

# Modifications to 24 ELDREDGE PLACE - Phase 2 - Addition

## GENERAL REQUIREMENTS

- Related Documents: Drawings, Specifications and General Conditions of the Contract for Construction apply to Work of this Project.
- Scope of Work: Includes all items described in Drawings & Specifications, verbally & graphically, with more stringent and/or costly items assumed in all cases of discrepancy.
- All new construction shall adhere to the 2020 Residential Code of NYS. Notify Architect of any inadvertent noncompliance with Codes regarding information contained in Drawings and Specifications, with no Work to be performed knowingly in noncompliance with Code.
- The General Contractor (G.C.) shall coordinate all work procedures w/ requirements of Local Authorities. Prior to commencement of Construction, the G.C. shall be responsible for the acquisition of a Building Permit and pay all fees required by Governing Agencies. The G.C. shall be responsible for calling for Inspections and Sign-offs of all Work, including Plumbing & Electrical, as required by Governing Agencies.
- The G.C., Subcontractors, and all others working for Owner shall comply with National, State, and Local Laws and Regulations relating to insurance for work under this Contract. The following insurance policies shall be in force and copies shall be submitted to Architect prior to signing Agreement Between Owner and Contractor: Workman's Compensation & Unemployment Insurance as required by law; Contractor's Liability Coverage in the amount required by applicable Governing Agencies, & Liability Coverage for damages & uninstalled materials. The G.C. shall submit to the Owners, Insurance Certificates naming Owner as Additional Insured. All insurance shall be at Contractor's expense.
- All Terms & Conditions laid out in the A.I.A. Standard Form Of General Conditions shall apply to the G.C. & to all of his Sub-Contractors.
- The G.C. & Subcontractors shall attend regular job meetings as required by the Architect.

## DIVISION 01: PROJECT REQUIREMENTS

- The G.C. shall verify all Dimensions & Conditions in the field prior to Construction. Any discrepancies are to be brought to the attention of the Architect prior to work. The G.C. shall be responsible for Field Fit & Quality of all Work, whether by the G.C. or by Subcontractors. No allowances shall be made on behalf of the G.C. for any error or neglect on his part. Under no circumstances are the Drawings to be scaled for location of Work. G.C. shall verify all clearances & locations prior to installation including requirements for appliances, fixtures, or equipment.
- Retain licensed Surveyor to mark site before beginning construction and to verify location of foundation and slab-on-grade formwork before pouring concrete. Verify that all work conforms to zoning requirements including all setbacks and yard requirements.
- The G.C. shall be responsible for the protection of all new & existing Work, Owner's Property, Building, and its Premises from damage & dirt or dust.
- Plumbing & Electrical Work shall be performed by Contractors licensed in their trade. G.C. shall be licensed to perform the Work as required.
- The G.C. shall maintain at the Site one Record Copy of all Drawings, Clarification Sketches, Approved Shop Drawings, Approved Samples, and Change Orders continuously updated to record all changes during Construction. G.C. shall fully correct, at no additional expense, all Work wrongly constructed or materials wrongly ordered from obsolete Drawings.
- Details not usually shown or specified, but necessary for proper construction on any part of the work shall be included as if they were indicated in the Drawings.
- Architectural Drawings shall be Followed as closely as actual Field Conditions & the work of other trades permit. Any piping, wiring, or materials not specifically shown or specified but required to complete Work shall be deemed to be part of Work & shall be furnished & installed by the G.C.
- G.C. shall prepare schedule for completion of Work prior to commencement and submit to Architect for approval. Contractor shall follow approved schedule and immediately notify Architect of any deviations from the approved schedule.
- The G.C. must submit all Engineering & Shop Drawings (including Millwork) & cut sheets of all equipment, plumbing & electrical fixtures, hardware & accessories to the Architect for approval prior to Fabrication, Ordering and /or Construction. Shop Drawings shall be revised per Architect's instruction if required prior to approval.
- The G.C. shall supervise & be solely responsible for all aspects of the Work, including Site Safety, maintenance of exit clearances & fire extinguishers as required by Code. The G.C. shall have sole responsibility for any damage or injuries caused by or during the execution of the Work.
- The G.C. shall be responsible for demolition & safe removal from the Site of all materials that must be removed to enable completion of Work and occupation of the Premises. All removed materials shall be disposed of regularly in a legal manner.
- All piping & wiring to be demolished shall be removed to a point of concealment & shall be properly capped or plugged.
- The G.C. shall do all cutting, patching & repairing as required to perform all Work required to complete the Job. All patching where new construction occurs shall match existing adjacent or as indicated on the Drawings.
- All new construction shall be laid-out in field for Architect's approval prior to starting construction.
- No changes to approved layouts shall be made without Written Consent Of The Architect.
- When "Approved Equal", "Equal To", "Similar" or other general qualifying terms are used, it shall be subject to final review by the Architect. There shall be no substitutions unless agreed upon in writing by the Architect.
- The G.C. shall verify all equipment dimensions, locations & hook-ups with Manufacturer's Specifications whether the G.C. or Others supply the equipment.
- All items noted "Furnished By Owner" shall be installed by the G.C. under this Contract as per Manufacturers' Specifications & industry standards. Wall reinforcement & all other requirements required to incorporate Owner furnished items shall be provided & coordinated by the G.C.
- G.C. shall employ experienced workers or professional cleaners for final cleaning prior to request of inspection for Certificate of Substantial Completion.

