THE MASTERS SCHOOL

49 CLINTON AVENURE

DOBBS FERRY, NEW YORK 10522

MARVEL ARCHITECTS PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS:

> 145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013

GEOTECHNICAL/CIVIL ENGINEER: MFS ENGINEERS & SURVEYORS, DPC

2780 HAMILTON BOULEVARD

SOUTH PLANINFIELD, NEW JERSEY 07080

STRUCTURAL ENGINEER: SILMAN

32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005

POLISE CONSULTING ENGINEERS, DPC **BUILDING SYSTEMS ENGINEER:** 

> 133 WEST 19TH STREET NEW YORK, NEW YORK 10011

**VDA** VERTICAL TRANSPORTATION:

145 WEST 30TH STREET, FLOOR 4

NEW YORK, NEW YORK 10011

COSENTINI ASSOCIATES, INC AV/IT/SECURITY CONSULTANT:

498 SEVENTH AVENUE

NEW YORK, NEW YORK 10018

**ACOUSTICS CONSULTANT:** LSTN CONSULTANTS

**76 BEAVER STREET** 

NEW YORK, NEW YORK 10005

AV/IT/SECURITY CONSULTANT: COSENTINI ASSOCIATES, INC

498 SEVENTH AVENUE

NEW YORK, NEW YORK 10018

**MW-SKINS ENVELOPE CONSULTANT:** 

1 WHITEHALL STREET, FLOOR 14

NEW YORK, NEW YORK 10004

**DOT DASH LIGHTING DESIGN** LIGHTING DESIGNER:

> 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013

CODE AND ACCESSIBILITY CONSULTANT: CODE CONSULTANTS, INC

440 PARK AVENUE S.

NEW YORK, NEW YORK 10016

CONSTRUCTION SPECIFICATIONS, INC ARCHITECTURAL SPECIFICATIONS:

22 TENNENT ROAD

MORGANVILLE, NEW JERSEY 07751



# THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE, DOBBS FERRY, NEW YORK 10522 PROJECT NO. 2029

SITE APPLICATION RESUBMISSION **JULY 22, 2021** 



## MARVEL

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS 145 HUDSON STREET, FLOOR 3

TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER
MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080

STRUCTURAL ENGINEER 32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005 **BUILDING SYSTEMS ENGINEER** POLISE CONSULTING ENGINEERS, DPC NEW YORK, NEW YORK 1001

TEL 212 645 1002 VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

TEL 212 868 9090 AV / IT / SECURITY CONSULTANT 498 SEVENTH AVENUE NEW YORK, NEW YORK 10018

ACOUSTICS CONSULTANT
LSTN CONSULTANTS
76 BEAVER STREET NEW YORK, NEW YORK 10005 TEL 347 788 0810

ENVELOPE CONSULTANT 1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004

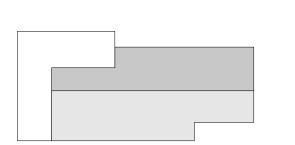
LIGHTING DESIGNER 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013

> CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751

DESCRIPTION 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION
2 06/17/2021 SITE APPLICATION
RESUBMISSION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

TITLE SHEET

SCALE: 12" = 1'-0"



DOB STAMP ZONE

DRAWING #:

7/21/2021 10:20:38 AM

DOB JOB:

