

# ALTERATION TO SITE PLAN @ THE DANFORTH APTS.

## 100 DANFORTH AVENUE

### VILLAGE OF ELMSFORD



ARCHITECTURE \* HISTORIC PRESERVATION \* HEALTH CARE \* LANDMARKS

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SITE MAP (N.T.S.)

LIST OF DRAWINGS

APPLICABLE CODES

A-000.00 COVER SHEET  
A-001.00 EXISTING SURVEY  
A-002.00 EXISTING SITE PLAN  
A-100.00 EXISTING PART PLAN AT AREA OF WORK  
A-101.00 ENLARGED DEMO PLAN  
A-102.00 EXISTING PHOTOS  
A-103.00 ENLARGED PROPOSED PLAN  
A-104.00 DETAILS  
A-105.00 PRELIMINARY PLANTING PALETTE

2020 BUILDING CODE OF NYS  
2020 PLUMBING CODE OF NYS  
2020 MECHANICAL CODE OF NYS  
2020 FIRE CODE OF NYS  
2020 ENERGY CONSERVATION CODE OF NYS  
ICC/ANSI A117.1-2010

### GENERAL NOTES

#### SECTION 1 - EXECUTION AND INTENT OF DRAWINGS

- 1.1 THE CONTRACTOR, BEFORE SUBMITTING A PROPOSAL, SHALL VISIT THE PREMISES FAMILIARIZING HIMSELF AS THE NATURE AND SCOPE OF THE WORK AND DIFFICULTIES THAT ATTEND ITS EXECUTION.
- 1.2 THE SUBMISSION OF THE PROPOSAL WILL BE CONSTRUCTED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE, AND LATER CLAIMS FOR LABOR, EQUIPMENT OR MATERIALS REQUIRED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN AVERTED HAD SUCH AN EXAMINATION BEEN MADE, WILL NOT BE RECOGNIZED.
- 1.3 THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, THESE NOTES, AND CONDITIONS BEFORE COMMENCING ANY WORK OR ORDERING MATERIALS, AND REQUEST CLARIFICATION.
- 1.4 THE CONTRACTOR SHALL REVIEW THESE DOCUMENTS TO INSURE A FULL UNDERSTANDING OF THE SCOPE OF WORK, THE ARCHITECT OR PROJECT MANAGER SHALL BE AVAILABLE TO REVIEW AND CLARIFY ANY UNCLEAR ITEMS.
- 1.5 IF ANY UNFORESEEN CONDITIONS ARISE DURING ANY PORTION OF WORK, THE CONTRACTOR SHALL STOP IMMEDIATELY AND NOTIFY THE ARCHITECT AT ONCE.
- 1.6 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE.
- 1.7 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE OVERALL COORDINATION WITH ALL SUBCONTRACTORS, WHETHER UNDER CONTRACT TO HIM OR NOT.
- 1.8 WHEN "APPROVAL, EQUAL," "EQUAL TO" OR OTHER GENERAL QUALIFYING TERMS ARE USED, IT SHALL BE BASED UPON THE REVIEW AND APPROVAL BY THE ARCHITECT NO MATERIAL SUBSTITUTION SHALL BE MADE WITHOUT FIRST INFORMING THE ARCHITECT, SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL, IN WRITING, PRIOR TO COMMENCEMENTS OF WORK.
- 1.9 ALL WORK SHOWN ON THE CONSTRUCTION DOCUMENTS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- 1.10 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF WORKMEN, PUBLIC AND PROPERTY.
- 1.11 ALL REQUIRED EXITS AND EXIT APPROACHES SHALL BE CONTINUOUSLY MAINTAINED FREE OF OBSTRUCTIONS THROUGHOUT THE CONSTRUCTION.
- 1.12 DURING THE ENTIRE CONSTRUCTION PERIOD, ALL EXISTING LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED.
- 1.13 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF CHOPPING AND PATCHING FOR ALL TRADES, ALL CONDUITS, PIPING, BACKBOXES, ETC. SHALL BE CONCEALED WITHIN BUILDING CONSTRUCTION.
- 1.14 BEFORE WORK COMMENCES THE ARCHITECT IS TO APPROVE ALL LAYOUTS.
- 1.15 WHERE DRAWINGS CALL FOR A SPECIFIC MANUFACTURER TO SUBCONTRACTOR, THE GENERAL CONTRACTOR SHALL BE OBLIGATED TO USE THESE MANUFACTURERS OR SUBCONTRACTORS. THE GENERAL CONTRACTORS SHALL FURNISH A LIST OF SUB-CONTRACTORS AND MANUFACTURERS HE INTENDS TO USE BEFORE WORK COMMENCES.
- 1.16 DRAWINGS SHALL NOT BE SCALED, LARGER SCALE DRAWINGS SHALL ALWAYS GOVERN OVER SMALLER SCALE DRAWINGS.
- 1.17 THE A.I.A. GENERAL CONDITIONS, LATEST EDITION, SHALL BE BINDING ON THE WORK.

- 4.4 ALL WALL SHALL BE PROPERLY PREPARED (SPACKLED, SANDED, ETC.) FOR PAINTING OR WALL COVERING AS PER MANUFACTURER'S SPECIFICATIONS.
- 4.5 ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER AND IN ACCORDANCE WITH BEST PRACTICES WITH FIRST CLASS MATERIALS.
- 4.6 THE GENERAL CONTRACTOR WARRANTS THAT NONE BUT EXPERIENCED WORKMAN SHALL BE EMPLOYED ON THE PROJECT.
- 4.7 NO INTERIOR WORK OR MATERIAL SHALL BE ACCEPTED ON THIS PROJECT, WHETHER THEY ARE DISCOVERED AT THE TIME OF INSTALLATION OR AFTERWARDS; THIS WORK MUST BE REMOVED AND MADE CORRECT.
- 4.8 ANY SUBSTITUTION THE GENERAL CONTRACTOR WISHES TO MAKE OTHER THAN THOSE STATED IN THIS PROPOSAL, SHALL BE SUBMITTED IN WRITING WITH THE COST DIFFERENCE BEFORE IT IS ACCEPTED.
- 4.9 THE GENERAL CONTRACTOR, AT HIS OWN EXPENSE, SHALL EMPLOY A COMPETENT, FULLTIME SUPERINTENDENT TO SUPERVISE AND COORDINATE THE WORK OF HIS OWN MEN AND SUBCONTRACTORS.

#### SECTION 5 - SHOP DRAWINGS

- 5.1 THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ONE REPRODUCIBLE AND THREE BLACK AND WHITE PRINTS FOR ALL SHOP FABRICATED ITEMS AND ALL OTHER ITEMS REQUIRED FOR APPROVAL.
- 5.2 THE GENERAL CONTRACTOR SHALL SUBMIT CUTS OF ALL FIXTURES, EQUIPMENT AND FINISHES FOR APPROVAL.
- 5.3 BY APPROVING AND SUBMITTING SHOP DRAWINGS AND SAMPLES THE GENERAL CONTRACTOR REPRESENTS THAT HE HAS VERIFIED FIELD MEASUREMENTS AND CONDITIONS RELATED TO THE CONSTRUCTION OF THAT SUBMISSION.
- 5.4 THE GENERAL CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATIONS, ERRORS OR OMISSIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE APPROVAL OF SHOP DRAWINGS OR CUTS OR SAMPLE.

#### SECTION 6 - CHANGE ORDERS AND FIELD ORDERS

- 6.1 THE OWNER WITHOUT INVALIDATING THE CONTRACT, MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING OR DEDUCTING FROM THE WORK. THE CONTRACT SUM WILL BE ADJUSTED ACCORDINGLY. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT ANY CLAIM FOR EXTENSIONS OF THE TIME CAUSED THEREBY SHALL BE ADJUSTED AT THE TIME OF ORDERING SUCH CHANGE.
- 6.2 NO EXTRAS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE GENERAL CONTRACTOR TO OWNER AND MUST INCLUDE THE FOLLOWING INFORMATION:
  - DATE AND CHANGE ORDER NUMBER.
  - THE LOCATION AND COMPLETE DESCRIPTION OF THE WORK TO BE PERFORMED.
  - THE CHANGE ORDER COST INCLUDING A COMPLETE BREAKDOWN SO THAT AN EVALUATION OF THE CHANGE ORDER CAN BE MADE.
  - TIME SCHEDULE OF WORK TO BE DONE AND CONFORMANCE THAT IT SHALL NOT IMPACT THE PROJECT COMPLETION DATE.

#### SECTION 7 - CUTTING AND PATCHING

- 7.1 THE GENERAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING REQUIRED FOR ALL SUBCONTRACTORS TO COMPLETE THEIR WORK.
- 7.2 ALL PENETRATION THROUGH FIRE PARTITIONS SHALL BE FIRESTOPPED OR FILLED WITH NONCOMBUSTIBLE MATERIALS TO PREVENT THE PASSAGE OF FLAME, SMOKE, FUMES AND HOT GASSES. FLAMMABLE MATERIALS ARE NOT PERMITTED AS INSULATION OF FILL.
- 7.3 ALL EXISTING VALVES AND CONTROLS FOR MECHANICAL EQUIPMENT ARE TO BE KEPT CLEAN AND READY FOR ACCESS. ANY POSSIBLE CONSTRUCTION INTERFERENCE THAT WOULD PREVENT ACCESS IS TO BE BROUGHT TO THE ATTENTION OF M/G.

#### SECTION 8 - PROTECTION OF WORK AND PROPERTY

- 8.1 THE GENERAL CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR THE EXISTING STRUCTURES, FACILITIES AND IMPROVEMENT ADJOINING THE AREA UNDER THIS CONTRACT. ANY DISTURBANCES FROM THE G.C.'S OPERATIONS SHALL BE PROMPTLY RESTORED.
- 8.2 THE G.C. SHALL BE RESPONSIBLE FOR THE SECURITY OF THE CONSTRUCTION AREAS UNTIL THE SPACE IS TURNED OVER TO THE OWNER.
- 8.3 THE G.C. SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS FROM BOTH HIS EMPLOYEE AND OTHER SUBCONTRACTORS.

#### SECTION 9 - SUBSTANTIAL COMPLETION

- 9.1 SUBSTANTIAL COMPLETION OF THE WORK IS DEFINED AS THE DATE CERTIFIED BY THE OWNER WHEN CONSTRUCTION IS SUFFICIENTLY COMPLETE, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SO THAT THE OWNER CAN OCCUPY THE AREA FOR THE PURPOSE FOR WHICH IT WAS INTENDED.
- 9.2 WHEN THE G.C. CONSIDERS THAT THE WORK IS ACCEPTABLE HE SHOULD NOTIFY THE ARCHITECT TO CONDUCT A PUNCH LIST. UPON VERIFICATION THAT THE WORK IS SUBSTANTIALLY COMPLETE.
- 9.3 BEFORE FINAL PAYMENT IS ISSUED THE FOLLOWING ITEMS MUST BE SUBMITTED BUT NOT LIMITED TO THESE ITEMS:
  - WAIVER OF LIENS.
  - ALL WARRANTIES AND GUARANTEES.
  - MANUALS AND INSTRUCTIONS.
  - ELECTRICAL PANELS TAGGED AND LABELED.

