

BEN-ZVI RESIDENCE - SINGLE FAMILY HOME ADDITION AND RENOVATION

243 JUDSON AVENUE

DOBBS FERRY, NEW YORK 10522

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GENERAL NOTES

1. SCOPE OF WORK: **ADDITION TO REAR OF EXISTING SINGLE FAMILY HOME TO INCLUDE A NEW MUDROOM ON THE FIRST FLOOR AND EXPANSION OF AN EXISTING BEDROOM ON THE SECOND FLOOR. ADDITION TO REAR OF EXISTING SINGLE FAMILY HOME TO INCLUDE A NEW YOGA ROOM OFF THE FAMILY ROOM ON THE FIRST FLOOR AND A NEW MASTER SUITE ON THE SECOND FLOOR. RENOVATION OF CURRENT MASTER BEDROOM INTO A NEW LAUNDRY ROOM, WORK STATION, AND CLOSET AREA.**

2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE RESIDENTIAL BUILDING CODE, AND LOCAL MUNICIPAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.

3. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING MUNICIPAL AGENCIES.

4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.

5. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.

6. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT, OR BOARD OF DIRECTORS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.

8. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICAL, ETC.

9. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.

10. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

11. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

12. THE ARCHITECT HAS NOT BEEN RETAINED TO PROVIDE SUPERVISION.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SIDEWALK SHED FOR PROTECTION OF THE PUBLIC.

14. ALL PAINTS, COATINGS AND PRIMERS APPLIED TO THE INTERIOR SURFACES SHALL NOT EXCEED THE FOLLOWING VOC CONTENT LIMITS (AS ESTABLISHED BY GREEN SEAL STANDARD GC-11, PAINTS, EDITION 3.1, JULY 2013, AS AMENDED):

FLAT PAINT: 50G/L FLAT
NON-FLAT PAINT: 150G/L NON-FLAT

15. CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, SEALERS, AND SHELLACS, APPLIED TO INTERIOR SURFACES, SHALL NOT EXCEED THE FOLLOWING VOC CONTENT LIMITS (AS ESTABLISHED BY SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1113, ARCHITECTURAL COATINGS, JUNE 3, 2011, AS AMENDED):

VARNISH: 275 G/L
LAQUER: 275 G/L
SHELLAC: 750 G/L CLEAR, 550 G/L PIGMENTED
SEALERS: 100 G/L WATERPROOFINGS, 275 G/L SANDING, 100G/L ALL OTHERS.

16. NO MATERIALS SHALL CONTAIN ADDED UREA FORMALDEHYDE.

17. A MINIMUM OF 25% OF CONSTRUCTION WASTE BY WEIGHT SHALL BE RECYCLED, REPURPOSED AND OR / REUSED AND NOT SENT TO LANDFILL OR INCINERATOR.

18. FOUNDATIONS ARE TO BE SIGNED OFF BY ARCHITECT OR ENGINEER PRIOR TO ANY RECONSTRUCTION.

19. DESIGN LOADS ARE AS FOLLOWS PER SQUARE FOOT:

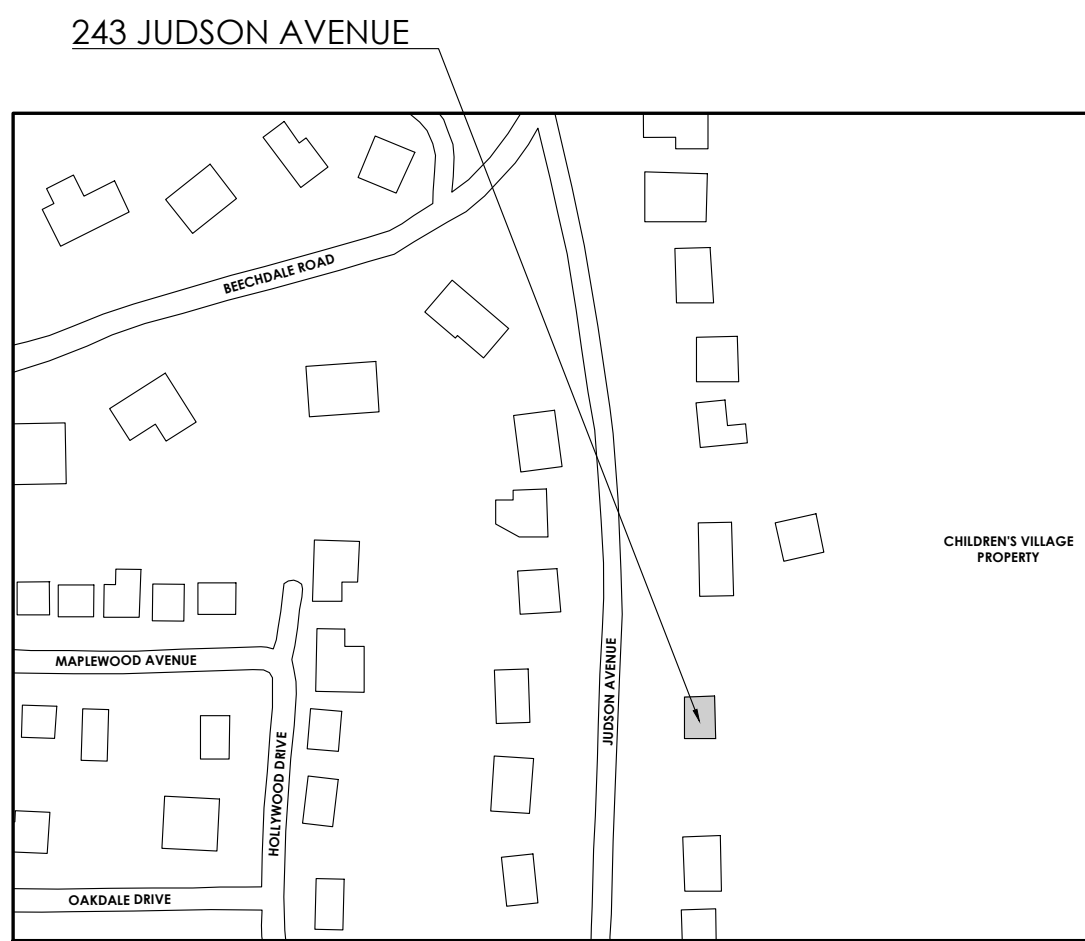
LOCATION	LIVE	DEAD	DEFLECTION LIMIT
ROOMS OTHER THAN SLEEPING	40lb.	10lb.	L/360
SLEEPING	30lb.	10lb.	L/360
ATTIC (NON STORAGE)	10lb.	5lb.	L/240
ATTIC (STORAGE)	20lb.	10lb.	L/240
ROOF (WITH FIN. CLG.)	20lb.(SNOW)	15lb.	L/240
ROOF (NO FIN. CLG.)	20lb.(SNOW)	7lb.	L/240

SYMBOLS AND MATERIALS LEGEND

	EXISTING WALLS TO REMAIN		WINDOW KEY
	CONCRETE		DOOR KEY
	EARTH		ROOM KEY
	WOOD BLOCKING CONTINUOUS		DRAWING NAME
	WOOD BLOCKING INTERMEDIATE (SHIMS)		DETAIL KEY
	BRICK		
	STEEL		
	FINISH WOOD		

PLOT PLAN

SCALE: 1" = 200'



TENANT SAFETY PLAN

2015 BUILDING CODE - TENANT PROTECTION PLAN NOTES

ALL CONSTRUCTION WORK TO COMPLY WITH THE 2020 NEW YORK STATE RESIDENTIAL CODE

1. EGRESS: AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENANT PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED. REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME.

2. FIRE SAFETY: ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY ENFORCED.

3. HEALTH REQUIREMENTS: SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NOISE TO ACCEPTABLE LEVELS SHALL BE INCLUDED.

4.1. THERE SHALL BE INCLUDED A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.

5. STRUCTURAL SAFETY: NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE OCCUPANTS.

6. NOISE RESTRICTIONS: WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO LOCAL MUNICIPALITY NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.

ZONING

TABLE 1: BUILDING INFO

ADDRESS	SBL	ZONE	USE
243 JUDSON AVENUE	3.171-151-17	OF-4	1 FAMILY DWELLING

NOTE: PROPERTY OWNERS ALSO OWN SBL 3.171-151-15, BUT THERE IS A SMALL EASEMENT LOT BETWEEN THE TWO PROPERTIES (SBL 3.171-151-16).

TABLE 2: BUILDING DIMENSIONS

	EXISTING	PROPOSED	MIN. ALLOWABLE	COMMENTS
LOT AREA (SF)	18,837 SF.	18,837 SF. (NO CHANGE)	10,000 SF.	
LOT WIDTH (FT)	111.20'	111.20' (NO CHANGE)	100'-0"	
LOT DEPTH (FT)	163.19'	163.19' (NO CHANGE)	100'-0"	
COVERAGE BY BUILDING (SF)	1,186 SF.	1,471 SF.		
COVERAGE BY BUILDING (%)	6.3%	7.8%	20% (MAX)	
IMPERVIOUS SURFACE (SF)	2,596 SF.	2,787 SF.		
IMPERVIOUS SURFACE (%)	13.8%	14.8%	40% (MAX)	
FRONT YARD SET BACK (FT)	66.5'	66.5' (NO CHANGE)	25'-0"	
REAR YARD SET BACK (FT)	74.3'	65.7'	25'-0"	
SIDE YARD SET BACK, EACH (FT)	10.3' (E)	10.3' (E)		
NORTH (N) & SOUTH (S)	24.4' (W)	21.3' (W)	12'-0"	EXISTING NON-CONFORMING (VARIANCE REQUIRED)

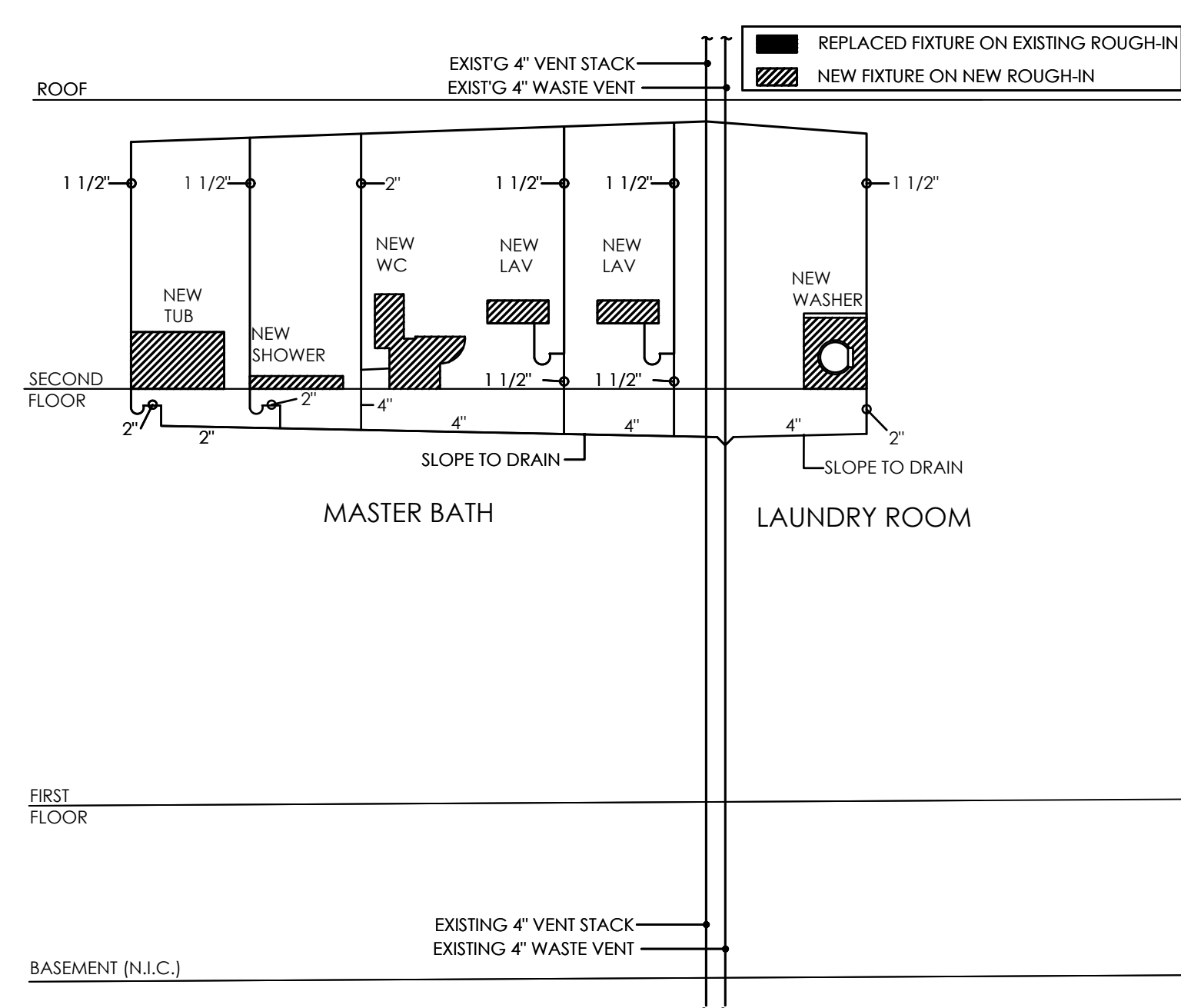
TABLE 3: HEIGHT

	EXISTING	PROPOSED	MAX. ALLOWABLE
NUMBER OF STORIES	2.5	2.5	2.5
BUILDING HEIGHT (FROM FRONT)	26.5'	26.5' (NO CHANGE)	35'-0"
BUILDING HEIGHT (FROM REAR)	27.2'	27.2' (NO CHANGE)	35'-0"

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA									
GROUND (1) SNOW LOAD	WIND		SUBJECT TO DAMAGE FROM				AIR FREEZING INDEX	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARD
	SPEED (MPH)	SEISMIC DESIGN CATEGORY (g)	WEATHERING	FROSTLINE DEPTH (b)	TERMITE(c)	DECAY(d)			
30LBS	115 SPECIAL WIND REGION	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	2000	YES	N/A

SANITARY RISER DIAGRAM

SCALE: NTS



PLUMBING NOTES

PLUMBING SYSTEMS SUCH AS SANITARY, WASTE, VENT, WATER DISTRIBUTION, GAS AND ALL ASSOCIATED EQUIPMENT WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FULL REQUIREMENTS OF NEW YORK CITY 2014 PLUMBING CODE.

101.4.3 ADDITIONS, ALTERATIONS, RENOVATIONS OR REPAIRS:

1. THE SANITARY SYSTEM SHALL BE PROVIDED IN FULL ACCORDANCE WITH THE GENERAL PROVISIONS OF SECTION PC301.

2. THE MATERIALS USED IN THE PLUMBING SYSTEMS WILL BE PROVIDED IN FULL ACCORDANCE WITH SECTIONS PC302 AND PC303.

3. EQUIPMENT HOOK-UP AND THE JOINING WILL BE IN FULL COMPLIANCE WITH SECTIONS PC605 AND PC705.

4. THE INSTALLATION OF FIXTURES WILL B E IN FULL ACCORDANCE WITH PC CHAPTER 4

5. TRAPS FOR FIXTURES AND DRAIN LINES WILL BE PROVIDED AND CLEANOUTS INSTALLED IN FULL COMPLIANCE WITH SECTIONS PC412, PC708 AND PC CHAPTER 10.

