

GENERAL NOTES:

- ARCHITECTURAL SERVICE PROVIDED IN THESE DRAWINGS IS LIMITED TO ROOM ARRANGEMENT, DIMENSIONS, STRUCTURAL DESIGN, & CONSTRUCTION DETAILS SHOWN.
- THE ARCHITECT WILL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM DEPICTED OR IMPLIED INFORMATION WITHOUT WRITTEN AUTHORIZATION FROM HIS OFFICE.
- THE FOLLOWING, UNLESS PROVIDED FOR IN THESE DRAWINGS, ARE TO BE FURNISHED BY THE OWNER.
 - SOIL BEARING CAPACITY.
 - INTERIOR MATERIALS, FINISHES, CABINETRY & HARDWOOD.
 - STANDARDS OF QUALITY & ACCEPTABLE MANUFACTURERS LIABILITY FOR PREFABRICATED ITEMS.
- CONSTRUCTION SHOWN & SPECIFIED SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, WHERE LOCAL CODES CONFLICT WITH THESE DRAWINGS, CODE REQUIREMENTS TAKE PRECEDENCE.
- ENTIRE CONSTRUCTION SHALL BE IN ACCORDANCE TO THE NEW YORK UNIFORM CONSTRUCTION CODE & THE INTERNATIONAL BUILDING CODE - 2010 N.J. EDITION AS ADAPTED BY THE STATE OF NEW YORK. & ALL GOVERNING CODES & BE APPROVED BY THEIR RESPECTIVE AGENCIES.
- ALL CONTRACTORS & SUB CONTRACTORS ARE RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS AS SPELLED OUT IN THESE NOTES. ALL PARTIES MUST CAREFULLY STUDY ALL NOTES FOR ITEMS WHICH MAY PERTAIN TO THEIR TRADES. FAILURE TO READ THE NOTES DOES NOT PERMIT THE CONTRACTOR TO DEVIATE FROM THEIR REQUIREMENTS.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS & CHECK ALL MEASUREMENTS ON JOB & SHALL BE RESPONSIBLE FOR SAME & IF ANY DEVIATIONS ARE FOUND THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES IN WRITING.
- ALL OPENING IN WALLS, FLOORS, ROOFS, ETC. TO BE LOCATED & SIZED AS PER MECHANICAL & ARCHITECTURAL REQUIREMENTS, EVEN IF NOT SHOWN AS SUCH, ON STRUCTURAL DRAWINGS.
- ALL WALLS SHALL BE ADEQUATELY BRACED UNTIL THE ENTIRE STRUCTURAL FRAME HAS BEEN INSTALLED & IS STRUCTURALLY SOUND.
- ALL CONTRACTORS & SUB CONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS, SAFETY & SECURITY ON THE JOB SITE. ARCHITECTURAL OFFICE & ITS AGENTS & EMPLOYEE ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE & SHALL BE HELD HARMLESS & INDEMNIFIED BY ALL CONTRACTORS & SUB CONTRACTORS FROM ANY & ALL CLAIMS, LOSSES, SUITS & LEGAL ACTION WHATSOEVER ARISING FROM THE PERFORMANCE OF WORK ON THIS PROJECT.
- CONTRACTOR SHALL VISIT SITE PRIOR TO COMMENCEMENT & VERIFY LOCATION & NATURE OF EXISTING ITEMS THAT CAN AFFECT THE WORK. ARCHITECT & OWNER SHALL BE NOTIFIED OF ANY DISCREPANCY BEFORE PROCEEDING.
- GRADES & ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE & SHOULD BE CHECKED AT THE SITE, PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOT SCALE ANY DIMENSIONS FROM THE DRAWINGS.
- CONTRACTOR TO VERIFY LOCATION OF UTILITIES INCLUDING SANITARY SEWER, GRAVITY & FORCE WATER MAINS, GAS, & ELECTRIC PRIOR TO EXCAVATION, & OR CONSTRUCTION.
- PROVIDE WATER-RESISTANT GYPSUM BACKER BD. IN ALL AREAS SUBJECTED TO REPEATED DAMP CONDITIONS & MOISTURE ACCUMULATIONS SUCH AS BATHTUBS & SHOWER COMPARTMENTS COMPLYING WITH ASTM C630.
- ALL EGRESS WINDOWS TO COMPLY WITH MINIMUM OPENING REQUIREMENTS:
 - 16.1. CLEAR OPENING AREA OF 5.7 SQ. FT.

DEMOLITION NOTES:

- NO WORK SHALL COMMENCE PRIOR TO OBTAINMENT OF ALL REQUIRED PERMITS FROM THE DEPARTMENT OF BUILDING & OTHER AGENCIES HAVING JURISDICTION OVER THE WORK.
- THIS CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE BUILDINGS REGULATION FOR THE WORK, THE PLANS, THE SPECIFICATIONS & THE SCOPE OF THE WORK BY VISITING THE SITE PRIOR TO SUBMISSION OF A BID, ANY ADMISSION, DISCREPANCY (IES) OR ERROR, NOTED SHALL BE PROMPTLY BROUGHT TO THE ARCHITECTS ATTENTION FOR PROPER ACTION. ANY QUESTIONS OR ITEMS OF CLARIFICATION SHALL BE COMMUNICATED WITH THE ARCHITECT.
- PROVIDE PUBLIC PROTECTION DURING REMOVAL OF DEBRIS.
- ANY AREA IN WHICH NO DEMOLITION OCCURS SHALL BE PROTECTED AT ALL TIMES.
- ALL MEANS OF EGRESS SHALL REMAIN FREE & CLEAR OF ALL DEBRIS.
- CONTRACTOR SHALL TAKE PROPER PRECAUTION TO PREVENT DAMAGE TO EXISTING CONSTRUCTION WHICH IS TO REMAIN.
- DEMOLITION CONTRACTOR SHALL PREVENT DIRT & DUST FROM INFILTRATING INTO THE EXISTING DUCT WORK, & PERMETER INDUCTION UNIT.
- ALL FIRE ALARMS, ANNUNCIATORS, SMOKE DETECTORS, EXTINGUISHERS, FIRE HOSES, EXIT LIGHTS, OR ANY FIRE SAFETY EQUIPMENT OR DEVICE ETC. SHALL BE LEFT INTACT & SHALL BE PROTECTED FROM DAMAGE AT ALL TIMES, & LEFT IN WORKING ORDER.
- NON-BEARING DRYWALL & MASONRY PARTITIONS SHALL BE REMOVED AS NOTED ON PLAN.
- ALL HEAVY & NOISY DEMOLITION WORK SHALL BE DONE ON OVERTIME. ADHERE TO BUILDING MANAGEMENT RULES & REGULATIONS FOR CONSTRUCTION.
- REMOVE ENTIRE PREMISES CLEAN & READY FOR NEW CONSTRUCTION.
- THE DEMOLITION CONTRACTOR SHALL CONTAINERIZE ALL DEBRIS & BROOM CLEAN ALL DEMOLISHED WORK AREAS AT THE END OF EACH WORK DAY.
- PROVIDE ADEQUATE TEMPORARY LIGHTING THROUGHOUT ENTIRE SPACE. TEMPORARY LIGHTING SHALL BE LEFT ON CONTINUOUS CIRCUIT AT PATHS, CORRIDORS, ETC. IN ORDER TO ILLUMINATE MEANS OF EGRESS PATH TO FIRE EXITS.
- WHERE PLUMBING FIXTURES ARE REMOVED, ROUGHING SHALL ALSO BE REMOVED & CAPPED AS DIRECTED BY BUILDING MANAGEMENT. ALL DEACTIVATED PIPES AIR SLABS ABOVE & BELOW SHALL BE REMOVED BACK TO ITS RESPECTIVE SLAB PLATE.
- FOR ANY ELECTRICAL REMOVALS, COORDINATE W/ BUILDING MANAGEMENT.
- CONTRACTOR SHALL HAVE AN ELECTRICIAN ON PREMISES AT ALL TIMES DURING DEMOLITION AFFECTING ELECTRICAL LINES TO THIS OR SUPPORTING AREAS.
- REMOVE ALL UNNECESSARY ELECTRICAL CONDUITS & WIRING. CLEAR ELECTRICAL PANEL OF ALL UNUSED WIRING & IDENTIFY ALL AVAILABLE CIRCUITS AS REQUIRED.
- THIS CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR COMPLIANCE WITH ALL BUILDING DEPARTMENT REGULATIONS, HEALTH, FIRE & SAFETY STANDARDS (FEDERAL, STATE & LOCAL) & COMPLY WITH THE BUILDING MANAGEMENT RULES & REGULATIONS FOR ALTERATION WORK AT THE SPECIFIED SITE.
- IN THE EVENT THAT AN ASBESTOS CONDITION IS PRESENT AT THE SITE, IT SHALL BE THE DUTY OF THE CLIENT & ITS CONTRACTOR TO OBSERVE ALL FEDERAL, STATE, & LOCAL LAWS, RULES, REGULATIONS & ORDINANCES IN REGARD TO HAZARDOUS SUBSTANCES, TO PROVIDE APPROPRIATE PROTECTIONS & ALL APPROPRIATE ACTION AS MAY BE REQUIRED TO PROTECT THE PERSONS WORKING ON THE CONSTRUCTION AS WELL AS PERSONS THAT WILL OCCUPY THE SITE UPON COMPLETION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE LEGALLY OR OTHERWISE FOR ANY DAMAGES &/OR CLAIMS RESULTING FROM NON-COMPLIANCE.
- ARRANGEMENTS OF ELEVATORS OR OTHER HOSTING FACILITIES FOR HANDLING MATERIALS & OTHER EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR INCLUDING COST, WHICH SHALL BE PART OF DEMOLITION COST OR BID.
- ALL EXPOSED STEEL SHALL BE REFIREFROOFED. ALL BUILDING CORE & COLUMN PENETRATIONS SHALL BE SEALED WITH MATERIALS HAVING THE SAME FIRE RATINGS AS THE ORIGINAL. THIS WORK MUST BE DONE PRIOR TO COMPLETION OF ALL DEMOLITION WORK & FINAL BUILDING DEPARTMENT "CERTIFICATE OF COMPLETION" FOR THIS PHASE OF PROJECT.
- REMOVED & DISCARD ANY FOUNT FURNITURE, EQUIPMENT, STATIONARY, BOXES, ETC. AS DIRECTED BY CLIENT.
- REMOVE ALL EXISTING CARPETING THROUGHOUT TENANT SPACE.
- CONTRACTOR TO REMOVE ALL THE TENANTS MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS THROUGHOUT.

