

Modifications to 24 ELDREDGE PLACE - Phase 2 - Addition

GENERAL REQUIREMENTS

- Related Documents: Drawings, Specifications and General Conditions of the Contract for Construction apply to Work of this Project.
- Scope of Work: Includes all items described in Drawings & Specifications, verbally & graphically, with more stringent and/or costly items assumed in all cases of discrepancy.
- All new construction shall adhere to the 2020 Residential Code of NYS. Notify Architect of any inadvertent noncompliance with Codes regarding information contained in Drawings and Specifications, with no Work to be performed knowingly in noncompliance with Code.
- The General Contractor (G.C.) shall coordinate all work procedures w/ requirements of Local Authorities. Prior to commencement of Construction, the G.C. shall be responsible for the acquisition of a Building Permit and pay all fees required by Governing Agencies. The G.C. shall be responsible for calling for Inspections and Sign-offs of all Work, including Plumbing & Electrical, as required by Governing Agencies.
- The G.C., Subcontractors, and all others working for Owner shall comply with National, State, and Local Laws and Regulations relating to insurance for work under this Contract. The following insurance policies shall be in force and copies shall be submitted to Architect prior to signing Agreement Between Owner and Contractor: Workman's Compensation & Unemployment Insurance as required by law; Contractor's Liability Coverage in the amount required by applicable Governing Agencies, & Liability Coverage for damages & uninstalled materials. The G.C. shall submit to the Owners, Insurance Certificates naming Owner as Additional Insured. All insurance shall be at Contractor's expense.
- All Terms & Conditions laid out in the A.I.A. Standard Form Of General Conditions shall apply to the G.C. & to all of his Sub-Contractors.
- The G.C. & Subcontractors shall attend regular job meetings as required by the Architect.

DIVISION 01: PROJECT REQUIREMENTS

- The G.C. shall verify all Dimensions & Conditions in the field prior to Construction. Any discrepancies are to be brought to the attention of the Architect prior to work. The G.C. shall be responsible for Field Fit & Quality of all Work, whether by the G.C. or by Subcontractors. No allowances shall be made on behalf of the G.C. for any error or neglect on his part. Under no circumstances are the Drawings to be scaled for location of Work. G.C. shall verify all clearances & locations prior to installation including requirements for appliances, fixtures, or equipment.
- Retain licensed Surveyor to mark site before beginning construction and to verify location of foundation and slab-on-grade formwork before pouring concrete. Verify that all work conforms to zoning requirements including all setbacks and yard requirements.
- The G.C. shall be responsible for the protection of all new & existing Work, Owner's Property, Building, and its Premises from damage & dirt or dust.
- Plumbing & Electrical Work shall be performed by Contractors licensed in their trade. G.C. shall be licensed to perform the Work as required.
- The G.C. shall maintain at the Site one Record Copy of all Drawings, Clarification Sketches, Approved Shop Drawings, Approved Samples, and Change Orders continuously updated to record all changes during Construction. G.C. shall fully correct, at no additional expense, all Work wrongly constructed or materials wrongly ordered from obsolete Drawings.
- Details not usually shown or specified, but necessary for proper construction on any part of the work shall be included as if they were indicated in the Drawings.
- Architectural Drawings shall be Followed as closely as actual Field Conditions & the work of other trades permit. Any piping, wiring, or materials not specifically shown or specified but required to complete Work shall be deemed to be part of Work & shall be furnished & installed by the G.C.
- G.C. shall prepare schedule for completion of Work prior to commencement and submit to Architect for approval. Contractor shall follow approved schedule and immediately notify Architect of any deviations from the approved schedule.
- The G.C. must submit all Engineering & Shop Drawings (including Millwork) & cut sheets of all equipment, plumbing & electrical fixtures, hardware & accessories to the Architect for approval prior to Fabrication, Ordering and /or Construction. Shop Drawings shall be revised per Architect's instruction if required prior to approval.
- The G.C. shall supervise & be solely responsible for all aspects of the Work, including Site Safety, maintenance of exit clearances & fire extinguishers as required by Code. The G.C. shall have sole responsibility for any damage or injuries caused by or during the execution of the Work.
- The G.C. shall be responsible for demolition & safe removal from the Site of all materials that must be removed to enable completion of Work and occupation of the Premises. All removed materials shall be disposed of regularly in a legal manner.
- All piping & wiring to be demolished shall be removed to a point of concealment & shall be properly capped or plugged.
- The G.C. shall do all cutting, patching & repairing as required to perform all Work required to complete the Job. All patching where new construction occurs shall match existing adjacent or as indicated on the Drawings.
- All new construction shall be laid-out in field for Architect's approval prior to starting construction.
- No changes to approved layouts shall be made without Written Consent Of The Architect.
- When "Approved Equal", "Equal To", "Similar" or other general qualifying terms are used, it shall be subject to final review by the Architect. There shall be no substitutions unless agreed upon in writing by the Architect.
- The G.C. shall verify all equipment dimensions, locations & hook-ups with Manufacturer's Specifications whether the G.C. or Others supply the equipment.
- All items noted "Furnished By Owner" shall be installed by the G.C. under this Contract as per Manufacturers' Specifications & industry standards. Wall reinforcement & all other requirements required to incorporate Owner furnished items shall be provided & coordinated by the G.C.
- G.C. shall employ experienced workers or professional cleaners for final cleaning prior to request of inspection for Certificate of Substantial Completion.



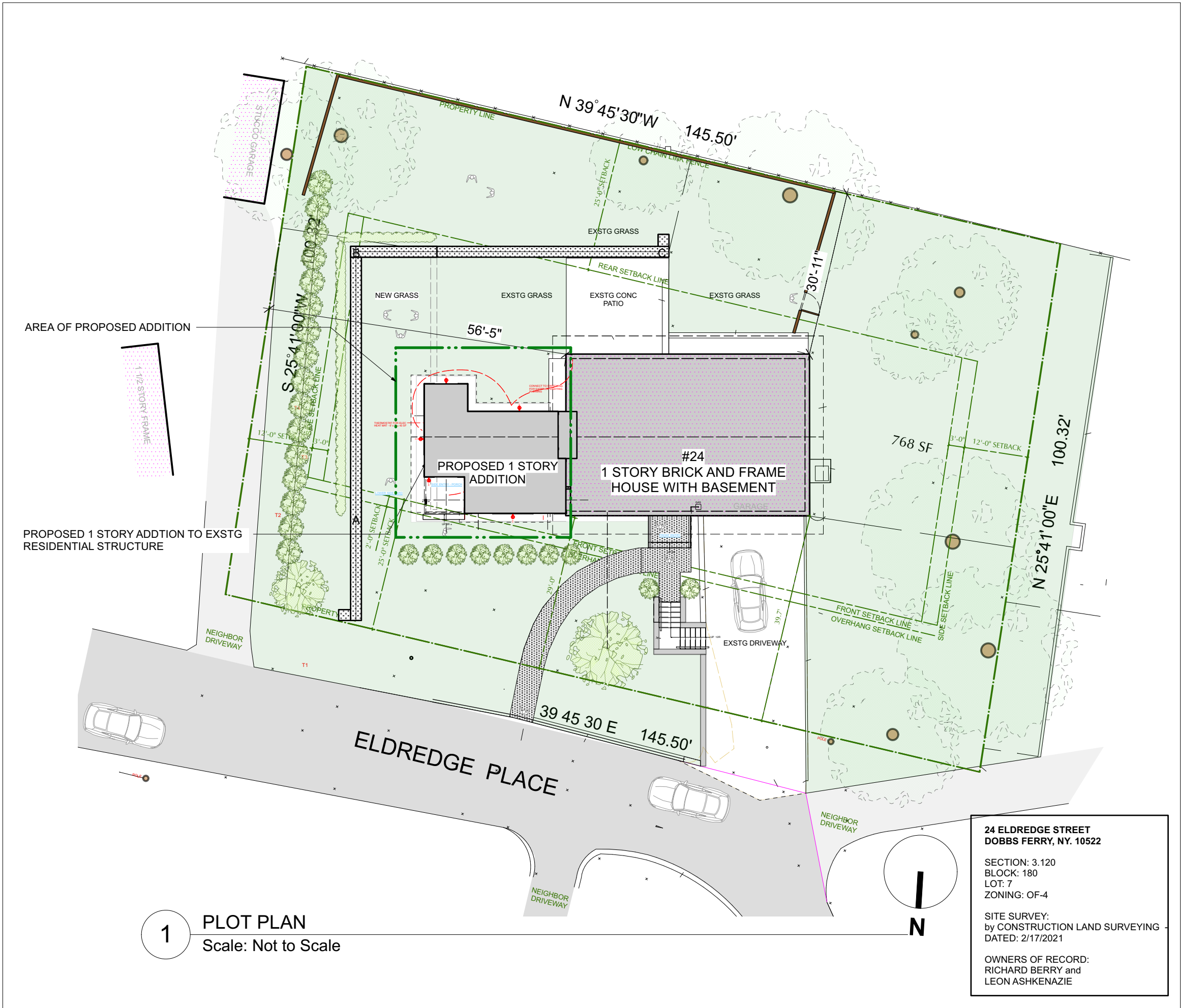
PHOTO OF FRONT ELEVATION - taken from Eldredge Place - looking South