6. VERTICAL AND HORIZONTAL PIPING WILL BE HUNG AND SUPPORTED AS DIRECTED IN SPECIFICATIONS AND WITH FULL COMPLIANCE WITH SECTION PC308.

7. THE WATER SUPPLY SYSTEMS OF THE SUBJECT BUILDING SHALL BE INSTALLED AND MAINTAINED IN FULL COMPLIANCE WITH PC CHAPTER 6.

8. THE SANITARY DRAINAGE SYSTEM WILL BE SIZED AND INSTALLED IN FULL COMPLIANCE WITH PC CHAPTER 11.

9. THE VENT PIPING FOR THE SANITARY DRAINAGE SYSTEMS OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL COMPLIANCE WITH SECTION PC702 & PC CHAPTER 9.

10. THE STORM DRAINAGE SYSTEM AND PIPING WILL BE INSTALLED IN FULL COMPLIANCE WITH PC CHAPTER 11.

11. GAS PIPING AND EQUIPMENT WILL BE INSTALLED IN FULL COMPLIANCE WITH NEW YORK STATE CODES.

12. ALL TRENCHING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION PC306.

13. RAT PROOFING SHALL BE IN ACCORDANCE WITH SECTION PC304.

14. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR WORKMAN AS PER SECTION PC311.

ENERGY CODE COMPLIANCE

WESTCHESTER: CLIMATE ZONE 4A

COMPONENT:	REQUIREMENT	PROPOSED DESIGN	DRAWING
FENESTRATION U FACTOR:	0.35	0.35	A-700
SKYLIGHT U FACTOR:	0.40	N/A	
CEILING R-VALUE	38	38	A-400
FRAME WALL U-FACTOR	.082	.082	A-400
MASS WALL U VALUE	.141	N/A	
FLOOR R- VALUE	19	19	A-400
BASEMENT WALL R-VALUE	10/ 13 c	N/A	
SLAB R VALUE	10, 2ftd	N/A	
CRAWL SPACE WALL R- VALUE	10/13C	10/13C	A-400

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CONSULTANTS

KEY PLAN

REVISIONS

	5/24/2021	FILING SET
	7/15/2021	PLANNING BOARD SET

SEAL & SIGNATURE



PROJECT:

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:

TITLE SHEET

DATE: 02/22/2021

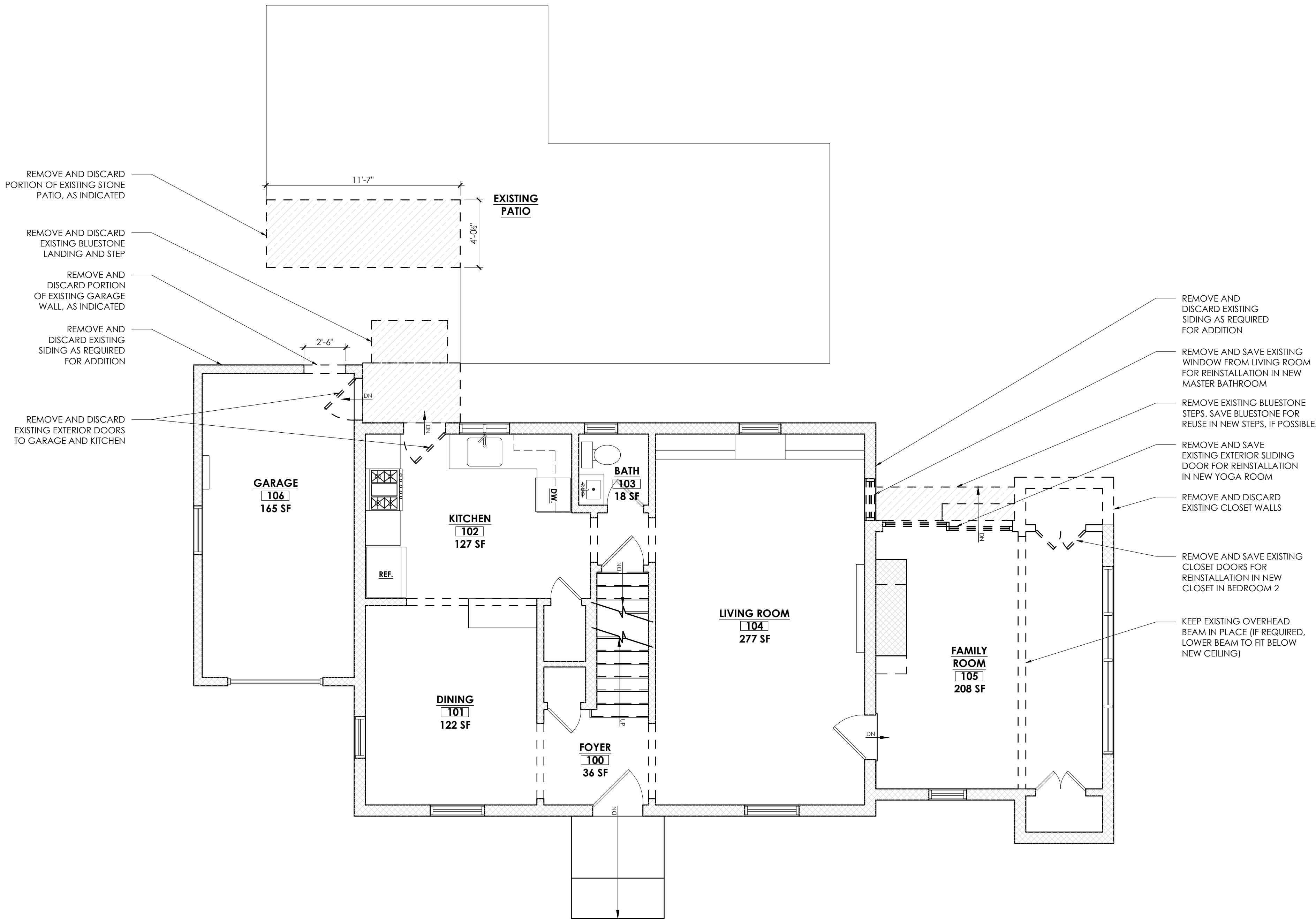
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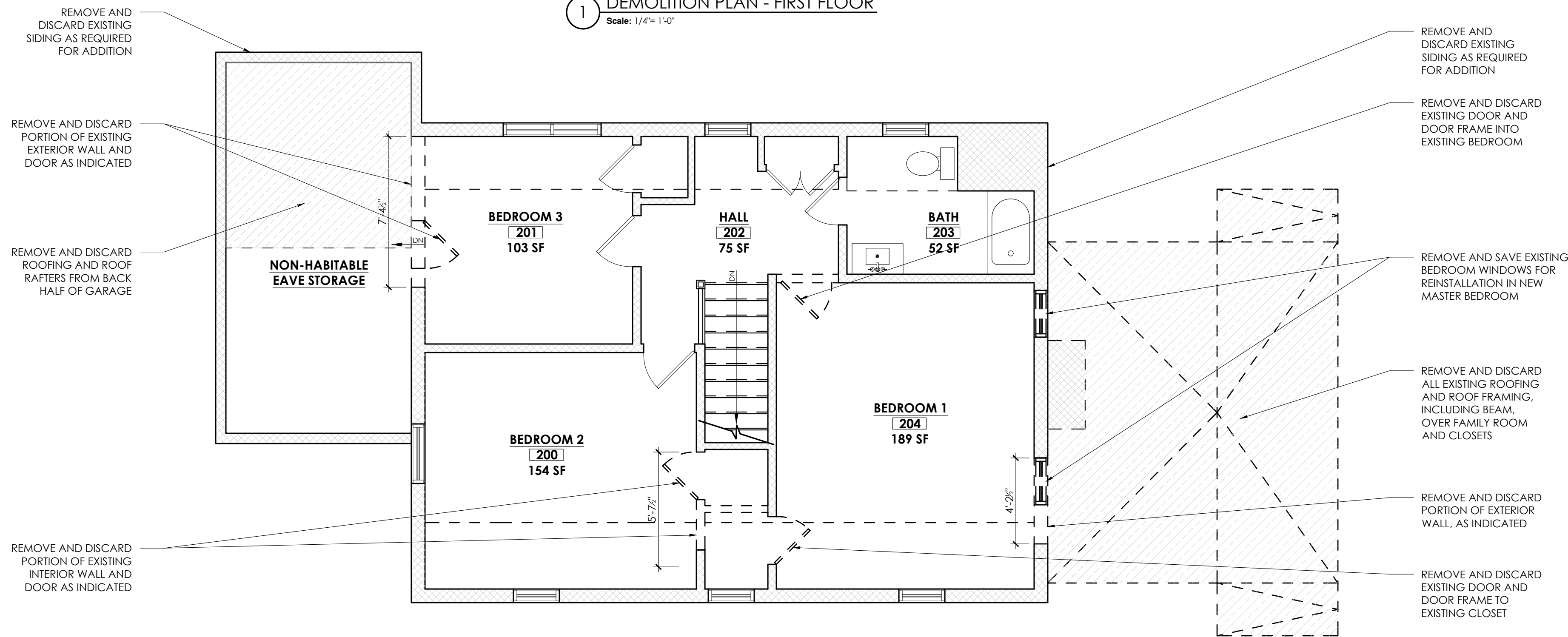
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PROJECT NO: 21003



1 DEMOLITION PLAN - FIRST FLOOR
Scale: 1/4" = 1'-0"



1 DEMOLITION PLAN - SECOND FLOOR
Scale: 1/4" = 1'-0"

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
6. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
7. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
8. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS, AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO THE WORK HEREIN DESCRIBED.
9. REMOVE OR RELOCATE ALL PLUMBING AS SHOWN. REMOVED PIPES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.

DEMOLITION LEGEND

- EXISTING DOOR TO BE REMOVED AND DISCARDED (UNLESS NOTED OTHERWISE)
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW TO BE REMOVED AND DISCARDED (UNLESS NOTED OTHERWISE)
- EXISTING WINDOW TO REMAIN
- EXISTING WALL TO BE REMOVED AND DISCARDED
- EXISTING WALL TO REMAIN
- DEMOLITION AREA

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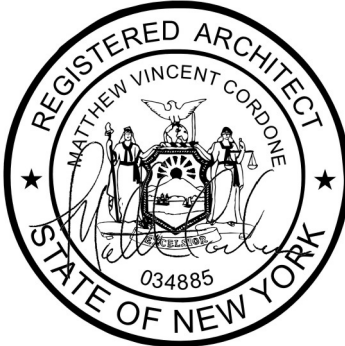
CONSULTANTS

KEY PLAN

REVISIONS

DATE	DESCRIPTION
5/24/2021	FILING SET
7/15/2021	PLANNING BOARD SET

SEAL & SIGNATURE



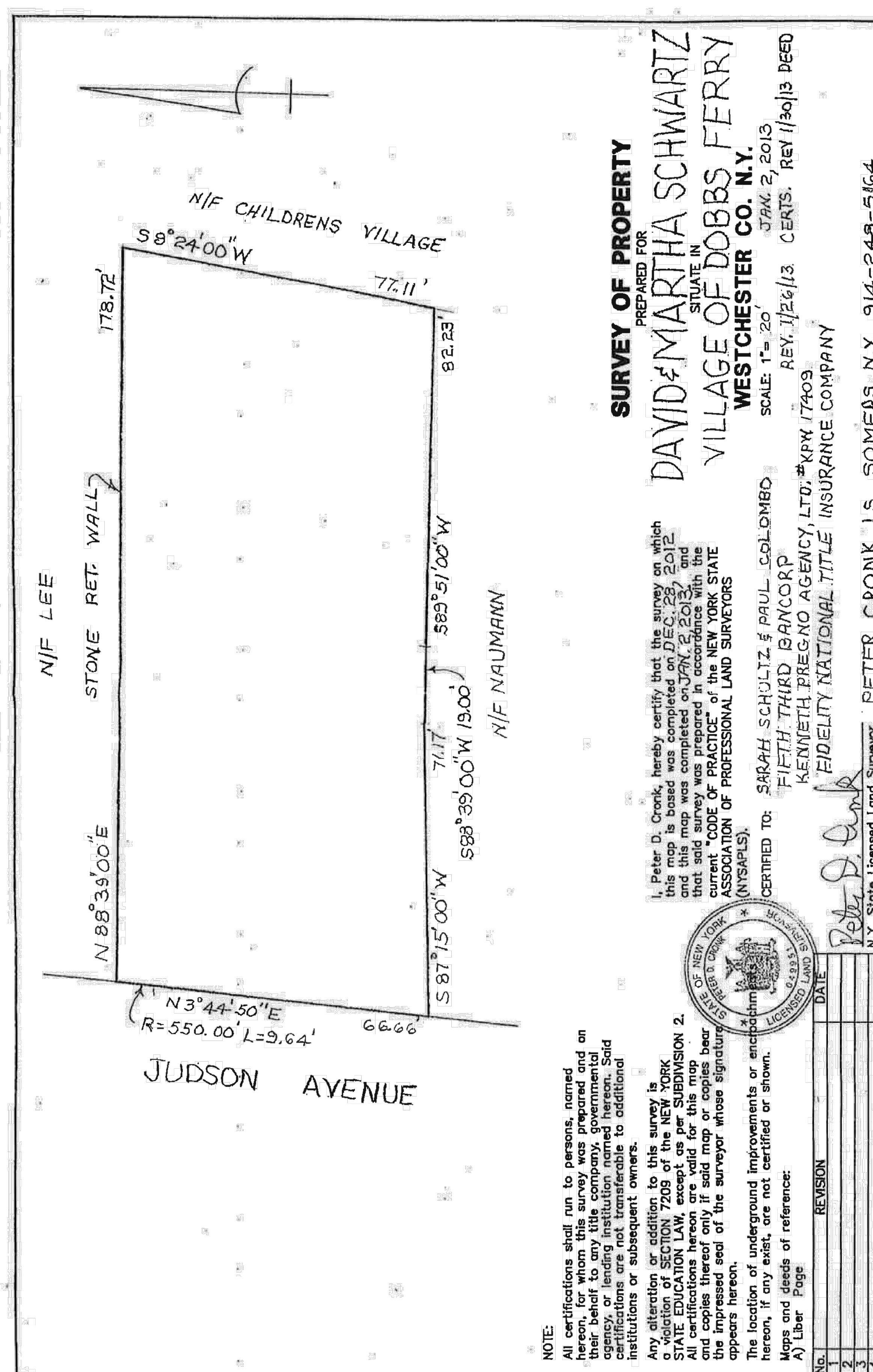
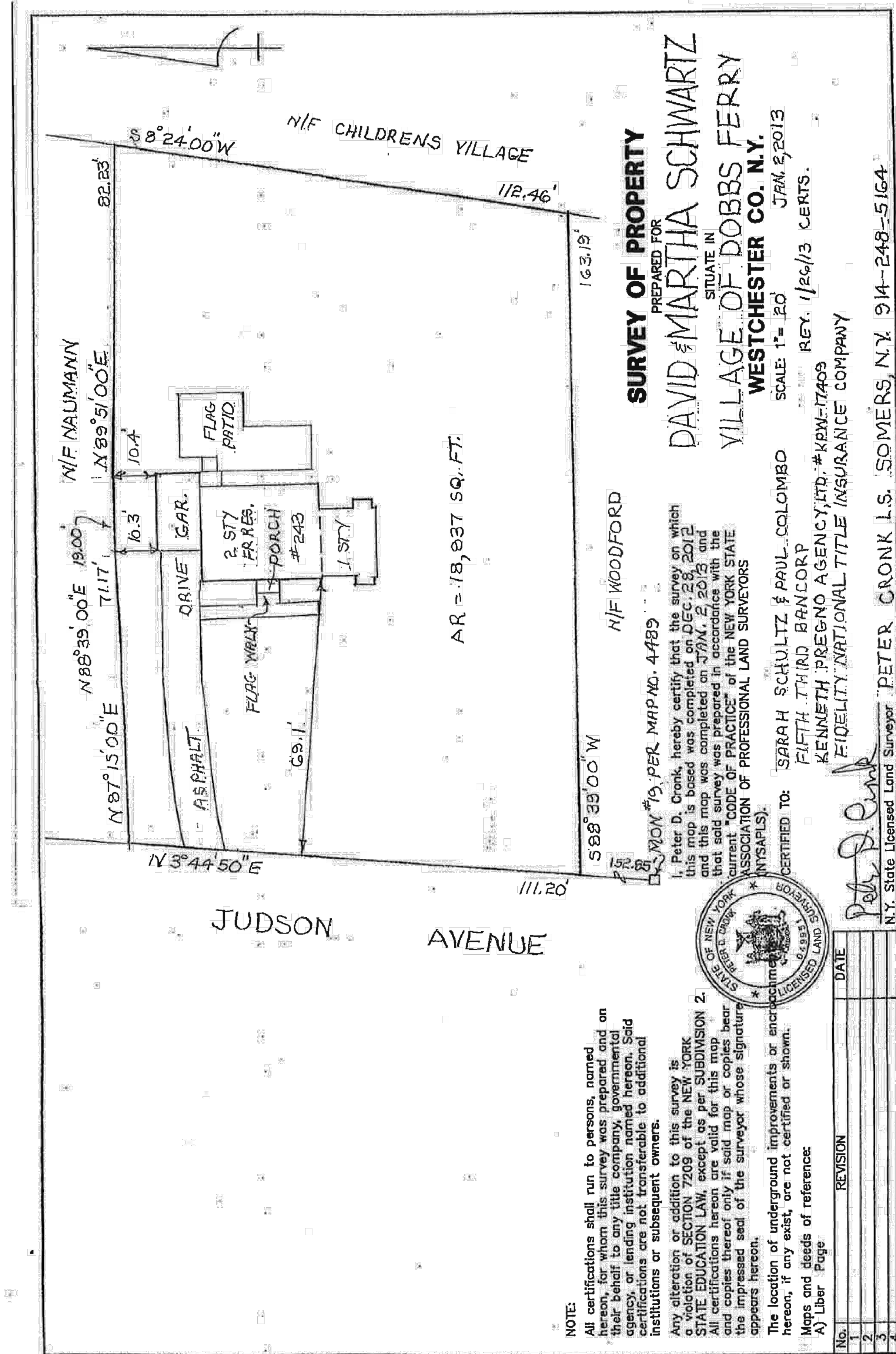
PROJECT:

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:

DEMOLITION PLANS
AND NOTES

DATE:	02/22/2021	DWG NO:	
DRAWN BY:	LCG		D-100.00
CHECKED BY:	MVC		
PROJECT NO:	21003		



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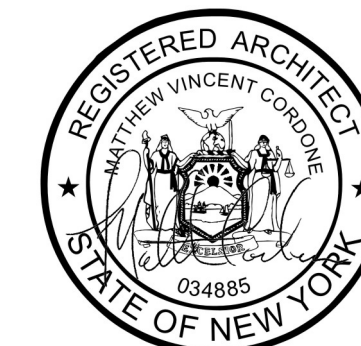
CONSULTANTS

KEY PLAN

REVISIONS

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	7/15/2021	PLANNING BOARD SET

SEAL & SIGNATURE			



PROJECT:	
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SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:
SURVEYS

DATE: 02/22/2021

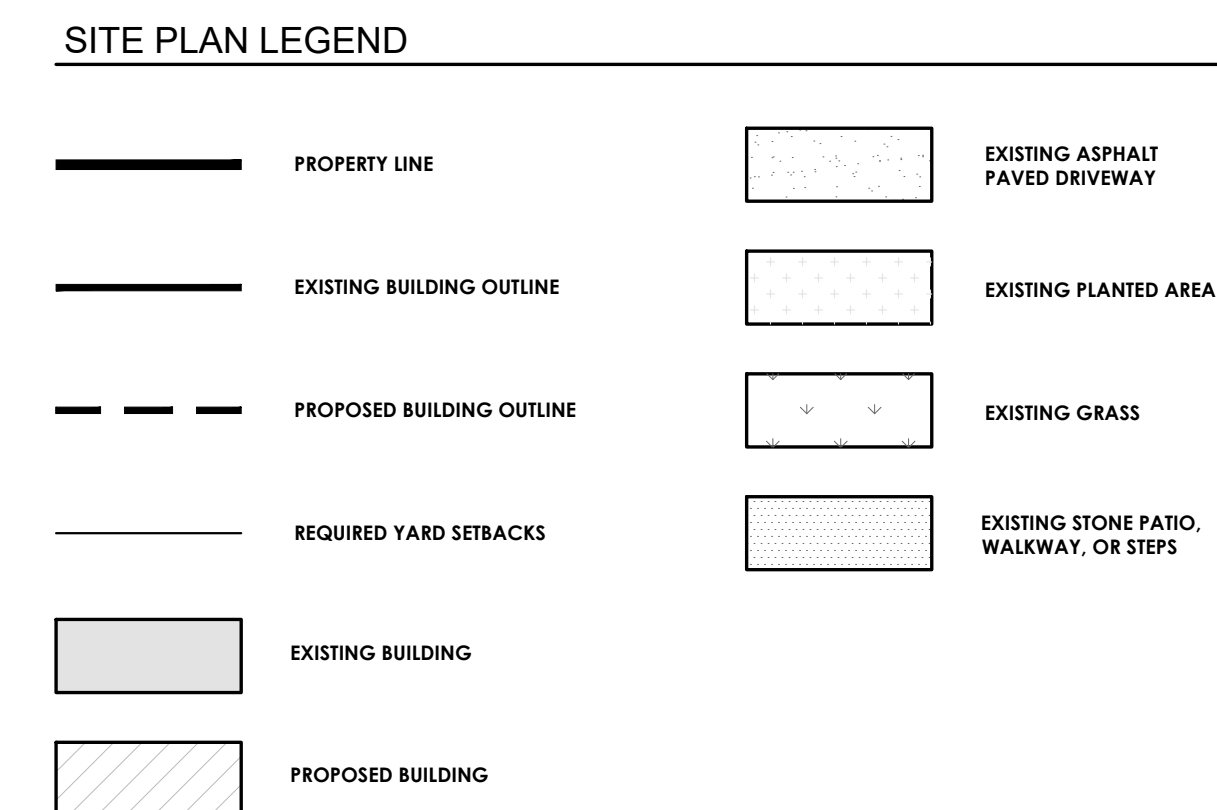
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KEY PLAN

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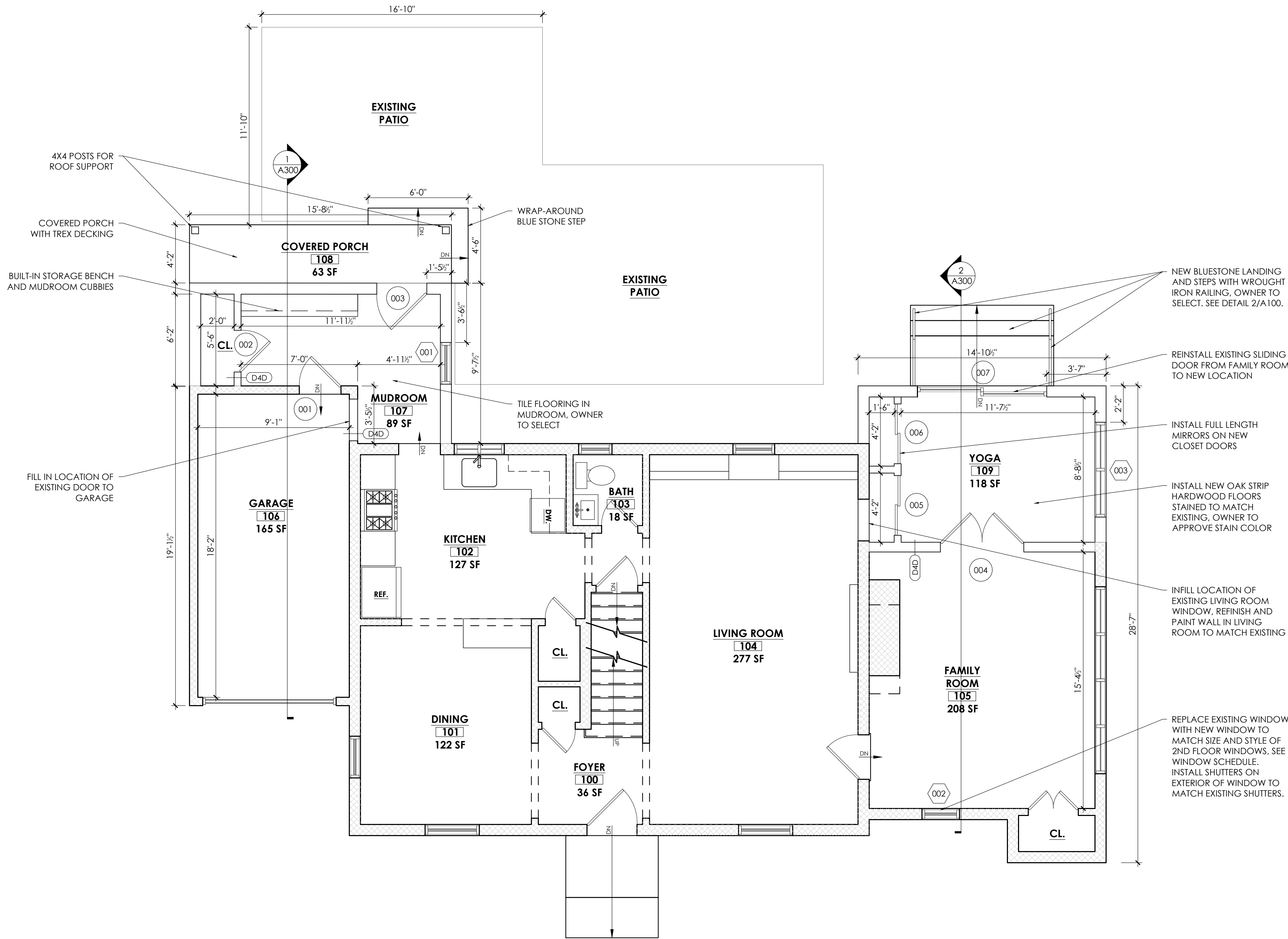
The seal is circular with a double-lined border. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "STATE OF NEW YORK" at the bottom, separated by two stars. Inside the ring, the name "MATTHEW VINCENT GORDONE" is written in a semi-circle. Below the name is a signature. In the center is a shield with a sunburst and a building. Below the shield is the number "034885".

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

SITE PLAN AND SURVEY

CHECKED BY: MVC

SP-100 00



1 PROPOSED CONSTRUCTION PLAN - FIRST FLOOR
Scale: 1/4" = 1'-0"

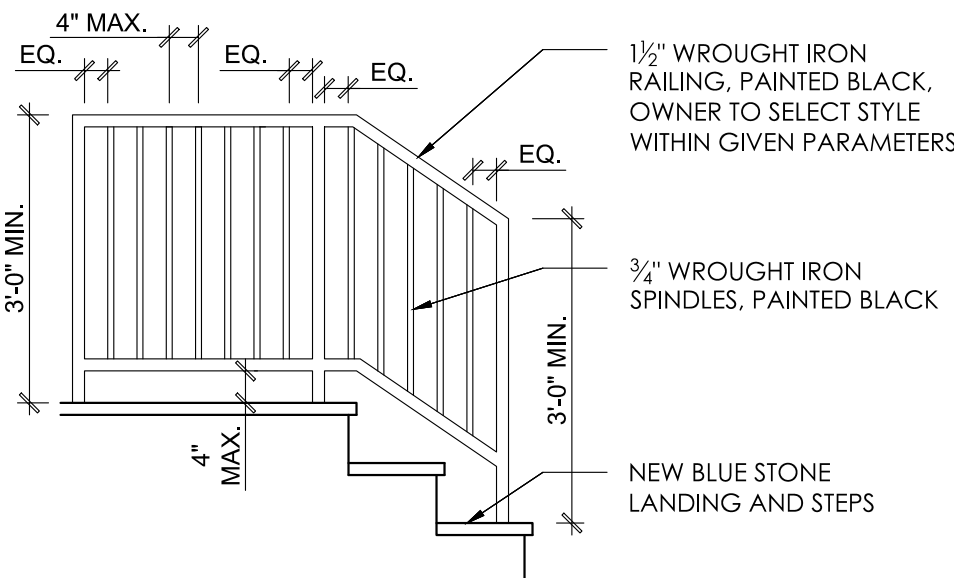
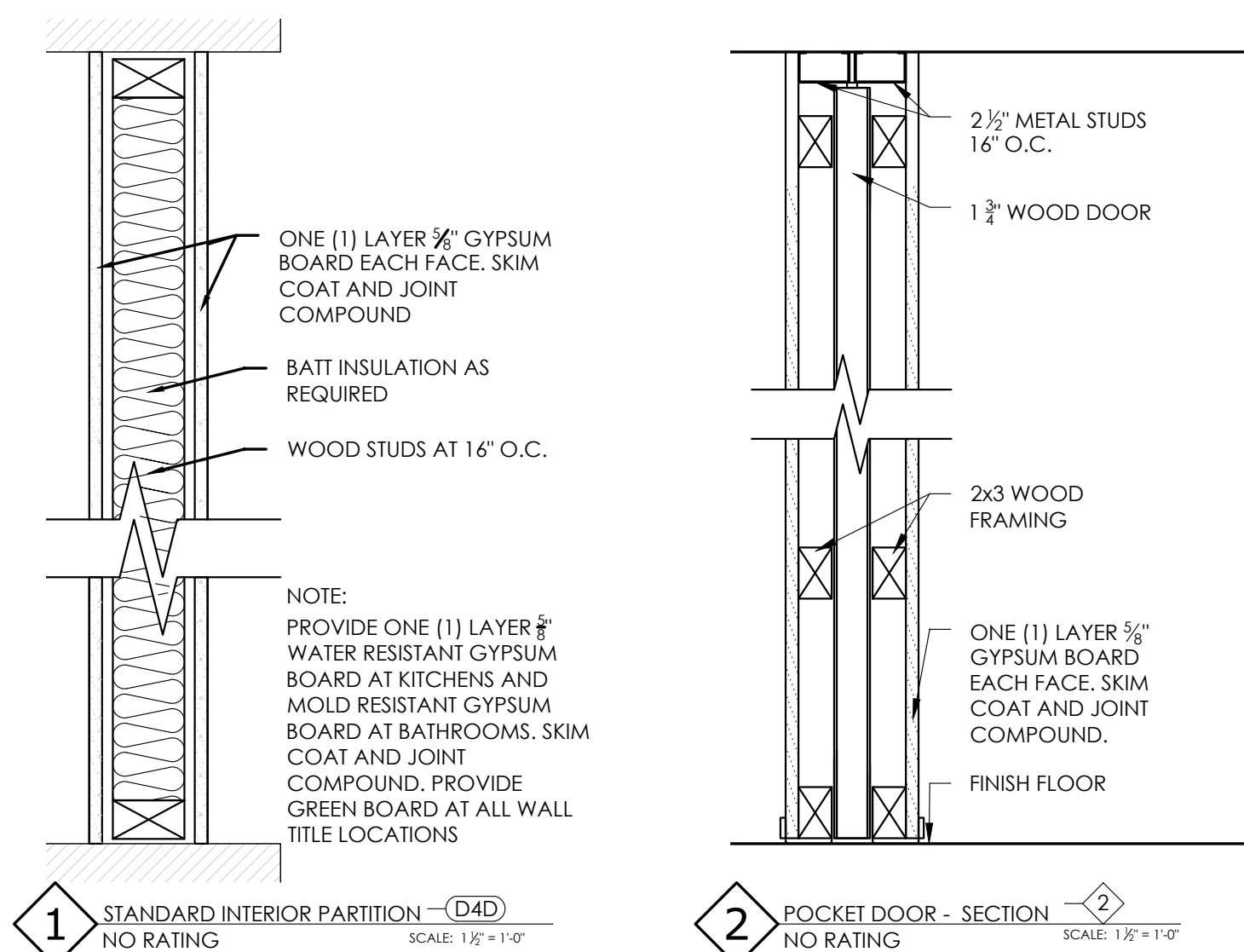
CONSTRUCTION NOTES

