covered canopy for the front entry which would be integrated with the landscaped garden that we are proposing between the sidewalk and the building. With this configuration, the left side of the building is set back 8 feet from the sidewalk to the entry and porches above, the middle of the building is setback 16 feet from the sidewalk to the front wall of the building, and the right side of the building is set back 18 feet to the porches and 26 feet to the building. The third floor would be set back a minimum of that 26 feet, with the possibility of one or both sides setback further.

Our intent is to not cut the number of units in the building from the proposed eight and to maximize the number of parking spaces in the garage, which we believe is limited to 8, and may turn out to be 7 if there is a concern with having the basement extend into the sideyard setbacks. It is our intent to have the mass of the building above the foundation comply with all of the setback requirements, although we need to confirm with the Building Inspector that we are in compliance with the required front yard setback using the prevailing setback.

Submitted with this letter, please find on of the concept plans for this revised design.

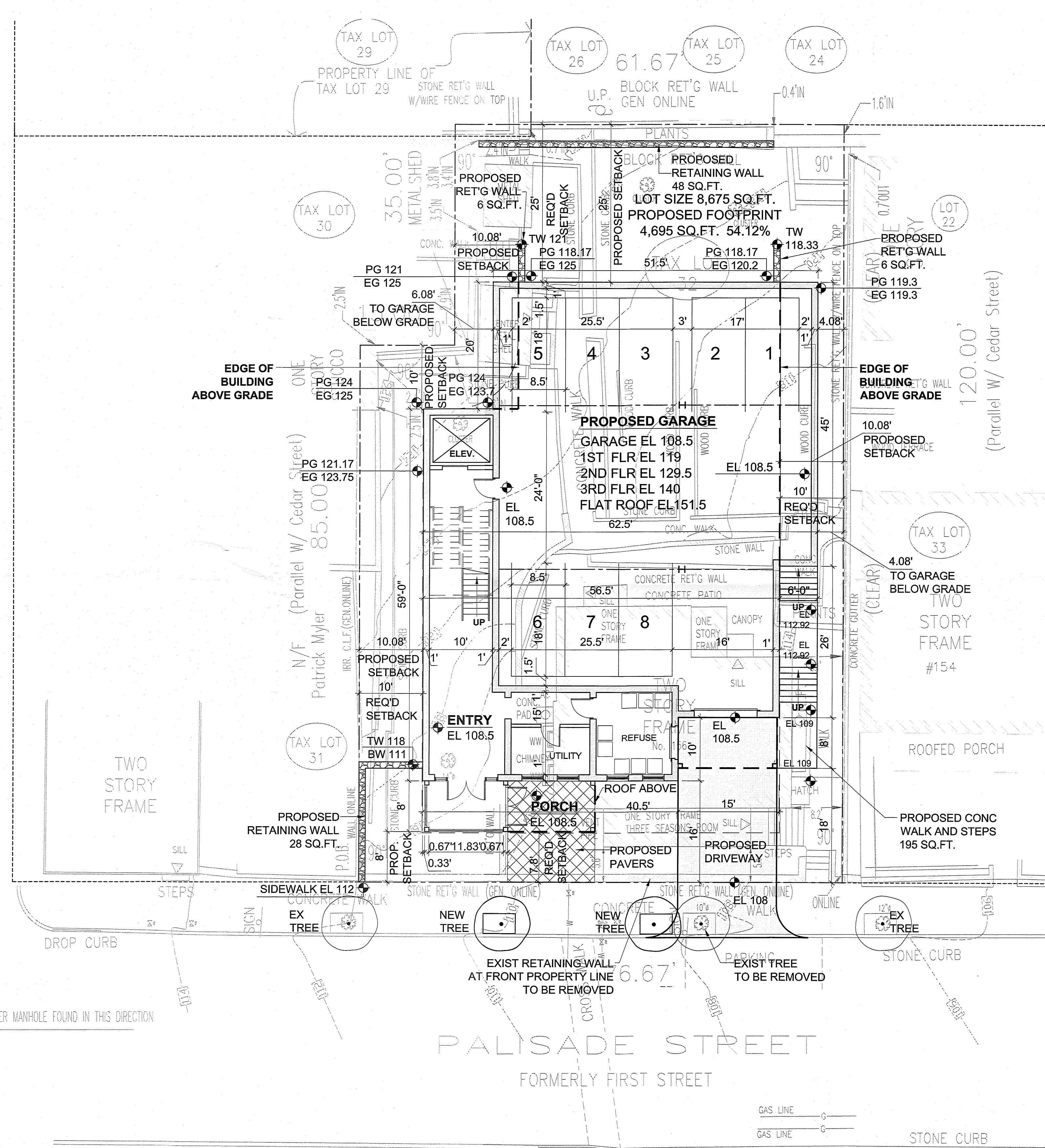
We look forward to discussing this with you at your March 5, 2020 meeting.

Sincerely,

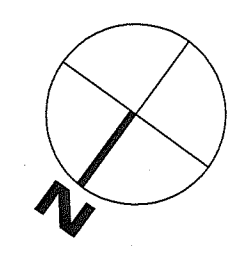


GOTHAM DESIGN & COMMUNITY DEVELOPMENT LTD.
Paddy Steinschneider, President
As Agent for 156 Palisade Street LLC.