APPLICATION # A 2022 - 0230

TREE REMOVAL APPLICATION # AT2022-0069

24 ELDREDGE PLACE

DOBBS FERRY, NY 10522



DRAWING INDEX

NO.	SHEET	ISSUE DATE	REV. DATE
	TITLE SHEET, SITE PLANS, ZONING		
T-000.00	Title Sheet, Plot Plan	7/19/22	
A-001.00	Site Plans - Existing + Proposed	7/19/22	
	PLANS		
A-100.00	Basement Plans - Existing + Proposed	7/19/22	
A-101.00	First Floor Plans - Existing + Proposed	7/19/22	
A-102.00	Roof Plans - Existing + Proposed	7/19/22	
	ELEVATIONS		
A-500.00	Front Elevations North - Existing + Proposed	7/19/22	
A-501.00	Side Elevations East - Existing + Proposed	7/19/22	
A-502.00	Rear Elevations South - Existing + Proposed	7/19/22	
A-503.00	Side Elevation West - Partial	7/19/22	
	STORMWATER		
HEC - 1	Stormwater Plan	7/18/22	
HEC - 2	Stormwater Details	7/18/22	

STRUCTURAL & LOADING NOTES

Soil Bearing Capacity:
Design bearing capacity of soil shall be 2,000 PSI in accordance with NY State Residential Code Table R401.4.1 for Sand, Silty Sand, Clayey Sand

Concrete Compressive Strength
Shall be Min. 3,000 PSI at exposed exterior walls; shall be Min. 2,500 PSI at basement slabs; and shall be Min. 3,500 PSI at horizontal surfaces exposed to the weather including porches, steps, walks, and garage floor slabs, all to be in compliance with the 2020 Residential Code of NYS

Required Placard
Provide exterior placard as required by code indicating that engineered lumber is used for roof support in a Class V structure. Placard is to be permanently mounted for display as required near electrical meter or as directed in field by Architect.

High Wind Connections
Wherever applicable provide strapping as required to resist high wind and uplift forces to be in compliance with table R802.11 of the Code. Use tension tie equal to Simpson model # HTT22 at all footing-post connections and equal to Simpson model # H2 at all post-plate-rafter connections.

SPRINKLER NOTE

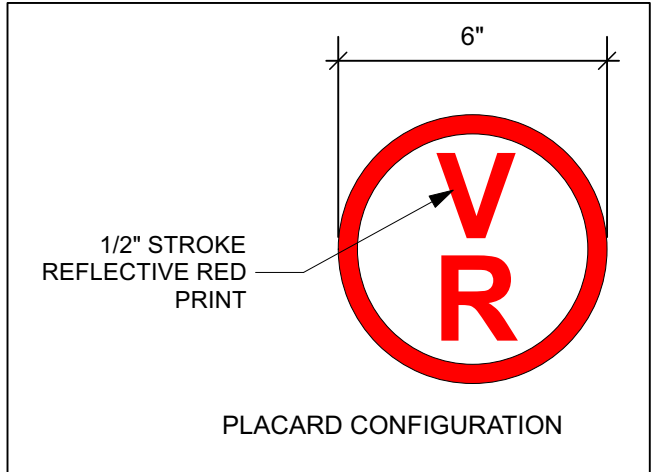
1. SPRINKLER SYSTEM FOR EXISTING HOUSE AND PROPOSED ADDITION WILL BE FILED UNDER APPLICATION # A2022-0230, TO INCLUDE SPRINKLER SYSTEM INSTALLED AS PER DOBBS FERRY BUILDING CODE

GENERAL CONDITIONS

- APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.
- LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT

PRE-ENGINEERED WOOD PLACARDING

CONTRACTOR SHALL PROVIDE PLACARD AS REQUIRED BY CODE, 6" DIA. CIRCLE WITH RED REFLECTIVE PRINT ON WHITE BACKGROUND, INDICATING THAT PRE-ENGINEERED WOOD HAS BEEN USED IN CONSTRUCTION. PLACARD SHALL BE PLACED AT EXTERIOR ON OR NEAR ELECTRIC METER IN PLAIN VIEW AND INDICATE THAT PRE-ENGINEERED WOOD HAS BEEN USED FOR ROOF AND FLOOR SUPPORT IN THE BUILDING OF TYPE-V CONSTRUCTION.



CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE

WESTCHESTER, NY: CLIMATE ZONE 4A CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
30 PSF	115-120	NO	YES	NO	C	WEATHERING	FROST DEPTH	TERMITES	15°F	YES	NO	2000	51.6°F

STRETCH ENERGY CODES

- This design is in compliance with requirements of 2020 Energy Conservation Code of NYS, the 2020 Residential Code of NYS, and the 2020 NYStretch Code.
- Contractor shall perform all work in accordance with applicable codes listed above.
- Updated Table R402.1.4 below showing updated values prevails where applicable.

WESTCHESTER NY: CLIMATE ZONE 4A

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

Table R402.1.2 – Envelope (U-factor Table R402.1.4 changed accordingly. Prescriptive, e.g., can be traded.)

Climate Zone 4	Fen U-Factor	Skylt U-Factor	SHGC	Ceiling R-Val	Wood Wall R-Value	Mass Wall R-Value	Floor R-Val	Bsmt Wall R-Value	Slab R-Value/Depth	Crawl Sp Wall R-Value
Stretch Code	0.27	0.50	.04	49	21 or 20+5 or 13+10	15/20	30*	15/19	10, 4 ft.	15/19

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR*	SKYLIGHT* U-FACTOR	GLAZED FENESTRATION SHGC*†	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT* WALL R-VALUE	SLAB* R-VALUE & DEPTH	CRAWL SPACE* WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.32	0.55	0.25	38	20 or 13 + 5*	8/13	19	5/13†	0	5/13
4 except Marine	0.27	0.55	0.40	49	20 or 13 + 5*	8/13	19	10/13	10, 2 ft	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13 + 5*	13/17	30#	15/19	10, 2 ft	15/19
6	0.30	0.55	NR	49	20 + 5* or 13 + 10‡	15/20	30#	15/19	10, 4 ft	15/19
7 and 8	0.30	0.55	NR	49	20 + 5* or 13 + 10‡	19/21	38#	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

NR = Not Required.