- CONTRACTOR IS TO IMMEDIATELY NOTIFY ARCHITECT OF DISCREPANCIES THAT MAY PROHIBIT OR AFFECT THE CONSTRUCTION ANY PART OF THE INTENDED DESIGN.
- ALL WALL PARTITIONS NOT DESIGNATED BY A PARTITION LEGEND KEY ARE TO BE AUTOMATICALLY DESIGNATED AS (D4D) UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TAKEN FROM FINISH MATERIAL TO FINISH MATERIAL.
- UPON COMPLETION OF DEMOLITION, THE CONTRACTOR SHALL WALK THE AREA OF WORK WITH THE ARCHITECT TO CONFIRM LAYOUT OF NEW PARTITIONS
- COORDINATE ALL NEW SERVICES AND WASTE/DRAIN LINES WITH BUILDING'S EXISTING SERVICES.
- ALL GLASS SHALL BE LASER OR ACID ETCHED.

WALL PARTITION LEGEND

SURFACE CODE	
D	ONE LAYER DRYWALL
D ₂	TWO LAYERS DRYWALL
D _W	WATER RESISTANT DRYWALL
P	PLASTER
X	EXPOSED SURFACE
E	EXISTING TO REMAIN
SUPPORT CODE	
Z	1 1/2" FURRING STRIPS
H	1/2" FURRING STRIP
2	1 1/2" WOOD STUD
3	2 1/2" WOOD STUD
4	3 1/2" WOOD STUD
M4	4" (NOM) CMU SUBSTRATE
M6	6" (NOM) CMU SUBSTRATE
M8	8" (NOM) CMU SUBSTRATE
C	CONCRETE SUBSTRATE
E	EX SUBSTRATE TO REMAIN

WALL PARTITION DETAILS



2 RAILING ELEVATION
Scale: 1/2" = 1'-0"

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7/15/2021	PLANNING BOARD SET

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SINGLE FAMILY HOME ADDITION
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DOBB'S FERRY, NY 10522

DRAWING TITLE:

CONSTRUCTION PLANS,
DETAILS, & NOTES

DATE: 02/22/2021

DWG NO:

DRAWN BY: LCG

A-100.00

CHECKED BY: MVC

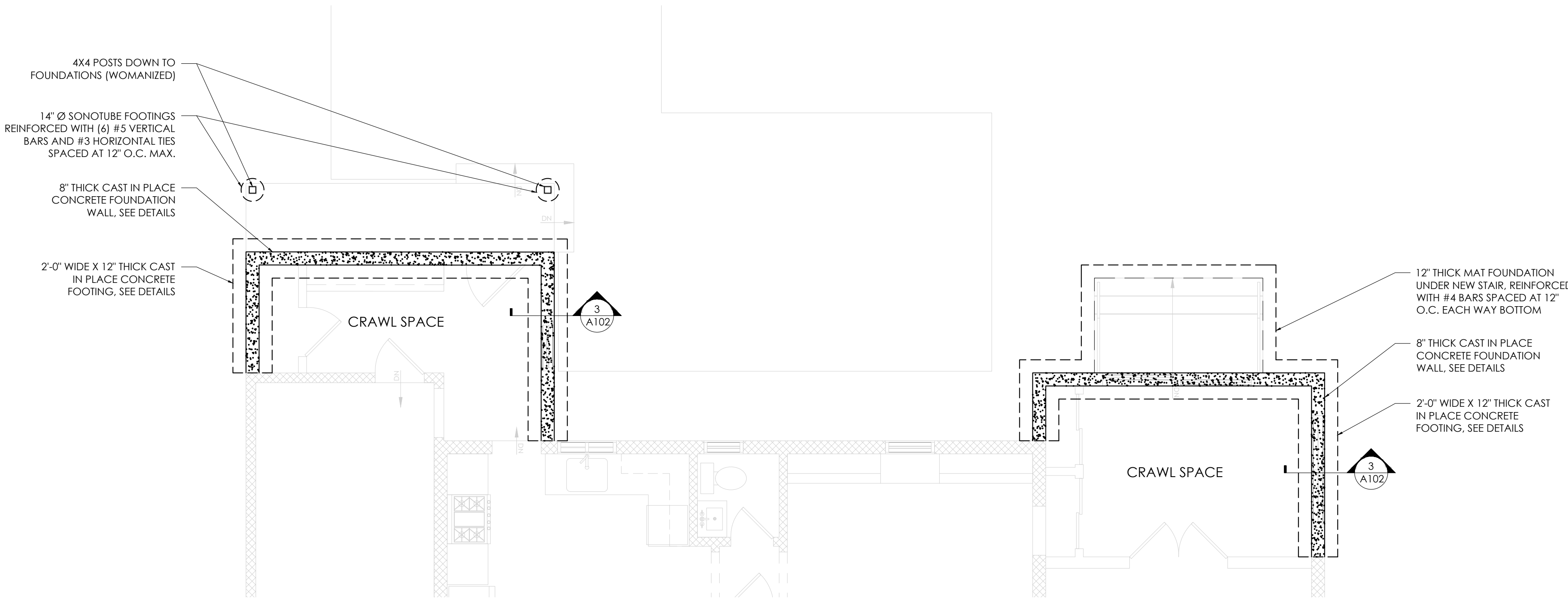
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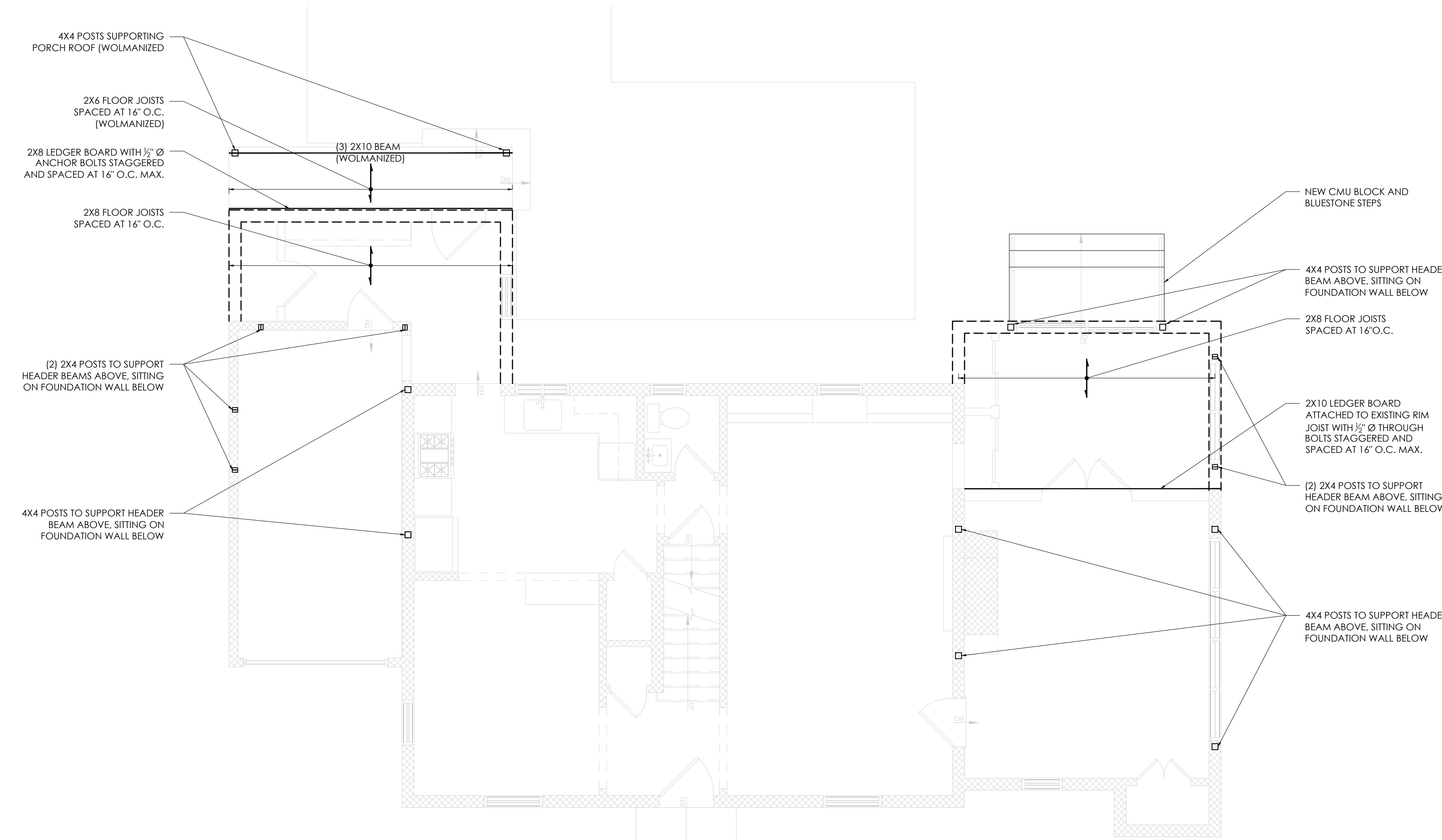
2 SHOWER PAN DETAIL
Scale: 1 1/2" = 1'-0"



DATE: 02/22/2021	DWG NO:
DRAWN BY: LCG	A-101.00
CHECKED BY: MVC	
PROJECT NO: 21003	



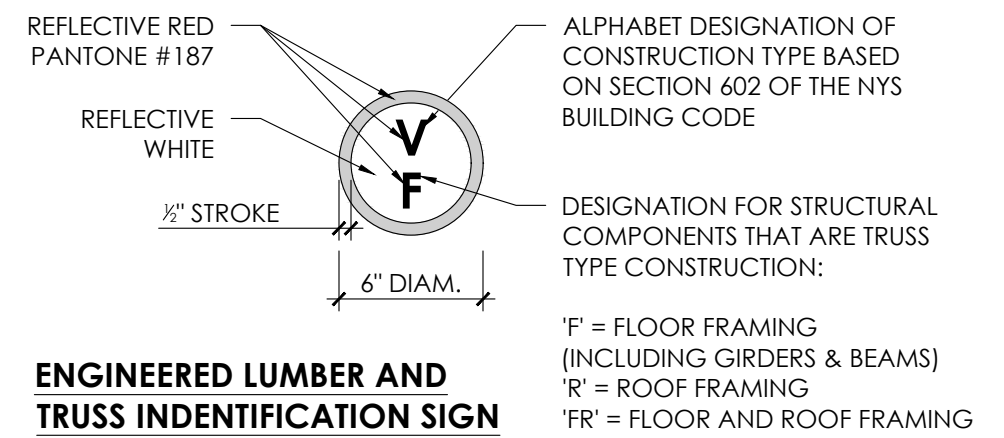
1 FOUNDATION PLAN
Scale: 1/4" = 1'-0"



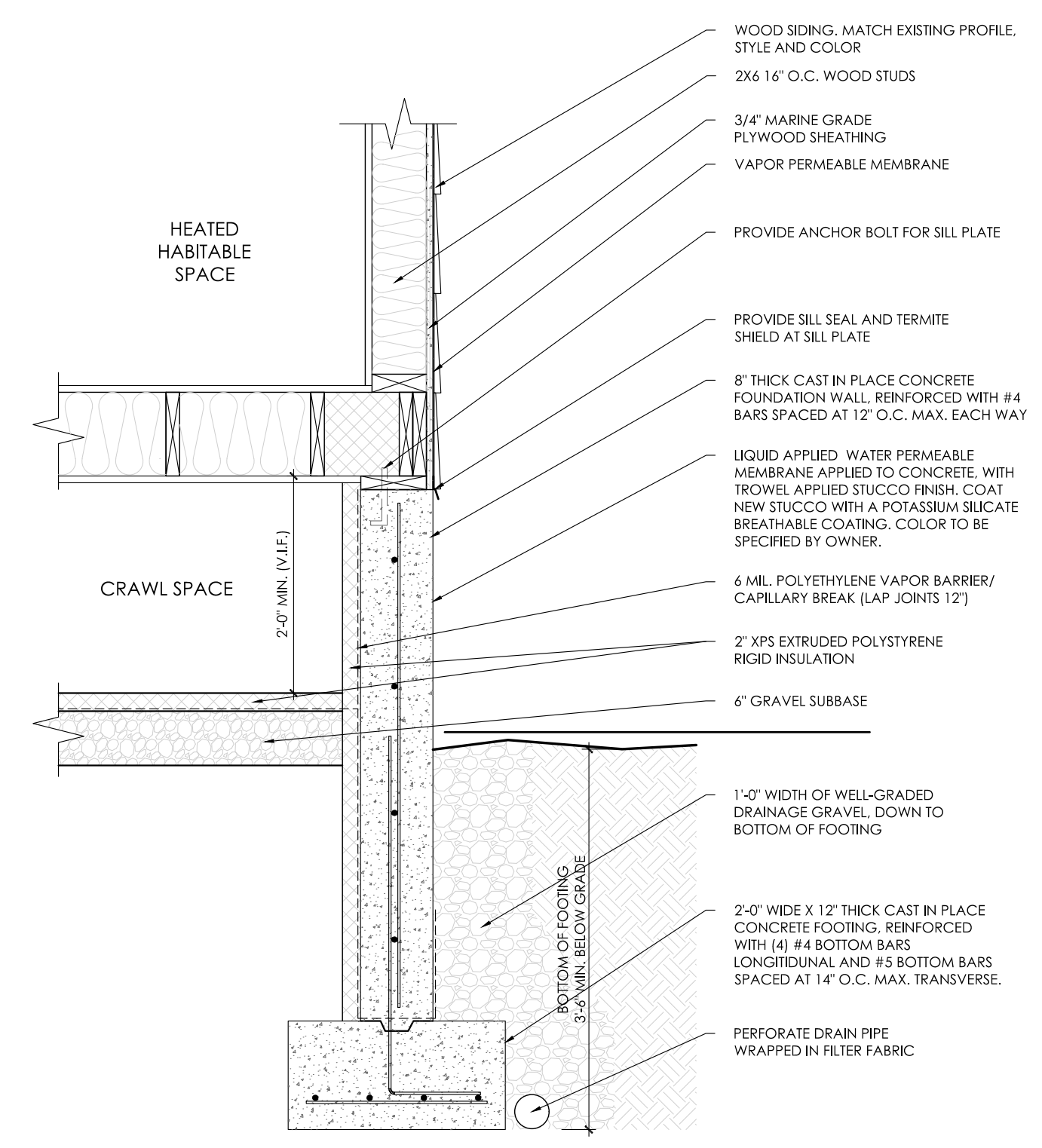
2 FIRST FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"