GYPSUM BOARD

- ALL GYPSUM WALLBOARD APPLICATIONS SHALL BE IN ACCORDANCE TO GA-216 (APPLICATION & FINISHING OF GYPSUM BOARD) & GA-600 (FIRE RESISTANCE DESIGN MANUAL).
- IN ALL AREAS SUBJECTED TO REPEATED DAMP CONDITIONS & MOISTURE ACCUMULATION (BATHTUB & SHOWER COMPARTMENTS, LAUNDRY AREAS, ETC.) WATER-RESISTANT GYPSUM BACKER BOARD COMPLYING WITH ASTM C630 (SPECIFICATION FOR WATER RESISTANCE GYPSUM BACKING BOARD) SHALL BE USED.
- ALL GYPSUM BOARD MATERIALS SHALL CONFORM TO STANDARDS OF ASTM C36 (GYPSUM WALLBOARD), ASTM C474, C475 (JOINT REINFORCING, TAPE & COMPOUND), & ASTM C514 (NAILS FOR GYPSUM BOARDS).
- ALL BEARING WALLS IN 5 - A CONSTRUCTION TO BE 5/8" F.G. 1 H.R. F.R. CONSTRUCTION

FRAMING NOTES:

- ALL STRUCTURAL OR NON-STRUCTURAL & ITS FASTENING SHALL CONFORM TO THE 'NATIONAL DESIGN SPECIFICATION' REQUIRED BY THE M.L.M.A. & CODE STANDARDS LISTED UNDER GENERAL CONDITIONS.
- ALL LUMBER SHALL BE AIR OR KILN DRIED & SHALL BE FREE FROM LOOSE LARGE KNOTS, EXCESS SAP OR OTHER DEFECTS WHEREBY ITS STRENGTH MAY BE IMPAIRED.
- ALL STRUCTURAL LUMBER TO BE NO. 2 DOUGLAS FIR.
- SET ALL JOIST & BEAMS WITH NATURAL CAMBER UP. ENDS LAPPED OVER BEARING SHALL BE SECURELY SPIKED TOGETHER ON AT LEAST 1 1/2" BEARINGS ON ALL JOISTS.
- SILL PLATE SHALL BE 2" X 6" GALVANIZED LUMBER ANCHORED WITH 1/2" @ HOOKED BOLTS (1'-6" LONG) SPACED AT 5'-0" O/C MAX. PROVIDE SILL SEAL BELOW PLATE.
- ALL FLOOR SHEATHING TO BE CDX EXTERIOR GRADE, UNLESS NOTED OTHERWISE.
- EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR PLYSCOPE SHEATHING IN 4' X 8' PANELS.
- PARTITIONS SHALL BE FRAMED WITH 2" X 4" OR 2" X 6" AT 16" O/C. HEM-FIR STUD GRADE OR BETTER. FIRE BLOCKING SHALL BE PLACED BETWEEN STUDS MIDWAY BETWEEN FLOOR & CEILING FOR ALL BEARING PARTITIONS.
- PROVIDE METAL OR 3/4" X 3" MOOD CROSS BRIDGING AT MAXIMUM OF 8'-0" O/C. & SOLID BRIDGING AT JOIST END WITH A SLOPE OF LESS THAN 1:12.
- DOUBLE ALL JOISTS UNDER PARTITIONS PARALLEL TO THEM & FOR ALL HEADERS & TRIMMERS.
- UNDER-FLOORING SHALL BE (2) LAYERS 5/8" PLYWOOD SECURELY NAILED & GLUED TO EACH BEARING & ALL EDGES SUPPORTED.
- ROOF SHEATHING SHALL BE 1/2" EXTERIOR PLYSCOPE, SUPPORTED AT ALL EDGES. FOR A SPACING RAFTER GREATER THAN 16" APART THEN 5/8" EXTERIOR PLYSCOPE ROOF SHEATHING SHALL BE USED.
- PROVIDE HEADERS FOR OPENINGS IN FRAME WALLS AS FOLLOWS:
 - 13.1. FOR OPENINGS FROM: 0' - 0" TO 2' - 0" USE (2) 2" X 4"
 - 13.2. 2' - 0" TO 3' - 0" USE (2) 2" X 6"
 - 13.3. 3' - 0" TO 5' - 0" USE (2) 2" X 8"
 - 13.4. 5' - 0" TO 7' - 0" USE (2) 2" X 10"
 - 13.5. 7' - 0" TO 8' - 0" USE (2) 2" X 12"
- INTERIOR WOOD STAIRS SHALL BE CONSTRUCTED AS FOLLOWS:
 - 14.1. STRINGERS: CLEAR SOFTWOOD WITH MINIMUM EFFECTIVE DEPTH OF 12"
 - 14.2. TREADS: 9" MINIMUM WIDTH/RESIDENTIAL, 11" MIN. WIDTH / COMMERCIAL
 - 14.3. RISERS: SOFTWOOD - NOT REQUIRED ON BASEMENT STAIRS (8 1/4" MAXIMUM HIGH/RESIDENTIAL) (7 MAXIMUM HIGH/COMMERCIAL) EXTERIOR WOOD STAIRS SHALL BE OF GCA TREATED MATERIAL.
- IF PRE-ENGINEERED WOOD TRUSSES & JOISTS (I.E. TJI, SP) ARE USED, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SEALED BY LICENSED ENGINEER FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION.
- ALL GLUE LAMINATED BEAMS SPECIFIED SHALL BE OF 'ARCHITECTURAL GRADE' UNLESS OTHERWISE NOTED & SHALL CONFORM WITH 'VOLUNTARY PRODUCT STANDARDS' PS 56-73; STRUCTURAL GLUED LAMINATED TIMBER.
- ALL NAILING, BOLTING & OTHER CONNECTIONS SHALL BE AS THE INTERNATIONAL RESIDENTIAL CODE - 2010 N.J. EDITION BUILDING CODE & MANUFACTURER'S SPECIFICATIONS.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE OR EARTH SHALL BE PRESSURE - TREATED.
- ALL ALL EXPOSED EXTERIOR STRUCTURAL LUMBER TO BE PRESSURE TREATED EXTERIOR WOOD.
- ALL EXPOSED EXTERIOR NAILS, BOLTS, & OTHER CONNECTORS OR FASTENERS TO BE GALVANIZED & APPROVED BY ARCHITECT.
- NO HOLES LARGER IN DIAMETER THAN 1/4" OF JOISTS DEPTH SHALL BE MADE WITHOUT APPROVAL OF ARCHITECT.
- NO HOLES ARE TO BE PERMITTED IN ANY WOOD GIRDER.
- ALL FLOOR SHEATHING TO BE CDX EXTERIOR GRADE, GLUED & NAILED TO FLOOR JOISTS (NAILS TO BE 'D' ROBIN COATED).
- ALL WOOD JOIST, RAFTERS, COLUMNS, OR MEMBERS OVER EXPOSED CRAWL SPACES OR IN AREAS SUSCEPTIBLE TO MOISTURE BUILD-UP SHALL BE PRESSURE TREATED.