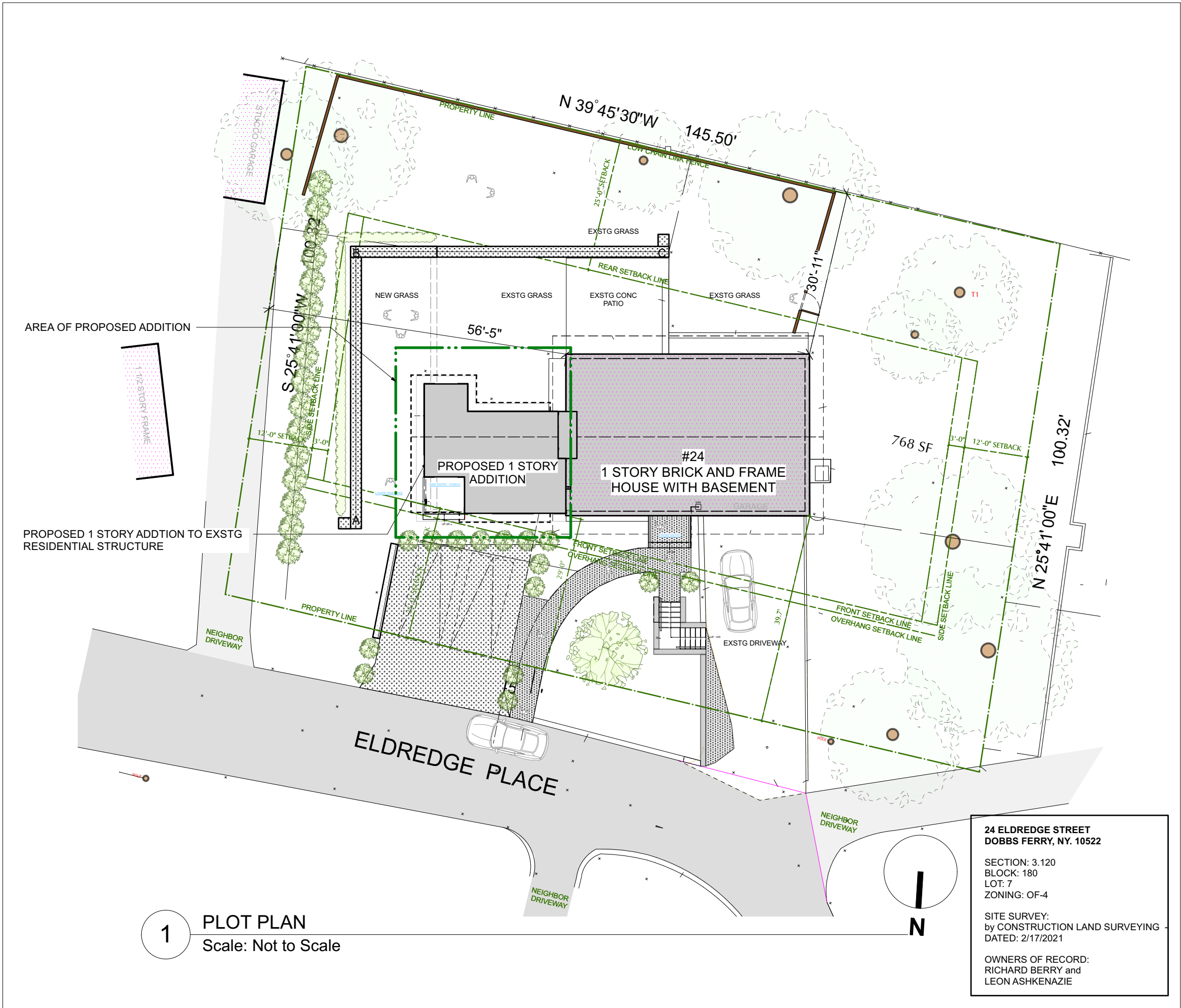


PHOTO OF FRONT ELEVATION - taken from Eldredge Place - looking South

APPLICATION # A 2022 - 0230

24 ELDREDGE PLACE

DOBBS FERRY, NY 10522



## STORM WATER SYSTEM NOTE

- WE ARE WAITING ON REVISED STORM WATER SYSTEM DRAWINGS AND WILL FORWARD THEM AS SOON AS WE HAVE THEM.

## SPRINKLER NOTE

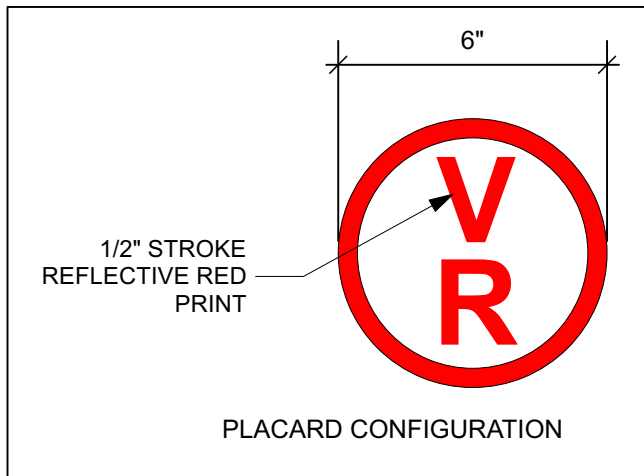
- SPRINKLER SYSTEM FOR EXISTING HOUSE AND PROPOSED ADDITION WILL BE FILED UNDER APPLICATION # A2022-0230, TO INCLUDE SPRINKLER SYSTEM INSTALLED AS PER DOBBS FERRY BUILDING CODE

## GENERAL CONDITIONS

- APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.
- LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT

## PRE-ENGINEERED WOOD PLACARDING

CONTRACTOR SHALL PROVIDE PLACARD AS REQUIRED BY CODE, 6" DIA. CIRCLE WITH RED REFLECTIVE PRINT ON WHITE BACKGROUND, INDICATING THAT PRE-ENGINEERED WOOD HAS BEEN USED IN CONSTRUCTION. PLACARD SHALL BE PLACED AT EXTERIOR ON OR NEAR ELECTRIC METER IN PLAIN VIEW AND INDICATE THAT PRE-ENGINEERED WOOD HAS BEEN USED FOR ROOF AND FLOOR SUPPORT IN THE BUILDING OF TYPE-V CONSTRUCTION.



## CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

### 2020 RESIDENTIAL CODE OF NEW YORK STATE

#### WESTCHESTER, NY: CLIMATE ZONE 4A CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

| GROUND SNOW LOAD | WIND SPEED (MPH) | TOPOGRAPHIC EFFECTS | SPECIAL WIND REGION | WIND-BORNE DEBRIS ZONE | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM |      |                | WINTER DESIGN TEMP | ICE BARRIER UNDERLAYMENT REQUIRED | FLOOD HAZARDS | AIR FREEZING INDEX | MEAN ANNUAL TEMP |
|------------------|------------------|---------------------|---------------------|------------------------|-------------------------|------------------------|------|----------------|--------------------|-----------------------------------|---------------|--------------------|------------------|
| 30 PSF           | 115-120          | NO                  | YES                 | NO                     | C                       | SEVERE                 | 3'6" | MODERATE/HEAVY | 15°F               | YES                               | NO            | 2000               | 51.6°F           |

## DRAWING INDEX

| NO.      | SHEET  | ISSUE DATE | REV. DATE |
|----------|--|------------|-----------|
|          | TITLE SHEET, SITE PLANS, ZONING              |            |           |
| T-000.00 | Title Sheet, Plot Plan                       | 6/15/22    |           |
| A-001.00 | Site Plans - Existing + Proposed PLANS       | 6/15/22    |           |
| A-100.00 | Basement Plans - Existing + Proposed         | 6/15/22    |           |
| A-101.00 | First Floor Plans - Existing + Proposed      | 6/15/22    |           |
| A-102.00 | Roof Plans - Existing + Proposed             | 6/15/22    |           |
|          | ELEVATIONS                                   |            |           |
| A-500.00 | Front Elevations North - Existing + Proposed | 6/15/22    |           |
| A-501.00 | Side Elevations East - Existing + Proposed   | 6/15/22    |           |
| A-502.00 | Rear Elevations South - Existing + Proposed  | 6/15/22    |           |
| A-503.00 | Side Elevation West - Partial                | 5/26/22    |           |