STRUCTURAL CONSTRUCTION NOTES

- FRAMING SHOWN IS WITHIN THE FLOOR LEVEL REFERENCED BY THE PLAN TITLE. NOT ABOVE, UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DRAWINGS FOR TOP OF FINISH FLOOR ELEVATIONS.
- CONTRACTOR IS TO IMMEDIATELY NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES THAT MAY PROHIBIT OR AFFECT THE CONSTRUCTION OF ANY PART OF THE INTENDED DESIGN.
- CONTRACTOR TO PROPERLY SHORE FRAMING BEFORE REMOVING ANY LOAD-BEARING WALLS, BEAMS, OR POSTS. REMOVE SHORING ONLY WHEN NEW HEADER BEAMS AND ASSOCIATED FRAMING ARE PROPERLY SECURED ACCORDING TO STRUCTURAL PLANS AND DETAILS.
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE AISC "SPECIFICATIONS STRUCTURAL STEEL FOR BUILDINGS" 13TH EDITION AND ALL CURRENT SUPPLEMENTS AND ADDENDA. FOR OTHER CODE AND SPECIFICATION REQUIREMENTS, SEE THE CONTRACT SPECIFICATIONS.
- ALL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992 (50 KSI). ALL STEEL PIPE SHALL CONFORM TO ASTM A53 TYPE E, GRADE B OR TYPE S GRADE B. ALL STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE B. ALL OTHER STEEL SHAPES, PLATES, BARS, AND RODS, SHALL CONFORM TO ASTM A36 (36KSI), UNLESS NOTED OTHERWISE.
- ALL NEW STRUCTURAL LUMBER TO BE DOUGLAS FIR LARCH GR. 1 OR BETTER, UNLESS OTHERWISE NOTED.
- LVL BEAMS TO BE TRUJOIST MICROLAM 2.0E. SEE PLANS FOR SIZE AND NUMBER OF PLYS.
- ALL NEW WOOD POSTS TO HAVE MECHANICAL COLUMN CAP FASTENERS AT TOP AND MECHANICAL COLUMN BASE FASTENERS AT BOTTOM, BY SIMPSON STRONG TIE OR APPROVED EQUAL.
- ALL NEW STEEL POSTS TO BE ATTACHED AT TOP WITH (4) 1/2 inch diameter LAG BOLTS THROUGH CAP PLATE INTO BEAM ABOVE AND AT BOTTOM WITH (4) 1/2 inch diameter POST-INSTALLED ANCHOR BOLTS THROUGH BASE PLATE INTO EXISTING CONCRETE FOUNDATIONS BELOW.
- NEW CAST IN PLACE CONCRETE FOOTINGS TO HAVE $f_c = 4,000$ PSI MIN. FOOTINGS TO BE PLACED ON COMPACTED NATIVE SOIL WITH A MINIMUM BEARING CAPACITY OF 2,000 PSF. BOTTOM OF NEW FOOTINGS PLACED WITHIN HEATED BUILDING ENVELOPE TO BE NO LESS THAN 12" BELOW FINISHED GRADE. BOTTOM OF EXTERIOR FOOTING TO BE NO LESS THAN 3'-6" BELOW FINISHED GRADE.
- THE ENGINEERED LUMBER/TRUSS IDENTIFICATION SIGN SHOWN BELOW SHALL BE AFFIXED TO THE ELECTRICAL BOX, ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLIANCE. THE SIGN INDICATES THAT TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION IS UTILIZED IN THE STRUCTURE OF THE HOME.
- THE ENGINEERED LUMBER/TRUSS IDENTIFICATION SIGN SHALL BE MADE OF A STURDY, NON-FACING AND WEATHER RESISTANT MATERIAL.
- THE ENGINEERED LUMBER/TRUSS IDENTIFICATION SIGN SHALL BE IN COMPLIANCE WITH PART 1265 OF TITLE 19 NYCRR.



ENGINEERED LUMBER AND TRUSS IDENTIFICATION SIGN



3 FOUNDATION SECTION
Scale: 3/4" = 1'-0"

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DOBBS FERRY, NY 10522

CONSULTANTS

KEY PLAN

REVISIONS		
	5/24/2021	FILING SET
	7/15/2021	PLANNING BOARD SET

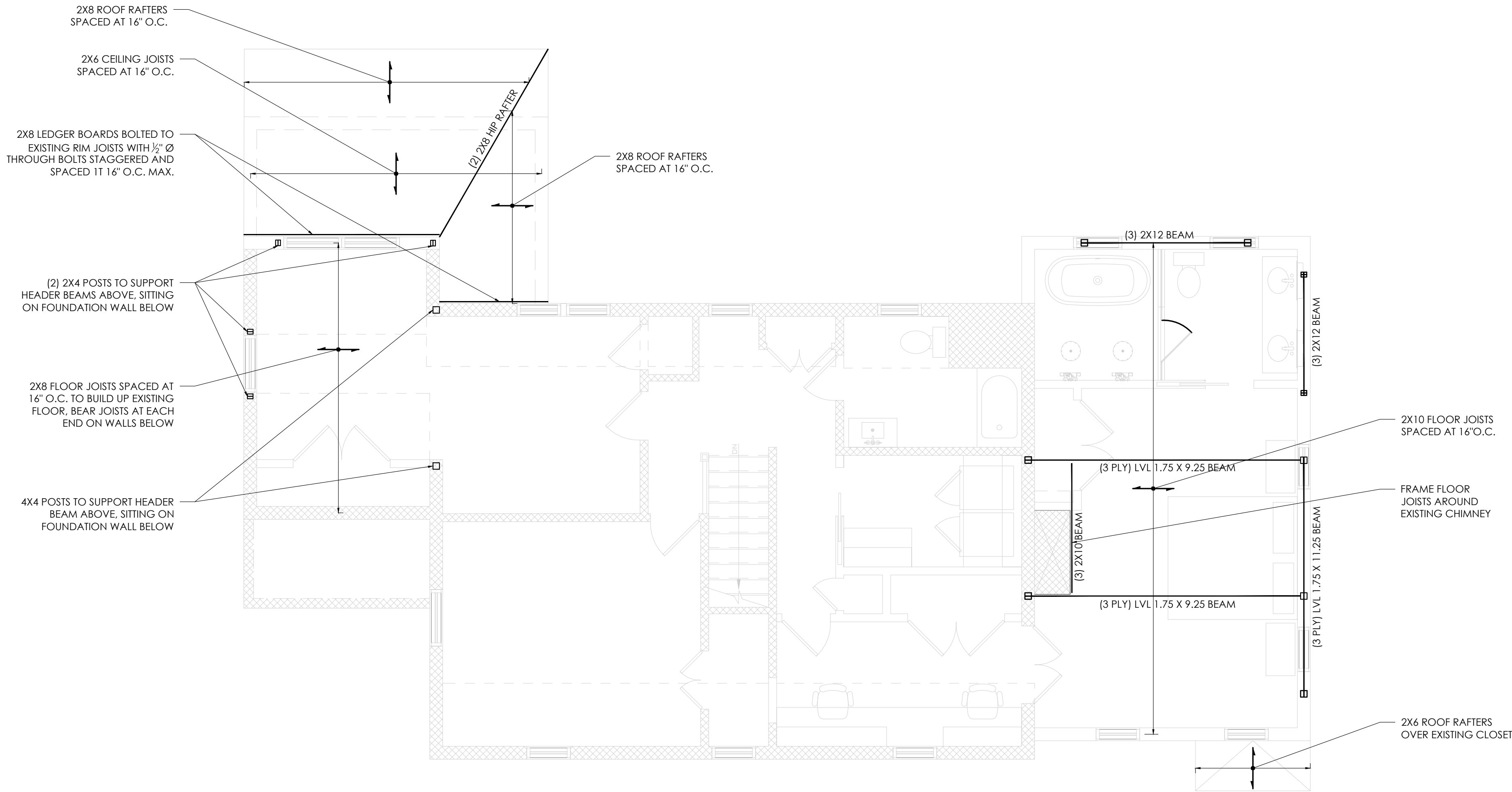
SEAL & SIGNATURE



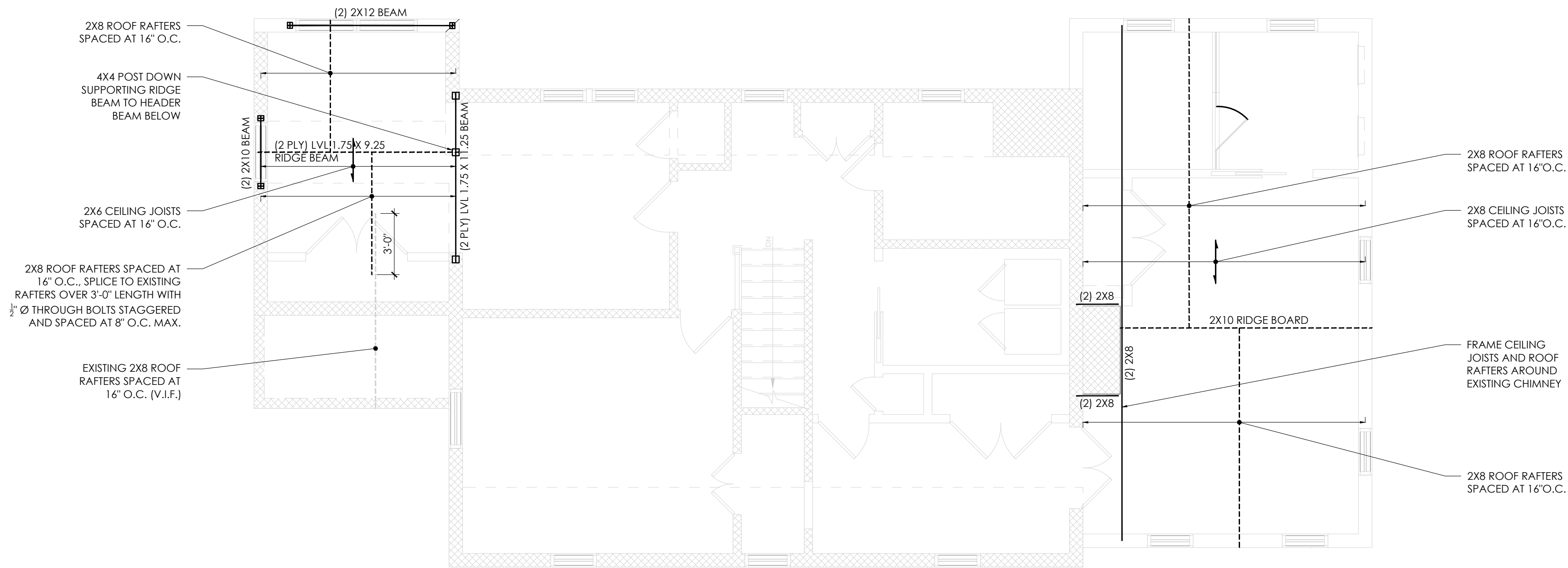
PROJECT:
SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:
FOUNDATION AND 1ST FLOOR
FRAMING PLANS AND NOTES

DATE:	02/22/2021	DWG NO:
DRAWN BY:	LCG	A-102.00
CHECKED BY:	MVC	
PROJECT NO:	21003	



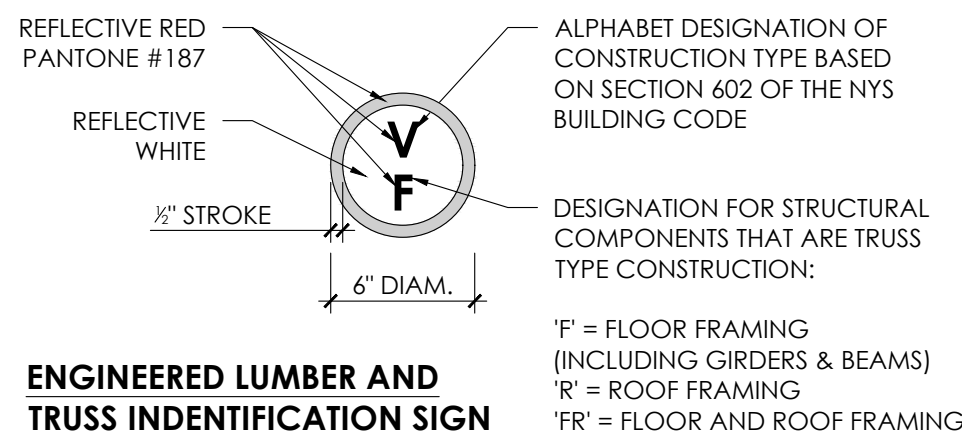
1 2ND FLOOR FRAMING PLAN
Scale: 1/4"= 1'-0"



2 ATTIC AND ROOF FRAMING PLAN
Scale: 1/4"= 1'-0"

STRUCTURAL CONSTRUCTION NOTES

- FRAMING SHOWN IS WITHIN THE FLOOR LEVEL REFERENCED BY THE PLAN TITLE, NOT ABOVE, UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL DRAWINGS FOR TOP OF FINISH FLOOR ELEVATIONS.
- CONTRACTOR IS TO IMMEDIATELY NOTIFY ARCHITECT/ENGINEER OF DISCREPANCIES THAT MAY PROHIBIT OR AFFECT THE CONSTRUCTION OF ANY PART OF THE INTENDED DESIGN.
- CONTRACTOR TO PROPERLY SHORE FRAMING BEFORE REMOVING ANY LOAD-BEARING WALLS, BEAMS, OR POSTS. REMOVE SHORING ONLY WHEN NEW HEADER BEAMS AND ASSOCIATED FRAMING ARE PROPERLY SECURED ACCORDING TO STRUCTURAL PLANS AND DETAILS.
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE AISC "SPECIFICATIONS STRUCTURAL STEEL FOR BUILDINGS" 13TH EDITION AND ALL CURRENT SUPPLEMENTS AND ADDENDA. FOR OTHER CODE AND SPECIFICATION REQUIREMENTS, SEE THE CONTRACT SPECIFICATIONS.
- ALL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992 (50 KSI). ALL STEEL PIPE SHALL CONFORM TO ASTM A53 TYPE E, GRADE B OR TYPE S GRADE B. ALL STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE B. ALL OTHER STEEL SHAPES, PLATES, BARS, AND RODS, SHALL CONFORM TO ASTM A36 (36KSI), UNLESS NOTED OTHERWISE.
- ALL NEW STRUCTURAL LUMBER TO BE DOUGLAS FIR LARCH GR. 1 OR BETTER, UNLESS OTHERWISE NOTED.
- LVL BEAMS TO BE TRUJOIST MICROLAM 2.0E. SEE PLANS FOR SIZE AND NUMBER OF PLIES.
- ALL NEW WOOD POSTS TO HAVE MECHANICAL COLUMN CAP FASTENERS AT TOP AND MECHANICAL COLUMN BASE FASTENERS AT BOTTOM, BY SIMPSON STRONG-TIE OR APPROVED EQUAL.
- ALL NEW STEEL POSTS TO BE ATTACHED AT TOP WITH (4) 1/2" Ø LAG BOLTS THROUGH CAP PLATE INTO BEAM ABOVE AND AT BOTTOM WITH (4) 1/2" Ø POST-INSTALLED ANCHOR BOLTS THROUGH BASE PLATE INTO EXISTING CONCRETE FOUNDATIONS BELOW.
- NEW CAST IN PLACE CONCRETE FOOTINGS TO HAVE $f'_c = 4,000$ PSI MIN. FOOTINGS TO BE PLACED ON COMPACTED NATIVE SOIL WITH A MINIMUM BEARING CAPACITY OF 2,000 PSF. BOTTOM OF NEW FOOTINGS PLACED WITHIN HEATED BUILDING ENVELOPE TO BE NO LESS THAN 12" BELOW FINISHED GRADE. BOTTOM OF EXTERIOR FOOTING TO BE NO LESS THAN 3'-6" BELOW FINISHED GRADE.
- THE ENGINEERED LUMBER/TRUSS IDENTIFICATION SIGN SHOWN BELOW SHALL BE AFFIXED TO THE ELECTRICAL BOX, ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR A CERTIFICATE OF COMPLIANCE. THE SIGN INDICATES THAT TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION IS UTILIZED IN THE STRUCTURE OF THE HOME.
- THE ENGINEERED LUMBER/TRUSS IDENTIFICATION SIGN SHALL BE MADE OF A STURDY, NON-FACING AND WEATHER RESISTANT MATERIAL.
- THE ENGINEERED LUMBER/TRUSS IDENTIFICATION SIGN SHALL BE IN COMPLIANCE WITH PART 1265 OF TITLE 19 NYCRR.