#### SECTION 2 - GOVERNING AGENCIES AND PERMITS

- 2.1 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY BUILDING PERMITS AND FOR SCHEDULING BUILDING DEPARTMENT INSPECTIONS, PROVIDING CONTROLLED INSPECTIONS OBTAINING CERTIFICATE OF OCCUPANCY AMENDED AS REQUIRED. THE G.C. SHALL BEAR THE COSTS OF ALL THE ABOVE ITEMS.
- 2.2 THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES' CODES HAVING JURISDICTION.
- 2.3 ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO ALL GOVERNING BUILDING CODES, FEDERAL, STATE, AND LOCAL AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
- 2.4 ALL WOOD SHALL BE FIRE-PROOFED AS REQUIRED BY THE BUILDING CODE.
- 2.5 IF THE CONTRACTORS VIOLATE ANY BUILDING DEPARTMENT CODES OR REGULATIONS, HE SHALL AT HIS OWN EXPENSES BEAR THE COSTS OF ALL PENALTIES AND CORRECTIVE MEASURES, AND HOLD HARMLESS THE OWNER AGAINST ANY DAMAGES WHICH MAY RESULT FROM SUCH VIOLATIONS.

#### SECTION 3 - INSURANCES

- 3.1 NO WORK SHALL COMMENCE UNTIL PROPER CERTIFICATES OF INSURANCE AS REQUIRED BY THE GOVERNING JURISDICTION ARE SUBMITTED TO THE OWNER AND DEPARTMENT OF BUILDINGS.

#### SECTION 4 - WORKMANSHIP

- 4.1 THE GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP AGAINST DEFECTS FOR ONE YEAR FROM FINAL PAYMENT AND MAKE GOOD ALL SUCH DEFECTS APPEARING DURING THIS PERIOD GUARANTEED.
- 4.2 ANY PATCHING AND FINISHING NECESSARY TO FINISH ANY WORK, BUT CALLED OUT ON THESE DRAWINGS, IS CONSIDERED TO BE WITHIN THE SCOPE OF THE WORK.
- 4.3 THE GENERAL CONTRACTOR SHALL CONTROL CLEANING TO PREVENT DIRT AND DUST FROM LEAVING THE JOB SITE AND INFILTRATING AREAS NOT INVOLVED IN THE PROJECT.

CONTRACTOR MUST VISIT SITE TO FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO SUBMITTING HIS PRICE.

CONTRACTOR MUST VERIFY AND CHECK ALL JOB DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY ERRORS, OMISSIONS AND DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELDITY AND QUANTITY OF WORK.

ALL CONTRACTORS HAVE TO SUBMIT TO "M/G NEW YORK ARCHITECTS" SHOP DRAWINGS OF ALL DETAILS SHOWN ON PLANS. THESE DRAWINGS MUST BE APPROVED BY "M/G NEW YORK ARCHITECTS" BEFORE WORK IS STARTED.

THE DESIGNERS CANNOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS OR DISCREPANCIES. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.

ALL SAMPLES, SUBSTITUTIONS OF MATERIALS OR FINISHES SUGGESTED BY THE CONTRACTOR TO ACCELERATE THE WORK, MUST BE ACCEPTED BY "M/G NEW YORK ARCHITECTS".

ALL CONTRACTORS MUST CONFORM TO ALL REGULATIONS, MUNICIPAL AND PROVINCIAL BY LAWS AND ALL APPLICABLE BUILDING CODES.

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED.

#### REVISIONS:

REV #	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

#### NOTES:

ISSUED TO PLANNING BOARD  
06 21 2021

#### ARCHITECT:

**M-G NEW YORK**  
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#### SIGNATURE AND SEAL:



#### CLIENT:

**LINCOLN PROPERTY CO.**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

#### PROJECT:

**THE DANFORTH APTS**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

#### TITLE:

COVER SHEET

#### ISSUE DATE:

05 13 2021

#### PROJECT NUMBER:

2021-05

#### DRAWING BY:

AMG

#### CAD FILE:

#### SCALE:

AS NOTED

#### DRAWING NO:

A-000.00

#### PAGE:

1 OF 9

#### DOB SCAN STICKER:

#### DOB APPROVAL STAMP:

### EXISTING ZONING DATA

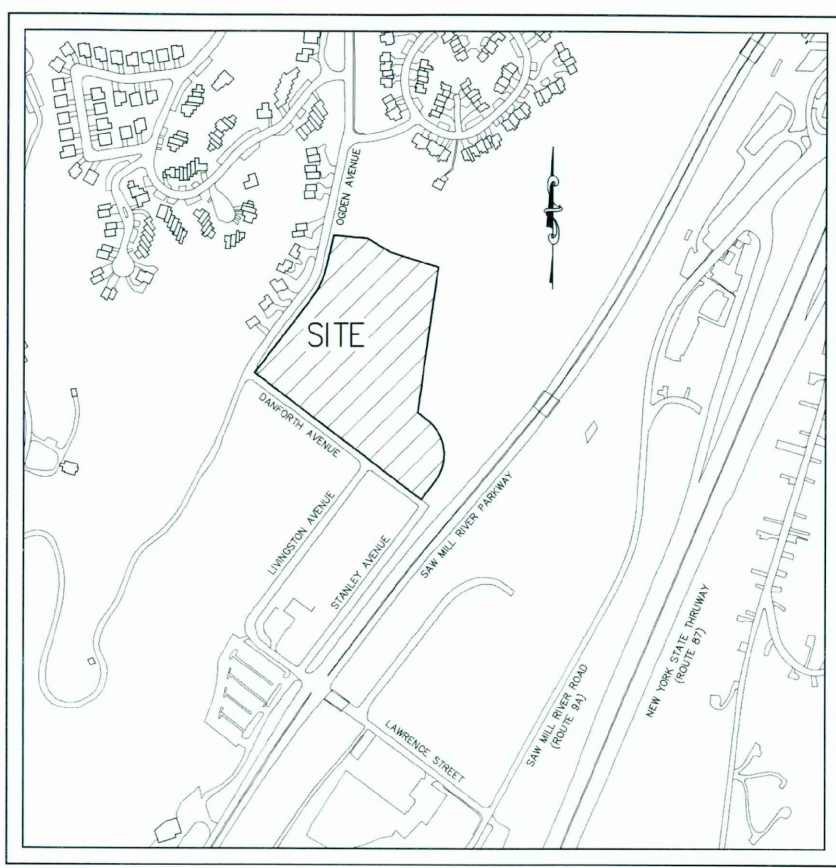
TABLE OF LAND USE ZONE: CP (CHAUNCEY PARK) DISTRICT			
	DESCRIPTION	REQUIRED	PROVIDED
LOT SIZE	MINIMUM LOT AREA (ACRES)	--	8.33*
	MINIMUM LOT SIZE PER DWELLING UNIT (S.F.)	1,800 <sup>(1)</sup>	1,800 FOR 202 UNITS*
BUILDING HEIGHT <sup>(2)</sup>	MAXIMUM STORIES	5	4*
	MAXIMUM HEIGHT (FT)	65	48*
LOT COVERAGE	MAXIMUM COVERAGE BY BUILDINGS (%)	30	20.5*
	MAXIMUM COVERAGE BY IMPERVIOUS COVER (%)	70	36.9 (INCREASE OF .1%)
SETBACKS <sup>(3)</sup>	FRONT YARD SETBACK (FT)	0 OR 10	20*
	REAR YARD SETBACK (FT)	20	144*
	SIDE YARD SETBACK (EACH) (FT)	10	21*
	SIDE YARD SETBACK (BOTH) (FT)	20	188*
PARKING	RESIDENTIAL PARKING	229 SPACES	360 SPACES*