- R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
- R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
- Reserved.
- Reserved.
- Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.
- The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

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NO. REVISIONS

DATE

1 PLANNING BOARD FILING

7/19/22

NO. ISSUE

DATE

A REVISED INITIAL PERMIT FOR PLANNING BOARD

5/26/22

B PLANNING BOARD INITIAL FILING

6/15/22

APPLICATION # A 2022 - 0230

TREE REMOVAL APPLICATION # AT2022-0069

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Modifications to 24 Eldredge Place

PHASE 2 - ADDITION

24 Eldredge Place

Dobbs Ferry, NY 10522

DRAWING TITLE:

TITLE SHEET, GENERAL NOTES

FILE NAME:

DRAWN BY: PG/ML

DRAWING NUMBER

SCALE: NA

DATE: 7/19/22

PROJECT ID: 2125C

T-000.00

ZONING CHART

LOT AND ZONING INFORMATION				
24 ELDREDGE PLACE DOBBS FERRY, NY 10522				
Section: 3.120		Block - 108	Lot: 1	
ZONING DISTRICT: OF-4				
GENERAL LOT DIMENSIONS				
LOT AREA	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
	10,000 SF	14,550 SF	NO CHANGE	YES
LOT WIDTH	100'0"	145'6"	NO CHANGE	YES
LOT DEPTH	100'0"	100'4"	NO CHANGE	YES
YARD SETBACKS (PRINCIPAL STRUCTURE)				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
FRONT	25'0"	29'0"	25'3"	YES
REAR	25'0"	30'11"	30'11"	YES
SIDE ONE	12'0"	56'5"	30'10"	YES
TOTAL OF TWO SIDES	30'0"	95'6"	69'5"	YES
BUILDING HEIGHT				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
STORIES (ABOVE GRADE PLANE)	2 1/2	1	1	YES
FEET (ABOVE GRADE PLANE)	30'0"	19'4"	NO CHANGE	YES
EAVE	28'0"	18'7"	NO CHANGE	YES
LOT COVERAGE				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
LOT AREA	10,000 SF	14,550 SF	NO CHANGE	NO CHANGE
BUILDING COVERAGE	MAX 22 % of 14,550 SF = 3,201 SF B-3 Sliding Scale x.75 = 2,401 SF	1,407 SF	1,893 SF	YES
COVERAGE, IMPERVIOUS SURFACES (Building + Site Items)	MAX 40% of 14,550 SF = 5,820 SF B-3 Sliding Scale x .75 = 4,365 SF	1,457SF + 1407 SF = 2,864 SF	1,861 SF +1,893 SF = 3,764 SF	YES YES
OCCUPANCY AND USE				
	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANT
CURRENT USE	SINGLE FAMILY	SINGLE FAMILY	NO CHANGE	NO CHANGE
BASMENT FLOOR AREA		1,407 SF	1,407 SF	YES
1ST FLOOR AREA		1,407 SF	1,893 SF	YES
FLOOR AREA TOTALS		2,814 SF	3,300 SF	YES

PARKING ANALYSIS

DOBBS FERRY MULTI-FAMILY PARKING REQUIREMENT			
		EXISTING	PROPOSED
		2 SPOTS	DRIVEWAY SPOTS
			2
			PROPOSED PARKING
			0
			TOTAL SPOTS
			2

VILLAGE NOTES:

1. ALL WORK TO CONFORM TO THE SATISFACTION OF THE BUILDING INSPECTOR
2. PROVIDE RETAINING WALLS ON ALL SLOPES EXCEEDING (1) FOOT VERTICAL ON (1 1/2) FEET HORIZONTAL
3. THE BUILDER SHALL FURNISH 6" PERFORATED CMP ENCASED IN STONE WHEREVER DIRECTED BY THE BUILDING INSPECTOR.
4. SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.
5. ALL GRADING TO BE PERFORMED TO CREATE POSITIVE DRAINAGE.
6. ALL DRIVEWAYS SLOPING DOWN TO GARAGES SHALL HAVE A DRAIN INLET WITH A PIPE EXTENDING BEYOND THE REAR OF THE HOUSE TO CARRY RAIN RUN-OFF.
7. ALL DRIVEWAYS SLOPING DOWN SHALL RISE 6" THE FIRST 5' AND THEN SLOPE DOWN.
8. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
9. OWNER OR CONTRACTOR SHALL NOTIFY BUILDING INSPECTOR PRIOR TO CHANGES OR MODIFICATIONS TO THE APPROVED PLANS.
10. ROCK REMOVAL BY BLASTING SHALL BE IN ACCORDANCE WITH CHAPTER 125 OF THE VILLAGE CODE.
11. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY ANY LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
12. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY WARRANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE & OTHER PROTECTIVE MEASURES AS REQUIRED AT LIMITS OF CONSTRUCTION.
 2. AREAS OF PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION. AREAS SHALL BE FENCED OFF DURING CONSTRUCTION OR THE AREA SHOULD BE DE-COMPACTED PRIOR TO INSTALLATION OF THE INFILTRATION UNITS.
 3. EXCAVATE FOR FOOTINGS AND SWRS, PREPARE GRADE FOR SLAB
 4. INSTALL SWRS, REINFORCING & FORMWORK FOR FOOTINGS.
 5. INSTALL C.I.P. CONCRETE FOOTINGS.
 6. CONSTRUCT PROPOSED PORTE-COCHERE, GARAGE, AND BUILDING ADDITIONS.
 7. COMPLETE ALL FINISHES, DOORS, WINDOWS, FIXTURES, HARDWARE & EQMT.
 8. PROPOSED GUTTER LEADERS SHALL BE CONNECTED TO SWRS.
- NOTE: THE SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

SITE PLAN NOTES:

1. SURVEY INFORMATION TAKEN FROM SURVEY DATED 2/17/21, BY CONSTRUCTION LAND SURVEYING.
2. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

UTILITIES:

1. CONTRACTOR TO VERIFY LOCATION OF PUBLIC UTILITIES AND PROVIDE PROTECTION IF /AS REQ'D.
2. CONTRACTOR TO COORDINATE SHUT OFF AND/OR DISCONNECTION OF UTILITIES IF /AS REQUIRED.
3. NO EXTG UTILITIES TO BE IMPACTED. NO EXTG UTILITIES RUN THROUGH AREA OF NEW WORK.
4. A CODE 53 WILL BE CALLED IN PRIOR TO CONSTRUCTION FOR SURVEY OF EXTG UNDERGROUND UTILITIES.

LANDSCAPING NOTES

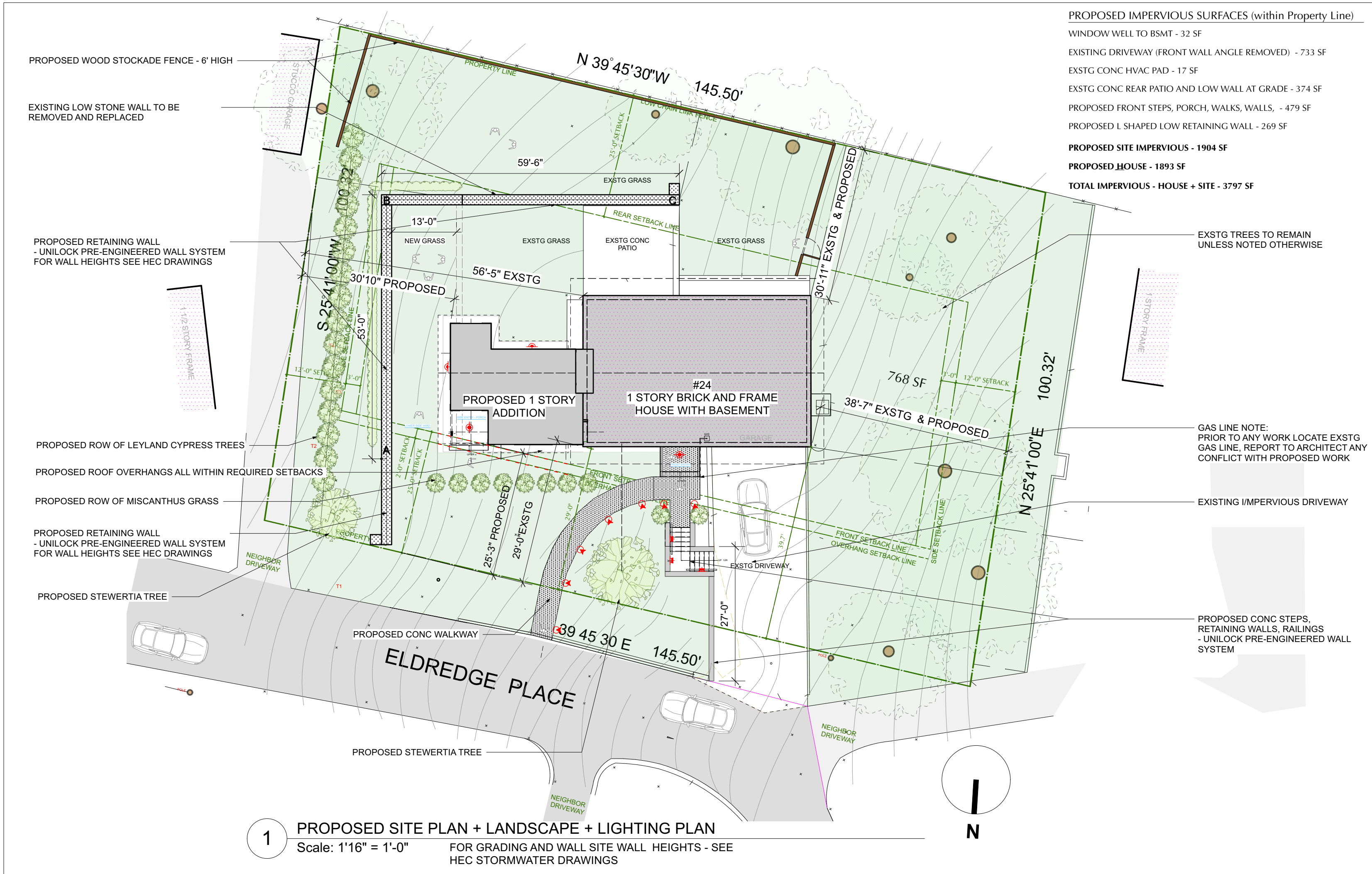
1. ALL LANDSCAPING OUTSIDE OF WORK AREA IS EXISTING TO REMAIN. ALL PLANTINGS INDICATED ON SITE PLAN ARE EXISTING TO REMAIN UNLESS NOTED.
2. REMOVE TOPSOIL AT DISTURBED WORK AREA AND STORE ON SITE. REPLACE REFURBISH TOPSOIL AT COMPLETION AND RE-SOD LAWN AS NEEDED.
3. NO TREES ARE PROPOSED TO BE REMOVED UNDER THIS APPLICATION EXCEPT AS INDICATED. EXCAVATE BY HAND WHERE REQUIRED TO PROTECT ROOT SYSTEMS OF EXISTING TREES.
4. UNLESS OTHERWISE DIRECTED, REMOVE EXISTING PLANTINGS AND SHRUBS BY HAND AND PROPERLY STORE ON SITE FOR REPLANTING UNDER SEPARATE APPLICATION