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CONSULTANTS

KEY PLAN

REVISIONS

5/24/2021	FILING SET
7/15/2021	PLANNING BOARD SET

SEAL & SIGNATURE



PROJECT:

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:

2ND FLOOR, ATTIC AND ROOF
FRAMING PLANS AND NOTES

DATE: 02/22/2021

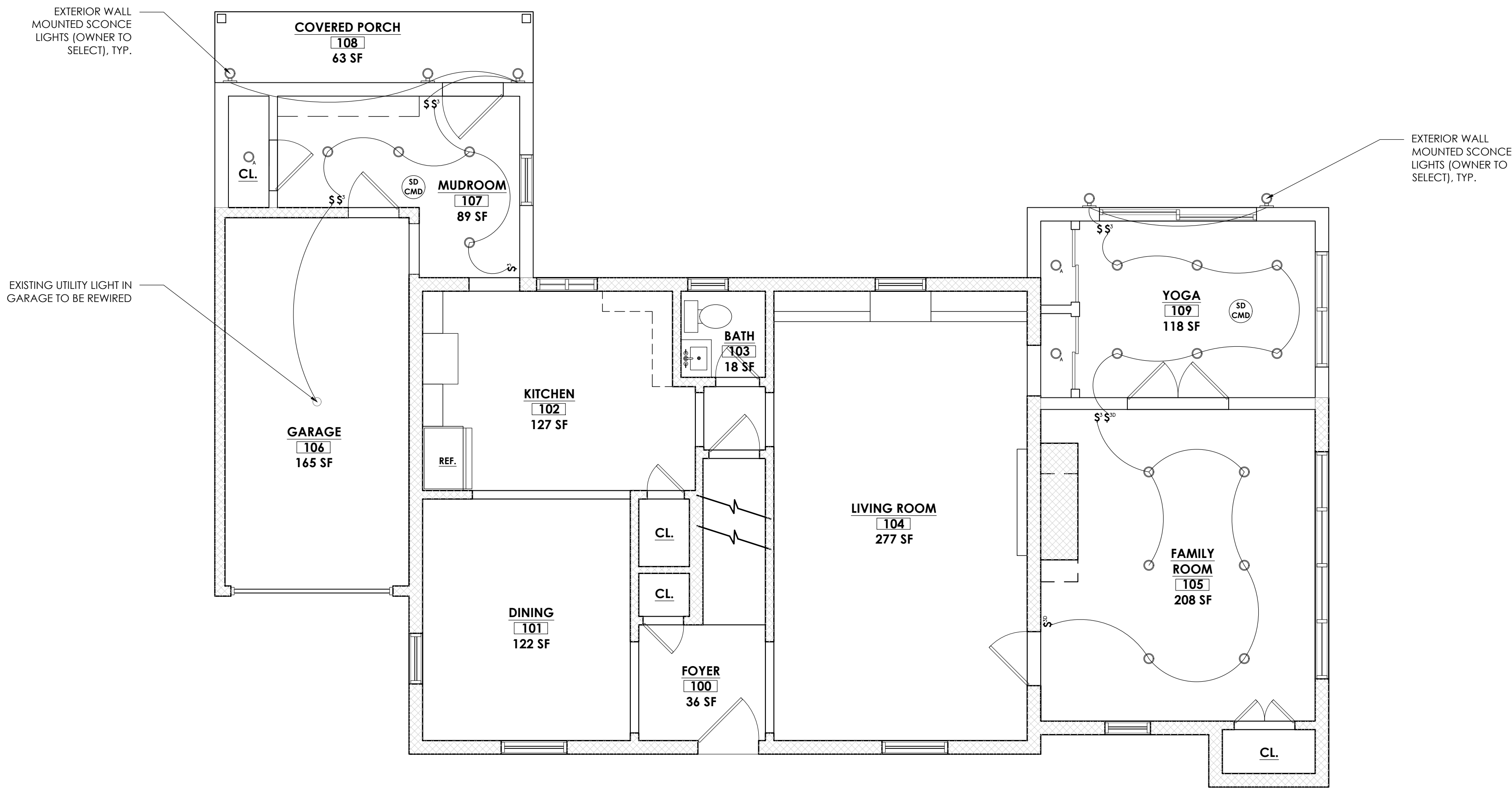
DWG NO:

DRAWN BY: LCG

A-103.00

CHECKED BY: MVC

PROJECT NO: 21003



1 REFLECTED CEILING PLAN - FIRST FLOOR
Scale: 1/4"= 1'-0"

REFLECTED CEILING PLAN SYMBOLS

	EXISTING UTILITY LIGHT
	4" RECESSED LED LIGHT
	4" RECESSED LED CLOSET LIGHT ON AUTO SWITCH CONNECTED TO DOOR
	OUTDOOR SCONCE LIGHT
	WALL MOUNTED VANITY LIGHT
	SEMI-FLUSH MOUNT FEATURE BEDROOM LIGHT
	FLUSH MOUNT BEDROOM LIGHT
	MECHANICAL VENT (50 CFM MIN)
	SMOKE AND CARBON MONOXIDE DETECTOR
	TWO-POLE LIGHT SWITCH
	THREE-POLE LIGHT SWITCH
	THREE-POLE LIGHT SWITCH WITH DIMMER
	GFCI DUPLEX THREE-PRONG OUTLET AT COUNTER HEIGHT (44" AFF)
	DUPLEX THREE-PRONG USB OUTLET AT DESK HEIGHT (40" AFF)
	DUPLEX THREE-PRONG OUTLET FOR APPLIANCE

REFLECTED CEILING NOTES

1. CONTRACTOR IS TO IMMEDIATELY NOTIFY ARCHITECT OF DISCREPANCIES THAT MAY PROHIBIT OR AFFECT THE CONSTRUCTION ANY PART OF THE INTENDED DESIGN.
2. ALL CEILINGS DESIGNATED FOR GYPSUM BOARD FINISH SHALL RECEIVE 3/4" GYPSUM BOARD LEVEL 4 FINISH.
3. ALL RECESSED FIXTURES ARE TO BE EQUALLY SPACED AND/OR LOCATED AS INDICATED. ALL RECESSED FIXTURES ARE TO BE TRIMMED WITH WHITE COLLARS.
4. ALL BATHROOM EXHAUST FANS SHALL BE SIZED FOR 50 CFM. PROVIDE WHITE FINISH FOR EXHAUST FAN GRILL.
5. ALL LIGHTING EXCEPT FOR CLOSET LIGHTS SHALL BE SWITCHED TO DIMMERS.
6. PROVIDE LOW PROFILE WHITE SMOKE AND CARBON MONOXIDE DETECTORS. DETECTORS ARE TO BE HARD WIRED WITH BATTERY BACK UP.
7. ALL NEW LIGHTS SHALL HAVE THE ABILITY TO REDUCE LIGHTING LOADS BY 75%.
8. 75% OF ALL PERMANENTLY INSTALLED INTERIOR LIGHT FIXTURES SHALL BE FITTED WITH HIGH EFFICIENCY LAMPS.
9. INSTALL ALL OUTLETS AT 18" HEIGHT, UNLESS NOTED OTHERWISE.
10. NEW CEILING SHALL HAVE BATT INSULATION R32.

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CONSULTANTS

KEY PLAN

REVISIONS

5/24/2021	FILING SET
7/15/2021	PLANNING BOARD SET

SEAL & SIGNATURE



PROJECT:

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:

REFLECTED CEILING PLANS

DATE:	02/22/2021	DWG NO:	
DRAWN BY:	LCG	CHECKED BY:	MVC
PROJECT NO:	21003		

A-130.00

OWNERS:

AVI & RUTHIE BEN-ZVI
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

CONSULTANTS

KEY PLAN

REVISIONS

5/24/2021	FILING SET
7/15/2021	PLANNING BOARD SET

SEAL & SIGNATURE



PROJECT:

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:

REFLECTED CEILING PLANS

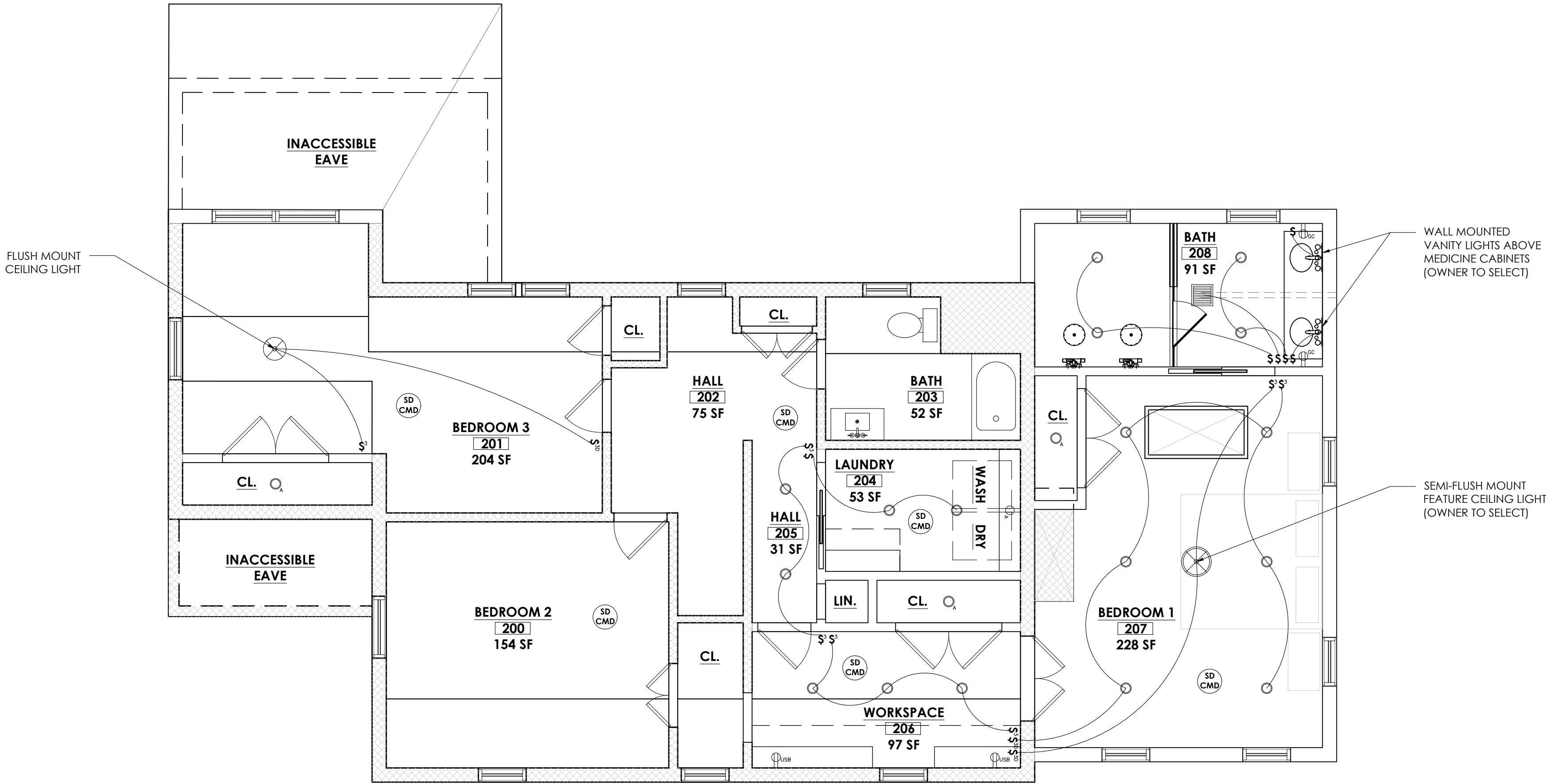
DATE:	02/22/2021	DWG NO:	
DRAWN BY:	LCG	CHECKED BY:	MVC
PROJECT NO:	21003		

REFLECTED CEILING PLAN SYMBOLS

	4" RECESSED LED LIGHT
	4" RECESSED LED CLOSET LIGHT ON AUTO SWITCH CONNECTED TO DOOR
	OUTDOOR SCONCE LIGHT
	WALL MOUNTED VANITY LIGHT
	SEMI-FLUSH MOUNT FEATURE BEDROOM LIGHT
	FLUSH MOUNT BEDROOM LIGHT
	MECHANICAL VENT (50 CFM MIN)
	SMOKE AND CARBON MONOXIDE DETECTOR
	TWO-POLE LIGHT SWITCH
	THREE-POLE LIGHT SWITCH
	THREE-POLE LIGHT SWITCH WITH DIMMER
	GFCI DUPLEX THREE-PRONG OUTLET AT COUNTER HEIGHT (44" AFF)

REFLECTED CEILING NOTES

- CONTRACTOR IS TO IMMEDIATELY NOTIFY ARCHITECT OF DISCREPANCIES THAT MAY PROHIBIT OR AFFECT THE CONSTRUCTION ANY PART OF THE INTENDED DESIGN.
- ALL CEILINGS DESIGNATED FOR GYPSUM BOARD FINISH SHALL RECEIVE 3/4" GYPSUM BOARD LEVEL 4 FINISH.
- ALL RECESSED FIXTURES ARE TO BE EQUALLY SPACED AND/OR LOCATED AS INDICATED. ALL RECESSED FIXTURES ARE TO BE TRIMMED WITH WHITE COLLARS.
- ALL BATHROOM EXHAUST FANS SHALL BE SIZED FOR 50 CFM. PROVIDE WHITE FINISH FOR EXHAUST FAN GRILL.
- ALL LIGHTING EXCEPT FOR CLOSET LIGHTS SHALL BE SWITCHED TO DIMMERS.
- PROVIDE LOW PROFILE WHITE SMOKE AND CARBON MONOXIDE DETECTORS. DETECTORS ARE TO BE HARD WIRED WITH BATTERY BACK UP.
- ALL NEW LIGHTS SHALL HAVE THE ABILITY TO REDUCE LIGHTING LOADS BY 75%.
- 75% OF ALL PERMANENTLY INSTALLED INTERIOR LIGHT FIXTURES SHALL BE FITTED WITH HIGH EFFICIENCY LAMPS.
- INSTALL ALL OUTLETS AT 18" HEIGHT, UNLESS NOTED OTHERWISE.
- NEW CEILING SHALL HAVE BATT INSULATION R32.