CEDAR STREET



NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4



SITE PLAN - GARAGE LEVEL
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

ALL SURVEYING INFORMATION ON THIS DRAWING
IS TAKEN FROM A SURVEY DATED MAY 04, 2019
PREPARED BY: SUMMIT LAND SURVEYING P.C.
64 VIRGINIA AVENUE
DOBBS FERRY 10522
TEL 914 629 - 7758

ZONING TABLE					
PROPERTY LOCATION : 156 PALISADE STREET TAX ID No 3.80-40-32					
OWNER : 156 PALISADE STREET LLC 156 PALISADE STREET DOBBS FERRY, NY 10522					
ZONING DISTRICT	MDR-2				
REQUIREMENT	UNITS	REQUIRED/ ALLOWED	EXISTING	PROPOSED	VARIANCE REQUESTED
MINIMUM NET LOT AREA	SQ.FT.	5,000	8,675	UNCHANGED	
MINIMUM LOT AREA PER DWELLING	SQ.FT.	800 PER UNIT	TO BE REMOVED	8 UNITS 800 / 8675 = 1084.375	
MINIMUM LOT WIDTH	FEET	50	76.67	UNCHANGED	
MINIMUM LOT DEPTH	FEET	100	102.5 (AVG)	UNCHANGED	
MAX. LOT COVERAGE BY BUILDINGS	%	27	16.97 (1,472)	54.12 (4,695)	YES
MAX. LOT COVERAGE BY IMPERVIOUS SURFACES	%	54	28.18 (2,445)	64.33 (5,581)	YES
MINIMUM FRONT YARD SETBACK	FEET	7.8 (PREVAILING)	5.6	8	
MINIMUM REAR YARD SETBACK	FEET	25	76.25	25	
MINIMUM SIDE YARD SETBACK ONE	FEET	10	8.1	10.08	
MINIMUM SIDE YARD SETBACK BOTH	FEET	20	38.95	20.16	
STORIES	NUMBER	3	2	3	
MAXIMUM HEIGHT	FEET	40	21	33.17	
EAVE HEIGHT	FEET	28	20	N/A	
OFF STREET PARKING	NUMBER	11	0	8	TBD

TBD - TO BE DETERMINED

BUILDING COVERAGE TABLE			
	UNITS	EXISTING	PROPOSED
HOUSE	SQ.FT.	1,297	
METAL SHEDS	SQ.FT.	175	
TOTAL EXISTING		1,472	
TOTAL EXISTING BUILDING COVERAGE		1,472 / 8,675 = 16.97 %	
PROPOSED THREE STORY BUILDING	SQ.FT.		4,695
TOTAL PROPOSED			4,695
TOTAL PROPOSED BUILDING COVERAGE			4,695 / 8,675 = 54.12 %

IMPERVIOUS COVERAGE TABLE			
	UNITS	EXISTING	PROPOSED
HOUSE	SQ.FT.	1,297	
METAL SHEDS	SQ.FT.	175	
WALKS AND STEPS	SQ.FT.	520	
RETAINING WALLS	SQ.FT.	453	
TOTAL EXISTING		2,445	
TOTAL EXISTING IMPERVIOUS COVERAGE		2,445 / 8,675 = 28.18 %	
EXISTING RETAINING WALLS TO REMAIN	SQ.FT.		200
PROPOSED THREE STORY BUILDING	SQ.FT.		4,695
PROPOSED RETAINING WALLS	SQ.FT.		98
PROPOSED CONCRETE WALK AND STEPS	SQ.FT.		195
PROPOSED PAVERS	SQ.FT.		111
PROPOSED DRIVEWAY	SQ.FT.		282
TOTAL PROPOSED			5,581
TOTAL PROPOSED IMPERVIOUS COVERAGE			5,581 / 8,675 = 64.33 %

FLOOR AREAS TABLE				
STORY	EXISTING AREA	EXISTING HABITABLE AREA	AREA OF RENOVATION	NEW AREA
EXISTING FIRST FLOOR	1,297	± 1,197	0	
PROPOSED FIRST FLOOR				3,825
EXISTING SECOND FLOOR	1,070	± 970	0	
PROPOSED SECOND FLOOR				3,825
PROPOSED THIRD FLOOR				3,209
PROPOSED GARAGE				3,059

RECEIVED

FER 2 4 20/20
Village of Dobbs Ferry
Building Department

PROJECT TITLE:
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522
PROJECT NO.: 1904