GENERAL SITE PLAN NOTE:

1. PREPARATION OF STORMWATER MANAGEMENT PLAN, EROSION CONTROL, LOCATION OF CONSTRUCTION LIMITS.
2. AREAS OF PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION. AREAS SHALL BE FENCED OFF DURING CONSTRUCTION OR THE AREA SHOULD BE DE-COMPACTED PRIOR TO INSTALLATION OF THE INFILTRATION UNITS.
3. EXCAVATE FOR FOOTINGS AND SWRS, PREPARE GRADE FOR SLAB
4. INSTALL SWRS, REINFORCING & FORMWORK FOR FOOTINGS.
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8. PROPOSED GUTTER LEADERS SHALL BE CONNECTED TO SWRS.

NYS CODE COMPLIANCE

1. This design is in compliance with requirements of 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State.
2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020 NYS Code Books.
3. In the case of multiple codes applying to any area or component of the building, the stricter code shall apply.



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PRELIMINARY LIGHTING PLAN LEGEND

- PATHLIGHT - SIM TO VISION-3 PA11B; 5W WARM WHITE LED, DARK AGED BRASS FINISH
- BUILT-IN WALL OR RISER LIGHT - SIM TO B-K BRICKSTAR MR16; 20W, WARM LED LAMP, MITIQUE (AGED) BRASS FINISH
- SURFACE, MOUNTED - FIXTURE SELECTION TO BE DETERMINED
- HOUSE SCONCE - FIXTURE SELECTION TO BE DETERMINED
- SECURITY FLOODLIGHT (AND OPTIONAL CAMERA) - B-K DELTA STAR, WIDE FLOOD, 8W WARM WHITE LED, MITIQUE (AGED) BRASS FINISH

NOTE: ALL EXTERIOR LIGHT FIXTURES SHALL COMPLY WITH VILLAGE EXTERIOR LIGHTING CODE REQUIREMENTS (300-4.1), INCLUDING THE USE OF FULL CUTOFF STYLE FIXTURES WITH LIGHT LEVELS WITHIN THE LIMITS SET BY THE CODE.

PRELIMINARY PLANTING SCHEDULE

As indicated on Proposed Site + Landscape Plan

Common Name	Botanical Name	Native
ORNAMENTAL TREES		
Stewartia	Sewartia pseudocarnelia	Yes
SCREENING		
Leylandii	Leyland Cypress	No
SHRUBS		
Morning Light	Miscanthus Grass	Yes

TREE REMOVAL SCHEDULE

As indicated on Existing Site Plan

ID	Type	Diameter ABH
T1	White Mulberry	1'10"
T2	Sugar Maple	1'6"
T3	Sugar Maple	2'6"
T4	Sugar Maple	1'6"

NOTE - TREE PERMIT APPLICATION # AT 2022-069
ALL TREE RELATED WORK TO COMPLY WITH DOBBS FERRY TREE VALUATION (300-51 i) AND LOCAL LAW 1-2022