\* INDICATES NO CHANGE

#### NOTES:

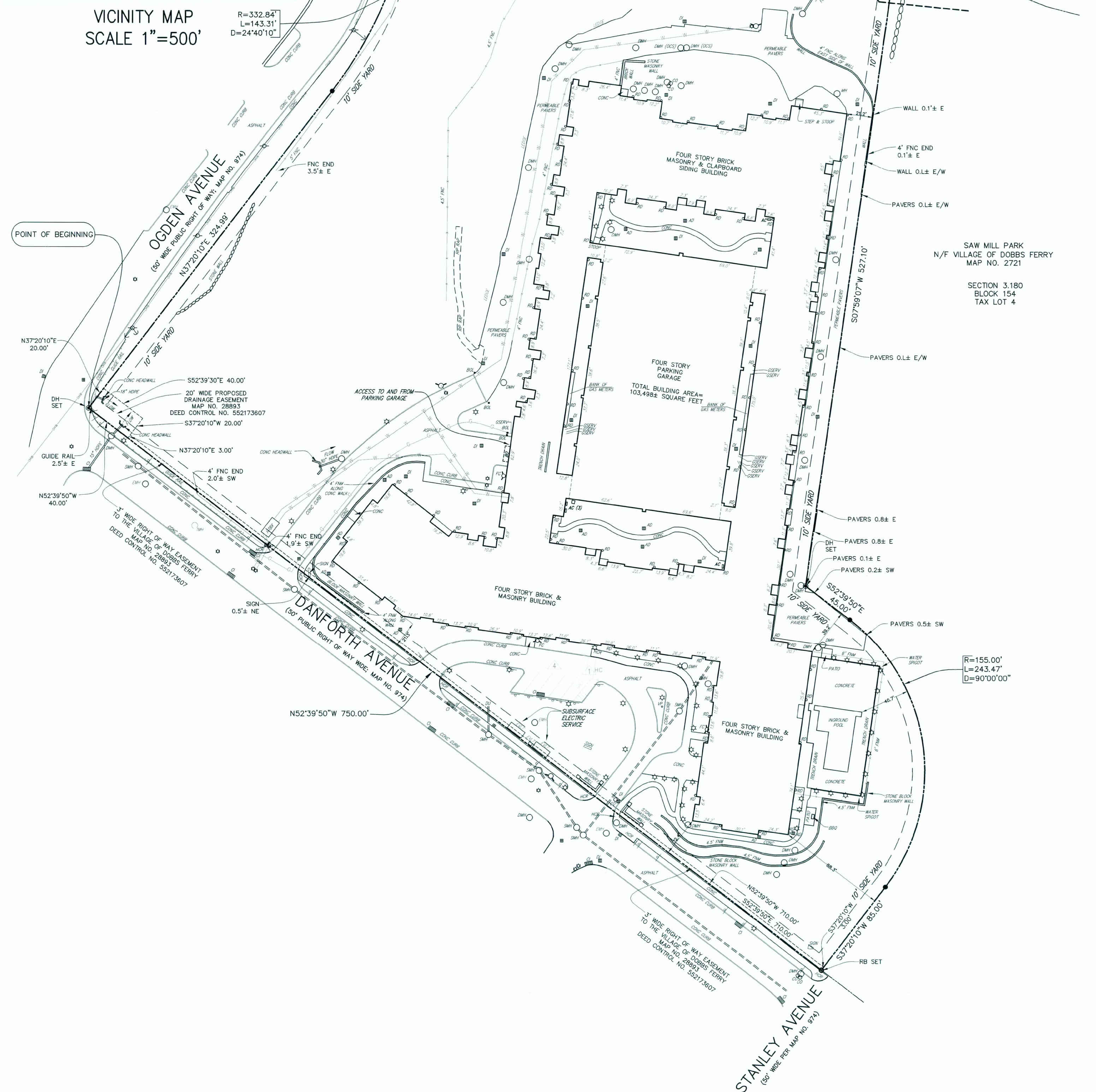
- 1) MINIMUM LOT AREA PER DWELLING UNIT IS CALCULATED UTILIZING THE GROSS LOT AREA WHICH IS DEFINED AS THE TOTAL SQUARE FOOTAGE OF A LOT PRIOR TO ANY REDUCTIONS PURSUANT TO CHAPTER 300: ZONING. FOR THE SUBJECT +/- 8.34 ACRE PROPERTY, PERMITTED DENSITY WOULD BE APPROX. 202 DWELLING UNITS. THE BOARD OF TRUSTEES MAY AWARD DENSITY BONUS ALLOWANCES UP TO A MAXIMUM OF 20% FOR PROVISION OF CERTAIN AMENITIES AND FACILITIES.
- 2) THE MAXIMUM HEIGHT OF A STRUCTURE IN FEET IS TO BE MEASURED PERPENDICULARLY FROM THE EXISTING GRADE TO AN IMAGINARY PLANE LOCATED THE PERMITTED NUMBER OF FEET ABOVE AND PARALLEL TO THE EXISTING GRADE. FOR PEAKED ROOFS, HEIGHT IS TO BE MEASURED TO THE MIDPOINT OF THE ROOF. NO PORTION OF A PEAKED ROOF BELOW THE MIDPOINT IS TO EXTEND ABOVE THE IMAGINARY PLANE. FOR FLAT ROOFS, HEIGHT IS TO BE MEASURED TO THE TOP OF THE ROOF. NO PORTION OF A FLAT ROOF IS TO EXTEND ABOVE THE IMAGINARY PLANE. PARAPETS WITH A HEIGHT OF 36" OR LESS ARE NOT INCLUDED IN DETERMINING BUILDING HEIGHT.
- 3) A YARD OF NOT LESS THAN TEN (10) FEET IS TO BE PROVIDED ALONG ANY LOT LINE THAT BORDERS ON A RESIDENTIAL ZONE. IN THE CASE OF THE SUBJECT SITE, THIS WOULD APPLY TO THE WESTERLY AND NORTHERLY PROPERTY LINES, WHICH BORDER AN OF-4 'ONE FAMILY RESIDENTIAL 4' DISTRICT.





VICINITY MAP  
SCALE 1"=500'

R=332.82'  
L=1143.31'  
D=24°40'10"



### ALTA/NSPS LAND TITLE SURVEY LEGEND

AREA DRAIN	■ A/D
BOLLARD WITH LIGHT	■ B/L
CLEAN OUT	○ C/O
COMBINATION INLET	■ C/I
CURB	— C
CURB CUT	— C/C
DRAIN INLET	■ D/I
DRAIN MANHOLE	○ D/M
DRILL HOLE	■ D/H
ELECTRIC MANHOLE	○ E/M
FENCE	— F
FIRE CONNECTION	■ F/C
GAS VALVE	■ G/V
GUIDE RAIL	— G/R
HYDRANT	■ H
LEDGE	— L
LIGHT POLE	○ L/P
MANHOLE	○ M
MONUMENT	■ M
OVERHEAD WIRE	— O/W
PROPERTY CORNER	■ P/C
PROPERTY LINE	— P/L
PROPERTY LINE ADJACENT	— P/LA
REBAR	— R
ROOF DRAIN	■ R/D
SANITARY SEWER MANHOLE	○ S/S
STONE WALL	— S/W
TELEPHONE MANHOLE	○ T/M
UTILITY POLE	○ U/P
VAULT	■ V
VENT PIPE	— V/P
WALL	— W
WATER VALVE	■ W/V
WATERCOURSE	— W/C
WETLAND LINE	— W/L

### ABBREVIATIONS

AC	AIR CONDITIONER
BO	BUILDING OVER
CONC	CONCRETE
E	EAST
E/V	ELECTRIC VAULT
F/E	FINISH FLOOR ELEVATION
FNC	CHAIN LINK FENCE
FND	FOUND
FM	METAL FENCE
G/S	GAS SERVICE
HCR	HANDICAP
HDR	HANDICAP RAMP
HDPE	HIGH DENSITY POLYETHYLENE
HTBX	WATER METER HOT BOX
MON	MONUMENT
N	NORTH
OCS	OUTLET CONTROL STRUCTURE
O.L.	ON LINE
RCP	REINFORCED CONCRETE PIPE
S	SOUTH
W	WEST

### PARKING SPACE SUMMARY

GARAGE REGULAR PARKING SPACES	351
GARAGE HANDICAP PARKING SPACES	8
SURFACE PARKING SPACES	4
SURFACE HANDICAP PARKING SPACES	1
TOTAL PARKING SPACES	364

### LEGAL DESCRIPTION

ALL THAT CERTAIN PIECE OR PARCEL OF PROPERTY SITUATE, LYING AND BEING LOCATED IN THE VILLAGE OF DOBBS FERRY, TOWN OF GREENBURGH, COUNTY OF WESTCHESTER, STATE OF NEW YORK AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE INTERSECTION OF THE NORTHERLY SIDE OF DANFORTH AVENUE AND THE EASTERLY SIDE OF OGDEN AVENUE;

THENCE FROM SAID POINT OF BEGINNING ALONG SAID EASTERLY SIDE OF OGDEN AVENUE, NORTH 37 DEGREES 20 MINUTES 10 SECONDS EAST, A DISTANCE OF 324.99 FEET;

THENCE NORTHEASTERLY, A DISTANCE OF 143.31 FEET ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 332.84 FEET AND A CENTRAL ANGLE OF 24 DEGREES 40 MINUTES 10 SECONDS;

THENCE NORTH 12 DEGREES 40 MINUTES 00 SECONDS EAST, A DISTANCE OF 109.13 FEET TO LANDS NOW OR FORMERLY HUNTERS RUN AS SHOWN ON COUNTY CLERK MAP NO. 21857;

THENCE ALONG SAID SOUTHERLY SIDE OF LANDS NOW OR FORMERLY OF HUNTER'S RUN, SOUTH 85 DEGREES 05 MINUTES 00 SECONDS EAST, A DISTANCE OF 120.87 FEET TO A MONUMENT;

THENCE SOUTH 59 DEGREES 14 MINUTES 40 SECONDS EAST, A DISTANCE OF 98.67 FEET TO A MONUMENT;

THENCE SOUTH 72 DEGREES 26 MINUTES 40 SECONDS EAST, A DISTANCE OF 178.00 FEET TO A MONUMENT AND LANDS NOW OR FORMERLY OF THE VILLAGE OF DOBBS FERRY;

THENCE SOUTH 07 DEGREES 59 MINUTES 07 SECONDS WEST A DISTANCE OF 527.10 FEET;

THENCE SOUTH 52 DEGREES 39 MINUTES 50 SECONDS EAST A DISTANCE OF 45.00 FEET, TO A POINT A CURVATURE;

THENCE SOUTHERLY A DISTANCE OF 243.47 FEET ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 155.00 FEET AND A CENTRAL ANGLE OF 90 DEGREES 00 MINUTES 00 SECONDS, TO A POINT OF TANGENCY;

THENCE SOUTHERLY 37 DEGREES 20 MINUTES 10 SECONDS WEST, A DISTANCE OF 85.00 FEET GOING TO THE NORTHERLY SIDE OF DANFORTH AVENUE;

THENCE ALONG SAID NORTHERLY SIDE OF DANFORTH AVENUE, NORTH 52 DEGREES 39 MINUTES 10 SECONDS WEST, A DISTANCE OF 750.00 FEET TO THE EASTERLY SIDE OF OGDEN AVENUE, THE POINT AND PLACE OF BEGINNING.

### MAP REFERENCES:

- A) A MAP TITLED "MAP NO. 1 OF PROPERTY OF THE ERHARDT, EDWARDS & LOWMEYER SYNDICATE AT CHAUNCEY" DATED 1891 AND FILED APRIL 2, 1891 IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP NO. 874.
- B) A MAP TITLED "WESTCHESTER COUNTY PARK COMMISSION, MAP OF LANDS TO BE ACQUIRED, FOR THE SAW MILL RIVER PARKWAY, SHEET NO. 134" PREPARED BY CHARLES A. HOLLISTER DATED MARCH 7, 1927 AND FILED MARCH 28, 1927 IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP NO. 2721.
- C) A MAP TITLED "WESTCHESTER COUNTY PARK COMMISSION, MAP OF LANDS TO BE ACQUIRED, FOR THE SAW MILL RIVER PARKWAY, SHEET NO. 14" PREPARED BY CHARLES A. HOLLISTER DATED MARCH 15, 1927 AND FILED MARCH 28, 1927 IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP NO. 2722.
- D) A MAP TITLED "SHEET 1 OF 2, HUNTERS RUN, VILLAGE OF DOBBS FERRY, TOWN OF GREENBURGH" DATED JUNE 7, 1894 AND FILED MARCH 7, 1895 IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP NO. 21857.
- E) A MAP TITLED "SHEET 2 OF 2, RESUBDIVISION OF A PORTION OF MAP NO. 1, OF THE ERHARDT, EDWARDS & LOWMEYER SYNDICATE AT CHAUNCEY" COUNTY CLERK MAP NO. 874" PREPARED BY WARD CARPENTER ENGINEERS, INC. WHITE PLAINS N.Y., DATED JUNE 5, 2015 AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP NO. 28893.