## STRUCTURAL & LOADING NOTES

**Soil Bearing Capacity:**  
Design bearing capacity of soil shall be 2,000 PSI in accordance with NY State Residential Code Table R401.4.1 for Sand, Silty Sand, Clayey Sand

**Concrete Compressive Strength**  
Shall be Min. 3,000 PSI at exposed exterior walls; shall be Min. 2,500 PSI at basement slabs; and shall be Min. 3,500 PSI at horizontal surfaces exposed to the weather including porches, steps, walks, and garage floor slabs, all to be in compliance with the 2020 Residential Code of NYS

**Required Placard**  
Provide exterior placard as required by code indicating that engineered lumber is used for roof support in a Class V structure. Placard is to be permanently mounted for display as required near electrical meter or as directed in field by Architect.

**High Wind Connections**  
Wherever applicable provide strapping as required to resist high wind and uplift forces to be in compliance with table R802.11 of the Code. Use tension tie equal to Simpson model # HTT22 at all footing-post connections and equal to Simpson model #H2 at all post-plate-rafter connections.

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NO. REVISIONS DATE

NO. ISSUE DATE

A REVISED INITIAL PERMIT FOR PLANNING BOARD 5/26/22  
B PLANNING BOARD FILING 6/15/22

APPLICATION # A 2022 - 0230

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Modifications to 24 Eldredge Place  
PHASE 2 - ADDITION  
24 Eldredge Place  
Dobbs Ferry, NY 10522

DRAWING TITLE:  
TITLE SHEET, GENERAL NOTES

FILE NAME:

DRAWN BY: PG/ML

SCALE: NA

DATE: 6/15/22

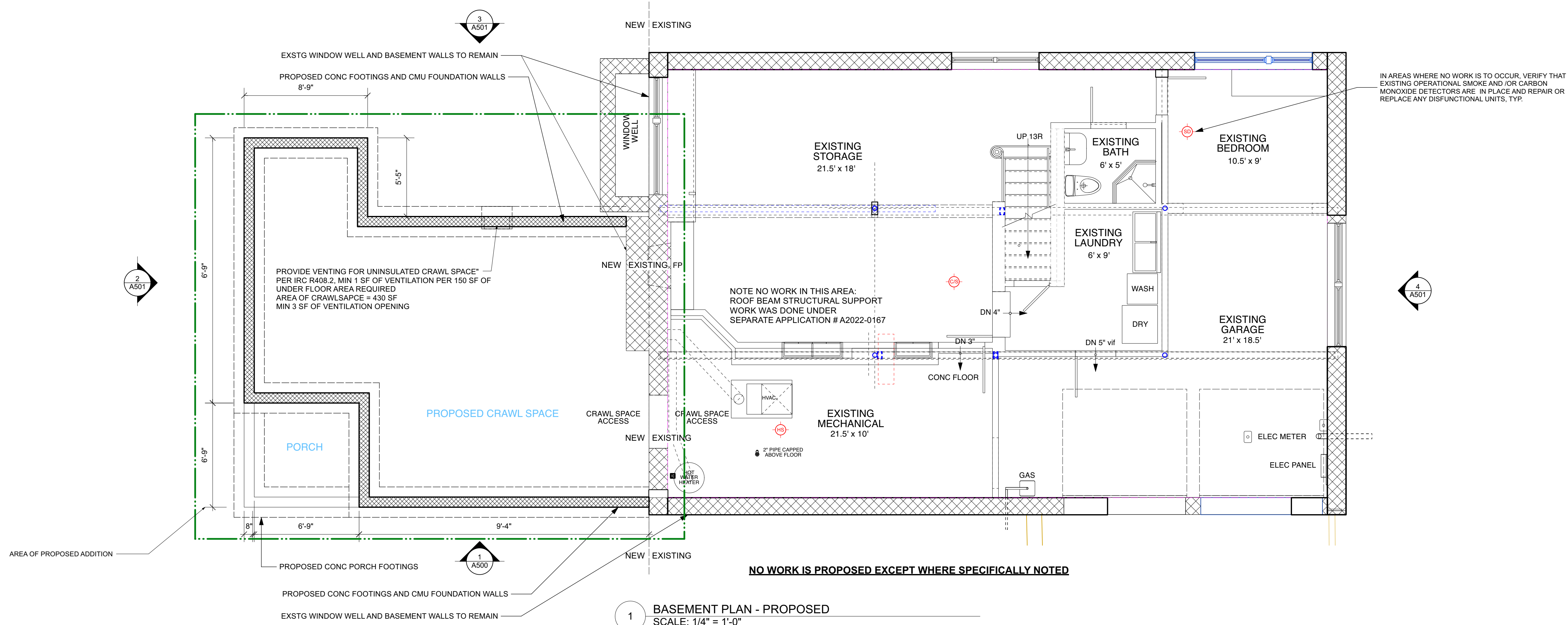
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DRAWING NUMBER  
**T-000.00**