NO. REVISIONS DATE

1	PLANNING BOARD FILING	7/19/22
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NO. ISSUE DATE

A	REVISED INITIAL PERMIT FOR PLANNING BOARD	5/26/22
B	PLANNING BOARD FILING	6/15/22

APPLICATION # A 2022 - 0230

TREE REMOVAL APPLICATION # AT2022-0069

Michael Lewis Architects PC

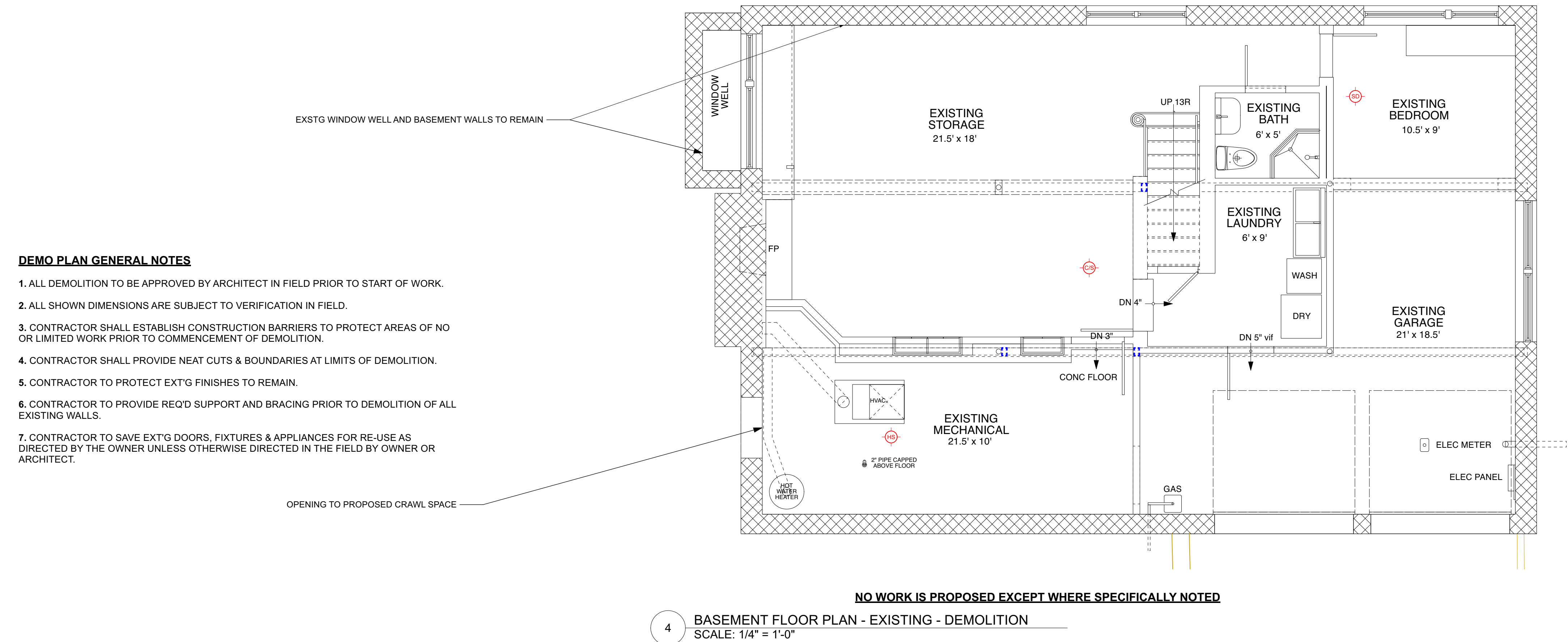
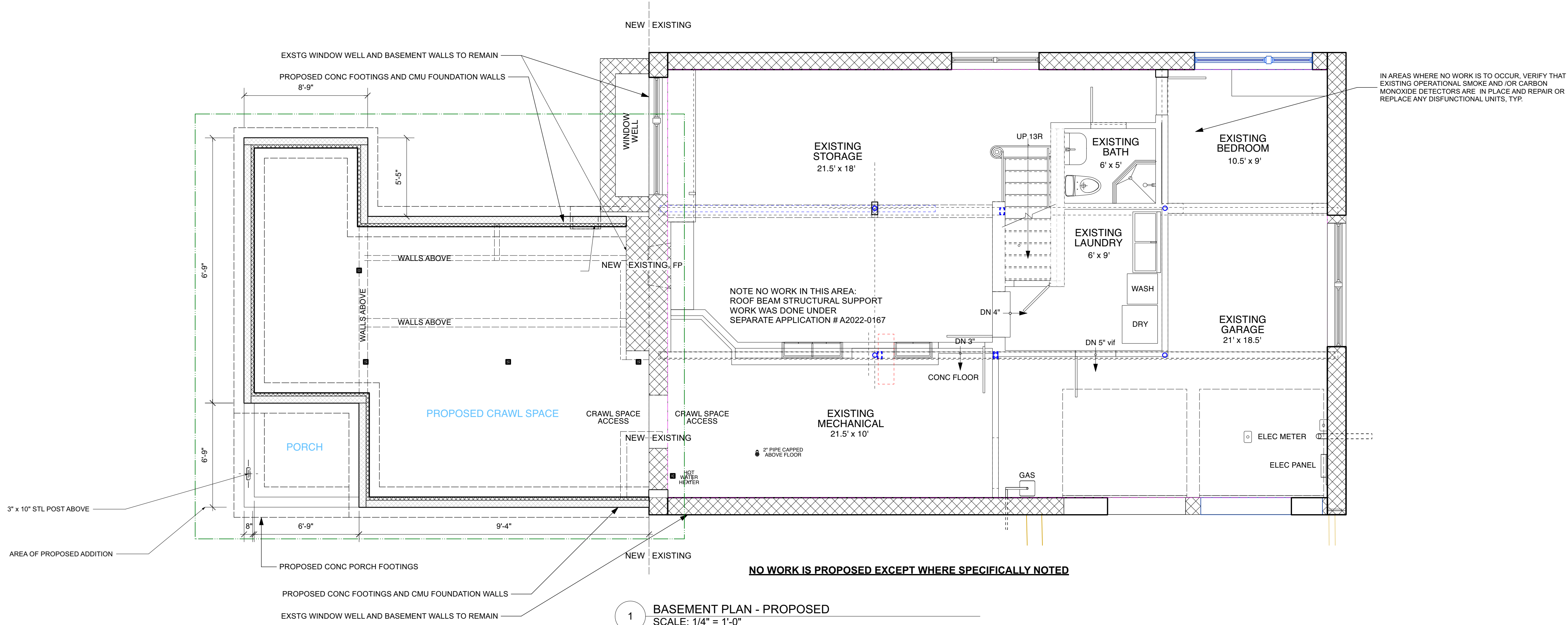
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PHASE 2 - ADDITION
24 Eldredge Place
Dobbs Ferry, NY 10522

DRAWING TITLE:
SITE PLAN Existing + Proposed

FILE NAME:

DRAWN BY:	PG	DRAWING NUMBER
SCALE:	1" = 16'-0"	A-001.0
DATE:	7/19/22	
PROJECT ID:	2125C	



- DEMO PLAN GENERAL NOTES**
1. ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.
 2. ALL SHOWN DIMENSIONS ARE SUBJECT TO VERIFICATION IN FIELD.
 3. CONTRACTOR SHALL ESTABLISH CONSTRUCTION BARRIERS TO PROTECT AREAS OF NO OR LIMITED WORK PRIOR TO COMMENCEMENT OF DEMOLITION.
 4. CONTRACTOR SHALL PROVIDE NEAT CUTS & BOUNDARIES AT LIMITS OF DEMOLITION.
 5. CONTRACTOR TO PROTECT EXT'G FINISHES TO REMAIN.
 6. CONTRACTOR TO PROVIDE REQ'D SUPPORT AND BRACING PRIOR TO DEMOLITION OF ALL EXISTING WALLS.
 7. CONTRACTOR TO SAVE EXT'G DOORS, FIXTURES & APPLIANCES FOR RE-USE AS DIRECTED BY THE OWNER UNLESS OTHERWISE DIRECTED IN THE FIELD BY OWNER OR ARCHITECT.

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DEMOLITION PLAN LEGEND	
	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	EXISTING EXTERIOR WALL TO BE REMOVED
	EXISTING INTERIOR WALL TO BE REMOVED
	EXISTING OBJECT TO BE REMOVED
NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.	

NO.	REVISIONS	DATE
1	PLANNING BOARD FILING	7/19/22

NO.	ISSUE	DATE
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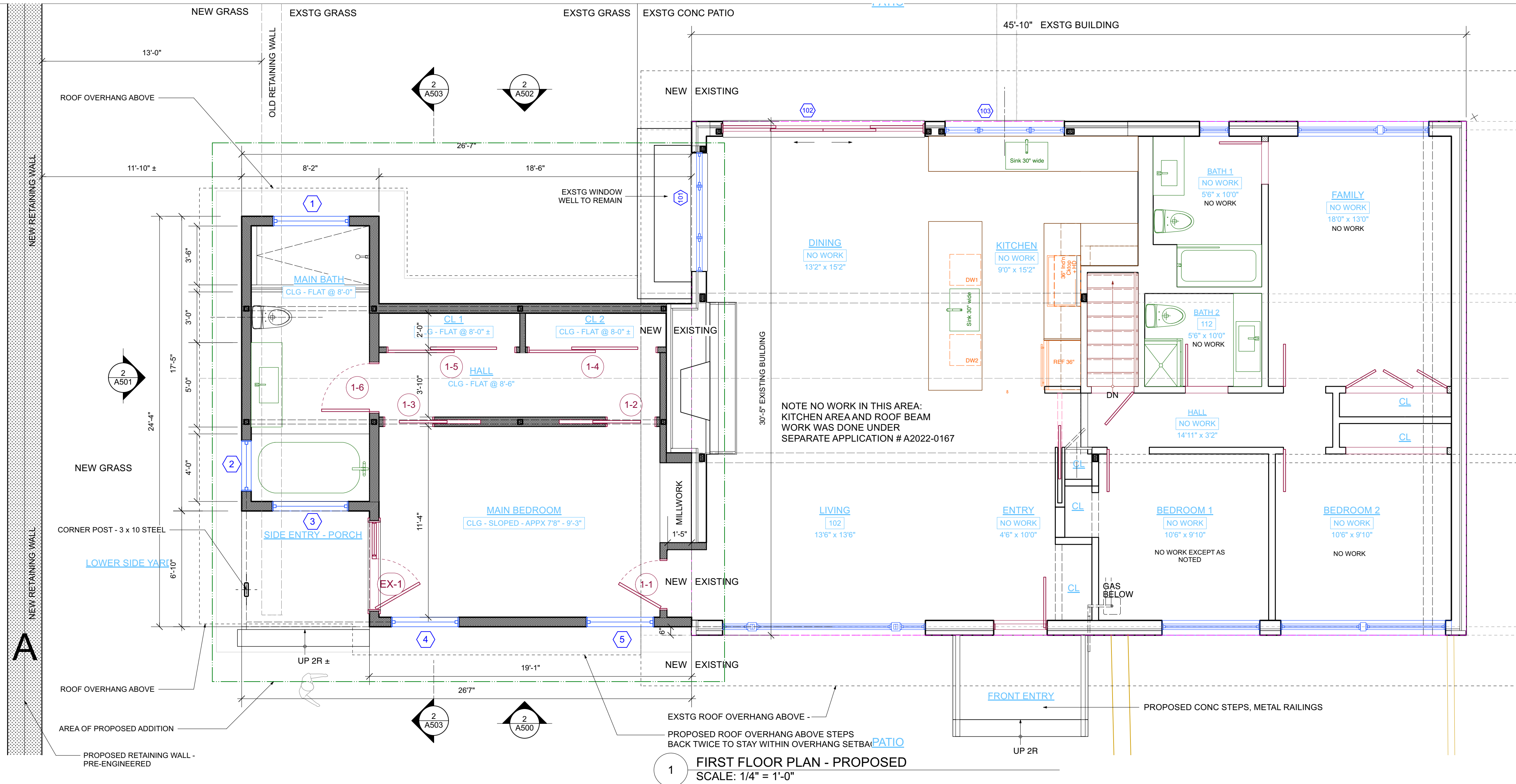
Modifications to 24 Eldredge Place
PHASE 2 - ADDITION
24 Eldredge Place
Dobbs Ferry, NY 10522