### NOTES & REFERENCES:

- THIS MAP IS BASED UPON A FIELD SURVEY COMPLETED ON SEPTEMBER 11, 2017.
- BEARING BASE IS IN KEEPING WITH A MAP TITLED "RE-SUBDIVISION OF A PORTION OF MAP NO. 1 OF THE ERHARDT, EDWARDS & LOWMEYER SYNDICATE AT CHAUNCEY" COUNTY CLERK MAP NO. 874" PREPARED FOR DOBBS FERRY CAPITAL PARTNERS LLC BY WARD CARPENTER INC. LAST DATED JUNE 5, 2015 AND FILED AUGUST 17, 2015 IN THE WESTCHESTER COUNTY CLERKS OFFICE AS MAP NO. 28893.
- SOURCE OF TITLE: A DEED TO LINCOLN DOBBS FERRY LLC BY DOBBS FERRY CAPITAL PARTNERS LLC DATED AUGUST 7, 2015 AND RECORDED SEPTEMBER 10, 2015 AS DEED CONTROL NO. 55215842.
- REFERENCE IS MADE TO FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE NUMBER 17-7408-35120-WEST (A) WITH AN EFFECTIVE DATE OF SEPTEMBER 23, 17, 2017. THE FOLLOWING COVENANTS, CONDITIONS AND EASEMENTS ARE CONTAINED IN THE TITLE REPORT:  
EXCEPTION 5) RESTRICTIVE COVENANT AGAINST BILLBOARDS CONTAINED IN DEED LIBER 2787 AT PAGE 54 (CANNOT BE PLOTTED; LOCATED IN THE RIGHT OF WAY OF SAW MILL RIVER PARKWAY).  
EXCEPTION 6) TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS OF A DECLARATION OF EASEMENTS AND RESTRICTIVE COVENANTS RECORDED AS DEED CONTROL NO. 55216335 (CANNOT BE PLOTTED).  
EXCEPTION 7) EASEMENT AGREEMENT DESCRIBED IN AN INSTRUMENT RECORDED AS DEED CONTROL NO. 55217307 (CANNOT BE PLOTTED).  
EXCEPTION 9) NOTICE OF COOPERATION AGREEMENT DESCRIBED IN AN INSTRUMENT RECORDED AS DEED CONTROL NO. 55229332 (CANNOT BE PLOTTED).  
EXCEPTION 10) DECLARATION OF RESTRICTIVE COVENANTS DESCRIBED IN AN INSTRUMENT RECORDED AS DEED CONTROL NO. 570093594 (CANNOT BE PLOTTED).

5) THE PROPERTY SURVEYED IS DESIGNATED AS SECTION 3.140, BLOCK 129, TAX LOT 58 AND SECTION 3.180, BLOCK 154, TAX LOTS 1-2, 3 ON THE WESTCHESTER COUNTY GIS TAX MAP OR AS SECTION 3.180, BLOCK 154, TAX LOT 3.1 ON THE TOWN OF GREENBURGH TAX ROLL. THE PROPERTY IS ALSO KNOWN AS 100 DANFORTH AVENUE, DOBBS FERRY, NEW YORK. TOTAL LOT AREA=8.33499± ACRES OR 363,077± SQUARE FEET.

6) SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF ZONE X (OUTSIDE THE 0.2% CHANCE FLOODPLAIN) ON FLOOD INSURANCE RATE MAP NUMBER 36190C0263P, WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2007 FOR COMMUNITY RISK REDUCTION IN WESTCHESTER COUNTY, STATE OF NEW YORK, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE VILLAGE OF DOBBS FERRY.

7) WETLANDS SHOWN HEREON ARE AS SHOWN ON A MAP TITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR LINCOLN DOBBS FERRY LLC IN THE VILLAGE OF DOBBS FERRY" PREPARED BY WARD CARPENTER INC. AND DATED FEBRUARY 17, 2011. THERE WERE NO EXISTING WETLAND MARKERS PRESENT AT THE TIME OF THIS SURVEY.

8) BUILDING SETBACKS ARE AS SHOWN ON THE CONSTRUCTION DRAWING CD-1 "CONSTRUCTION DRAWINGS FOR DANFORTH SQUARE 100 DANFORTH AVENUE VILLAGE OF DOBBS FERRY, NEW YORK" PREPARED BY JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC AND DATED FEBRUARY 12, 2015.

9) BUILDING HEIGHT BY ZONING IS DEFINED AS: BEING THE MID-POINT HEIGHT OF THE SLOPED ROOF ABOVE THE EXISTING GRADE AND IN THIS CASE BEFORE CONSTRUCTION. THE ALLOWABLE BUILDING HEIGHT IS FIVE STORIES AND 65'. THE EXISTING BUILDING FOUR STORIES AND 57'.

10) CONSTRUCTION ON THE SITE WAS RECENTLY COMPLETED. THERE APPEARS TO BE NO FURTHER CONSTRUCTION AT THIS TIME. THERE ARE NO KNOWN CHANGED TO THE ADJACENT RIGHT OF WAYS.

11) SUBSURFACE UTILITIES ARE NOT SHOWN. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

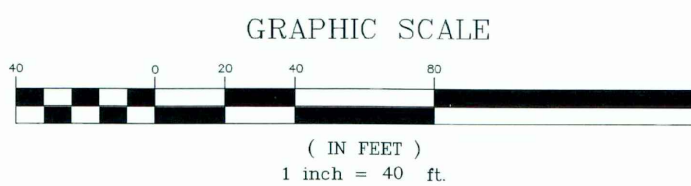
12) UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING THE SEAL OF A PROFESSIONAL ENGINEER OR A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW STATE EDUCATION LAW EXCEPT AS PER SECTION 7209, SUB-DIVISION 2.

13) ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY, MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES. UNAUTHORIZED REPRODUCTION OF THIS MAP IS A VIOLATION APPLICABLE LAWS.

### SURVEYOR'S CERTIFICATE

CERTIFIED TO: LINCOLN DOBBS FERRY, LLC  
BANK OF AMERICA, N.A., ADMINISTRATIVE AGENT FOR CERTAIN LENDERS, ITS SUCCESSORS AND ASSIGNS  
FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(B), 7(A), 7(B), 7(C), 8, 9, 11(B), 14, 16, 17, 18, 19 and 20(A) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 11, 2017.



CONTRACTOR MUST VISIT SITE TO FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO SUBMITTING HIS PRICE.

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ALL CONTRACTORS HAVE TO SUBMIT TO "MG NEW YORK ARCHITECTS" SHOP DRAWINGS OF ALL DETAILS SHOWN ON PLANS. THESE DRAWINGS MUST BE APPROVED BY "MG NEW YORK ARCHITECTS" BEFORE WORKS STARTED.

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### REVISIONS:

REV #	DATE	DESCRIPTION
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### NOTES:

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06 21 2021

### ARCHITECT:

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PRESERVATION & FOOD SERVICE  
11 BROADWAY, SUITE 808 NEW YORK, N.Y. 10004  
TEL. 212 674 8458 WWW.MGNEWYORKARCHITECTS.COM  
MICHAEL J. GADALETA, R.A. A.I.A.  
N.Y. LIC. 17474 N.J. LIC. 8935 C.T. LIC. 8751

### SIGNATURE AND SEAL:



### CLIENT:

**LINCOLN PROPERTY CO.**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

### PROJECT:

**THE DANFORTH APTS**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

### TITLE:

EXISTING SURVEY

### ISSUE DATE:

05 13 2021

### PROJECT NUMBER:

2021-05

### DRAWING BY:

AMG

### CAD FILE:

### SCALE:

AS NOTED

### DRAWING NO:

A-001.00

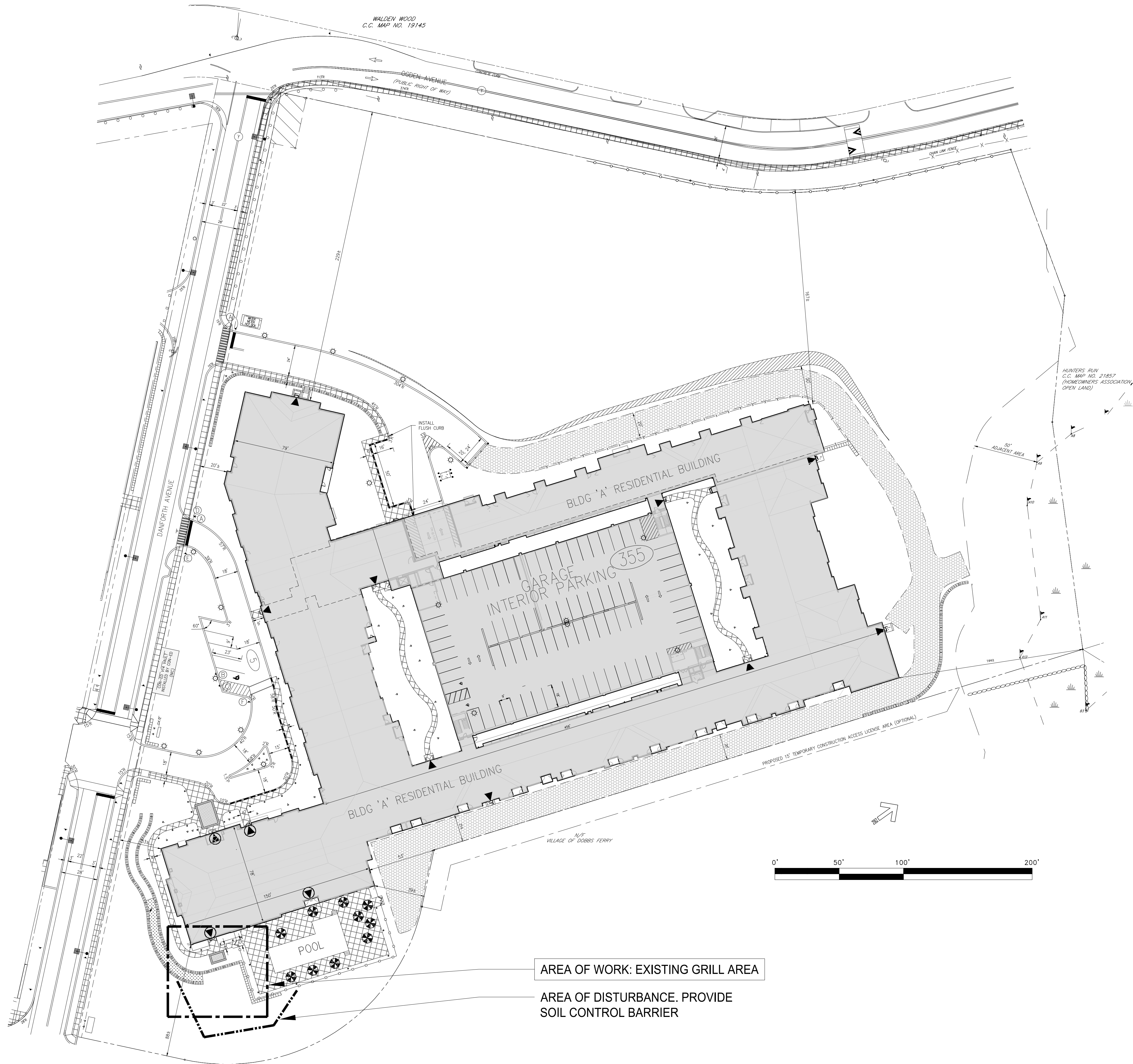
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2 OF 9