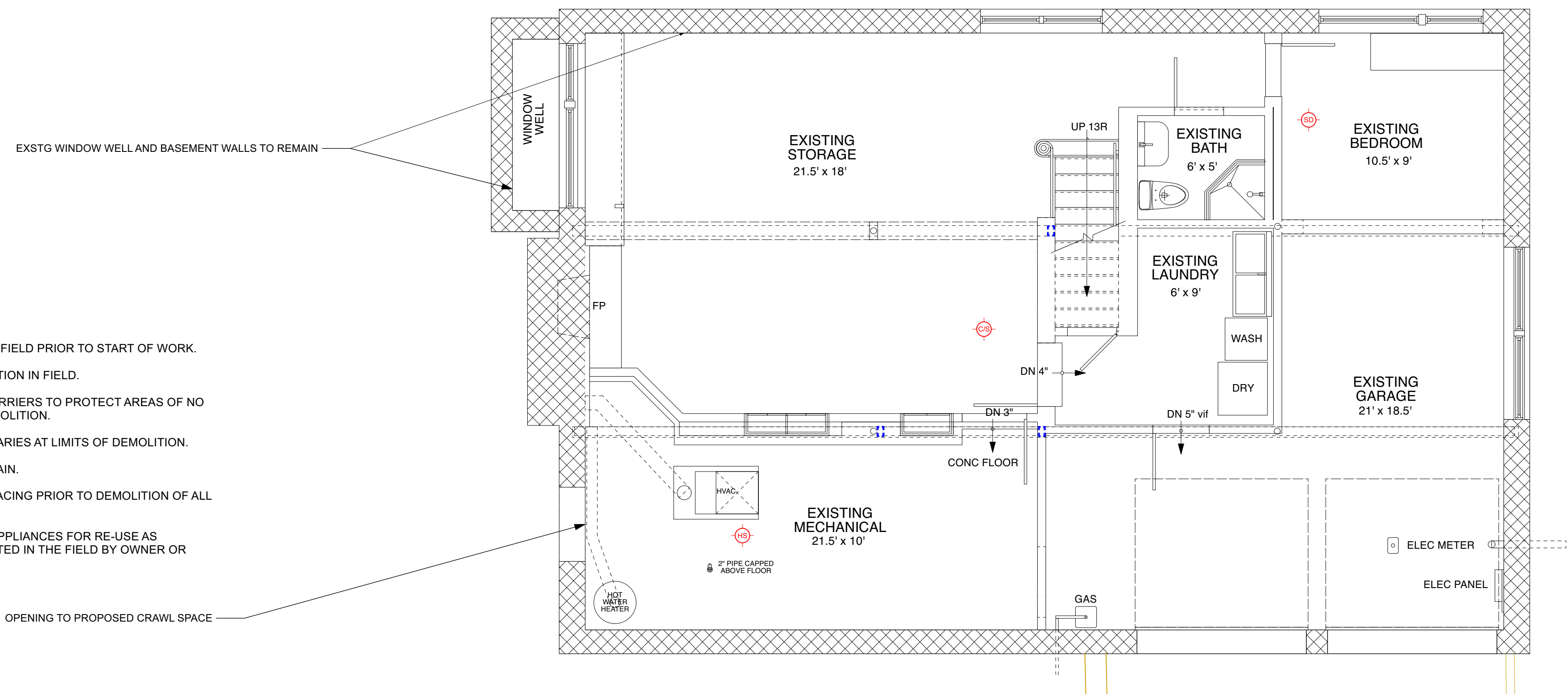




1 BASEMENT PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"

**DEMO PLAN GENERAL NOTES**

1. ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.
2. ALL SHOWN DIMENSIONS ARE SUBJECT TO VERIFICATION IN FIELD.
3. CONTRACTOR SHALL ESTABLISH CONSTRUCTION BARRIERS TO PROTECT AREAS OF NO OR LIMITED WORK PRIOR TO COMMENCEMENT OF DEMOLITION.
4. CONTRACTOR SHALL PROVIDE NEAT CUTS & BOUNDARIES AT LIMITS OF DEMOLITION.
5. CONTRACTOR TO PROTECT EXT'G FINISHES TO REMAIN.
6. CONTRACTOR TO PROVIDE REQ'D SUPPORT AND BRACING PRIOR TO DEMOLITION OF ALL EXISTING WALLS.
7. CONTRACTOR TO SAVE EXT'G DOORS, FIXTURES & APPLIANCES FOR RE-USE AS DIRECTED BY THE OWNER UNLESS OTHERWISE DIRECTED IN THE FIELD BY OWNER OR ARCHITECT.



4 BASEMENT FLOOR PLAN - EXISTING - DEMOLITION  
SCALE: 1/4" = 1'-0"

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**DEMOLITION PLAN LEGEND**

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- EXISTING EXTERIOR WALL TO BE REMOVED
- EXISTING INTERIOR WALL TO BE REMOVED
- EXISTING OBJECT TO BE REMOVED

NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.

NO. REVISIONS DATE

NO. ISSUE DATE

A REVISED INITIAL PERMIT FOR PLANNING BOARD 5/26/22  
B PLANNING BOARD FILING 6/15/22

APPLICATION # A 2022 - 0230

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Modifications to 24 Eldredge Place  
PHASE 2 - ADDITION  
24 Eldredge Place  
Dobbs Ferry, NY 10522

DRAWING TITLE:  
BASEMENT PLANS

FILE NAME:

DRAWN BY: PG/ML

SCALE: 1/4" = 1'-0"