DRAWING TITLE:
BASEMENT PLANS

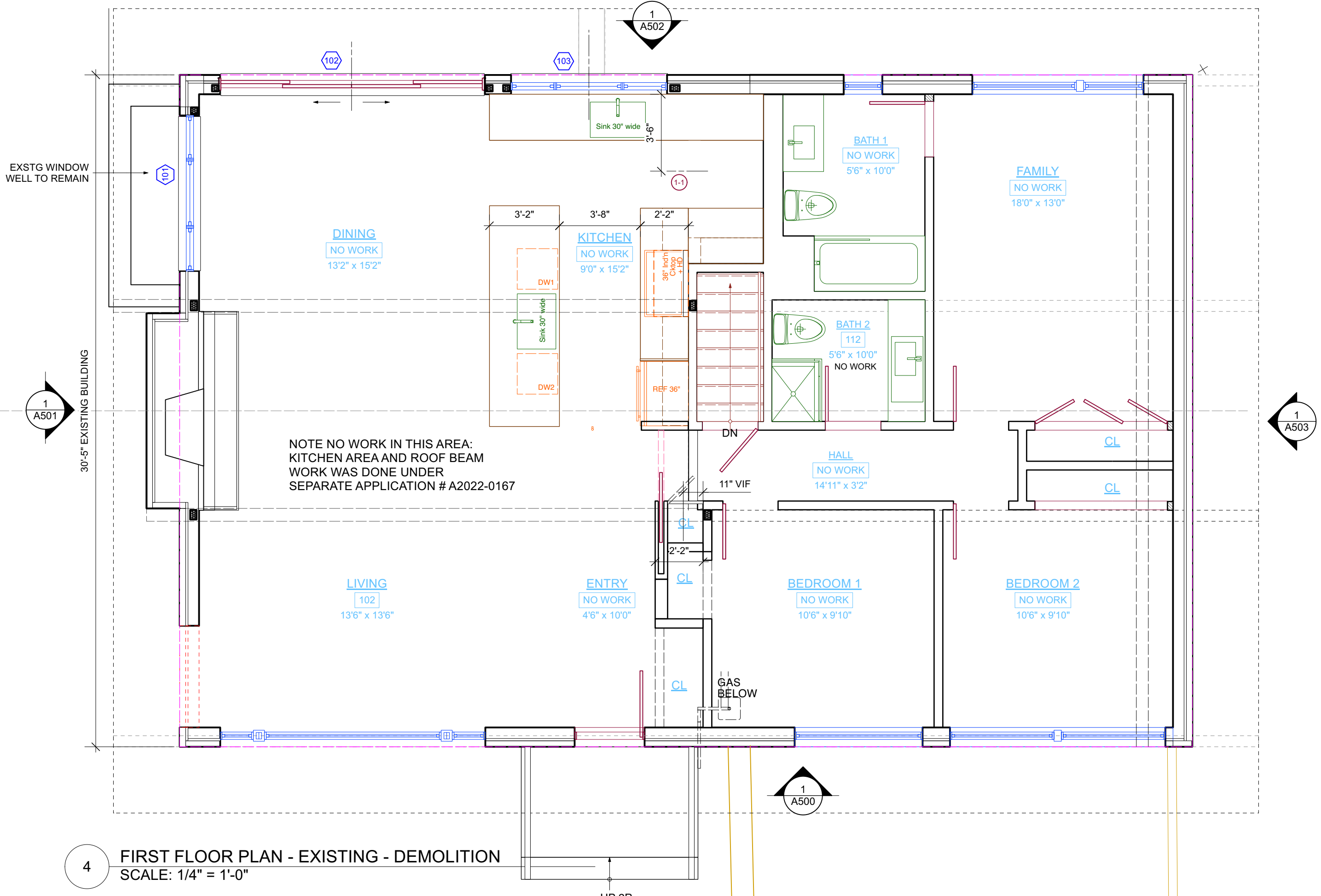
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DRAWN BY:	PG/ML	DRAWING NUMBER
SCALE:	1/4" = 1'-0"	A-100.00
DATE:	7/19/22	
PROJECT ID:	2125C	

NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.



1 FIRST FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"



4 FIRST FLOOR PLAN - EXISTING - DEMOLITION
SCALE: 1/4" = 1'-0"

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CONSTRUCTION PLAN LEGEND	
	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	NEW MASONRY WALL
	NEW C.I.P. CONCRETE WALL
	NEW EXTERIOR FRAME WALL
	NEW INTERIOR FRAME WALL
	OBJECTS ABOVE
	WINDOW ID
	DOOR ID
	WALL TYPE ID
	BUILDING SECTION KEY
	EXTERIOR ELEVATION KEY
	DETAIL KEY
	INTERIOR ELEVATION KEY

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

NO.	REVISIONS	DATE
1	PLANNING BOARD FILING	7/19/22

NO.	ISSUE	DATE
A	REVISED INITIAL PERMIT FOR PLANNING BOARD	5/26/22
B	PLANNING BOARD FILING	6/15/22

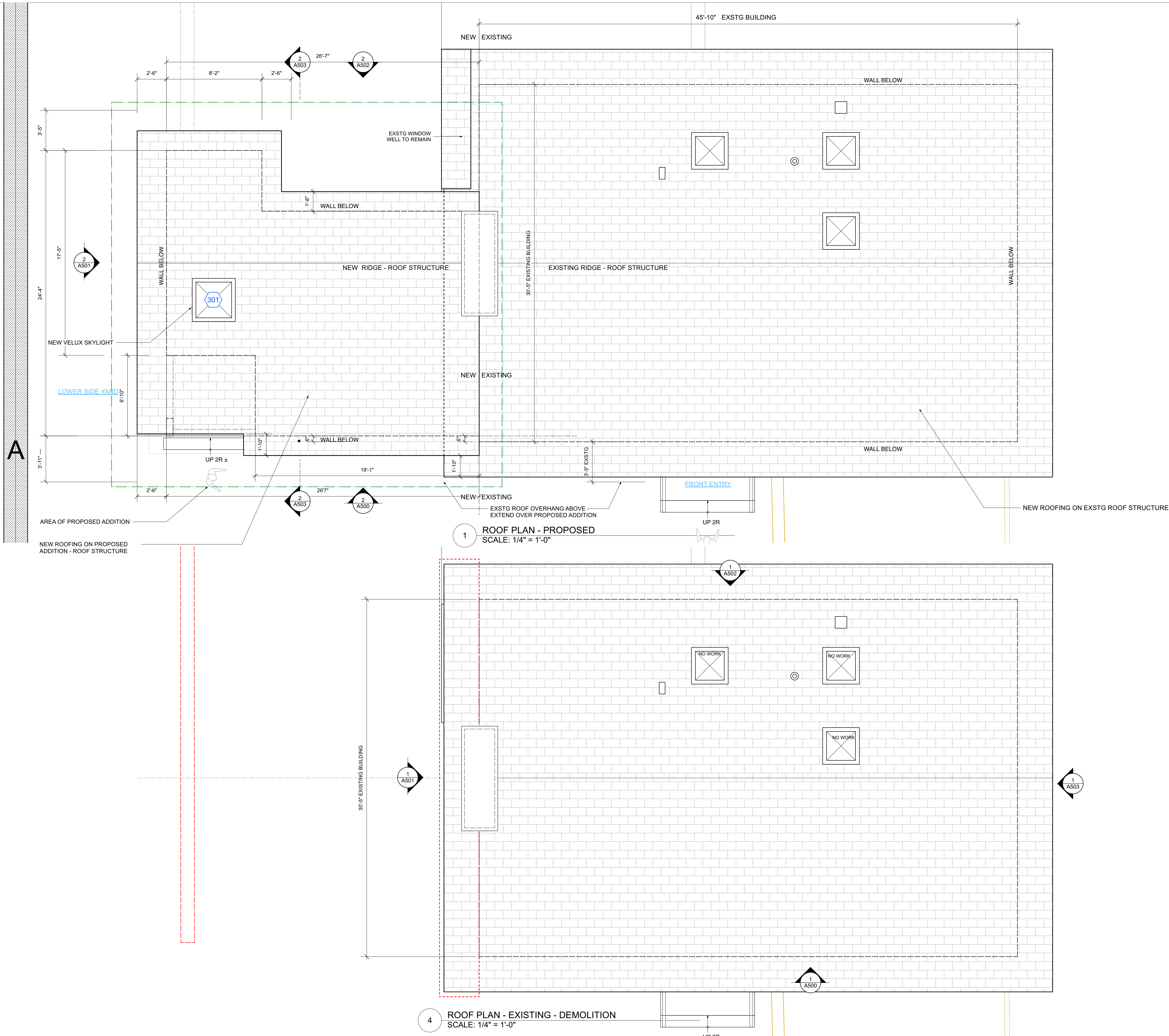
APPLICATION # A 2022 - 0230
TREE REMOVAL APPLICATION # AT2022-0069