### DOB SCAN STICKER:

### DOB APPROVAL STAMP:





1  
A-002  
EXISTING SITE PLAN  
SCALE: AS NOTED

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LINCOLN PROPERTY CO.  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

PROJECT:

THE DANFORTH APTS  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

TITLE:

EXISTING SITE PLAN

ISSUE DATE: 05 13 2021

PROJECT NUMBER: 2021-05

DRAWING BY: AMG

CAD FILE:

SCALE: AS NOTED

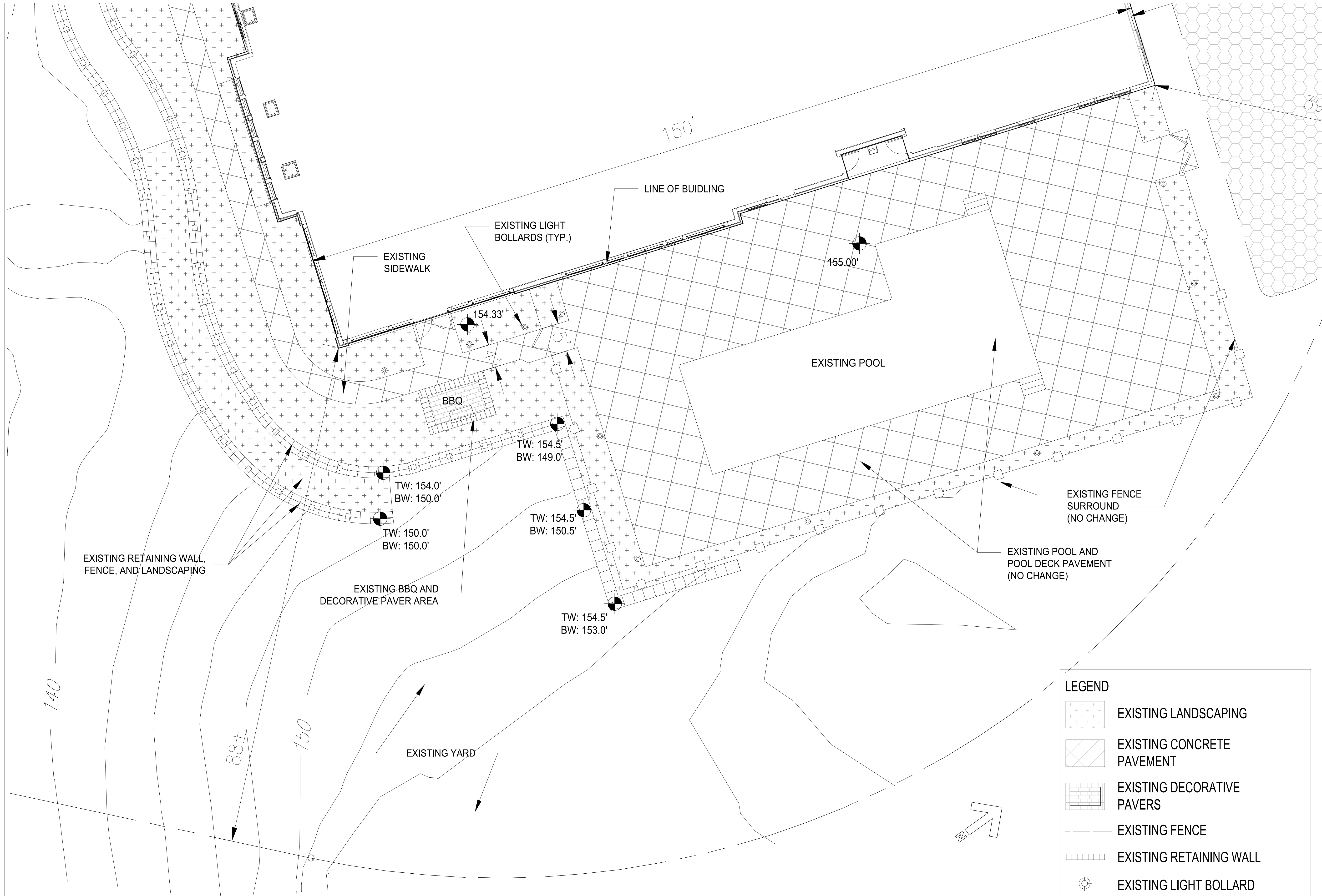
DRAWING NO: A-002.00

PAGE: 3 OF 9

DOB SCAN STICKER:

DOB APPROVAL STAMP:





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VILLAGE OF DOBBS  
FERRY, NY

PROJECT:  
THE DANFORTH APTS  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

TITLE:  
EXISTING PART PLAN  
AT AREA OF WORK

ISSUE DATE: 05 13 2021

PROJECT NUMBER: 2021-05

DRAWING BY: AMG

CAD FILE:

SCALE: AS NOTED

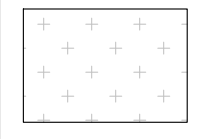
DRAWING NO: A-100.00


PAGE: 4 OF 9

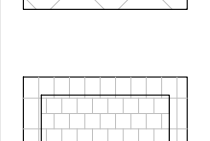
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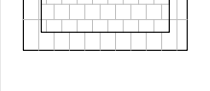
DOB APPROVAL STAMP:


LEGEND

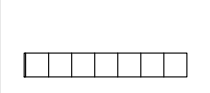
 EXISTING LANDSCAPING


 EXISTING CONCRETE PAVEMENT

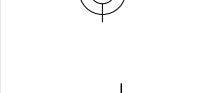
 EXISTING DECORATIVE PAVERS

 EXISTING FENCE

 EXISTING RETAINING WALL

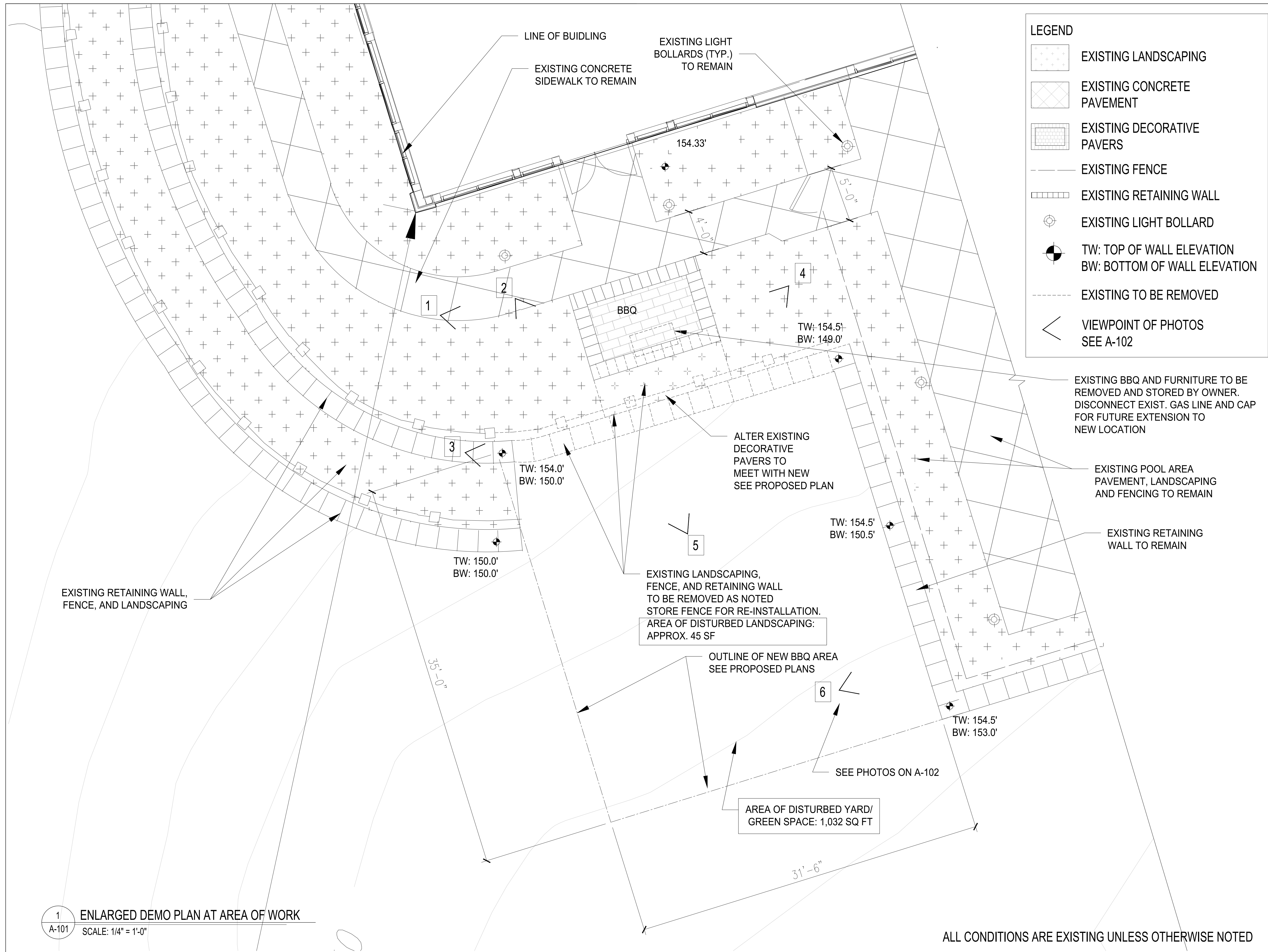
 EXISTING LIGHT BOLLARD

 TW: TOP OF WALL ELEVATION

 BW: BOTTOM OF WALL ELEVATION

ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED





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MICHAEL J. GADALETA, R.A. A.I.A.  
N.Y. LIC.: 17474 N.J. LIC.: 8935 C.T. LIC.: 8751

SIGNATURE AND SEAL:

CLIENT:  
**LINCOLN PROPERTY CO.**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

PROJECT:  
**THE DANFORTH APTS**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

TITLE:  
**ENLARGED DEMO PLAN AT  
AREA OF WORK**

ISSUE DATE: 05 13 2021

PROJECT NUMBER: 2021-05

DRAWING BY: AMG

CAD FILE:

SCALE: AS NOTED

DRAWING NO: **A-101.00**

PAGE: 5 OF 9

DOB SCAN STICKER:

DOB APPROVAL STAMP:

ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED





1 - EXISTING BBQ AREA



4 - AREA OF LANDSCAPING BEHIND BBQ TO BE DISTURBED



2 - VIEW OF GREEN SPACE TO BE DISTURBED (BEYOND)