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

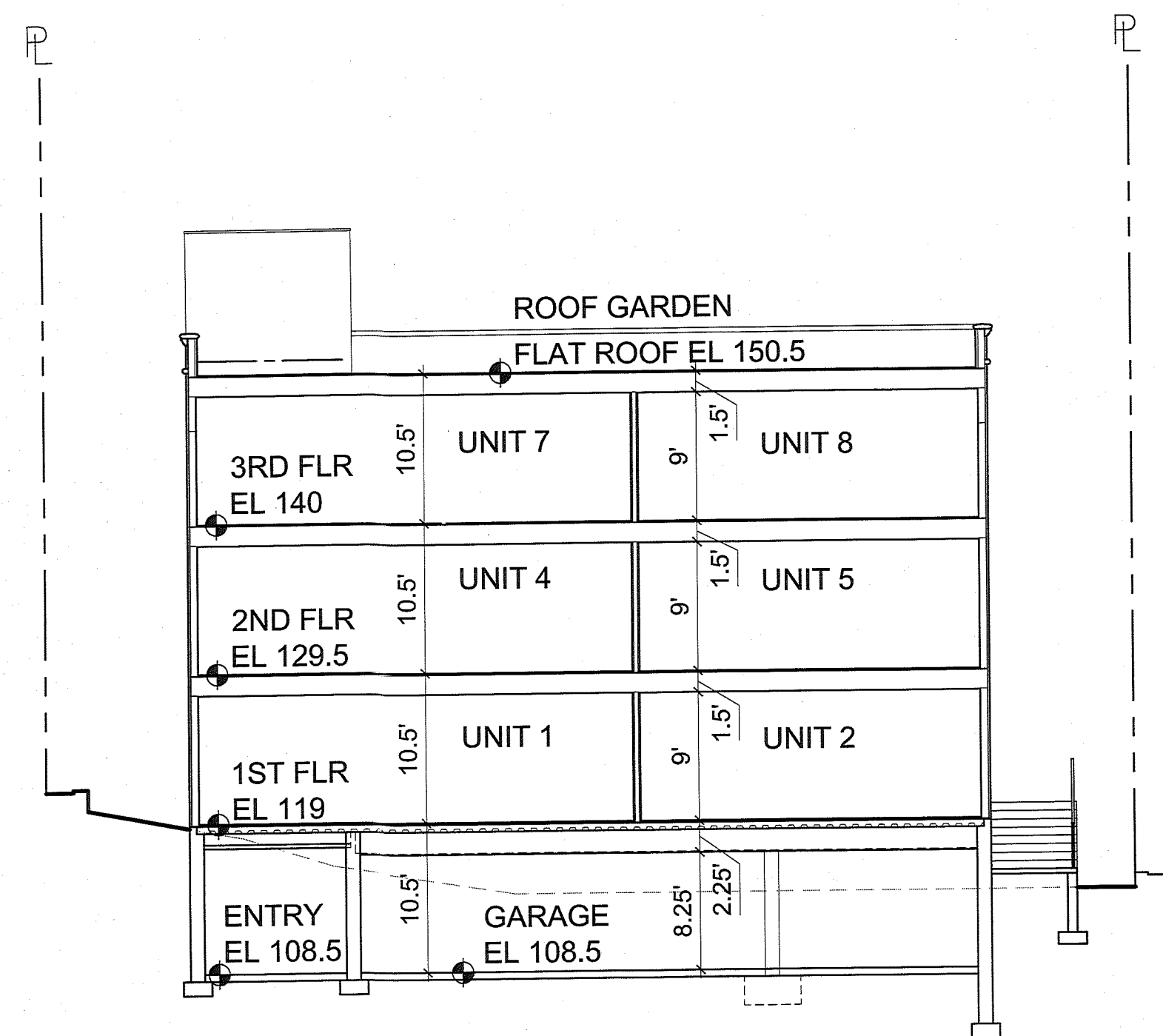
329 Broadway
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Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS
PLANNING BOARD SUBMISSION 01-23-2020

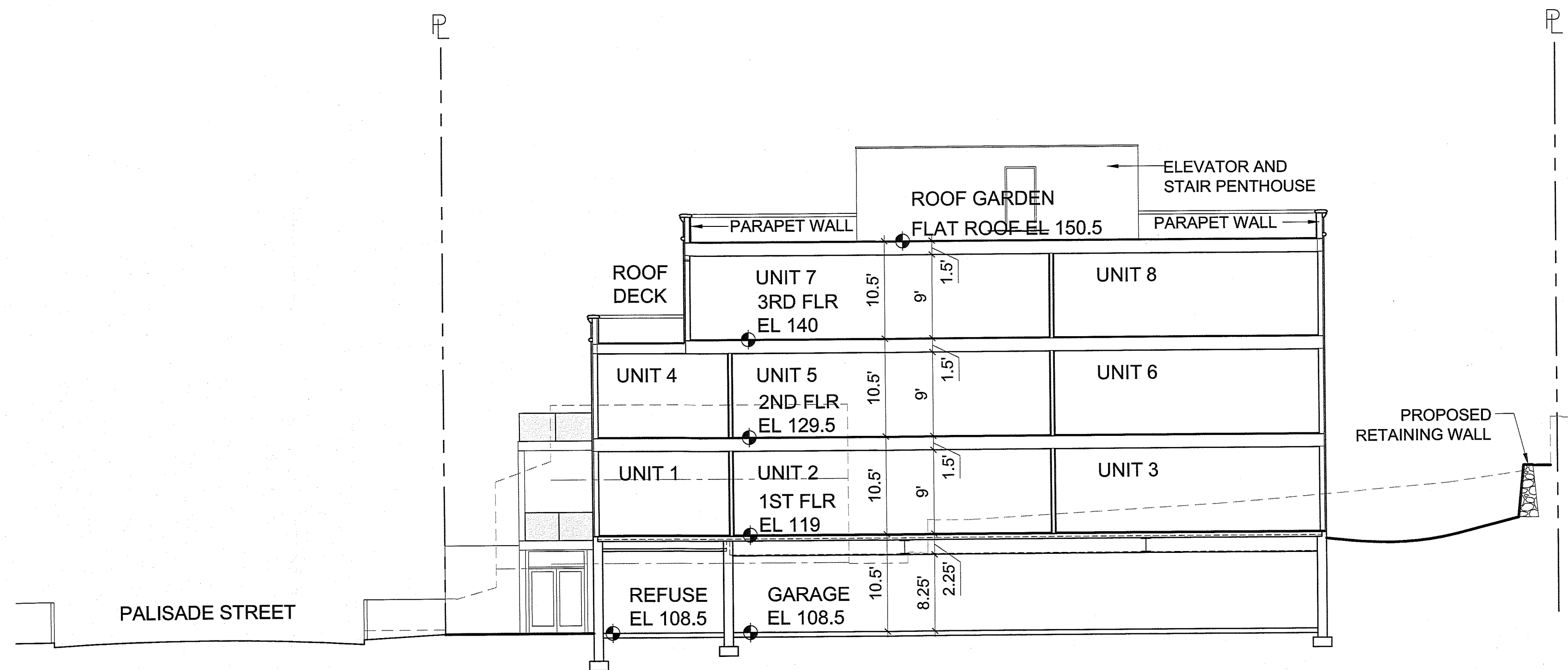
SHEET TITLE:
**CONCEPT
SITE PLAN
02-21-2020**