CARPENTRY NOTES

- ALL FRAMING SHALL BE FURRED WITH A MINIMUM FIBER STRESS (FBI) OF 1,450 LB. / SQ. IN. LUMBER SHALL BE LIVE STOCK, THOROUGHLY SEASONED, & WELL MANUFACTURED.
- MOISTURE CONTENT OF FRAMING SHALL NOT EXCEED 19% AT TIME OF INSTALLATION.
- PLYWOOD SHALL COMPLY WITH THE APPLICABLE COMMERCIAL STANDARDS & SHALL BE IDENTIFIED AS ONE OF THE FOLLOWING TYPES:
 - 3.1. EXTERIOR TYPE IN HARDWOOD PLYWOOD TERMED AS 'TECHNICAL' OR 'EXT.' OR 'TYPE 1', OSB OR ASPENTE CAN BE USED FOR ANY TYPE OF STRUCTURE.
 - 3.2. STRUCTURAL - INTERIOR TYPE (STRU - INT.) CAN BE USED FOR ALL INTERIOR CONSTRUCTION & FOR WEATHER.
 - 3.3. INTERIOR TYPE - 'INT.' OR 'TYPE 2' - FOR ALL INTERIOR WORK, NOT TO BE USED IN BATHROOMS OR SHOWER ENCLOSURES.
- ALL MEMBERS SHALL BE PROPERLY BRACED, PLUMBED, & LEVELED. A SUFFICIENT NUMBER OF NAILS, SCREWS, & BOLTS SHALL BE USED TO INSURE THE RIGIDITY OF THE CONSTRUCTION. DO NOT IMPAIR STRUCTURAL MEMBERS BY IMPROPER DRILLING OR CUTTING.
- INSTALL GIRDER MEMBERS WITH JOINTS OVER SUPPORTS. PROVIDE 1/2" AIR SPACE AT ENDS & SIDES ON GIRDERS FRAMED INTO MASONRY. WOOD ENDS UNDER ENDS OF GIRDERS ARE NOT ACCEPTABLE.
- CORNER POSTS SHALL BE FORMED WITH NO LESS THAN THREE, 2" X 4" S TO RECEIVE THE INTERIOR FINISH. PLATES SHALL CONSIST OF ONE 2" X 4" SOLE PLATE & TWO, 2" X 4" MEMBERS OF TOP PLATE. PROVIDE ADEQUATE NAIL RESISTANCE TO RACKING BY CORNER BRACING OR ANCHORAGE OF STRUCTURAL SHEATH TO PLATES.
- INSTALL JAMB STUDS AT ALL OPENINGS TO FORM GRID ENCLOSURES FOR INSTALLATION OF WINDOWS & DOORS. JAMB STUDS SHALL EXTEND IN ONE PIECE FROM HEADER TO SOLE PLATE.
- PROVIDE BLOCKING AS NECESSARY FOR THE APPLICATION OF SIDING, SHEATHING, WALLBOARD, FIRESTOPPING & OTHER INSTALLATIONS.
- PROVIDE NAILERS, NAILING STRIPS, & GROUNDS AS NECESSARY FOR ATTACHMENT OF TRIM, FINISH, & OTHER WORK.
- FIT WOOD SIDING ACCURATELY INTO POSITION WITHOUT SPRINGING OR OTHERWISE FORCING THE SIDING INTO PLACE. ENDS OF HORIZONTAL SIDING SHALL BE OVER FRAMING MEMBERS. THE SHORTER PIECES SHALL BE UNIFORM & DISTRIBUTED THROUGHOUT EACH AREA. PRE-DRILLED ENDS OF SIDING IF NECESSARY TO PREVENT SPLITTING WHEN NAILED.
- ALL FINISH WORK SHALL BE INSTALLED STRAIGHT, PLUMB, LEVEL WITH CLOSELY FITTED JOINTS, RIDGIDLY SECURED. BLIND NAILING SHALL BE USED TO THE EXTENT PRACTICAL. FACE NAILING SHALL BE SET & STOOPED WITH NON-STAINING PUTTY TO MATCH THE FINISH. STAGGER, GONGAL OR FLAGE JOINTS IN UNOBTRUSIVE LOCATIONS.
- SECURELY ANCHOR DOOR FRAMES TO THE SUPPORTING CONSTRUCTION. INSTALL TRIM WITH FINE FINISHING NAILS & GLUE WHERE REQUIRED TO ASSURE PERMANENT TIGHT JOINTS.

MASONRY NOTES:

- ALL MASONRY TO BE LAID IN THE RUNNING BOND METHOD.
- ALL MASONRY WALLS SHALL HAVE THE BOTTOM 2 COURSES FILLED SOLID WITH CONCRETE AND A MINIMUM OF 8" SOLID CAP UNDER FRAMING MEMBERS. NO CINDER BLOCK IS PERMITTED IN EXTERIOR BEARING WALLS.
- PROVIDE 8" SOLID BRICK MASONRY UNDER GIRDER ENDS.
- ALL BRICK VENEER SHALL BE ANCHORED TO MASONRY OR WOOD FRAMING WITH ANODIZED TIES 16" O/C HORIZONTALLY AND 16" O/C VERTICALLY.
- BRICK VENEER SHALL BEAR ON 12" BLOCK FOUNDATION WALL. UNDER FIRST COURSE OF BRICK PROVIDE FLASHING W/ KEEPHOLES AT 8'-0" O/C.
- HOLLOW LOAD BEARING UNITS SHALL BE MADE OF CONCRETE AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1,000 POUNDS PER SQUARE INCH.
- SOLID LOAD BEARING UNITS SHALL BE MADE OF CONCRETE AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1,000 POUNDS PER SQUARE INCH.
- ALL MORTAR SHALL BE OF TYPE M OR S (UNLESS OTHERWISE SPECIFIED), AND IN ACCORDANCE TO REQUIREMENTS OF A STM C270 OR C476 STANDARDS AND BE OF A COLOR TO MATCH THE MASONRY.
- ALL GROUT SHALL BE OF NON-SHRINK VARIETY AND SHALL COMPLY TO ASTM C404 STANDARDS. GROUT SHALL BE USED TO SET ALL STRUCTURAL MEMBERS, SET ON CONCRETE OR MASONRY.
- COLD WEATHER CONSTRUCTION: MASONRY LAID IN TEMPERATURE BELOW 40 DEGREES (4 DEG. C.) SHALL BE PROTECTED IN ACCORDANCE TO IMACG.
- ALL MASONRY WALLS SHALL BE LATERALLY BRACED OF SUFFICIENT MEANS BY HORIZONTAL BRACING BY FLOORS, ROOFS, OR VERTICAL BRACING OF COLUMNS AS SPECIFIED IN NBS 211, NBS H14, ACI 531, NCH TR15-B OR BIA STANDARDS DURING CONSTRUCTION.
- ALL SOIL FILL SHALL BE OF SUITABLE MATERIAL, & COMPACTED TO 95%.
- PROVIDE 4" OF CRUSHED STONE AND 5 MIL. VISQUEEN VAPOR BARRIER BELOW ALL CONCRETE SLABS ON EARTH, EXCEPT AS NOTED.
- ALL CONCRETE SLABS ON GRADE SHALL HAVE SUPER PLASTICIZER AND REINFORCED WITH POLYESTER FIBERS AS PER I.R. GRACE, INC. SPECIFICATIONS. ALL SLABS ON GRADE SHALL HAVE A MAXIMUM SIZE OF 20"-0" X 20"-0" BETWEEN SAW CUTS UNLESS OTHERWISE NOTED.
- ALL EXPOSED INTERIOR CONCRETE FLOOR SLABS HAVE A STEEL TROXEL FINISH WITH HARDENER AND SEALER COATING, EXCEPT AS NOTED.
- ALL SLABS SUPPORTED ON OPEN WEB STEEL JOISTS OR STRUCTURAL STEEL SHALL HAVE SUPER PLASTICIZER AND POLYESTER FIBERS AS PER P. R. GRACE, INC. SPECIFICATIONS AND ADDITIONAL REINFORCINGS WITH WELDED WIRE FABRIC AS SHOWN ON PLANS. THE MAXIMUM DIMENSION BETWEEN SAW CUTS SHALL BE 15'-0" X 15'-0".
- PROVIDE DUR-O-WALL EVERY 16" O/C HORIZONTALLY UNLESS OTHERWISE NOTED. PROVIDE ICON INSULATION FOR ALL EXTERIOR WALLS.