DATE: 6/15/22

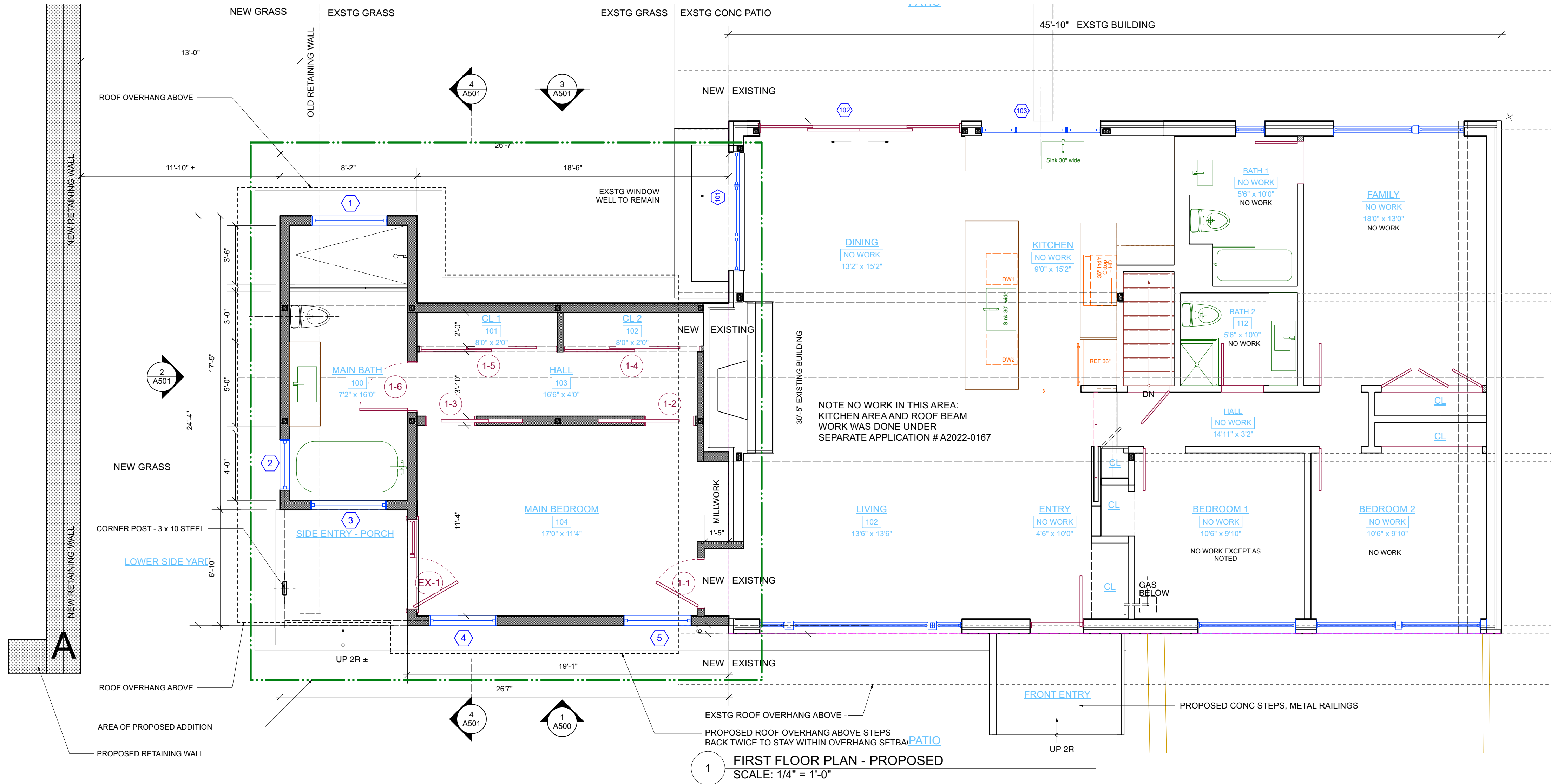
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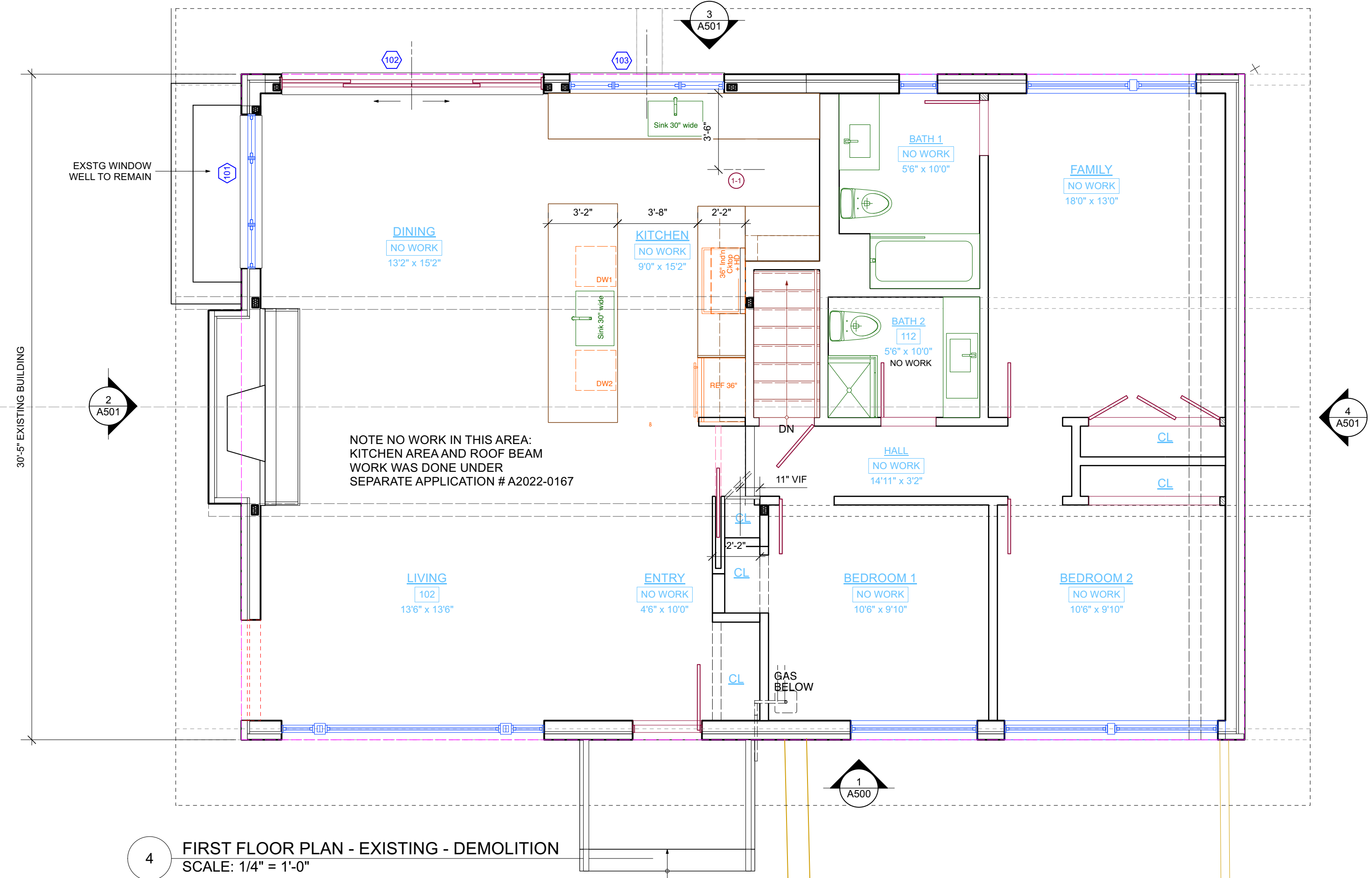
A-100.00

3'-0"

A



1 FIRST FLOOR PLAN - PROPOSED  
SCALE: 1/4" = 1'-0"



4 FIRST FLOOR PLAN - EXISTING - DEMOLITION  
SCALE: 1/4" = 1'-0"

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| CONSTRUCTION PLAN LEGEND |  |
|--------------------------|--|
|                          | EXISTING STONE WALL TO REMAIN          |
|                          | EXISTING MASONRY WALL TO REMAIN        |
|                          | EXISTING EXTERIOR FRAME WALL TO REMAIN |
|                          | EXISTING INTERIOR FRAME WALL TO REMAIN |
|                          | NEW MASONRY WALL                       |
|                          | NEW C.I.P. CONCRETE WALL               |
|                          | NEW EXTERIOR FRAME WALL                |
|                          | NEW INTERIOR FRAME WALL                |
|                          | OBJECTS ABOVE                          |
|                          | WINDOW ID                              |
|                          | DOOR ID                                |
|                          | WALL TYPE ID                           |
|                          | BUILDING SECTION KEY                   |
|                          | EXTERIOR ELEVATION KEY                 |
|                          | DETAIL KEY                             |
|                          | INTERIOR ELEVATION KEY                 |

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

NO. REVISIONS DATE

NO. ISSUE DATE

|   |   |         |
|---|---|---------|
| A | REVISED INITIAL PERMIT FOR PLANNING BOARD | 5/26/22 |
| B | PLANNING BOARD FILING                     | 6/15/22 |