DATE:
02-21-2020
SCALE:
AS NOTED
DRAWN BY:
MB
CHECKED BY:
PRS

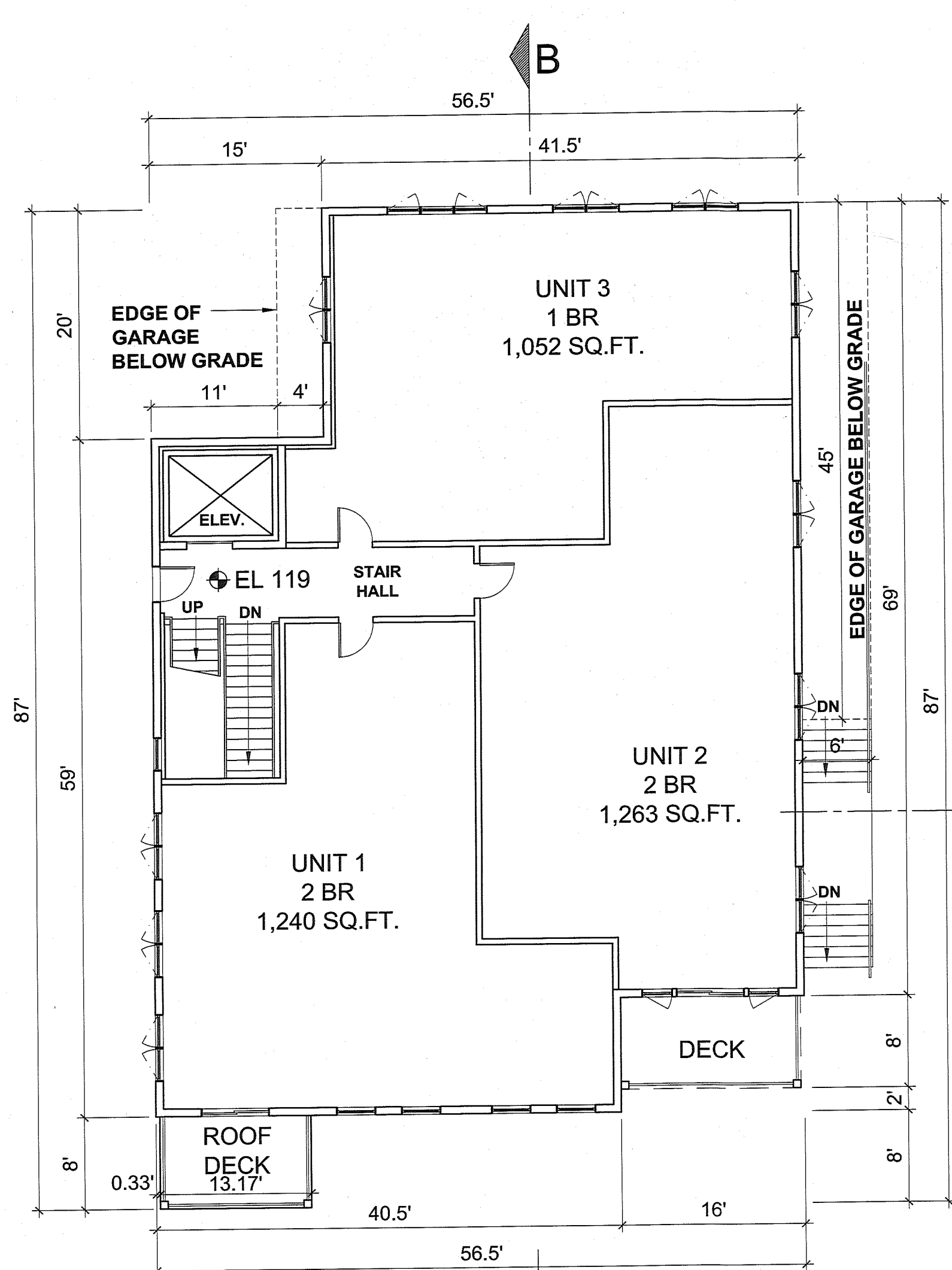
SP-1