PLUMBING NOTES

- ALL WORK TO BE DONE IN ACCORDANCE WITH NATIONAL STANDARD PLUMBING CODE LATEST EDITION.
- CONTRACTOR TO SECURE & PAY FOR ALL NECESSARY PERMITS & FEES.
- CONTRACTOR SHALL VERIFY ALL EXISTING OR NEW CONDITIONS OF ALL EQUIPMENT, PIPING, PIPE LOCATIONS, ETC. & NOTIFY ARCHITECT / ENGINEER OF ALL DISCREPANCIES PRIOR TO SUBMITTING A PROPOSAL & BEFORE STARTING WORK.
- PLUMBING SYSTEM SHALL BE PROPERLY PROTECTED FROM FREEZING OR OVERHEATING AS REQUIRED.
- ALL EXTERIOR OPENINGS FOR PLUMBING EQUIPMENT, VENTS, PIPING SHALL BE MADE WATERTIGHT.
- ALL PLUMBING FIXTURES OR DRAINS SHALL BE SEPARATELY TRAPPED BY WATER SEAL, TRAP & THE VERTICAL DISTANCE FROM THE FIXTURE OUTLET TO THE TRAP, WHICH SHOULD NOT EXCEED 24"; NO DOUBLE TRAPPING PERMITTED.
- DO NOT SCALE FROM THESE DRAWINGS.
- VERIFY LOCATION OF ALL RUNS OF PIPING WITH ARCHITECT BEFORE STARTING INSTALLATION.
- PITCH HORIZONTAL SANITARY & WASTE DRAINAGE PIPING 3/8" OR LESS 1/4" PER FOOT MIN. OVER 3/8" PITCH 1/8" PER FOOT MIN.
- SPACINGS BETWEEN CLEANOUTS SHALL NOT EXCEED 75'.
- SOIL, WASTE & STORM PIPING ABOVE GRADE SHALL BE PVC SCH 40.
- GAS PIPING SHALL BE STANDARD WEIGHT SCHEDULE 40 BLACK STEEL PIPE WITH GALVANIZED MALLEABLE IRON FITTINGS.
- HOT & COLD WATER PIPING SHALL BE INSTALLED WITH 1/2" ARMAFLEX AS REQUIRED.
- SOLDER TO BE LEAD FREE TYPE.
- PROVIDE DRAIN PAN & DRAIN FOR ALL HOT WATER HEATERS ON UPPER FLOORS ONLY.

CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM TO THE NEW YORK STATE UNIFORM CONSTRUCTION CODE & THE LOCAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE & FAMILIARIZING HIMSELF WITH THE EXISTING CONDITIONS & SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS & COMMENCING WORK.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SAFE WORKING CONDITIONS & SHALL OBSERVE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES & THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES & JOB SITE CONDITIONS INCLUDING SAFETY. CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER TO PROTECT WORKMEN, OCCUPANTS & THE PUBLIC FROM INJURY & ACQUISITION PROPERTY SHALL BE PROTECTED FROM DAMAGE BY USE OF SCAFFOLDING, UNDERPINNIG OR OTHER APPROVED METHOD. THE CONTRACTOR SHALL REPAIR ANY & ALL DAMAGE CAUSED DURING OR RESULTING FROM HIS OPERATIONS IN KIND TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A CLEAN DEBRIS FREE CONDITION THE OUST RESULTING FROM REMOVALS SHALL BE CONTROLLED SO AS TO PREVENT ITS SPREAD TO OCCUPIED PORTIONS OF THE BUILDING & TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA.
- CONTRACTOR SHALL SECURE & PAY FOR ALL REQUIRED PERMITS, FEES, APPROVALS, ETC. PRIOR TO COMMENCING WORK & SHALL SECURE CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL DEMOLISHED MATERIAL OFF SITE IN AN APPROVED MANNER. THE OWNER SHALL E CONSULTED PRIOR TO DISPOSAL OF ANY SALVAGED OR EXCESS MATERIAL AT THE COMPLETION OF THE PROJECT.
- UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBITS, ETC. SHALL BE REMOVED & THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.
- ALL WORK SHALL BE SCHEDULED IN COMPLIANCE WITH THE OWNER'S REQUIREMENTS FOR THE USE OF THE EXISTING FACILITY.
- CONTRACTOR SHALL FURNISH ALL EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK INDICATED IN A SAFE & ORDERLY MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION & TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED DURING THE COURSE OF HIS WORK & TO ENSURE THE OWNER'S FACILITY TO BE OPERATIONAL.
- THE CONTRACTOR SHALL REVIEW DRAWING & FIELD VERIFY ALL DIMENSIONS, CONDITIONS & ELEVATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES & ADDRESS ALL QUESTIONS TO ARCHITECT PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING, FILLING & CLEANING UPON COMPLETION OF WORK.
- THE CONTRACTOR SHALL NOT SCALE DRAWING FOR DIMENSIONS ALL WRITTEN OR DIMENSIONED INFORMATION TAKES PRECEDENCE OVER THE DRAWING.
- THE CONTRACTOR SHALL SUBMIT, WHERE REQUIRED, SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO THE START OF FABRICATION OF THOSE ITEMS REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL PROVIDE THE OWNER & ARCHITECT WITH CERTIFICATES OF INSURANCE PRIOR TO STARTING THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING & BRACING OF EXISTING STRUCTURES AS NEEDED TO COMPLETE THE NEW WORK.
- ALL MANUFACTURER'S MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL HANDLED & INSTALLED IN ACCORDANCE TO WITH MANUFACTURERS INSTRUCTIONS & RECOMMENDATIONS WHERE BRAND NAMES & MANUFACTURED PRODUCTS ARE CALLED FOR. APPROVED EQUALS WITH APPLICABLE STANDARDS & SPECIFICATIONS MAY BE SUBSTITUTED WITH WRITTEN PERMISSION OF THE ARCHITECT & THE OWNER. WHENEVER BRAND NAMES OR SPECIFIC PRODUCT SYSTEMS ARE INDICATED IT SHALL BE CLEARLY UNDERSTOOD THAT SUCH IDENTIFICATION IS FOR THE PURPOSE OF ILLUSTRATING THE TYPE OF PRODUCT & DEGREE OF QUALITY DESIRED. SUCH IDENTIFICATION IN NO WAY PRECLUDES THE CONTRACTOR FROM USING PRODUCTS OF OTHER MANUFACTURERS WHICH CAN BE SHOWN IN ADVANCE TO BE OF LIKE & OF EQUAL QUALITY.
- ALL CHANGES SHALL BE REQUESTED IN WRITING & MAY ONLY BE APPROVED IN WRITING BY THE ARCHITECT & THE OWNER PRIOR TO ANY CHANGES BEING MADE.
- THE ARCHITECT HAS THE RIGHT OF REJECT ANY PORTION OF WORK THAT IS POORLY INSTALLED, DOES NOT MEET INDUSTRY STANDARD, UNAUTHORIZED, OR WORK DONE CONTRARY TO THE INTENT OF THE CONTRACT DOCUMENTS. SUCH WORK SHALL BE REPLACED OR REMOVED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK & THE WORK OF HIS SUB-CONTRACTORS FOR A PERIOD ONE YEAR AFTER RECEIVING FINAL ACCEPTANCE & DO ALL REPAIR WORK & REPLACEMENT AS NECESSARY DURING THAT PERIOD AT THE CONTRACTOR'S EXPENSE.
- NO EVENT SHALL STRUCTURAL MEMBERS BE CUT OR DRILLED WITHOUT THE WRITTEN APPROVAL OF A LICENSED STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL PROVIDE SAFE & SANITARY CONDITIONS WHERE DEMOLITION & WRECKING OPERATIONS ARE BEING CARRIED ON WORK SHALL BE EXECUTED IN SUCH MANNER THAT HAZARD FROM FIRE, POSSIBILITY OF INJURY, DANGER TO HEALTH & CONDITIONS WHICH MAY CONSTITUTE A PUBLIC NUISANCE SHALL BE MINIMIZED.