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Modifications to 24 Eldredge Place
PHASE 2 - ADDITION
24 Eldredge Place
Dobbs Ferry, NY 10522

DRAWING TITLE:
FIRST FLOOR PLANS

FILE NAME:	
DRAWN BY:	PG/ML
SCALE:	As Noted
DATE:	7/19/22
PROJECT ID:	2125C
DRAWING NUMBER	
A-101.00	



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CONSTRUCTION PLAN LEGEND

EXISTING STONE WALL TO REMAIN

EXISTING MASONRY WALL TO REMAIN

EXISTING EXTERIOR FRAME WALL TO REMAIN

EXISTING INTERIOR FRAME WALL TO REMAIN

NEW MASONRY WALL

NEW C.I.P. CONCRETE WALL

NEW EXTERIOR FRAME WALL

NEW INTERIOR FRAME WALL

OBJECTS ABOVE

WINDOW ID

DOOR ID

WALL TYPE ID

BUILDING SECTION KEY

EXTERIOR ELEVATION KEY

DETAIL KEY

INTERIOR ELEVATION KEY

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

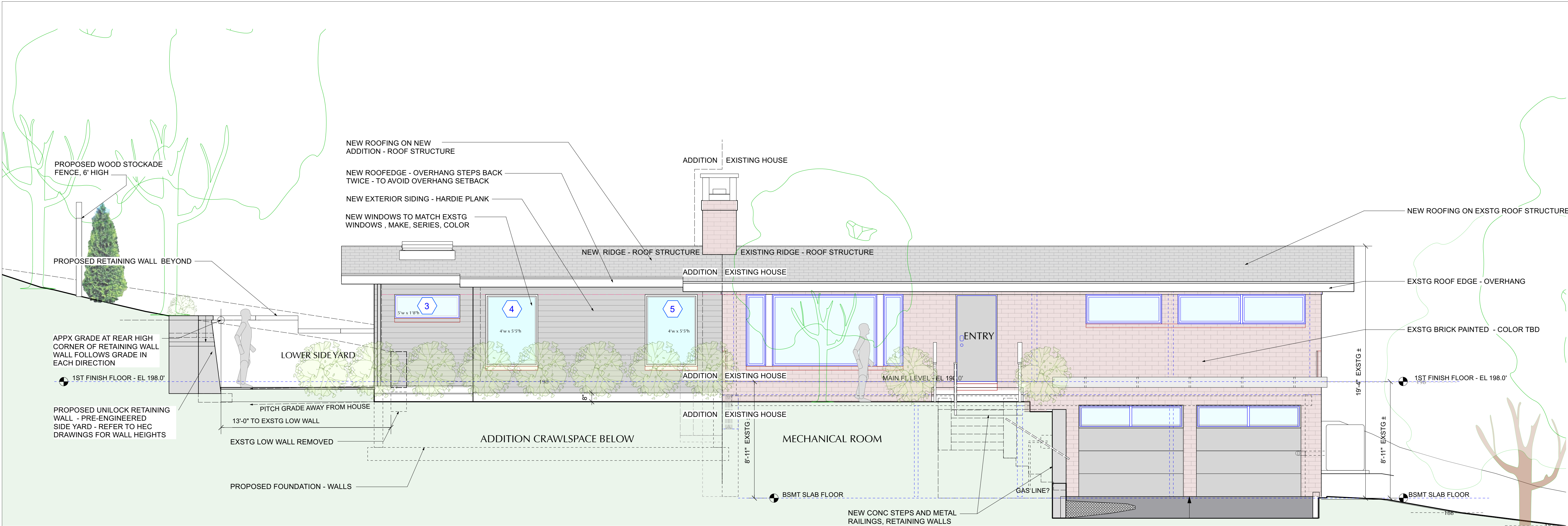
APPLICATION # A 2022 - 0230

TREE REMOVAL APPLICATION # AT2022-0069

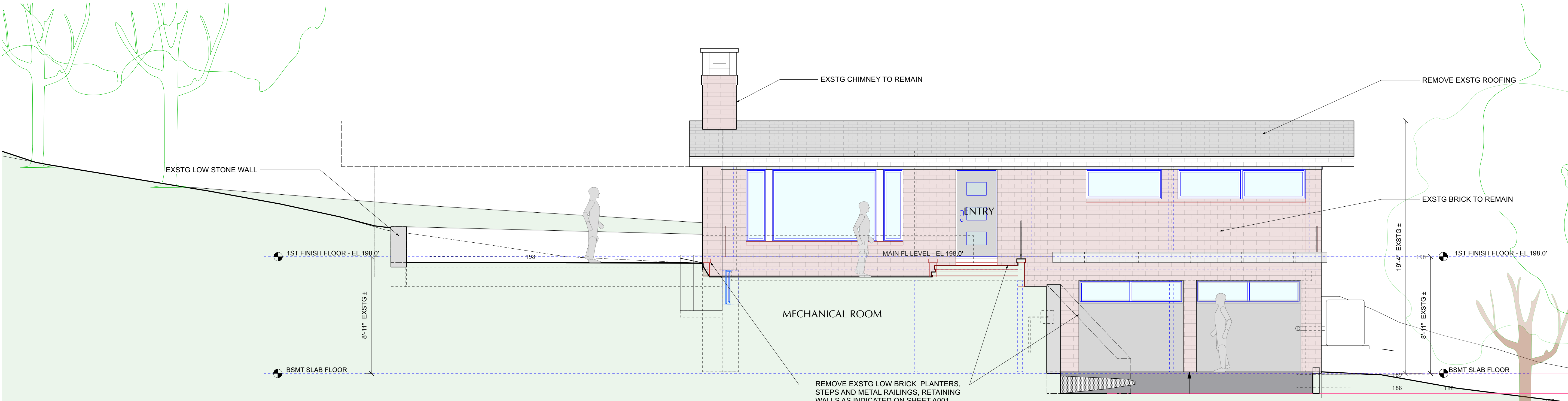
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PHASE 2 - ADDITION
24 Eldredge Place
Dobbs Ferry, NY 10522DRAWING TITLE:
ROOF PLANS

FILE NAME:



2 Proposed Front Elevation - North
Scale: 1/4" = 1'-0"



1 Existing Front Elevation - North
Scale: 1/4" = 1'-0"

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NO.	REVISIONS	DATE
1	PLANNING BOARD FILING	7/19/22