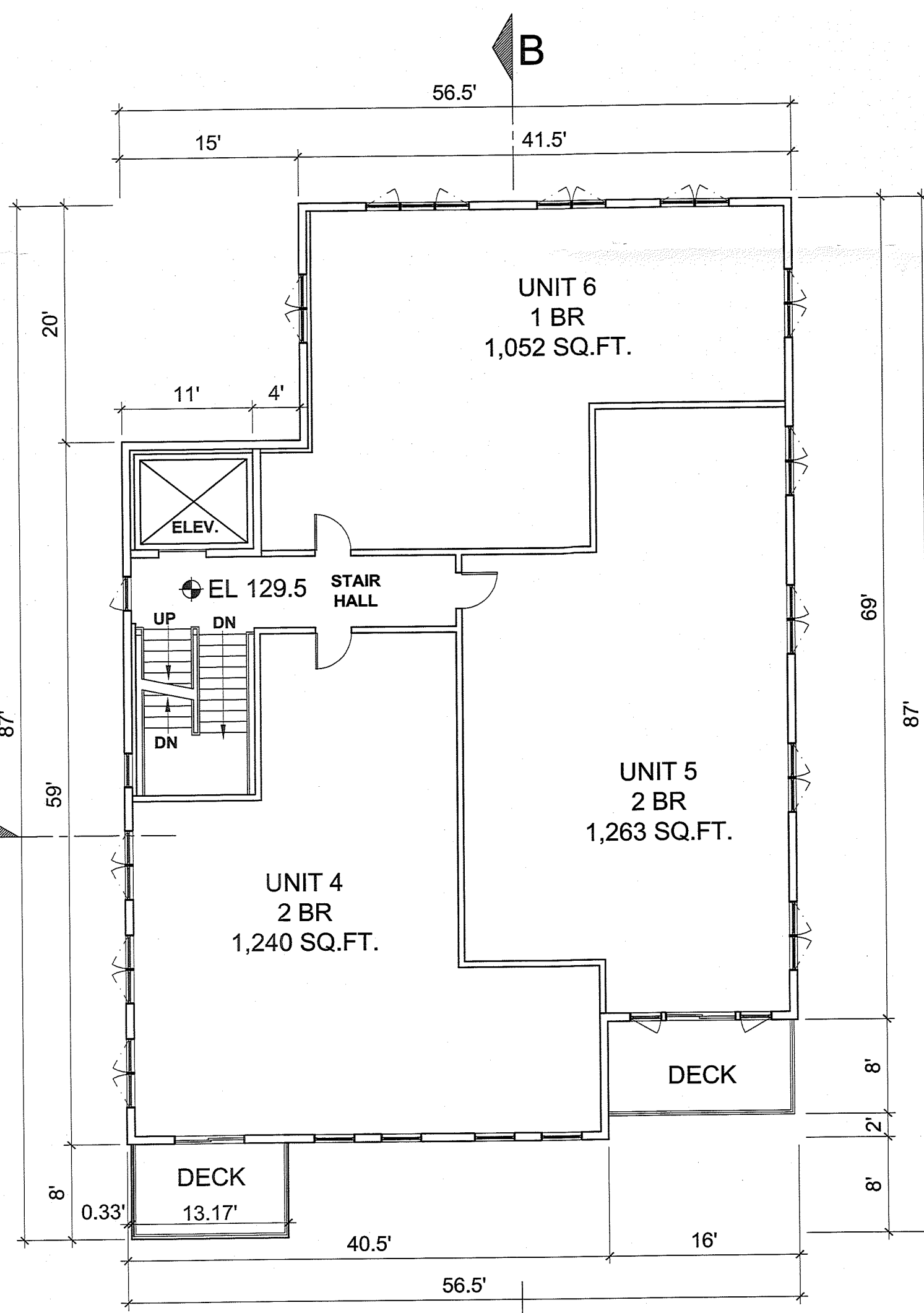
BUILDING SECTION A-A
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET



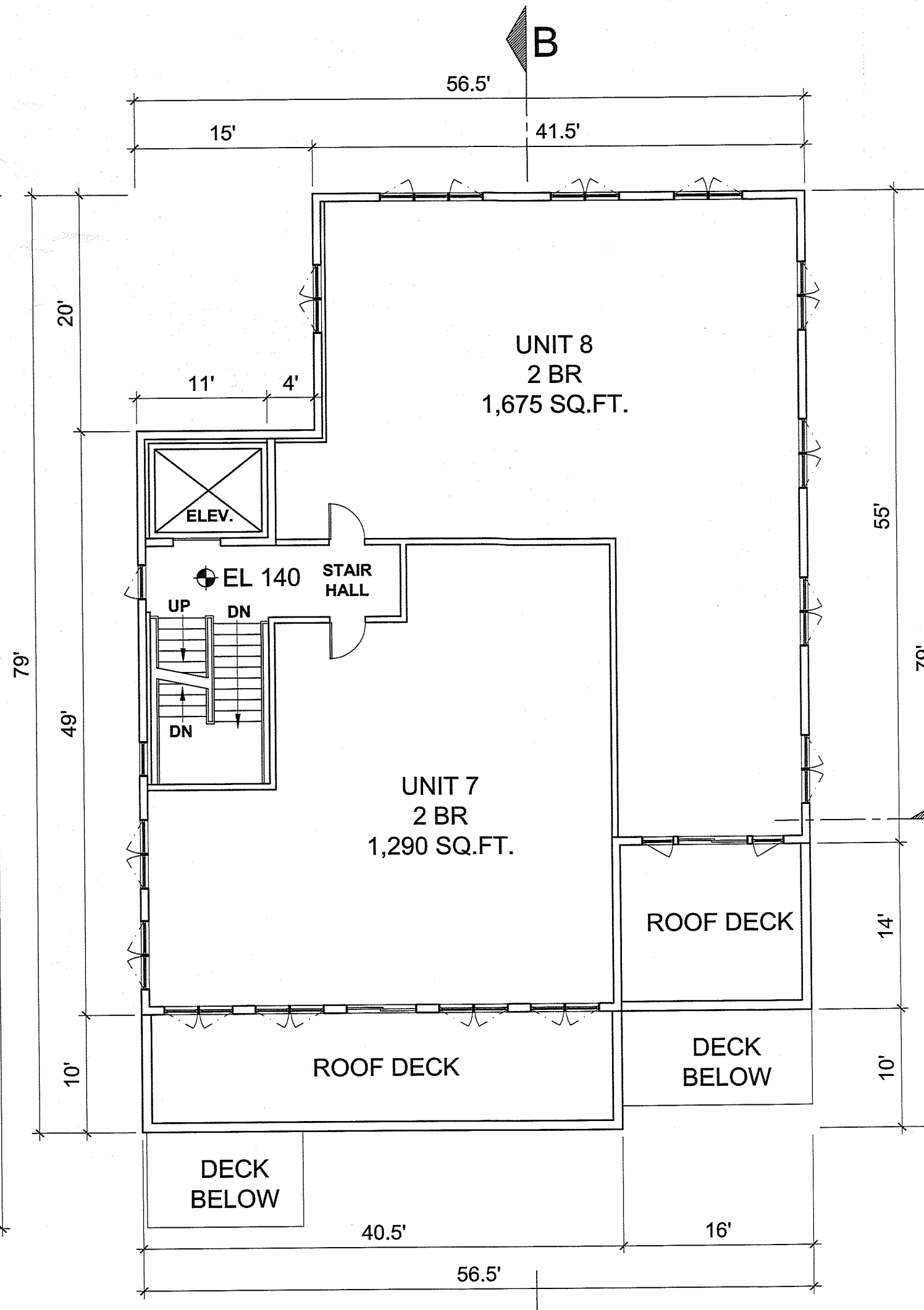
BUILDING SECTION B-B
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET



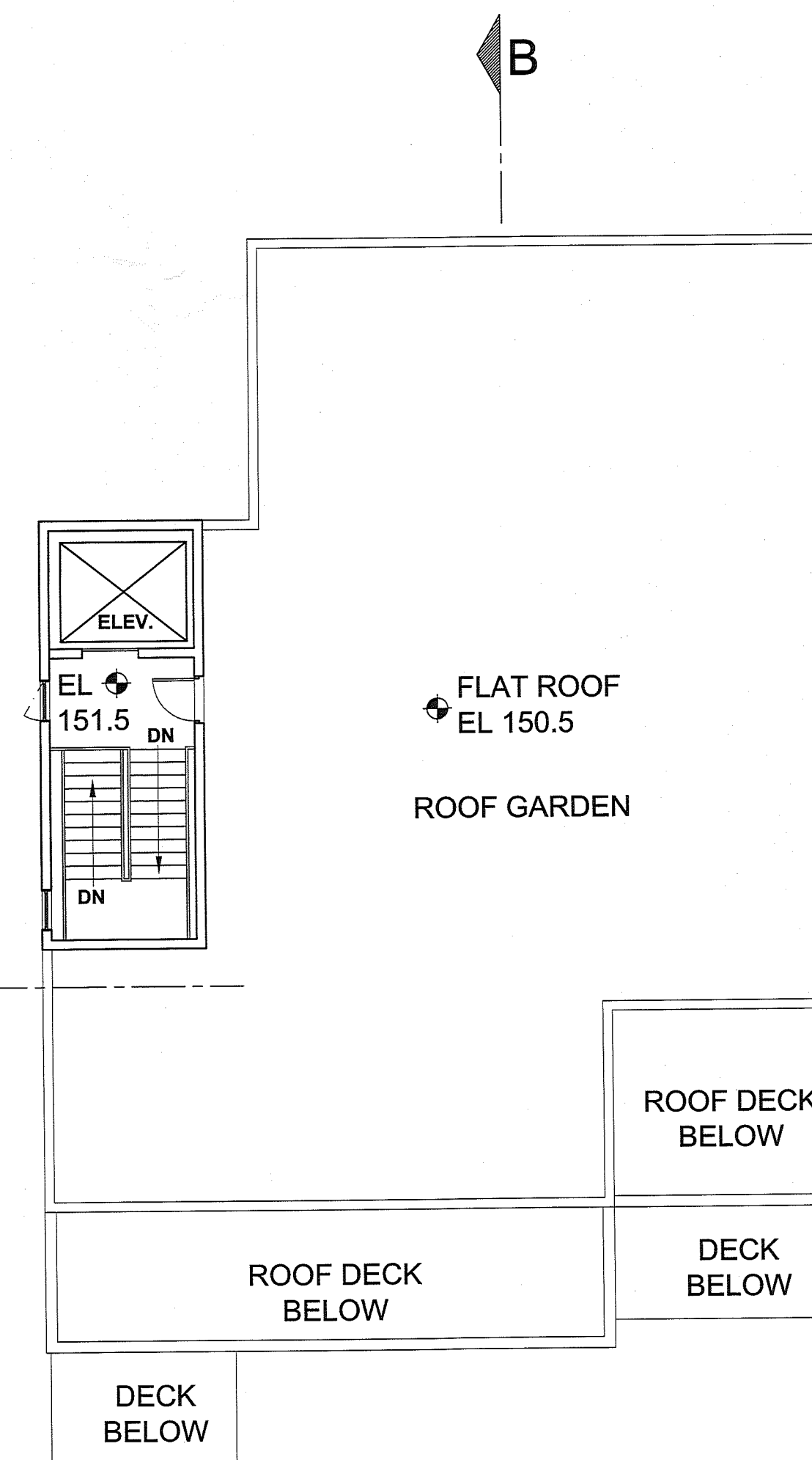
FIRST FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET



SECOND FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET



THIRD FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET



ROOF PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

PROJECT TITLE:
156 PALISADE STREET
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1904**

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ISSUED / REVISIONS
PLANNING BOARD SUBMISSION 01-23-2020

SHEET TITLE:
CONCEPT PLAN
02-21-2020
FLOOR PLANS
BUILDING SECTIONS

DATE: 02-21-2020
SCALE: AS NOTED
DRAWN BY: MB
CHECKED BY: PRS

SP-2



WEST ELEVATION (PALISADE STREET)
SCALE : 3/16" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

PROJECT TITLE:
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1904**

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ISSUED / REVISIONS
PLANNING BOARD SUBMISSION 01-23-2020

SHEET TITLE:
**CONCEPT PLAN
02-21-2020
WEST ELEVATION**

DATE: 02-21-2020	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

SP-4

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February 24, 2020

Dobbs Ferry Building Department
112 Main Street
Dobbs Ferry, New York 10522

**Re: 156 Palisade Street
Site Plan Review**

Building

Dear Mr. Manley:

This letter is to provide the information that we have gathered pertaining to the prevailing front yard setback for 156 Palisade Street. The existing properties within the Context Zone on the same side of the street have the following setbacks from their front property line:

134 Palisade	7.5 Feet	
138	1.0	
142	1.0	
144	10.0	
148	4.5	(to porch exceeding 75 sq.ft.)
150	16.5	(to porch exceeding 75 sq.ft.)
154	17.5	(to porch exceeding 75 sq.ft.)
156	5.8	(subject property)
164	<u>0.5</u>	
Total	64.3 Feet	

64.3 Feet divided by 9 properties equals a prevailing set back of 7.144 Feet.

If the two houses on Cedar Street within the Context Area are included, although they are not on the same street, the total increases by 7.5 feet to 71.8 feet total, which divided by 11 properties then equals a prevailing setback of 6.53 feet.

All of these dimensions were taken at the properties by measuring from the front of the building to the street side of the curb. The control was established by 164, 156, and 154 Palisade Street, which are shown on the survey. This resulted in a dimension from the street side of the curb to the property line of 9 feet. We then subtracted 9 feet from each measurement to determine the setback. Observation indicates that the curb is a straight line, as are the front property lines. The actual calculation used for 156 is 5.8 feet, although the survey indicates an actual setback of 5.6 feet. We included this deviation in our calculations to have any error increase the setback, instead decrease the setback to compensate for any deviation in the measurements taken. This is an error allowance of 0.2 feet, which is 2.4 inches. This adjusts for any instance in which the tape was not perfectly perpendicular to the property line or not perfectly level.

The current site plan being presented assumes a minimum front yard setback of 8 feet, with most of the building being set back significantly further.

Please let me know if you have any questions.