APPLICATION # A 2022 - 0230

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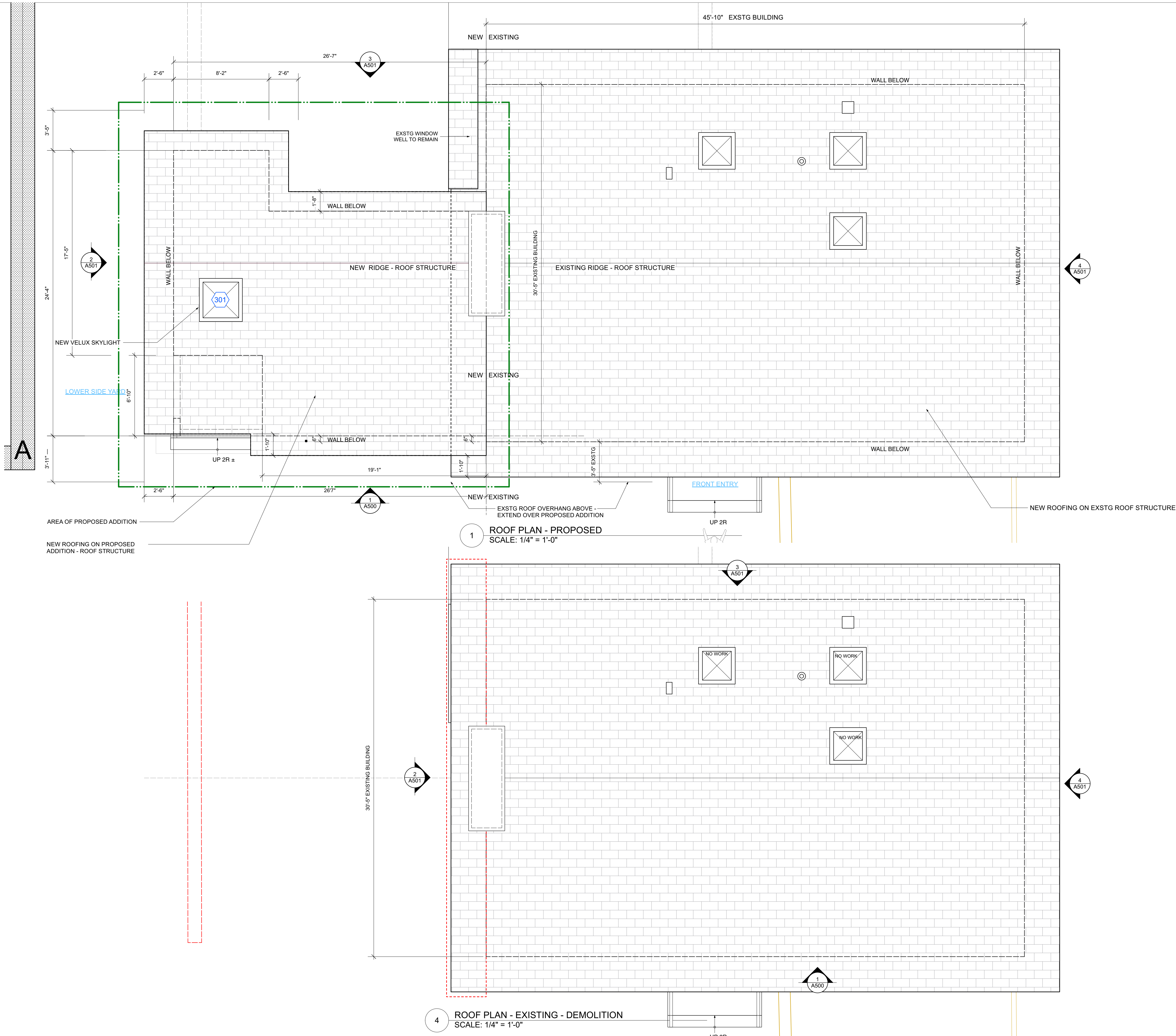
Modifications to 24 Eldredge Place  
PHASE 2 - ADDITION  
24 Eldredge Place  
Dobbs Ferry, NY 10522

DRAWING TITLE:  
FIRST FLOOR PLANS

FILE NAME:

|             |          |                |
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| SCALE:      | As Noted | A-101.00       |
| DATE:       | 6/15/22  |                |
| PROJECT ID: | 2125C    |                |