CUTTING & NOTCHING

- NOTCHES:
 - 1.1. THE NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOIST, RAFTER & BEAM SHALL NOT BE MORE THAN ONE-SIXTH THE DEPTH OF THE MEMBER. & SHALL NOT BE MORE THAN ONE-SIXTH THE DEPTH OF THE MEMBER. & SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH. NOTCHES SHALL NOT BE PERMITTED IN THE MIDDLE ONE-THIRD OF THE SPAN.
 - 1.2. THE NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH OF THE DEPTH OF THE MEMBER.
 - 1.3. FOURTH INCH THICK OR THICKER MEMBERS SHALL NOT BE NOTCHED ON THE TENSION SIDE OF THE MEMBER (EXCEPT AT THE ENDS OF THE MEMBER).
 - 1.4. A NOTCH OVER THE SUPPORT IS PERMITTED TO EXTEND THE FULL WIDTH OF THE SUPPORT.
- HOLES:
 - 2.1. HOLES CUT INTO JOISTS, RAFTERS OR BEAMS SHALL NOT BE CUT CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOIST OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD OF THE DEPTH OF THE JOIST.
 - 2.2. IN STUDS FOR BEARING WALLS, NOTCHES & HOLES SHALL NOT BE CUT OR BORED MORE THAN ONE-THIRD THE DEPTH OF THE STUD, WHERE THE STUD IS CUT OR BORED IN EXCESS OF ONE-THIRD OF ITS DEPTH, THE STUD SHALL BE REINFORCED TO BE EQUAL IN STRENGTH TO A STUD NOTCHED NOT MORE THAN ONE-THIRD ITS DEPTH.

ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE & THE LOCAL REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REQUIREMENTS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS. THE ELECTRICAL WORK INCLUDES, BUT IS NOT NECESSARILY LIMITED TO:
 - 1.1. FURNISHINGS & INSTALLING FEEDERS, PANEL BOARDS, BRANCH CIRCUIT WIRING, WALL SWITCHES, RECEPTACLES, OUTLET BOXES, PLATES, CONDUITS, WIRE ALL AS SHOWN.
 - 1.2. FURNISHINGS & INSTALLING COMPLETE WIRE FOR MOTORS, EXHAUST FANS, & PUMPS.
 - 1.3. FURNISHING & INSTALLING LINE VOLTAGE CONNECTIONS, FOR HEATING & AIR-CONDITIONING EQUIPMENT.
 - 1.4. FURNISHING & INSTALLING LIGHTING FIXTURES AS SHOWN & INSTALLING LIGHTING FIXTURES SPECIFIED TO BE SELECTED BY OWNER.
- MATERIALS & EQUIPMENT SHALL COMPLY WITH THE APPLICABLE CURRENT STANDARDS OF UNDERWRITERS LABORATORIES, INC. WHERE SUCH STANDARDS EXIST.
- PROVIDE INDIVIDUAL BRANCH CIRCUIT FOR ANY FIXED APPLIANCES OR EQUIPMENT RATED AT MORE THAN 1400 WATTS.
- RECEPTACLE OUTLETS INSTALLED IN LAVATORIES, GARAGES, & ALL EXTERIOR LOCATIONS SHALL BE OF THE GROUNDING TYPE.
- EXCEPT WHERE OTHERWISE SHOWN ON DRAWINGS, THE MOUNTING HEIGHT FROM THE FLOOR FOR WALL SWITCHES SHALL BE 48" & WALL RECEPTACLES SHALL BE 14".
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH WORK OF TRADES & HAVE HIS WORK SCHEDULED SO AS NOT TO DELAY THE WORK OF OTHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION & APPROVAL OF WIRING, INSTALLATION OF FIXTURES & EQUIPMENT, & FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE LOCAL ELECTRICAL INSPECTIONS.
- ELECTRICAL SERVICE TO BE 200 AMPS & TO HAVE DIRECT METERING FACILITIES ON EXTERIOR & INTERIOR OF BUILDING AS DIRECTED BY THE ARCHITECT IN FIELD.

LUMBER

- ALL LUMBER & FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS RECOMMENDED BY THE NATIONAL FIRE PROTECTION ASSOCIATION.
- STRUCTURAL LUMBER SHALL BE DOUGLAS FIR WITH A BENDING FIBER STRESS OF 1,400 F.S.I. & 1" OF 1,450,000 F.S.I. MAXIMUM MOISTURE CONTENT OF 19%.
- USE WOOD HEADERS AS FOLLOWS (EXCEPT AS OTHERWISE NOTED ON PLANS):
 - 3.1. 0'-0" TO 2'-0" USE (2) 2" X 4"
 - 3.2. 2'-0" TO 2'-6" USE (2) 2" X 6"
 - 3.3. 2'-6" TO 4'-0" USE (2) 2" X 8"
 - 3.4. 4'-0" TO 6'-0" USE (2) 2" X 10"
 - 3.5. 6'-0" TO 8'-0" USE (2) 2" X 12"
 - 3.6. PROVIDE DOUBLE STUD BEARING POST AT BEARING ENDS FOR SPANS OF 4'-0" & OVER.
- ALL STRUCTURAL MEMBERS TO HAVE AT LEAST 3-1/2" SURFACE BEARINGS.
- FIRE RESISTANCE RATING & PROTECTION OF STRUCTURAL MEMBERS SHALL COMPLY WITH TABLE 401 IBC 2010.
- REINFORCE ALL EXISTING STRUCTURAL CONDITIONS TO RECEIVE NEW WORK.
- ALL WOOD ON CONTACT WITH MASONRY, CONCRETE OR SOIL SHALL BE PRESSURE TREATED.
- PROVIDE BRIDGING FOR ALL FLOOR JOIST, CEILING BEAMS & RAFTERS AT INTERVALS OF 8'-0" MAXIMUM.

EXISTING CONDITIONS

- THE ARCHITECT IS NOT RESPONSIBLE TO UNCOVER, INVESTIGATE, EXAMINE, TEST, ANALYZE OR PRESENT METHODS TO MITIGATE, CORRECT OR ELIMINATE THE FOLLOWING CONDITIONS THAT MAY OR MAY NOT BE PRESENT AT THE SITE:
 - 1.1. ASBESTOS, MOLD, RADON, LEAD, ROT, WATER / MOISTURE, ENVIRONMENTAL PROBLEMS, HAZARDOUS MATERIALS, POLLUTANTS, GENERAL DETERIORATION, DETERIORATION OF STRUCTURE AND NON-STRUCTURAL MEMBERS, INADEQUATE SOILS / BEARING CAPACITY, INSECT INFESTATION, TESTING & ADEQUACY OF ELECTRICAL / PLUMBING / MECHANICAL SYSTEM / EQUIPMENT, SUB-SURFACE CONDITIONS, ABOVE GROUND / UNDER GROUND UTILITIES, FIRE / SMOKE DAMAGED, PREVIOUSLY-INSTALLED MATERIALS OR WORKMANSHIP.
 2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OWNER TO HAVE THE EXISTING CONDITIONS VERIFIED IN THE FIELD, INCLUDING THOSE ITEMS LISTED ABOVE, TO DETERMINE IF THE PREMISES IS ADVERSELY AFFECTED BY THE ABOVE-LISTED ITEMS PRIOR TO BEGINNING WORK.
 3. ARCHITECT SHALL BE NOTIFIED IN WRITING OF SUCH FINDINGS.

SITE NOTES

SEE ENGINEERING DRAWINGS PROVIDED BY NY LIC. ENGINEER FOR SITE PLANS, LANDSCAPING, ZONING DATA

INDEX OF CONSTRUCTION DRAWINGS

CS	COVER SHEET / NOTES
A-1	BASEMENT FLOOR PLAN
A-2	1ST FLOOR PLAN
A-3	2ND FLOOR PLAN
A-4	PROPOSED ELEVATIONS
A-5	SKY EXPOSURE PLANE

APPLICABLE CODES AND REFERENCES

- INTERNATIONAL BUILDING CODE, NY ED. 2020
- INTERNATIONAL RESIDENTIAL CODE, NY ED. 2020
- INTERNATIONAL FIRE CODE, NY ED. 2020
- INTERNATIONAL MECHANICAL CODE, NY ED. 2020
- INTERNATIONAL FUEL GAS CODE, NY ED. 2020
- INTERNATIONAL ENERGY CONSERVATION CODE, NY ED. 2020
- NATIONAL ELECTRICAL CODE, NY ED. 2017
- NATIONAL STANDARD PLUMBING CODE, NY ED. 2018
- EXISTING BUILDING CODE, NY ED. 2020
- NATIONAL FIRE ALARM AND SIGNALING CODE, NY ED. 2016
- ELEVATOR SUBCODE, NY ED. 2019
- AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME)

UGG DATA INTERNATIONAL RESIDENTIAL CODE 2020 NY ED.