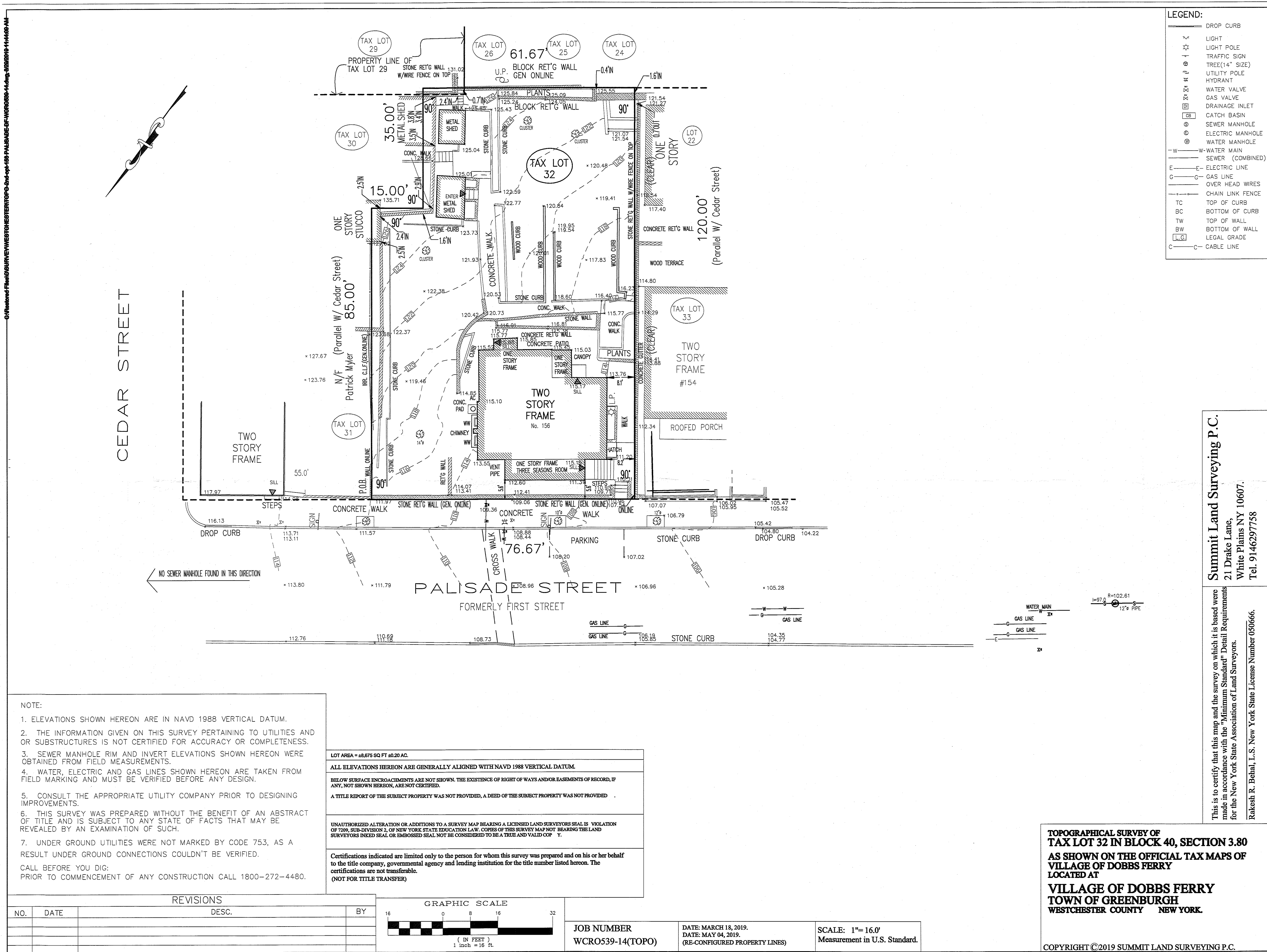
Sincerely,

GOTHAM DESIGN & COMMUNITY DEVELOPMENT LTD.
Paddy Steinschneider, President
As Agent for 156 Palisade Street LLC.

RECEIVED

FEB 24 2020

Village of Dobbs Ferry
Building Department



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April 15, 2020

Dobbs Ferry Planning Board
112 Main Street
Dobbs Ferry, New York 10522

**Re: 156 Palisade Street
Site Plan Review**

Dear Members of the Planning Board:

This letter is to request that the Pre-Submission Conference for the 156 Palisade application be continued at your May 7 meeting. We are not submitting anything new at this point, since it seemed that the design that we presented at the March 5 meeting was well enough received to move to the next step in the process. It is our hope that you will call for the Public Hearing at your May 7, 2020 meeting.

At the March 5 Planning Board meeting, the Board said that it would schedule a Work Session that evening to be conducted in the next couple of weeks in time for its next meeting specifically to evaluate the site coverages and setback requirements that would be most appropriate for the MDR-2 zoning district. This is something that the Board of Trustees requested in September that the Planning Board take on. The Planning Board was asked to provide recommendations for the calibration of the appropriate limits for building coverage, impervious coverage, front, rear, and side yard setbacks in this district. The Planning Board started talking about this at its January 9 Planning Board meeting, but it does not seem that anything has happened since then.

The Village has quickly developed a number of work-arounds to the fact that groups cannot assemble due to the CoVid-19. It has facilitated meetings in a virtual environment. Zoom and other platforms have become the way in which groups of people can meet and discuss serious issues, while maintaining safe separation and social distancing. The Dobbs Ferry Village Board has successfully conducted its Budget Work Shop and two regular meetings, including one with the Public Hearing for the Budget, since then. Judging from what has to happen before public meetings are permitted in person again, it is not practical to wait until things are "back to normal."

We request that you conduct the Work Session discussed at the March 5 meeting in advance of the May 7 meeting so that there will be some understanding of what the Planning Board believes are the appropriate limits for the coverages and set backs.

We have previously submitted support documents for what we believe to be the appropriate limits. We have made recommendations based on the original reason that the Land Use Committee added the MDR-2 zoning district to the new Code, as well as on studies of the existing neighborhood and comments received both in the discussions about 75 Main Street and 156 Palisade Street.

Letter to the Planning Board
Re: 156 Palisade Street
April 15, 2020
Page 2 of 2.

The fact that members of the Planning Board have cited 134 and 136 Palisade Street as positive examples is encouraging. The building coverage at 134 on a site with 4,792 square feet of area is 58.55% providing five apartments and the building coverage at 136 on a site with 4,356 square feet of area is 73.37% providing eight apartments. There may have been some confusion during the site visit when a resident of the 136 building was asked how many units were in that building and answered that it is four apartments. Maybe they thought the question was how many units on each floor.

The original model for the neighborhood, which was used in creating the MDR-2 zoning district, was the 5,000 square foot parcel improved with a three story building with a total of six apartments. The Land Use Committee changed the height to allow three stories and increased the density from the previous one unit per 2,500 square feet to one unit per 800 square feet of lot area. The buildings of that type in the neighborhood are characterized as having two units on each floor. With two apartments of 1,250 square feet each and 300 square feet allocated for stairs and a hallway, the footprint is 2,700 square feet, which is 54% of a 5,000 square foot parcel.

We are looking forward to reviewing this with you at both the Work Session and your next regular meeting on May 7, 2020.

Sincerely,



GOTHAM DESIGN & COMMUNITY DEVELOPMENT LTD.
Paddy Steinschneider, President
As Agent for 156 Palisade Street LLC.