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CONSTRUCTION PLAN LEGEND

EXISTING STONE WALL TO REMAIN

EXISTING MASONRY WALL TO REMAIN

EXISTING EXTERIOR FRAME WALL TO REMAIN

EXISTING INTERIOR FRAME WALL TO REMAIN

NEW MASONRY WALL

NEW C.I.P. CONCRETE WALL

NEW EXTERIOR FRAME WALL

NEW INTERIOR FRAME WALL

OBJECTS ABOVE

WINDOW ID

DOOR ID

WALL TYPE ID

BUILDING SECTION KEY

EXTERIOR ELEVATION KEY

DETAIL KEY

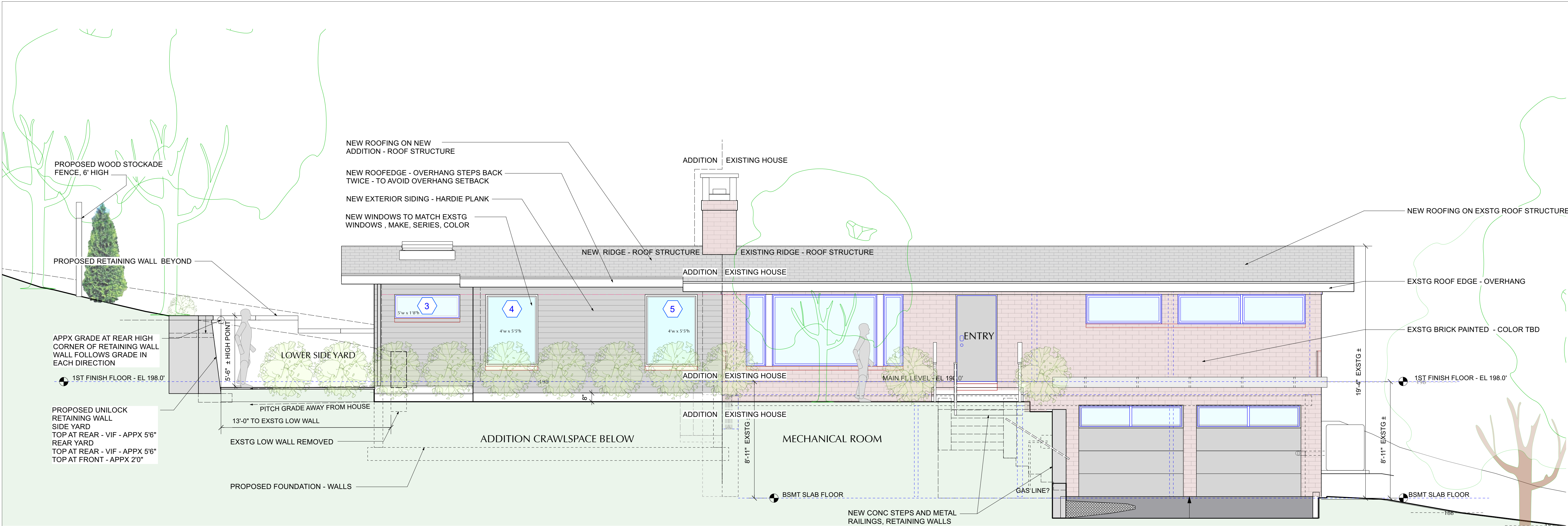
INTERIOR ELEVATION KEY

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

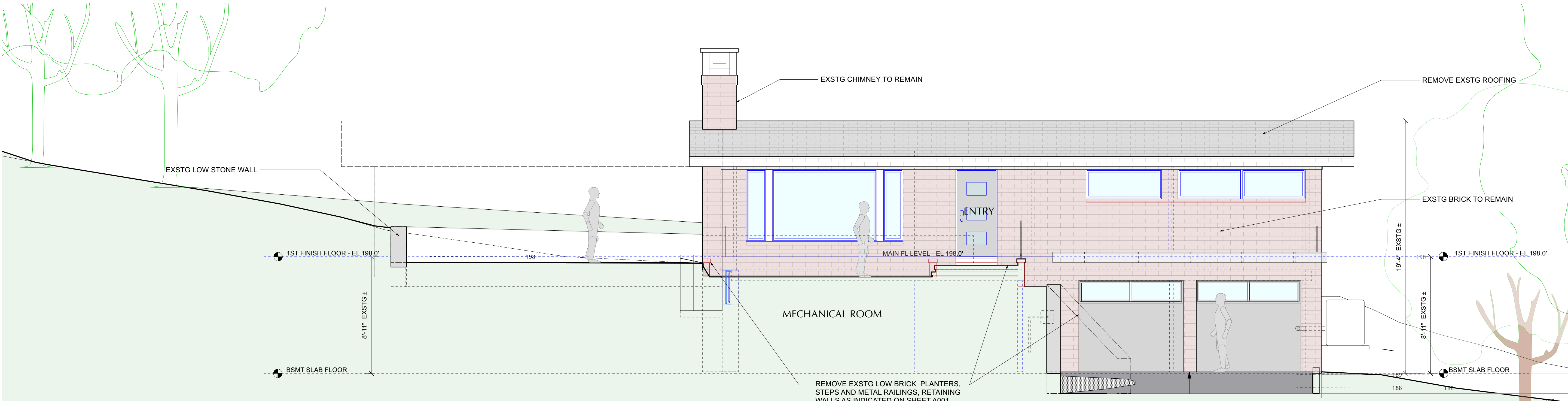
APPLICATION # A 2022 - 0230

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PHASE 2 - ADDITION  
24 Eldredge Place  
Dobbs Ferry, NY 10522DRAWING TITLE:  
ROOF PLANS

FILE NAME:



2 Proposed Front Elevation - North  
Scale: 1/4" = 1'-0"



1 Existing Front Elevation - North  
Scale: 1/4" = 1'-0"

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NO. REVISIONS DATE

NO. ISSUE DATE

|   |   |         |
|---|---|---------|
| A | REVISED INITIAL PERMIT for PLANNING BOARD | 5/26/22 |
| B | PLANNING BOARD FILING                     | 6/15/22 |

APPLICATION # A 2022 - 0230

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Modifications to 24 Eldredge Place  
PHASE 2 - ADDITION  
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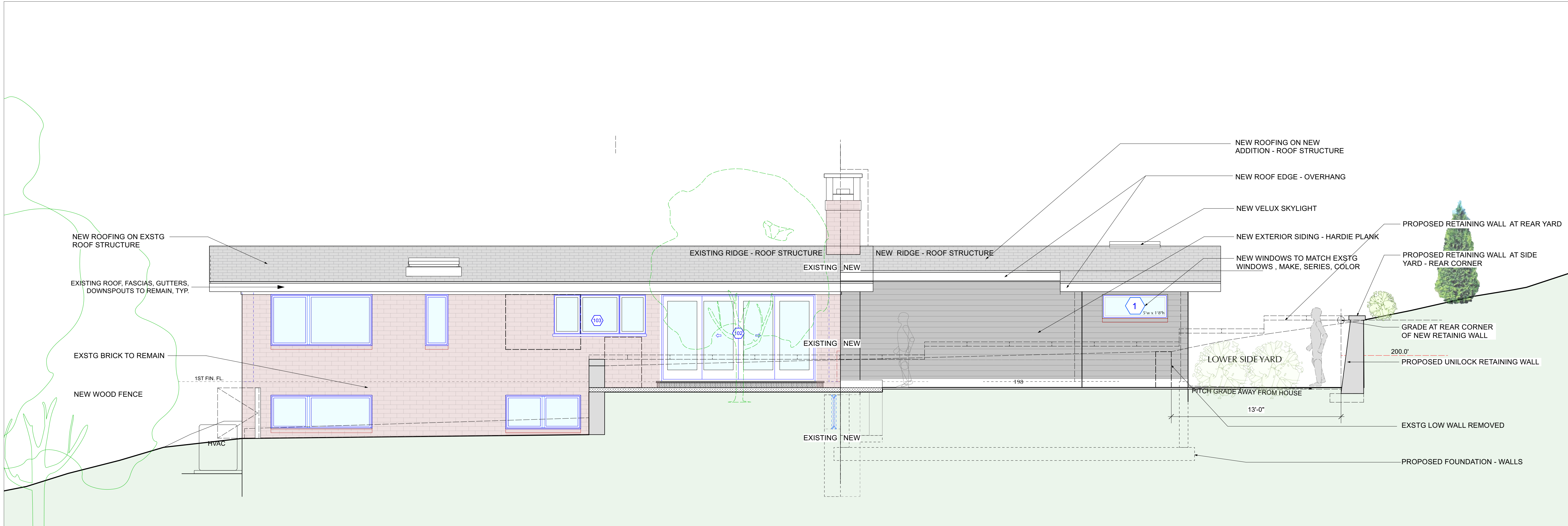
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EXTERIOR ELEVATIONS FRONT- North

FILE NAME:

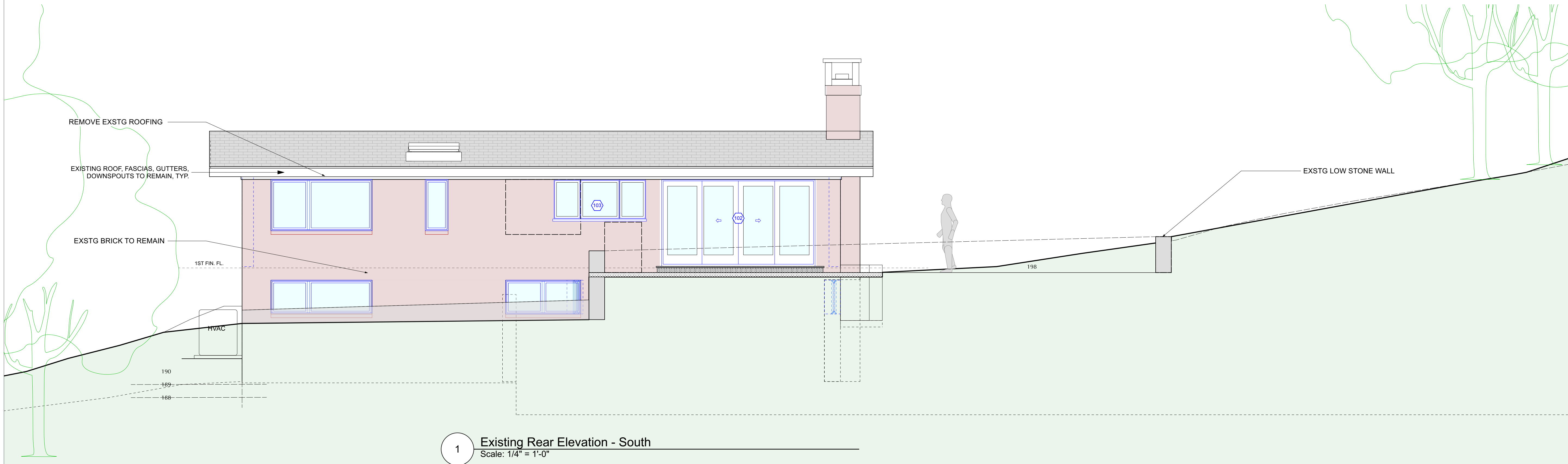
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| SCALE:      | As Noted | A-500.00       |
| DATE:       | 6/15/22  |                |
| PROJECT ID: | 2125C    |                |







2 Proposed Rear Elevation - South  
Scale: 1/4" = 1'-0"



1 Existing Rear Elevation - South  
Scale: 1/4" = 1'-0"

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| NO. | REVISIONS | DATE |
|-----|-----------|------|
|-----|-----------|------|

| NO. | ISSUE                                     | DATE    |
|-----|---|---------|
| A   | REVISED INITIAL PERMIT for PLANNING BOARD | 5/26/22 |
| B   | PLANNING BOARD FILING                     | 6/15/22 |

APPLICATION # A 2022 - 0230

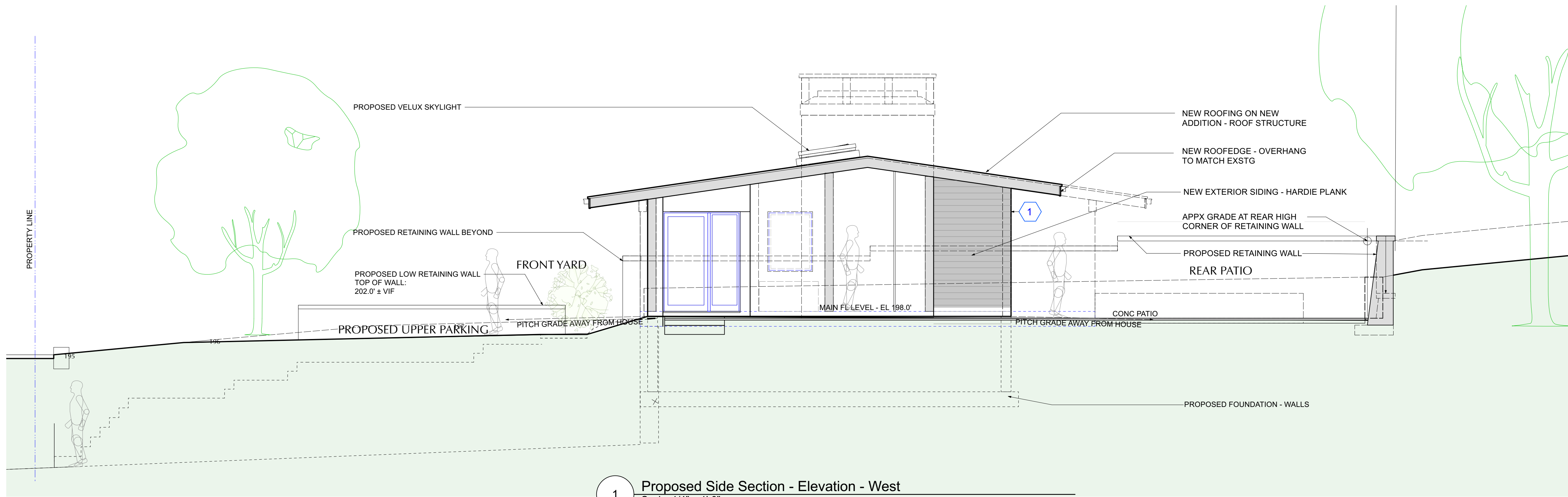
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Modifications to 24 Eldredge Place  
PHASE 2 - ADDITION  
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Dobbs Ferry, NY 10522

DRAWING TITLE:  
EXTERIOR ELEVATIONS REAR - South

| FILE NAME:  |                |
|-------------|----------------|
| DRAWN BY:   | DRAWING NUMBER |
| PG/ML       | A-502.00       |
| SCALE:      | As Noted       |
| DATE:       | 6/15/22        |
| PROJECT ID: | 2125C          |





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| NO. | REVISIONS | DATE |
|-----|-----------|------|
|-----|-----------|------|

| NO. | ISSUE                                     | DATE    |
|-----|---|---------|
| A   | REVISED INITIAL PERMIT for PLANNING BOARD | 5/26/22 |
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APPLICATION # A 2022 - 0230

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PHASE 2 - ADDITION  
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Dobbs Ferry, NY 10522

DRAWING TITLE:  
EXTERIOR ELEVATION SIDE - Partial West

| FILE NAME:  |          |
|-------------|----------|
| DRAWN BY:   | PG / ML  |
| SCALE:      | As Noted |
| DATE:       | 6/15/22  |
| PROJECT ID: | 2125C    |

| DRAWING NUMBER  |
|-----------------|
| <b>A-503.00</b> |