5 - EXISTING RETAINING WALL WITH DRAIN AT BBQ AREA



3 - VIEW OF GREEN SPACE TO BE DISTURBED



5 - EXISTING RETAINING WALL AT POOL AREA

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SIGNATURE AND SEAL:



CLIENT:

**LINCOLN PROPERTY CO.**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

PROJECT:

**THE DANFORTH APTS**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

TITLE:

EXISTING PHOTOS

ISSUE DATE:

05 13 2021

PROJECT NUMBER:

2021-05

DRAWING BY:

AMG

CAD FILE:

SCALE:

AS NOTED

DRAWING NO:

**A-102.00**

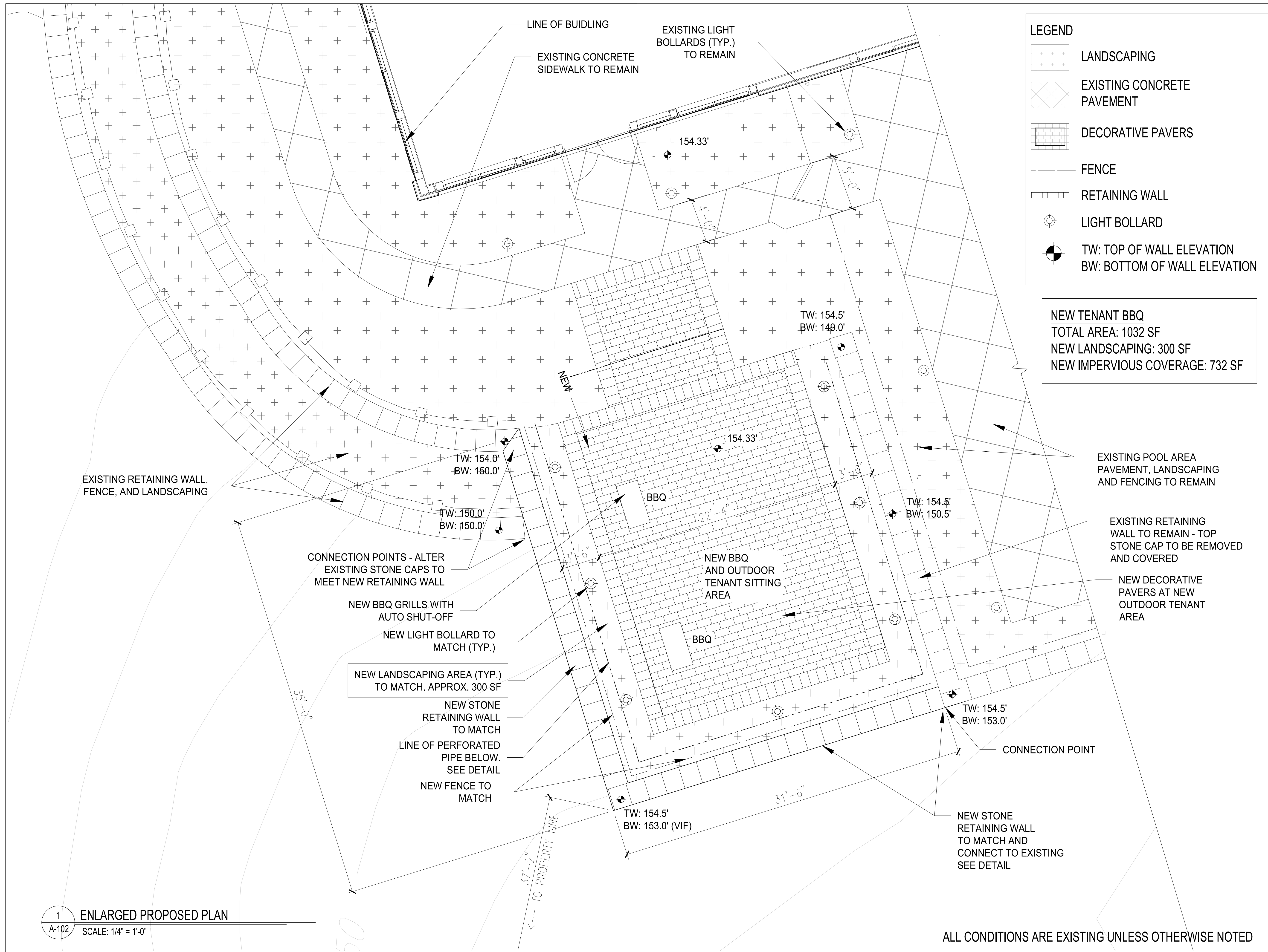
PAGE:

6 OF 9

DOB SCAN STICKER:

DOB APPROVAL STAMP:





**LEGEND**

- LANDSCAPING
- EXISTING CONCRETE PAVEMENT
- DECORATIVE PAVERS
- FENCE
- RETAINING WALL
- LIGHT BOLLARD
- TW: TOP OF WALL ELEVATION  
BW: BOTTOM OF WALL ELEVATION

NEW TENANT BBQ  
TOTAL AREA: 1032 SF  
NEW LANDSCAPING: 300 SF  
NEW IMPERVIOUS COVERAGE: 732 SF

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**SIGNATURE AND SEAL:**

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LINCOLN PROPERTY CO.  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

**PROJECT:**  
THE DANFORTH APTS  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

**TITLE:**  
ENLARGED  
PROPOSED PLAN

**ISSUE DATE:** 05 13 2021

**PROJECT NUMBER:** 2021-05

**DRAWING BY:** AMG

**CAD FILE:**

**SCALE:** AS NOTED

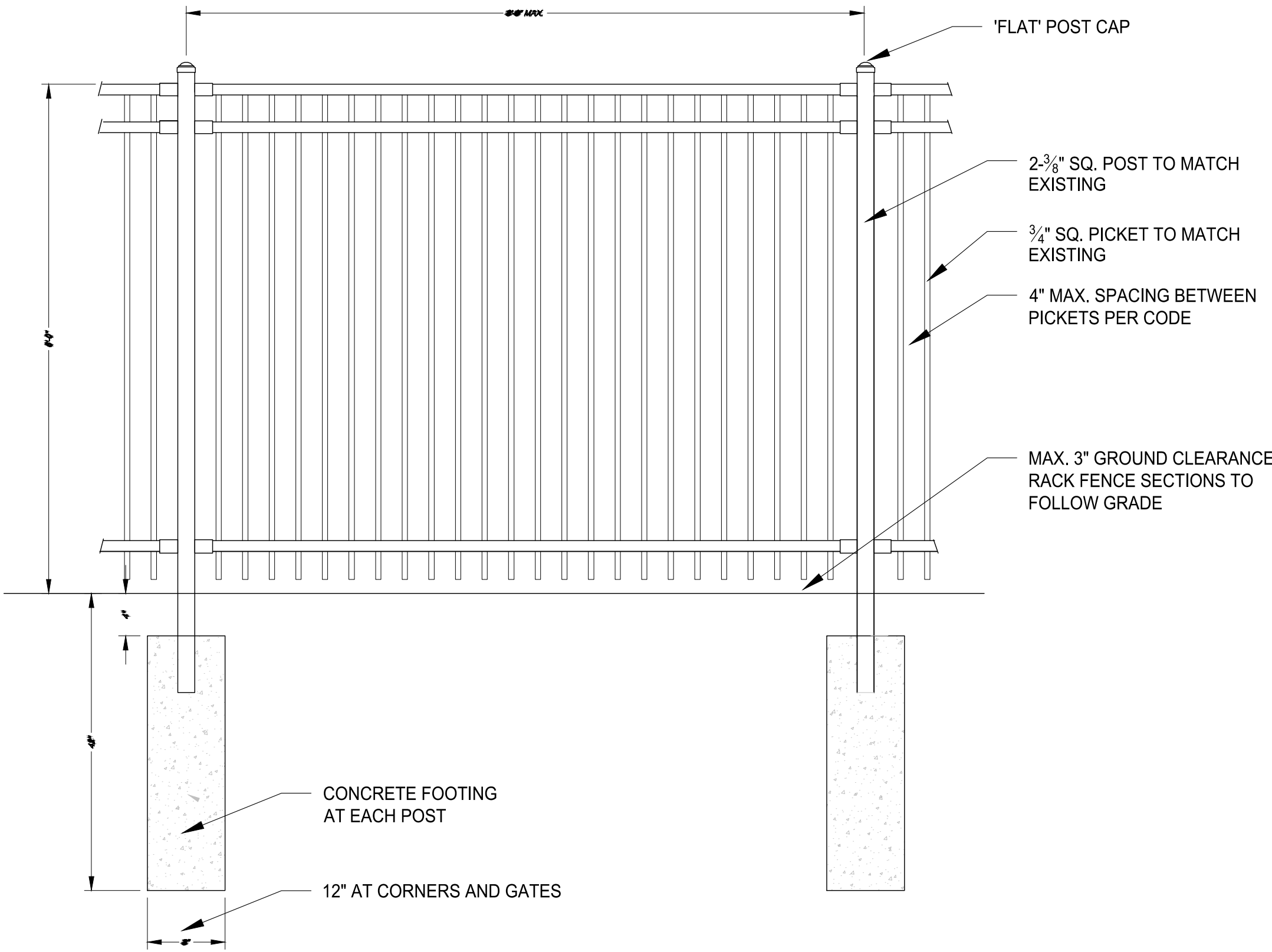
**DRAWING NO:** A-103.00

**PAGE:** 7 OF 9

**DOB SCAN STICKER:**

**DOB APPROVAL STAMP:**





1 ALUM. PICKET FENCE DETAILS - MATCH EXISTING  
A-104 SCALE: 3/4" = 1'-0"

LED Garden and pathway bollard - Unshielded light

BEGA

**Application**  
LED bollard luminaires with unshielded 180° light distribution and safety guard designed for use in the illumination of gardens and residential installations. Provided with mounting system that allows the luminaire to be adjusted independent of anchor bolt orientation.