USE GROUP	SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE	V-B
BUILDING HGT. (STORIES / FEET)	2-1/2 / 25'-11"
BUILDING AREA	
1ST FLOOR (W/O ART ST.)	2,016 GROSS S.F.
2ND FLOOR ART STUDIO	1,830 GROSS S.F. 408 GROSS S.F.
TOTAL	4,314 GROSS S.F.
GARAGE BASEMENT	547 GROSS S.F. 2,051 GROSS S.F.
BUILDING VOLUME	62,252 C.F.
FLOOR LIVE LOAD	40 PSF
OCCUPANCY LOAD	1 / 200 GROSS

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PROPOSED NEW ONE FAMILY RESIDENCE FOR 253 JUDSON AVENUE DOBBS FERRY, NY

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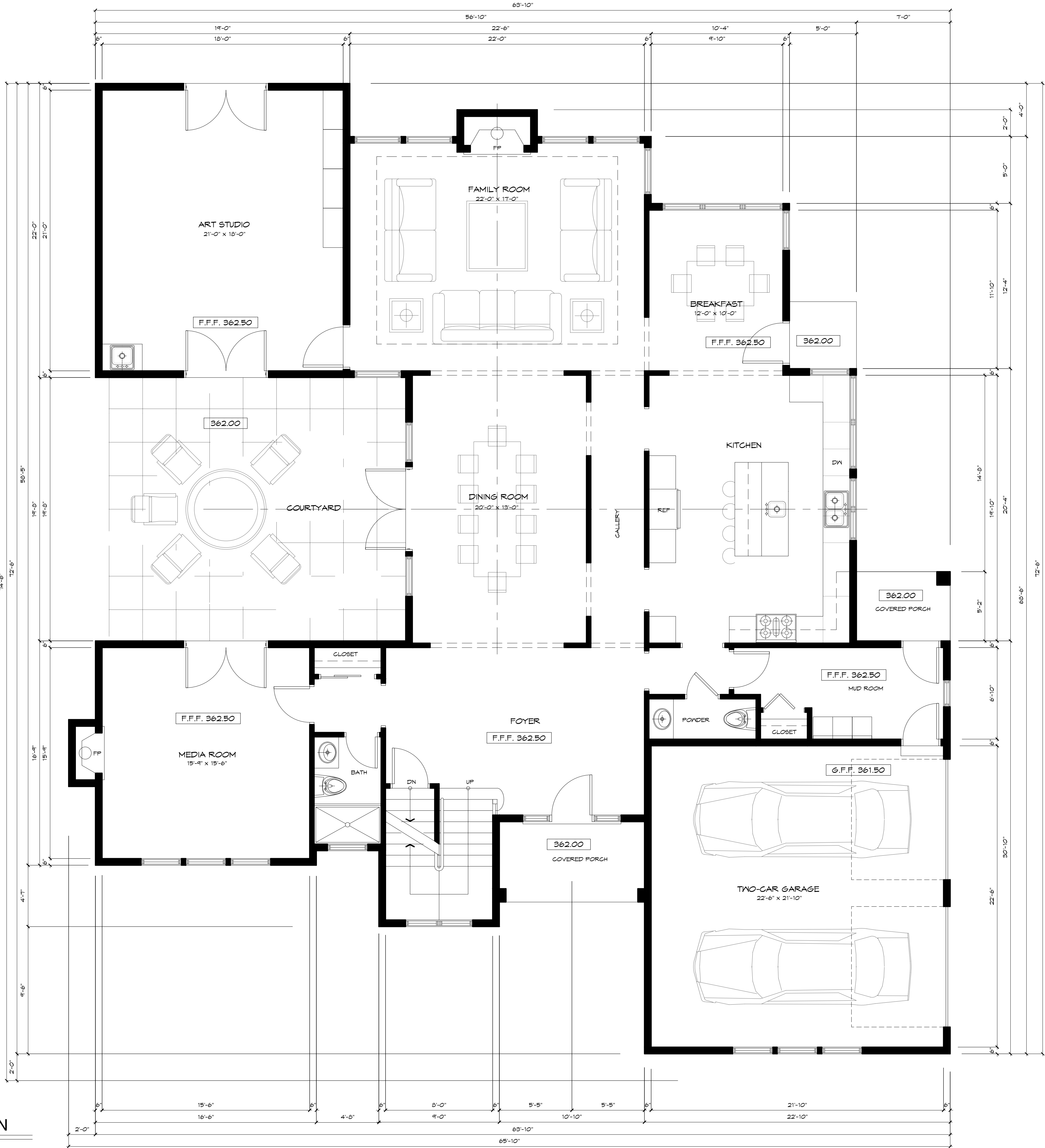
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COVER SHEET / NOTES

MATTHEW G. EVANS ARCHITECT - PLANNER	SHEET NUMBER
	CS
R.A. LIC. NO. 13803 P.P. LIC. NO. 5862	



PROPOSED 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



LEGEND	
	TYPICAL EXTERIOR/INTERIOR PARTITION: SPEC. STUDS @ 16" O.C. IV GYP. BOARD FINISH (SEE PLANS TO SPEC. TYPE/LOCATION)
	1-HOUR FIRE RATED PARTITION: 2x6 STUDS @ 16" O.C. IV 5/8" TYPE X GYPSUM BOARD EACH SIDE (SEE DETAIL)
	CAST-IN-PLACE CONCRETE WALL, SEE FOUNDATION PLAN
	NEW DOOR: SEE PLANS FOR INDIVIDUAL SIZES

ELECTRICAL LEGEND	
	3-WAY SWITCH
	SINGLE-POLE SWITCH
	DIMMER SWITCH
	GROUND FAULT
	WATERPROOF DUPLEX OUTLET
	TOP SWITCH OUTLET
	QUADPLEX OUTLET
	INCANDESCENT LIGHTING (SURFACE MOUNTED)
	SCONCE (WALL MOUNTED)
	RECESSED LIGHTING
	SMOKE DETECTOR 110V A/C INTERCONNECTED
	COMBINATION CARBON MONOXIDE / SMOKE DETECTOR 110V A/C INTERCONNECTED
	FLOOR / CEILING MOUNTED OUTLET
	FAN / LIGHT COMBINATION 50 CFM VENT TO EXTERIOR

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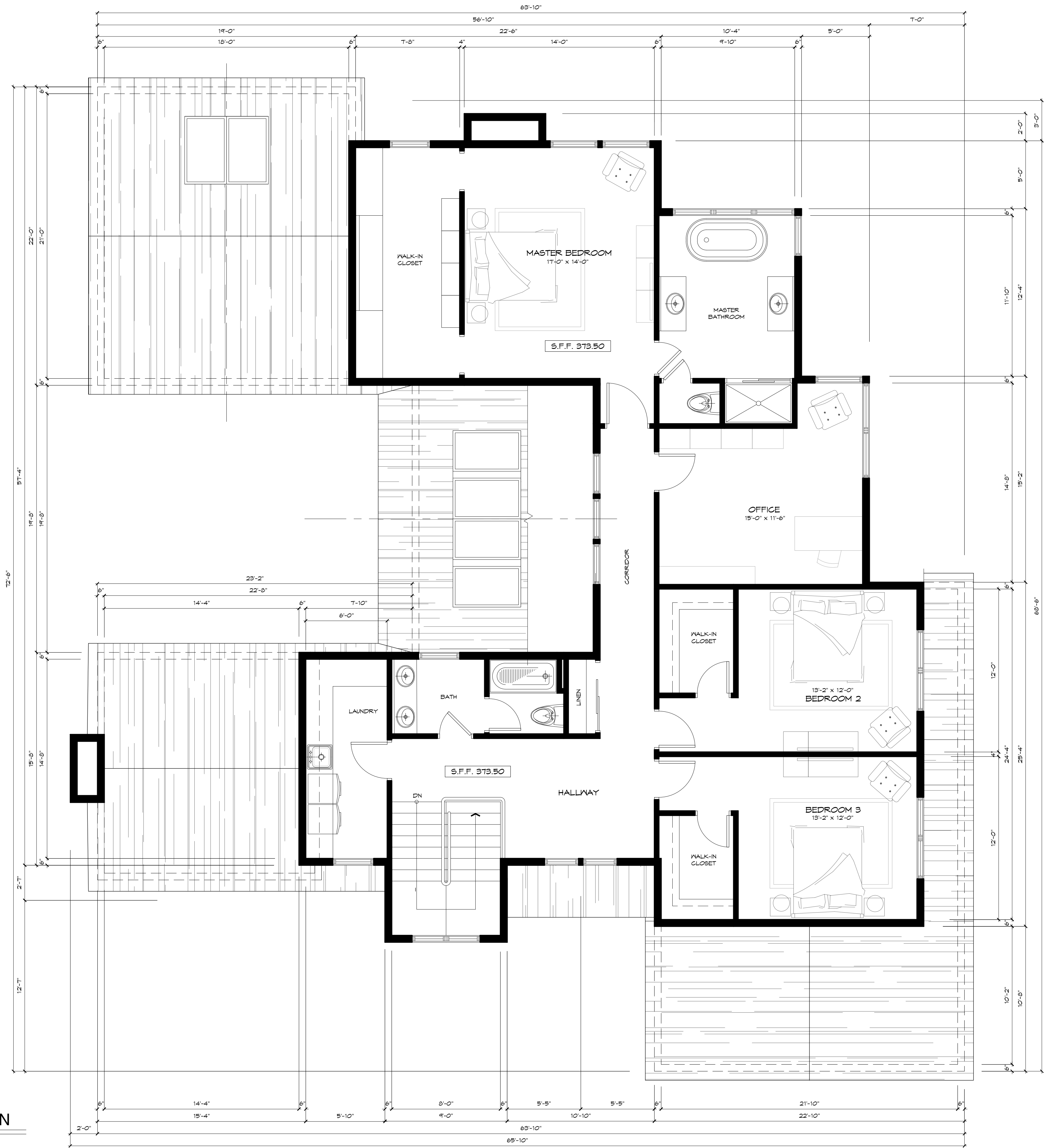
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PROPOSED 1ST FLOOR PLAN