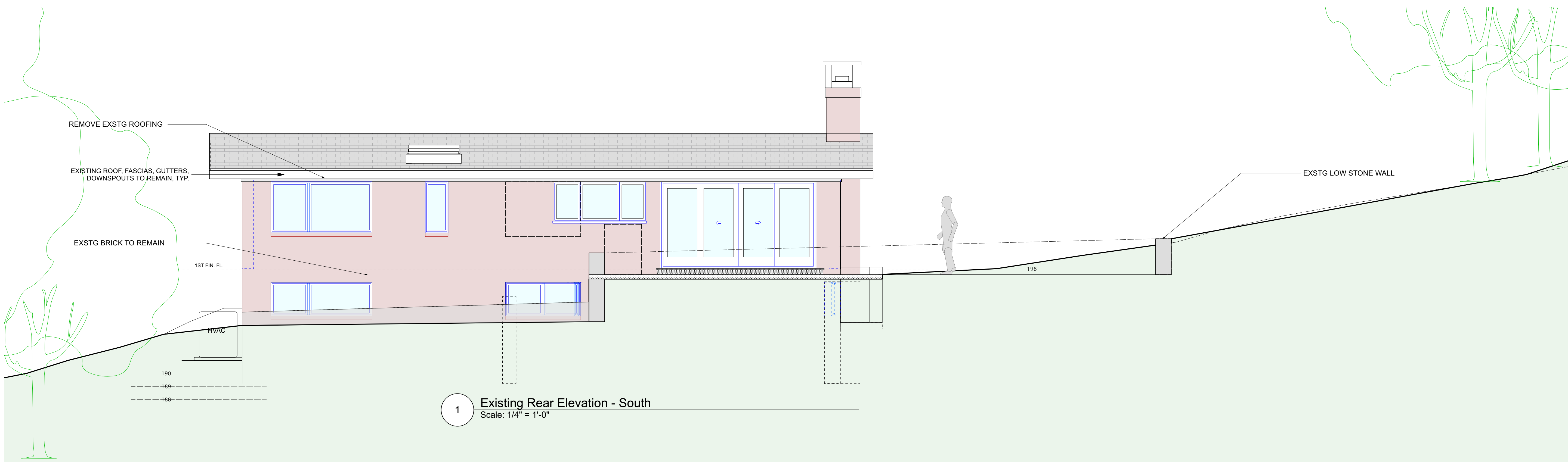
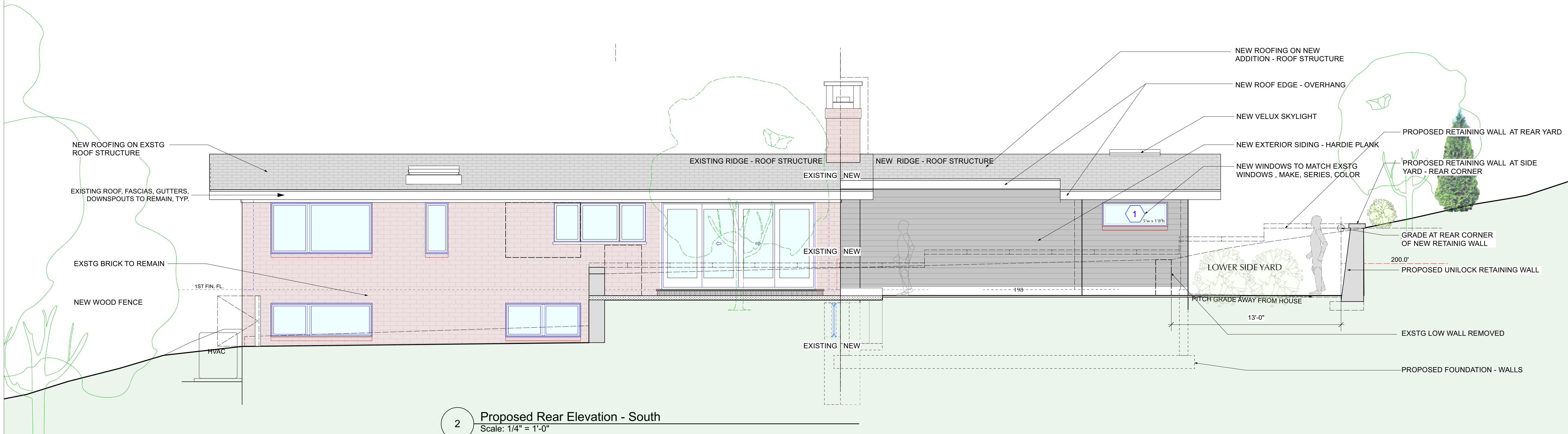
NO.	ISSUE	DATE
A	REVISED INITIAL PERMIT for PLANNING BOARD	5/26/22
B	PLANNING BOARD FILING	6/15/22

APPLICATION # A 2022 - 0230
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Modifications to 24 Eldredge Place
PHASE 2 - ADDITION
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DRAWING TITLE: EXTERIOR ELEVATIONS FRONT- North	
FILE NAME:	
DRAWN BY: PG/ML	DRAWING NUMBER
SCALE: As Noted	A-500.00
DATE: 7/19/22	
PROJECT ID: 2125C	



NO.	REVISIONS	DATE
1	PLANNING BOARD FILING	7/19/22

NO.	ISSUE	DATE
A	REVISED INITIAL PERMIT for PLANNING BOARD	5/26/22
B	PLANNING BOARD FILING	6/15/22

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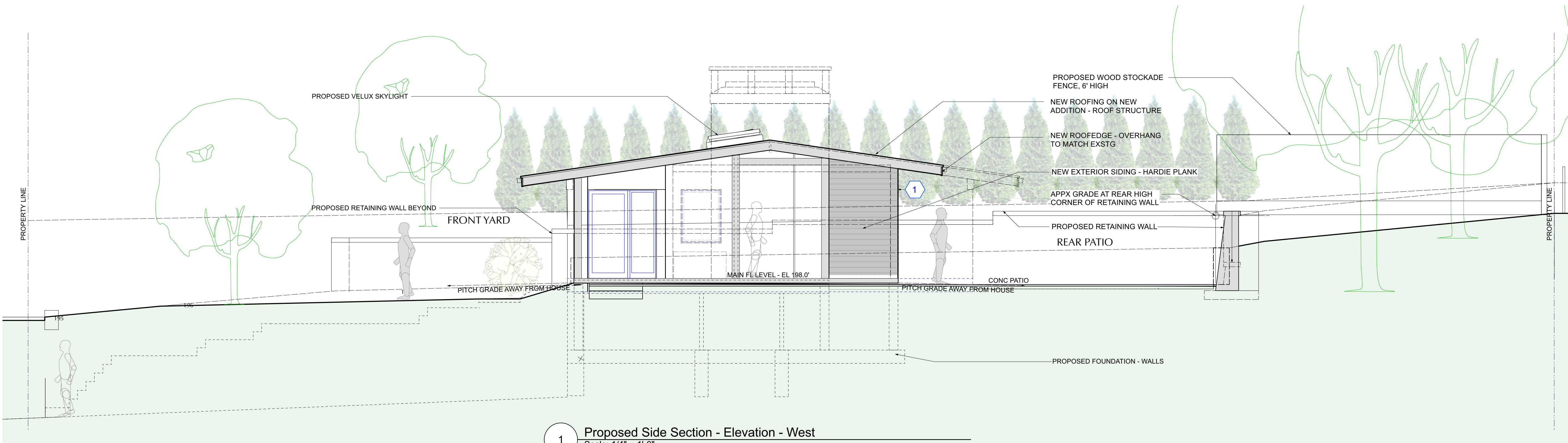
Modifications to 24 Eldredge Place
PHASE 2 - ADDITION
24 Eldredge Place
Dobbs Ferry, NY 10522

DRAWING TITLE:

EXTERIOR ELEVATIONS REAR - South

FILE NAME:

DRAWN BY:	PG/ML	DRAWING NUMBER A-502.00
SCALE:	As Noted	
DATE:	7/19/22	
PROJECT ID:	2125C	



1 Proposed Side Section - Elevation - West
Scale: 1/4" = 1'-0"

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NO.	REVISIONS	DATE
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1	PLANNING BOARD FILING	7/19/22
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NO.	ISSUE	DATE
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A	REVISED INITIAL PERMIT for PLANNING BOARD	5/26/22
B	PLANNING BOARD FILING	6/15/22

APPLICATION # A 2022 - 0230
TREE REMOVAL APPLICATION # AT2022-0069

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DRAWING TITLE:
EXTERIOR ELEVATION SIDE - Partial West

FILE NAME:

DRAWN BY:	PG/ML	DRAWING NUMBER
SCALE:	As Noted	A-503.00
DATE:	7/19/22	
PROJECT ID:	2125C	