**Materials**  
Luminaire housing, tube and base plate constructed of die-cast and extruded marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
Three-ply opal glass  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
Anchorage constructed of galvanized steel  
**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP65  
Weight: 6.6 lbs

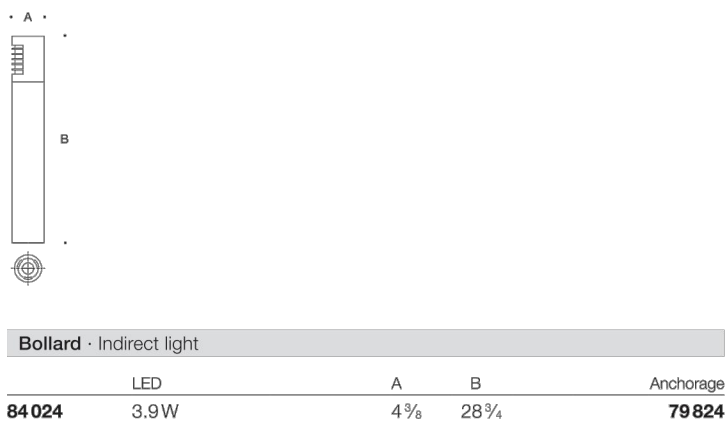
**Electrical**  
Operating voltage 120-277V AC  
Minimum start temperature -30° C  
LED module wattage 3.9W  
System wattage 5.6W  
Controllability 0-10V dimmable  
Color rendering index Ra > 80  
Luminaire lumens 94 lumens (3000K)  
Lifetime at Ta = 15° C > 500,000 h (L70)  
Lifetime at Ta = 40° C 238,000 h (L70)

**LED color temperature**  
☐ 4000K - Product number + **K4**  
☐ 3500K - Product number + **K35**  
☐ 3000K - Product number + **K3**  
☐ 2700K - Product number + **K27**

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.  
Available colors ☐ Black (BLK) ☐ White (WH-T) ☐ RAL:  
☐ Bronze (BRZ) ☐ Silver (SLV) ☐ CUS:

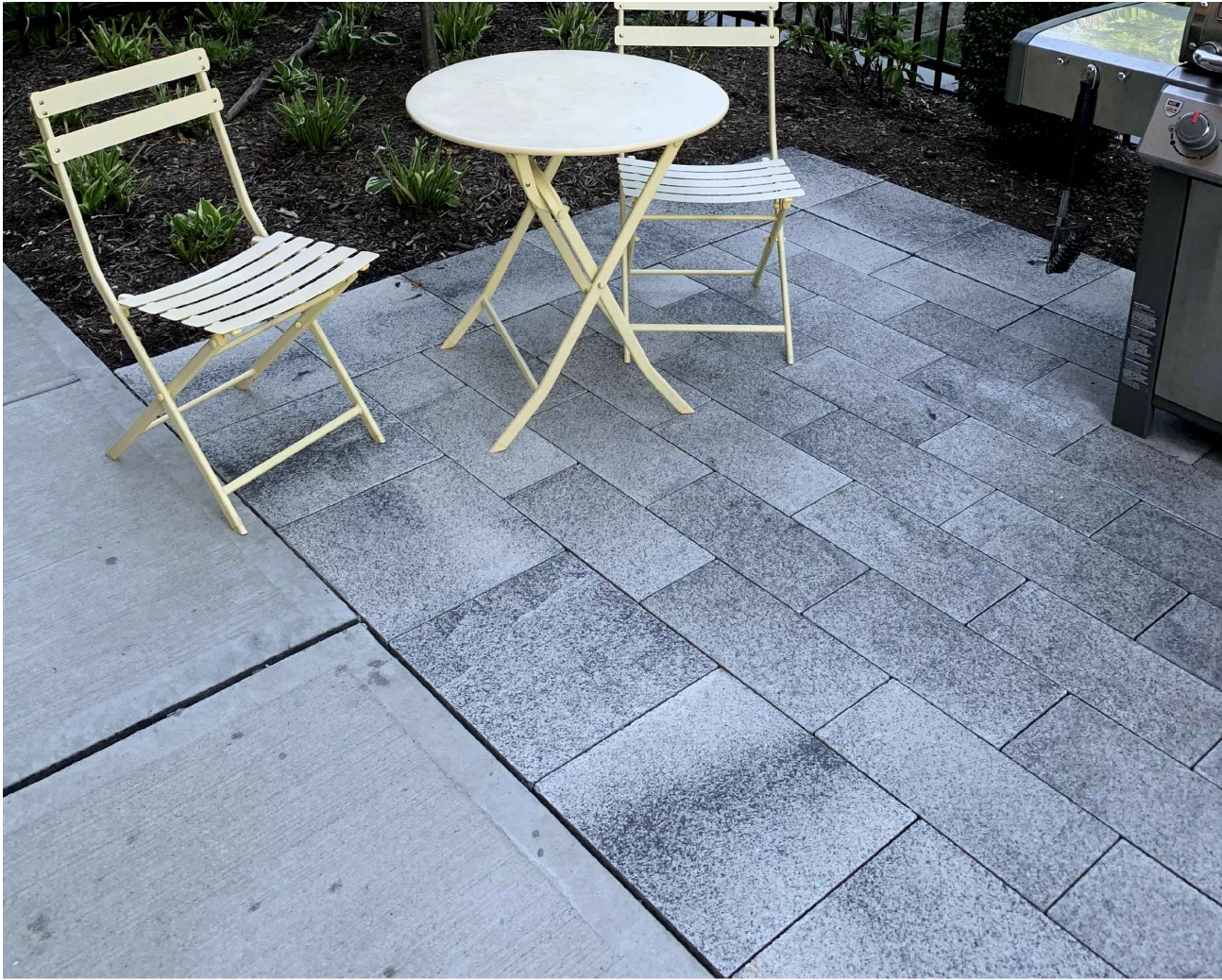
Type:  
BEGA Product:  
Project:  
Modified:



BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com  
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com  
© copyright BEGA 2018 Updated 09/18/19



NEW BOLLARDS TO MATCH EXISTING



NEW DECORATIVE PAVERS TO MATCH EXISTING

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THE DESIGNERS CANNOT BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS OR DISCREPANCIES. NO ALLOWANCES SHALL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.  
ALL SAMPLES, SUBSTITUTIONS OF MATERIALS OR FINISHES SUGGESTED BY THE CONTRACTOR TO ACCELERATE THE WORK, MUST BE ACCEPTED BY "M/G NEW YORK ARCHITECTS".  
ALL CONTRACTORS MUST CONFORM TO ALL REGULATIONS, MUNICIPAL AND PROVINCIAL BY LAWS AND ALL APPLICABLE BUILDING CODES.  
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. INFRINGEMENTS WILL BE PROSECUTED.

REVISIONS:		
REV #	DATE	DESCRIPTION
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NOTES:  
  
ISSUED TO PLANNING BOARD  
06 21 2021

ARCHITECT:  
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ARCHITECTS  
ARCHITECTURE, HEALTH CARE, HISTORIC  
PRESERVATION & FOOD SERVICE  
11 BROADWAY, SUITE 800 NEW YORK, N.Y. 10004  
TEL. 212 674 8456 WWW.MGNEWYORKARCHITECTS.COM  
MICHAEL J. GDALETA, R.A. A.I.A.  
N.Y. LIC.: 17474 N.J. LIC.: 8935 C.T. LIC.: 8751

SIGNATURE AND SEAL:

CLIENT:  
**LINCOLN PROPERTY CO.**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

PROJECT:  
**THE DANFORTH APTS**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

TITLE:  
  
DETAILS

ISSUE DATE: 05 13 2021

PROJECT NUMBER: 2021-05

DRAWING BY: AMG

CAD FILE:

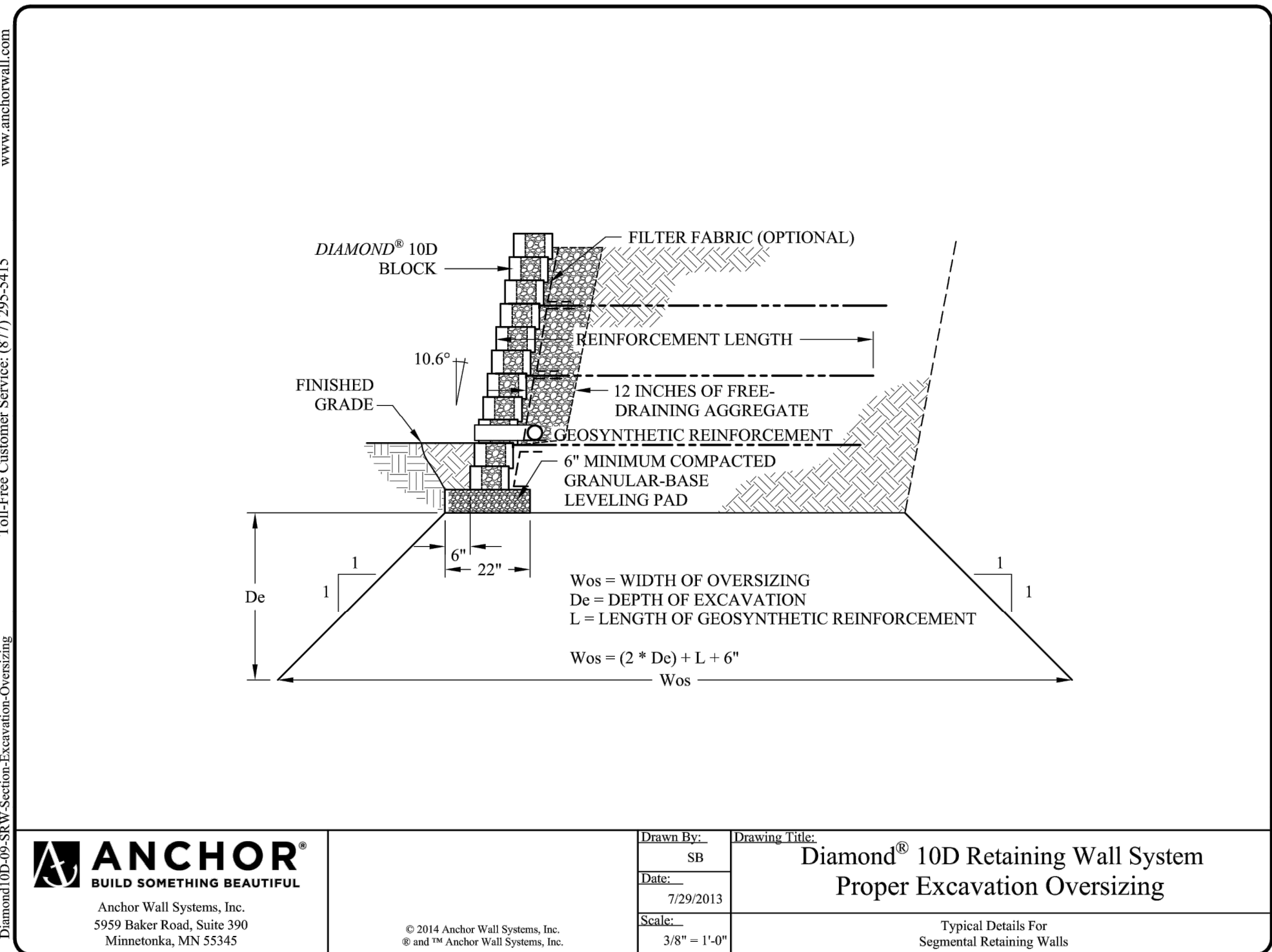
SCALE: AS NOTED

DRAWING NO: A-104.00

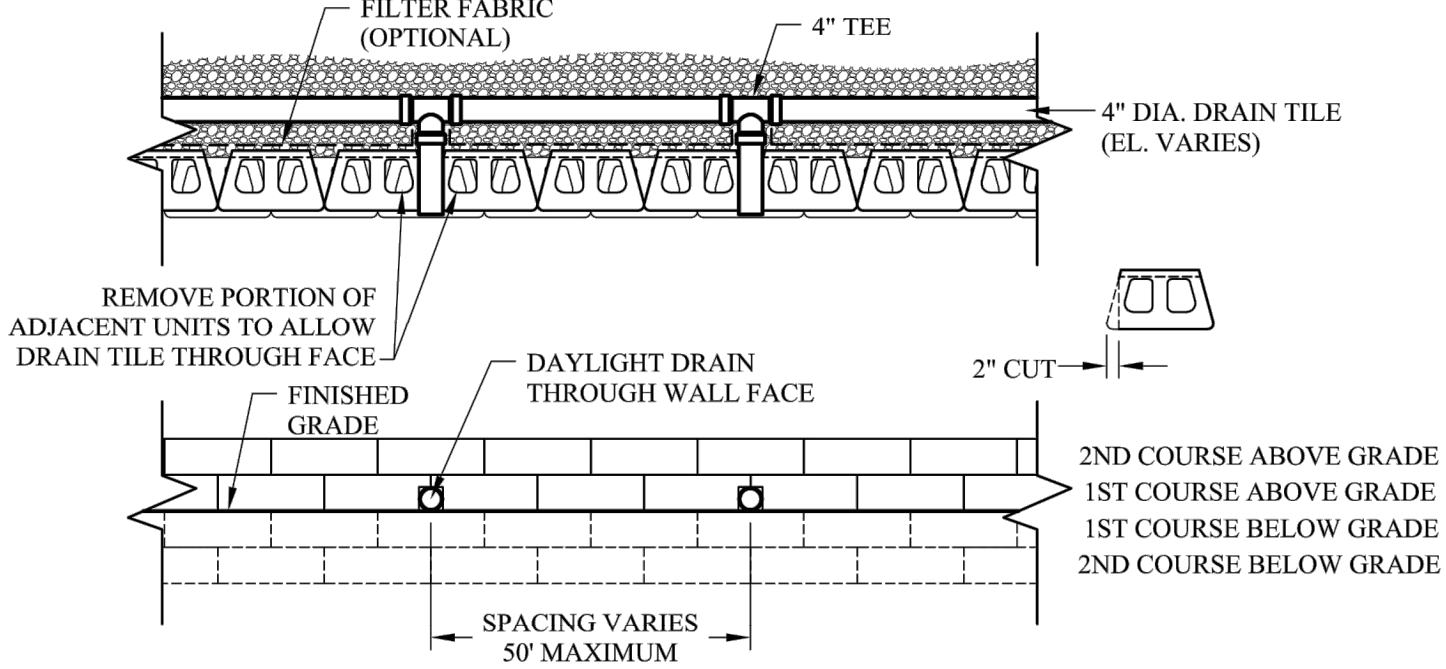
PAGE: 8 OF 9

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DOB APPROVAL STAMP:



RETAINING WALL DETAILS



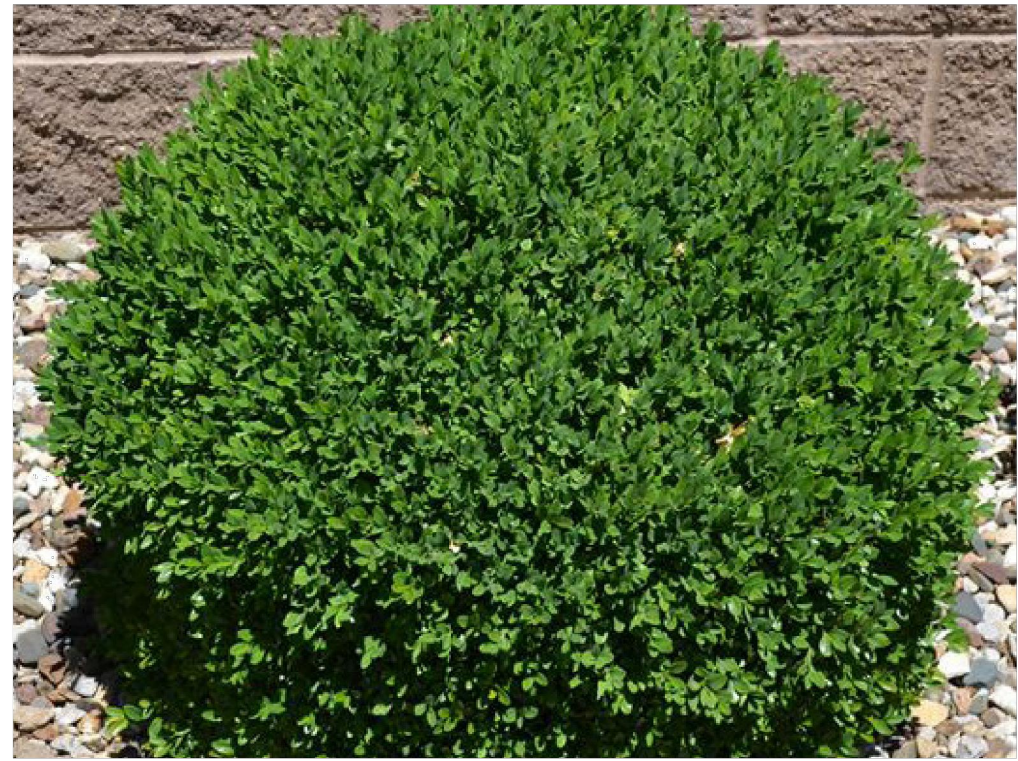
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Common Name: 'Taylor' Juniper  
Botanical Name: Juniperus virginiana 'Taylor'



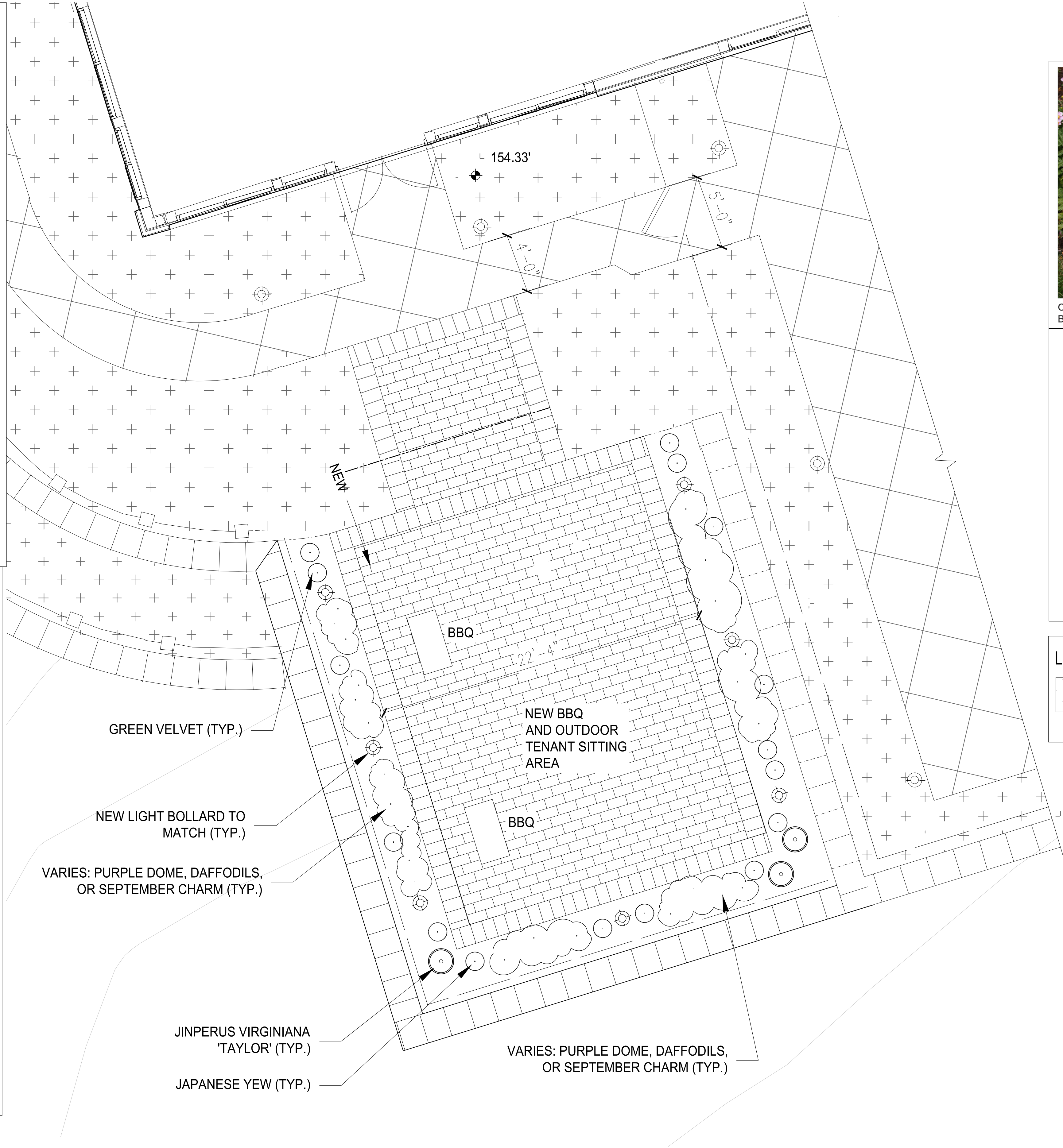
Common Name: 'Green Velvet' Boxwood  
Botanical Name: Buxus 'Green Velvet'



Common Name: Japanese Yew  
Botanical Name: Taxus densiformis



Common Name: 'Purple Dome' New England Aster  
Botanical Name: Aster novae-angliae 'Purple Dome'



Common Name: 'September Charm' Anemone  
Botanical Name: Anemone x hybrida 'September Charm'



Common Name: 'Carlton' Daffodils  
Botanical Name: Narcissus 'Carlton'

#### LEGEND

EXIST. LANDSCAPING  
(TO REMAIN)

CONTRACTOR MUST VISIT SITE TO FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO SUBMITTING HIS PRICE.  
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SIGNATURE AND SEAL:

CLIENT:  
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100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

PROJECT:  
**THE DANFORTH APTS**  
100 DANFORTH AVE  
VILLAGE OF DOBBS  
FERRY, NY

TITLE:  
**PRELIMINARY  
PLANTING PALETTE**

ISSUE DATE: **05 13 2021**

PROJECT NUMBER: **2021-05**

DRAWING BY: **AMG**

CAD FILE:

SCALE: **AS NOTED**

DRAWING NO: **A-105.00**

PAGE: **9 OF 9**

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