MATTHEW G. EVANS
ARCHITECT • PLANNER

SHEET
NUMBER
A-2

R.A. LIC. NO. 13803
P.P. LIC. NO. 5662



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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SECOND FLOOR PLAN

MATTHEW G. EVANS
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SHEET
NUMBER
A-3

R.A. LIC. NO. 13803
P.P. LIC. NO. 5662



PROPOSED REAR ELEVATION

SCALE: 3/16" = 1'-0"

- LIFETIME FIBERGLASS SHINGLE ROOF. MODEL / TYPE SELECTED BY OWNER
- ALUM. GUTTERS. TYPICAL
- DECOR. STUCCO FINISH. FIN. COLOR SELECTED BY OWNER
- ANDERSEN A-SERIES WINDOWS. BLACK. SEE CONSTR. DRAWINGS FOR FINAL SPEC / MODEL
- PROVIDE SKYLIGHT WINDOWS
- DECOR. FIBER CEMENT EXT. PANELS. BLACK. FIN. COLOR / TYPE SELECTED BY OWNER
- DECOR. VERTICAL PLANKS SIDING. COLOR / TYPE SELECTED BY OWNER
- ANDERSEN A-SERIES PATIO DOORS. SEE CONSTR. DRAWINGS TO SPEC. SIZE / LOCATION
- DECOR. STONE FINISH. FIN. COLOR / TYPE SELECTED BY OWNER



PROPOSED FRONT ELEVATION

SCALE: 3/16" = 1'-0"

- LIFETIME FIBERGLASS SHINGLE ROOF. MODEL / TYPE SELECTED BY OWNER
- ALUM. GUTTERS. TYPICAL
- DECOR. STUCCO FINISH. FIN. COLOR SELECTED BY OWNER
- DECOR. STUCCO FINISH. FIN. COLOR SELECTED BY OWNER
- METAL FRONT PORCH ROOF. O.H. FIN. COLOR / TYPE SELECTED BY OWNER
- DECOR. VERTICAL PLANKS SIDING. COLOR / TYPE SELECTED BY OWNER
- ANDERSEN A-SERIES WINDOWS. BLACK. SEE CONSTR. DRAWINGS FOR FINAL SPEC / MODEL
- 3060 ENTR. DOOR. IV (2) 3060 SILLIGHTS AND TRANSOM ABOVE. COLOR / TYPE SELECTED BY OWNER
- DECOR. STONE FINISH. FIN. COLOR / TYPE SELECTED BY OWNER



PROPOSED RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

- LIFETIME FIBERGLASS SHINGLE ROOF. MODEL / TYPE SELECTED BY OWNER
- ALUM. GUTTERS. TYPICAL
- DECOR. STUCCO FINISH. FIN. COLOR SELECTED BY OWNER
- DECOR. FIBER CEMENT EXT. PANELS. BLACK. FIN. COLOR / TYPE SELECTED BY OWNER
- DECOR. VERTICAL PLANKS SIDING. COLOR / TYPE SELECTED BY OWNER
- ANDERSEN A-SERIES WINDOWS. BLACK. SEE CONSTR. DRAWINGS FOR FINAL SPEC / MODEL
- ANDERSEN A-SERIES PATIO DOORS. SEE CONSTR. DRAWINGS TO SPEC. SIZE / LOCATION
- DECOR. STONE FINISH. FIN. COLOR / TYPE SELECTED BY OWNER



PROPOSED LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

- LIFETIME FIBERGLASS SHINGLE ROOF. MODEL / TYPE SELECTED BY OWNER
- ALUM. GUTTERS. TYPICAL
- DECOR. STUCCO FINISH. FIN. COLOR SELECTED BY OWNER
- PROVIDE SKYLIGHT WINDOWS
- DECOR. VERTICAL PLANKS SIDING. COLOR / TYPE SELECTED BY OWNER
- DECOR. STUCCO FINISH. FIN. COLOR SELECTED BY OWNER
- ANDERSEN A-SERIES PATIO DOORS. SEE CONSTR. DRAWINGS TO SPEC. SIZE / LOCATION
- DECOR. STONE FINISH. FIN. COLOR / TYPE SELECTED BY OWNER