1 REFLECTED CEILING PLAN - SECOND FLOOR
Scale: 1/4" = 1'-0"

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KEY PLAN

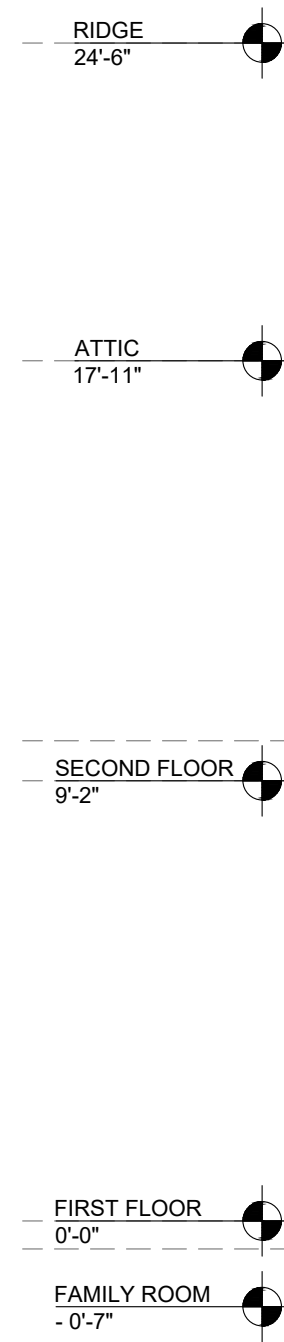
	5/24/2021	FILING SET
	7/15/2021	PLANNING BOARD SET

The seal is circular with a double-lined border. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "STATE OF NEW YORK" at the bottom, separated by two five-pointed stars. Inside the ring, the name "MATTHEW VINCENT CORDONE" is written in a smaller circle. The center of the seal features a detailed crest with two figures flanking a shield, topped with an eagle. Below the crest, the number "034885" is printed.

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

EXISTING ELEVATIONS

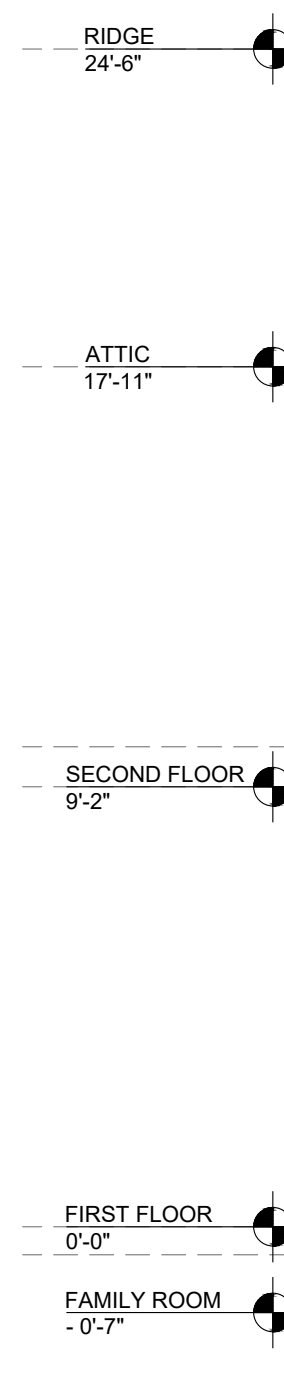
A-200.00



Scale: 1/4" = 1'-0"



2 Scale: 1/4" = 1'-0"



3 Scale: 1/4" = 1'-0"



(4) EXISTING
Scale: 1/4" = 1'-0"

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243 JUDSON AVENUE
DOBBS FERRY, NY 10522

	5/24/2021	FILING SET
	7/15/2021	PLANNING BOARD SET

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

PROPOSED ELEVATIONS

DATE: 02/22/2021	DWG NO:
DRAWN BY: LCG	A-201.00
CHECKED BY: MVC	
PROJECT NO: 21003	



1 PROPOSED EXTERIOR ELEVATION - WEST
Scale: 1/4" = 1'-0"



2 PROPOSED EXTERIOR ELEVATION - NORTH
Scale: 1/4"= 1'-0"



1 PROPOSED EXTERIOR ELEVATION - EAST
Scale: 1/4" = 1'-0"



2 PROPOSED EXTERIOR ELEVATION - SOUTH
Scale: 1/4" = 1'-0"

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OWNERS:

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DOBBS FERRY, NY 10522

CONSULTANTS

KEY PLAN

REVISIONS

5/24/2021	FILING SET
7/15/2021	PLANNING BOARD SET

SEAL & SIGNATURE



PROJECT:

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:

PROPOSED ELEVATIONS

DATE:	02/22/2021	DWG NO:	
DRAWN BY:	LCG	CHECKED BY:	MVC
PROJECT NO:	21003		

MATTHEW CORDONE
ARCHITECT PLLC
DESIGN + PRESERVATION + PLANNING

AVI & RUTHIE BEN-ZVI
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

	5/24/2021	FILING SET
	7/15/2021	PLANNING BOARD SET

The seal is circular with a double-lined border. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "STATE OF NEW YORK" at the bottom, separated by two stars. The inner circle features a central crest with a sunburst and two figures. Above the crest is the name "MATTHEW VINCENT CORDONE" and below it is the number "034885".

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

PROPOSED BUILDING SECTIONS

DATE: 02/22/2021	DWG NO:
DRAWN BY: LCG	A-300.00
CHECKED BY: MVC	
PROJECT NO: 21003	





ATTHEW CORDONE
ARCHITECT PLLC
DESIGN + PRESERVATION + PLANNING

AVI & RUTHIE BEN-ZVI
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

KEY PLAN

5/24/2021	FILING SET
7/15/2021	PLANNING BOARD SET

The seal is circular with a double-lined border. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "STATE OF NEW YORK" at the bottom, separated by two five-pointed stars. Inside the ring, the name "MATTHEW VINCENT CORDONE" is written in a curved path. The center of the seal features a detailed crest with a shield, a sunburst at the top, and two figures flanking the shield. Below the crest, the number "034885" is printed.

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

CONSTRUCTION DETAILS

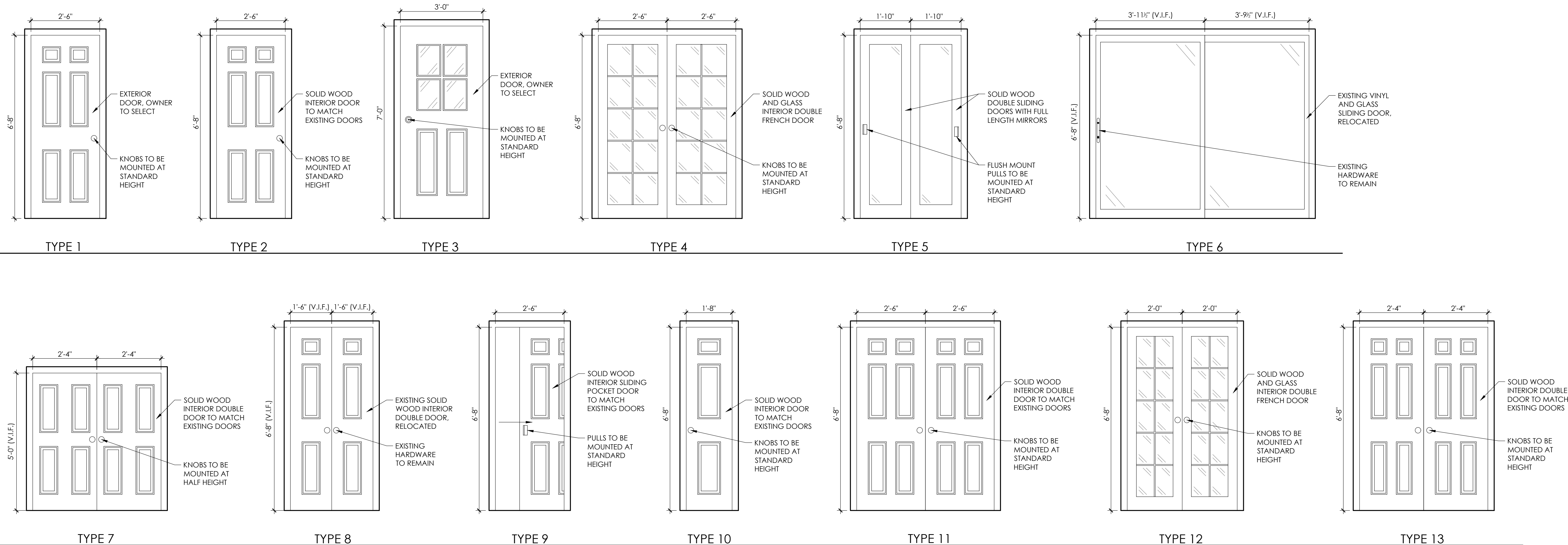
DRAWN BY: LCG
CHECKED BY: MVC

DWG NO:	A-400.00
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PROJECT NO: 21003	
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DOOR SCHEDULE									
DOOR #	ROOM NAME	DOOR TYPE	DOOR STYLE	DOOR OPENING SIZE	DOOR FINISH	HARDWARE	FRAME TYPE	FRAME FINISH	COMMENTS
001	GARAGE	1	EXTERIOR	2'-6" X 6'-8"	OWNER TO SELECT	TYPE 1	TYPE 1	PAINT	DOOR FINISH TO BE SELECTED BY OWNER. FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
002	MUDROOM	2	SOLID WOOD	2'-6" X 6'-8"	PAINT	TYPE 2	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
003	MUDROOM	3	EXTERIOR WITH GLASS	3'-0" X 7'-0"	OWNER TO SELECT	TYPE 3	TYPE 1	PAINT	DOOR FINISH TO BE SELECTED BY OWNER. FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
004	FAMILY ROOM	4	DOUBLE WOOD WITH GLASS	(2) 3'-0" X 6'-8"	PAINT	TYPE 4	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
005	YOGA ROOM	5	DOUBLE SOLID WOOD SLIDING WITH MIRROR	(2) 1'-10" X 6'-8"	PAINT	TYPE 5	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
006	YOGA ROOM	5	DOUBLE SOLID WOOD SLIDING WITH MIRROR	(2) 1'-10" X 6'-8"	PAINT	TYPE 5	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
007	YOGA ROOM	6	EXTERIOR SLIDING GLASS (EXISTING RELOCATED)	7'-9" X 6'-8"	EXISTING	TYPE 6	TYPE 1	PAINT	KEEP EXISTING DOOR FINISH. FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
008	BEDROOM 3	7	DOUBLE SOLID WOOD	(2) 2'-6" X 5'-0"	PAINT	TYPE 2	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
009	BEDROOM 2	8	DOUBLE SOLID WOOD (EXISTING RELOCATED)	(2) 1'-6" X 6'-8"	PAINT	TYPE 2	TYPE 1	PAINT	REPAINT EXISTING DOOR. FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
010	LAUNDRY	9	SOLID WOOD POCKET	2'-6" X 6'-8"	PAINT	TYPE 7	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
011	LINEN	10	SOLID WOOD	1'-8" X 6'-8"	PAINT	TYPE 2	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
012	WORKSPACE	2	SOLID WOOD	2'-6" X 6'-8"	PAINT	TYPE 8	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
013	WORKSPACE	11	DOUBLE SOLID WOOD	(2) 2'-6" X 6'-8"	PAINT	TYPE 2	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
014	BEDROOM 1	12	DOUBLE WOOD WITH GLASS	(2) 2'-0" X 6'-8"	PAINT	TYPE 8	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
015	BEDROOM 1	13	DOUBLE SOLID WOOD	(2) 2'-4" X 6'-8"	PAINT	TYPE 2	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.
016	BATH	9	SOLID WOOD POCKET	2'-6" X 6'-8"	PAINT	TYPE 9	TYPE 1	PAINT	DOOR AND FRAME TO BE PAINTED. PAINT TO BE PROVIDED BY OWNER.

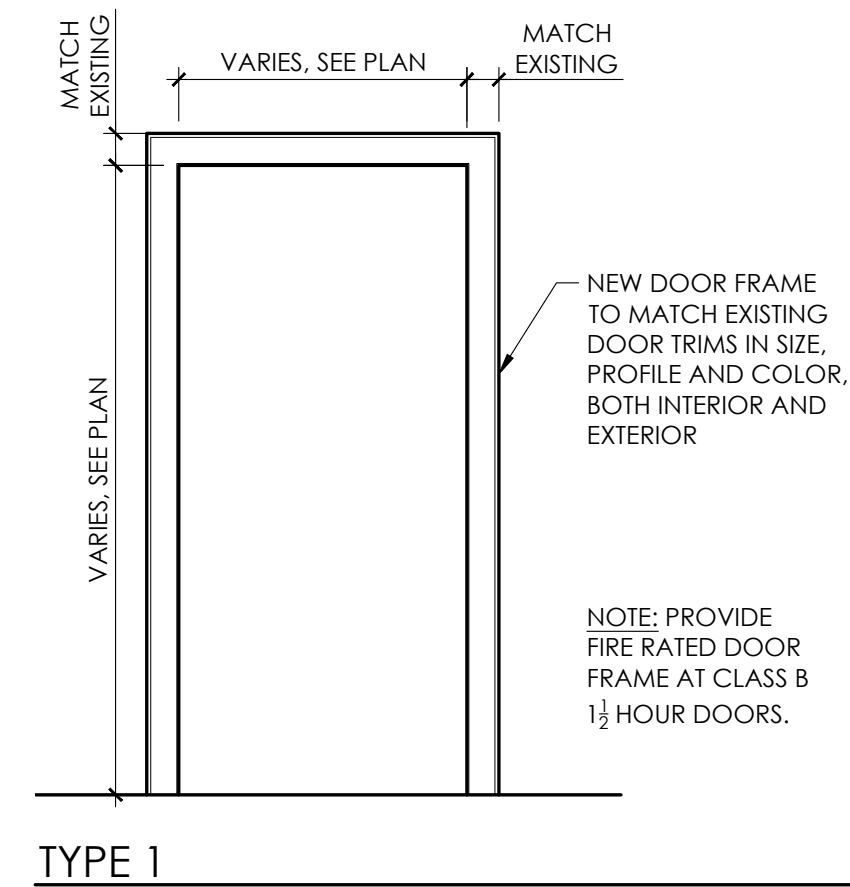
DOOR TYPES



DOOR HARDWARE TYPES

- | | |
|---------|---|
| TYPE 1: | EXTERIOR RESIDENTIAL GRADE DOOR WITH PASSAGE LOCKSET. HARDWARE TO BE SPECIFIED BY OWNER. |
| TYPE 2: | INTERIOR RESIDENTIAL GRADE DOOR WITH EXTERIOR KNOB. OWNER TO SPECIFY HARDWARE. |
| TYPE 3: | EXTERIOR RESIDENTIAL GRADE DOOR WITH SECURITY LOCKSET. OWNER TO SPECIFY HARDWARE. |
| TYPE 4: | INTERIOR RESIDENTIAL GRADE DOOR WITH KNOBS ON BOTH SIDES. OWNER TO SPECIFY HARDWARE. |
| TYPE 5: | INTERIOR RESIDENTIAL GRADE DOOR WITH FLUSH MOUNT EXTERIOR PULLS. OWNER TO SPECIFY HARDWARE. |
| TYPE 6: | EXISTING EXTERIOR RESIDENTIAL GRADE DOOR. USE EXISTING HARDWARE. |
| TYPE 7: | INTERIOR RESIDENTIAL GRADE DOOR WITH FLUSH MOUNT PULLS ON BOTH SIDES. OWNER TO SELECT HARDWARE. |
| TYPE 8: | INTERIOR RESIDENTIAL GRADE DOOR WITH PRIVACY LOCKSET. OWNER TO SELECT HARDWARE. |
| TYPE 9: | INTERIOR RESIDENTIAL GRADE DOOR WITH FLUSH MOUNT PULLS ON BOTH SIDES AND PRIVACY LOCKSET. OWNER TO SELECT HARDWARE. |