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PROPOSED ELEVATIONS

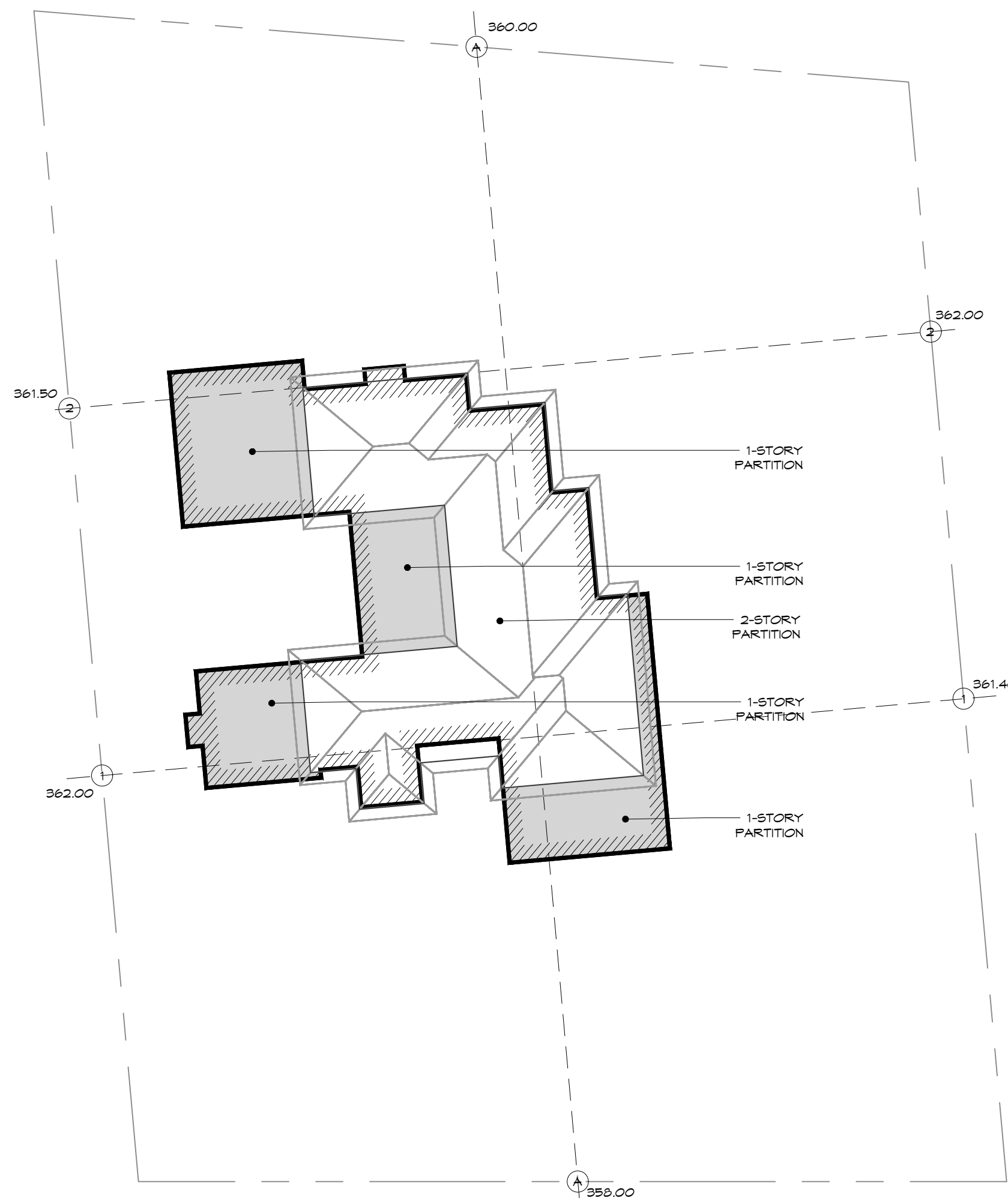
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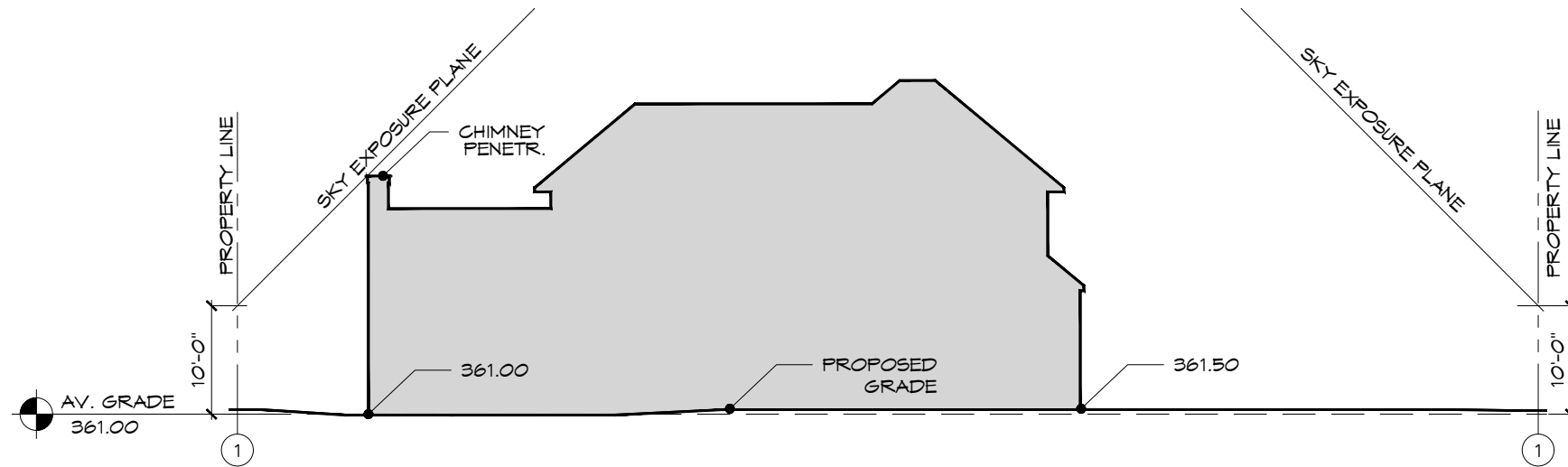
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NUMBER

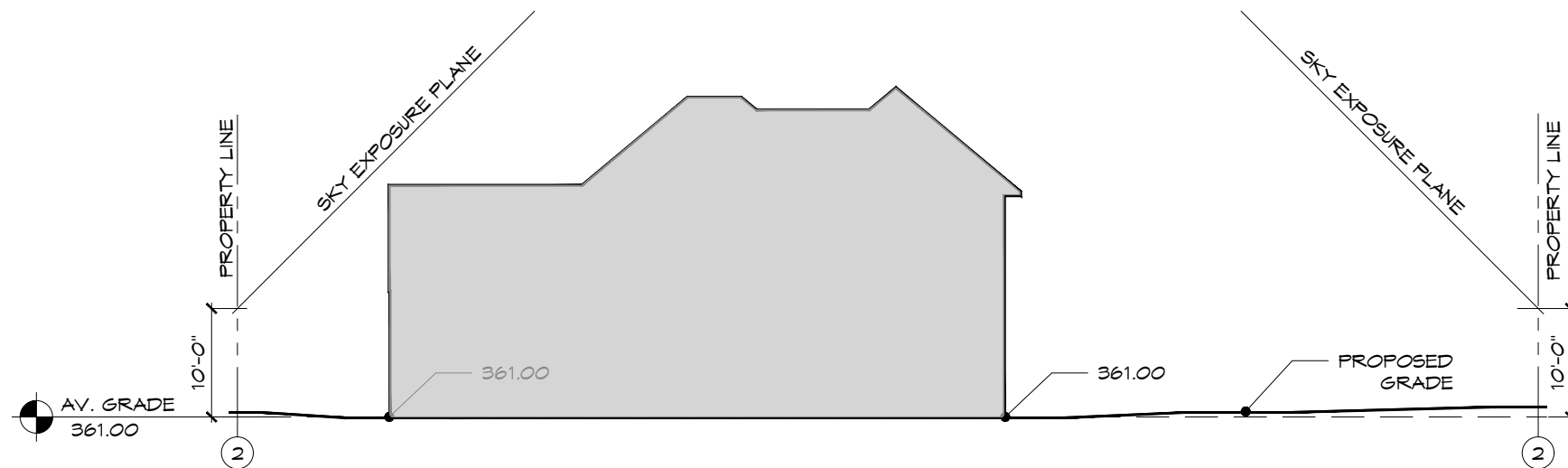
A-4



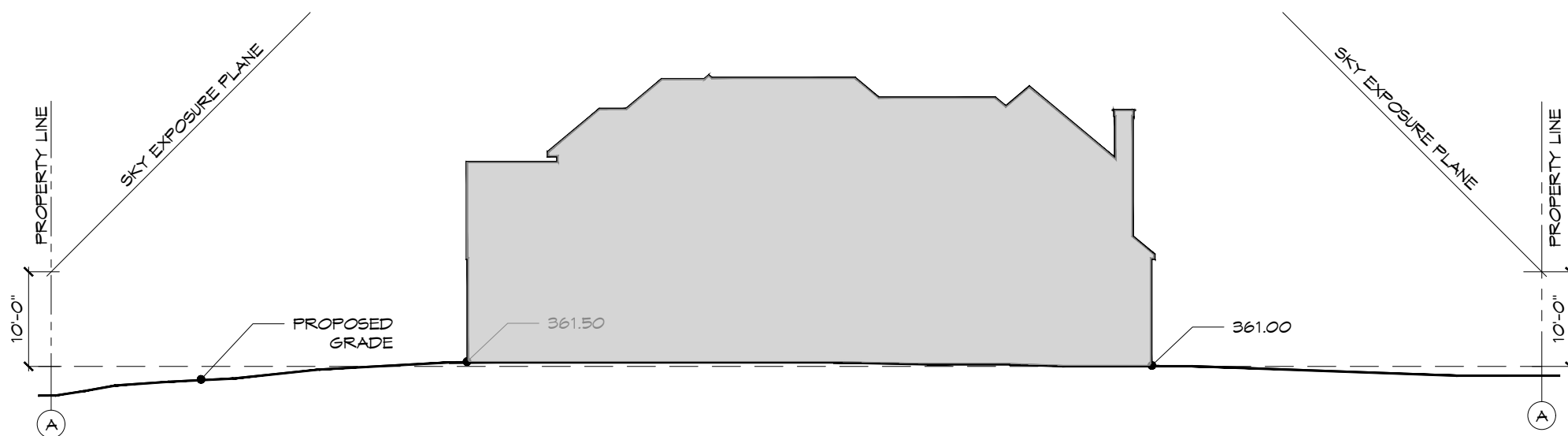
SITE PLAN
SCALE: 1/16" = 1'-0"



ELEVATION 1-1
SCALE: 1/16" = 1'-0"



ELEVATION 2-2
SCALE: 1/16" = 1'-0"



ELEVATION A-A
SCALE: 1/16" = 1'-0"

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SKY EXPOSURE PLANE

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SHEET NUMBER

A-5