DOOR FRAME TYPES



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DOBBS FERRY, NY 10522

CONSULTANTS

KEY PLAN

REVISIONS

5/24/2021	FILING SET
7/15/2021	PLANNING BOARD SET

SEAL & SIGNATURE



PROJECT:

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:

DOOR SCHEDULE AND DETAILS

DATE: 02/22/2021

SWG NO:

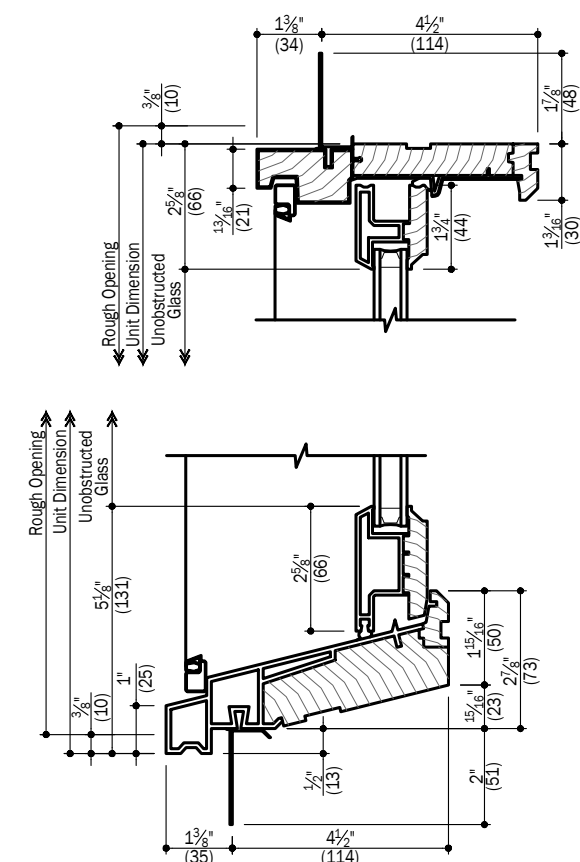
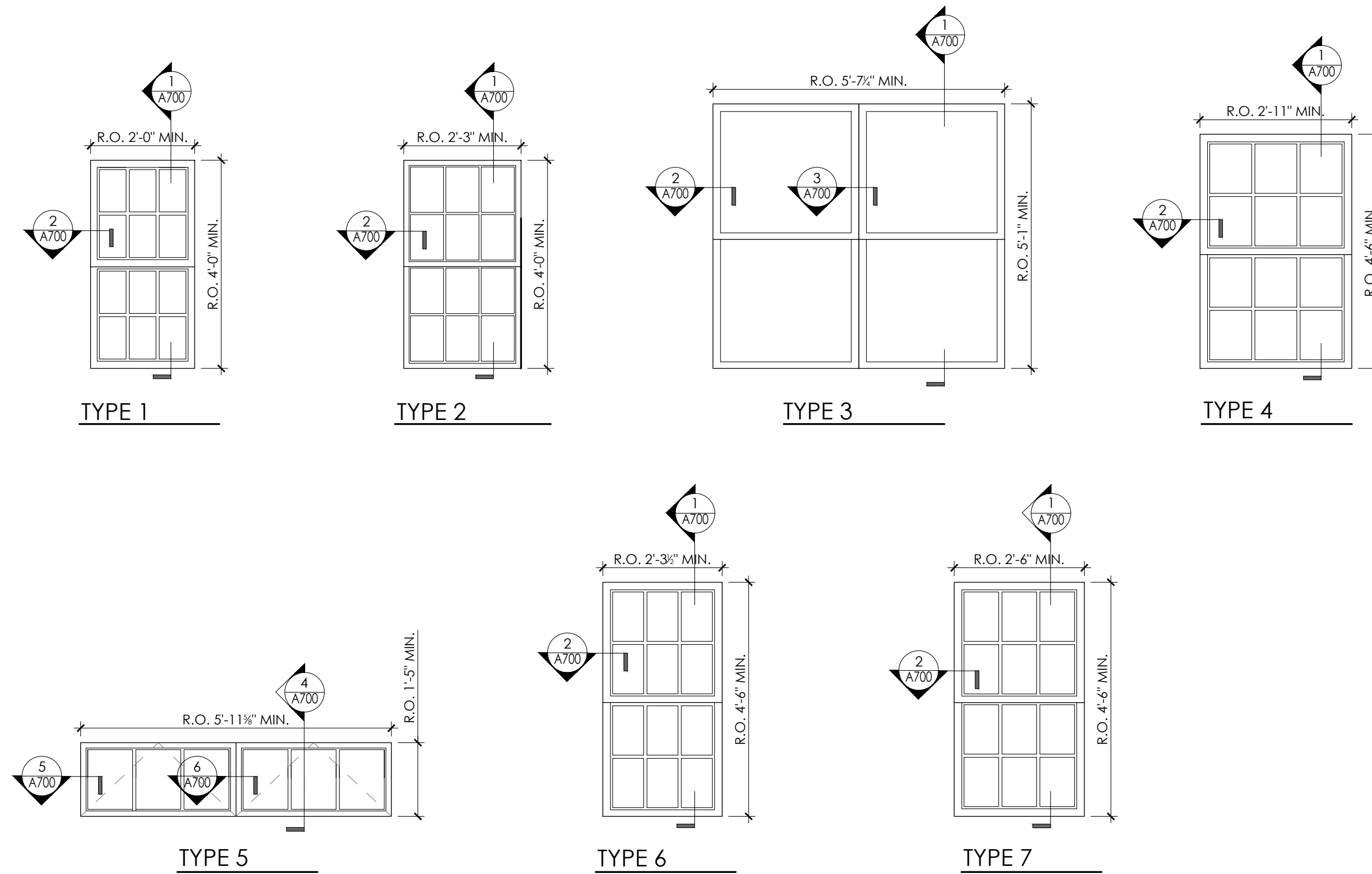
DRAWN BY: LCG

CHECKED BY: MVC

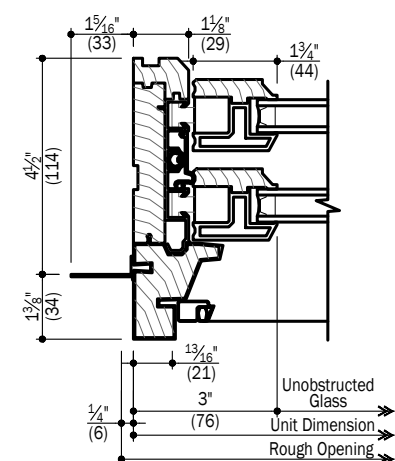
PROJECT NO: 21003

WINDOW SCHEDULE							
WINDOW #	WINDOW TYPE	WIDTH	HEIGHT	MATERIAL	GLAZE	ACTION	COMMENTS
001	TYPE 1	2'-0"	4'-0"	VINYL	THERMAL	DOUBLE HUNG	USE ANDERSEN 400 SERIES WINDOW. ALL WINDOWS TO HAVE MINIMUM U-35 FACTOR.
002	TYPE 2	2'-3"	4'-0"	VINYL	THERMAL	DOUBLE HUNG	USE ANDERSEN 400 SERIES WINDOW. ALL WINDOWS TO HAVE MINIMUM U-35 FACTOR.
003	TYPE 3	5'-7 1/2"	5'-1" (V.I.F.)	WOOD	THERMAL	DOUBLE HUNG DOUBLE WINDOW	MATCH EXISTING WINDOWS IN FAMILY ROOM IN SIZE, STYLE, FINISH, AND COLOR. ALL WINDOWS TO HAVE MINIMUM U-35 FACTOR.
004	TYPE 4	2'-11"	4'-6"	VINYL	THERMAL	DOUBLE HUNG	USE ANDERSEN 400 SERIES WINDOW. ALL WINDOWS TO HAVE MINIMUM U-35 FACTOR.
005	TYPE 5	5'-11 5/8"	1'-5"	VINYL	THERMAL	DOUBLE AWNING	USE ANDERSEN 400 SERIES WINDOW. ALL WINDOWS TO HAVE MINIMUM U-35 FACTOR.
006	TYPE 2	2'-3"	4'-0"	VINYL	THERMAL	DOUBLE HUNG	USE ANDERSEN 400 SERIES WINDOW. ALL WINDOWS TO HAVE MINIMUM U-35 FACTOR.
007	TYPE 2	2'-3"	4'-0"	VINYL	THERMAL	DOUBLE HUNG	USE ANDERSEN 400 SERIES WINDOW. ALL WINDOWS TO HAVE MINIMUM U-35 FACTOR.
008	TYPE 6	2'-3 3/4" (V.I.F.)	4'-6" (V.I.F.)	VINYL	THERMAL	DOUBLE HUNG	EXISTING WINDOW RELOCATED FROM FORMER BEDROOM 1.
009	TYPE 6	2'-3 3/4" (V.I.F.)	4'-6" (V.I.F.)	VINYL	THERMAL	DOUBLE HUNG	EXISTING WINDOW RELOCATED FROM FORMER BEDROOM 1.
010	TYPE 7	2'-6" (V.I.F.)	4'-6" (V.I.F.)	VINYL	THERMAL	DOUBLE HUNG	MATCH EXISTING WINDOW RELOCATED FROM LIVING ROOM IN SIZE, STYLE, FINISH, AND COLOR (SEE WINDOW 011). ALL WINDOWS TO HAVE MINIMUM U-35 FACTOR.
011	TYPE 7	2'-6" (V.I.F.)	4'-6" (V.I.F.)	VINYL	THERMAL	DOUBLE HUNG	EXISTING WINDOW RELOCATED FROM LIVING ROOM.

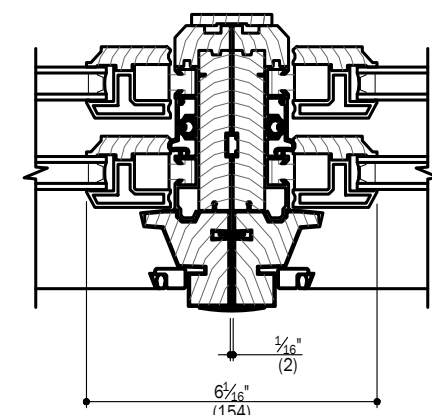
WINDOW TYPES



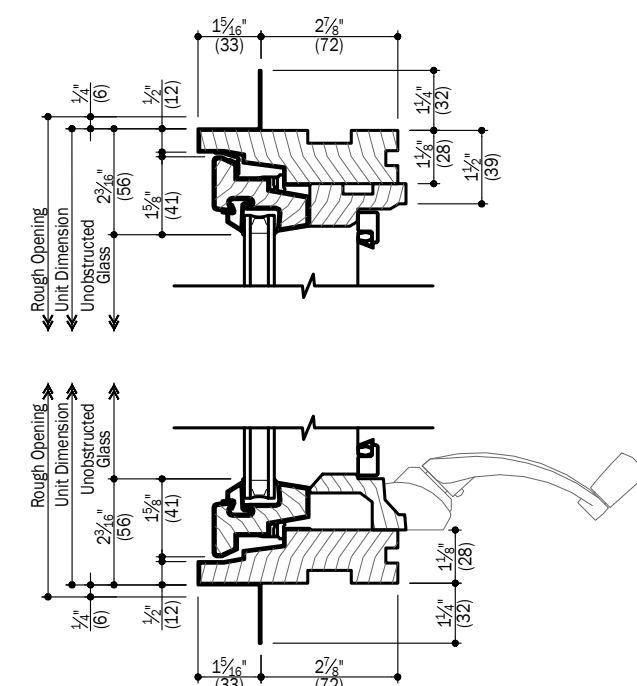
1 DOUBLE HUNG HEAD/SILL DETAIL
Scale: 1/2" = 1'-0"



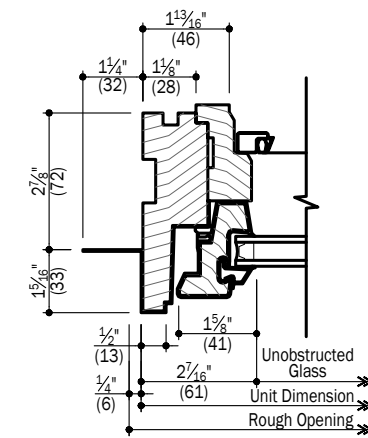
3 DOUBLE HUNG VERT. JOINT DETAIL
Scale: 3"= 1'-0"



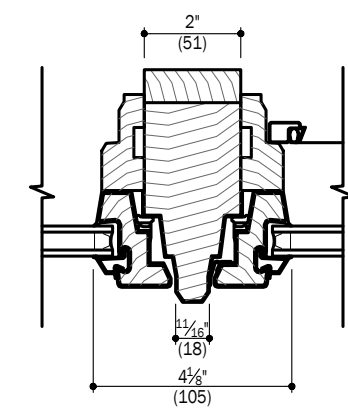
4 AWNING HEAD/SILL DETAIL
Scale: 1/2" = 1'-0"



5 AWNING JAMB DETAIL
Scale: 3"= 1'-0"



6 AWNING VERT. JOINT DETAIL
Scale: 3"= 1'-0"



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MATTHEW CORDONE
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DESIGN + PRESERVATION + PLANNING

OWNERS:

AVI & RUTHIE BEN-ZVI
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

CONSULTANTS

KEY PLAN

REVISIONS

5/24/2021	FILING SET
7/15/2021	PLANNING BOARD SET

SEAL & SIGNATURE



PROJECT:

SINGLE FAMILY HOME ADDITION
243 JUDSON AVENUE
DOBBS FERRY, NY 10522

DRAWING TITLE:

WINDOW SCHEDULE AND DETAILS

DATE:	02/22/2021	DWG NO:
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DRAWN BY: LCG

PROJECT NO: 21003