CATEGORY	SHEET#	SHEET NAME	SITE PLAN APP 02/17/2021	SITE APP RESUBMISSION 06/17/2021	SITE APP RESUBMISSION 07/22/2021
CATEGORY	SHEET#	SHEET NAME	02/11/2021	06/1//2021	0112212021
00-TITLE			1,,	1,,	.,
	T-000	TITLE SHEET	X	X	X
01-GENERAL					
	G-001V	SHEET INDEX - SITE PLAN APP	X	X	X
	G-010	BUILDING SITE SURVEY	X	Х	X
	G-011	BUILDING SITE SURVEY	X	X	X
OO ZONING					
02-ZONING	Z-100	ZONING MAP, TAX MAP, PLOT PLAN & FLOOD MAP	X	X	Χ
	2-100	ZONING WAF, TAX WAF, FLOT FLAN & FLOOD WAF	Α		^
03-CIVIL					
	C-101	NOTES	X	X	X
	C-300	DEMOLITION & SITE CLEARING PLAN	X	X	X
	C-400	SOIL EROSION & SEDIMENT CONTROL PLAN	X	X	X
	C-500	SITE PLAN	X	X	X
	C-502	CONSTRUCTION ACCESS PLAN	X	X	X
	C-600	PROPOSED GRADING & DRAINAGE PLAN	X	Х	X
	C-700	UTILITY PLAN	X	X	X
	C-701	UTILITY RELOCATION PLAN	X	X	X
	C-900	CONSTRUCTION DETAILS	X	X	X
	C-901	CONSTRUCTION DETAILS		X	X
04-LANDSCAPE					
U4-LANDSCAFE	L-001	GENERAL NOTES	X	Χ	Χ
	L-100	LAYOUT PLAN	X	X	X
	L-200	MATERIALS PLAN	X	X	X
	L-400	TREE PLANTING PLAN	X	X	X
	L-410	UNDERSTORY PLANTING PLAN			Χ
	L-600	SITE SECTIONS I	Χ	X	Χ
	L-610	SITE SECTIONS II	X	X	X
	L-620	SITE PLAN		Х	X
	L-700	TYPICAL DETAILS I	X	X	X
	L-710	TYPICAL DETAILS II	X	X	X
05-ARCH	1 100	DAGENERIT EL COR RI ANI	V	\ <u>\</u>	\ <u>\</u>
	A-100	BASEMENT FLOOR PLAN	X	X	X
	A-101	FIRST FLOOR PLAN	X	X	X
	A-102	SECOND FLOOR PLAN	X	X	X
	A-103 A-104	THIRD FLOOR PLAN ROOF PLAN	X	X	X
	A-104 A-300	BUILDING ELEVATIONS	X	X	X
	A-300	BUILDING ELEVATIONS  BUILDING ELEVATIONS	X	X	X
	A-320	BUILDING SECTIONS	X	X	X
	A-321	BUILDING SECTIONS	X	X	X
00 OTD: 10=:		1			I.
06-STRUCTURAL		DETAINING WALL DETAIL		V	I
	S-501	RETAINING WALL DETAIL		X	V
	S-505	TYPICAL DETAILS			Х
12-LIGHTING					
	LC-010	SITE LIGHTING PLAN	X	X	X
	LC-011	SITE LIGHTING PHOTOMETRIC PLAN	X	Χ	X



OWNER
THE MASTERS SCHOOL
49 CLINTON AVENUE
DOBBS FERRY, NEW YORK 10522

TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

MARVEL

145 HUDSON STREET, FLOOR 3

NEW YORK, NEW YORK 10013

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2780 HAMILTON BOULEVARD

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TEL 908 922 4622

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SILMAN

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498 SEVENTH AVENUE
NEW YORK, NEW YORK 10018
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MW-SKINS

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LIGHTING DESIGNER **DOT DASH LIGHTING DESIGN**120 WALKER STREET, SUITE #6E

NEW YORK, NEW YORK 10013

TEL 212 951 0660

TEL 347 809 6790

NEW YORK, NEW YORK 10013
TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT
CODE CONSULTANTS, INC.

440 PARK AVENUE S.
NEW YORK, NEW YORK 10016
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ARCHITECTURAL SPECIFICATIONS
CONSTRUCTION SPECIFICATIONS, INC

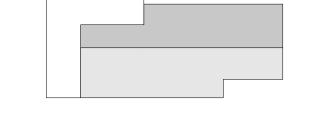
CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751 TEL 732 970 0700

REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION
2 06/17/2021 SITE APPLICATION RESUBMISSION

3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

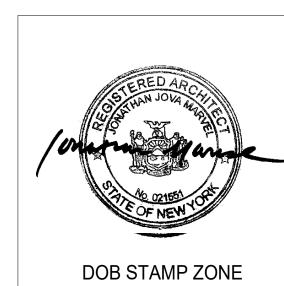
2029

THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

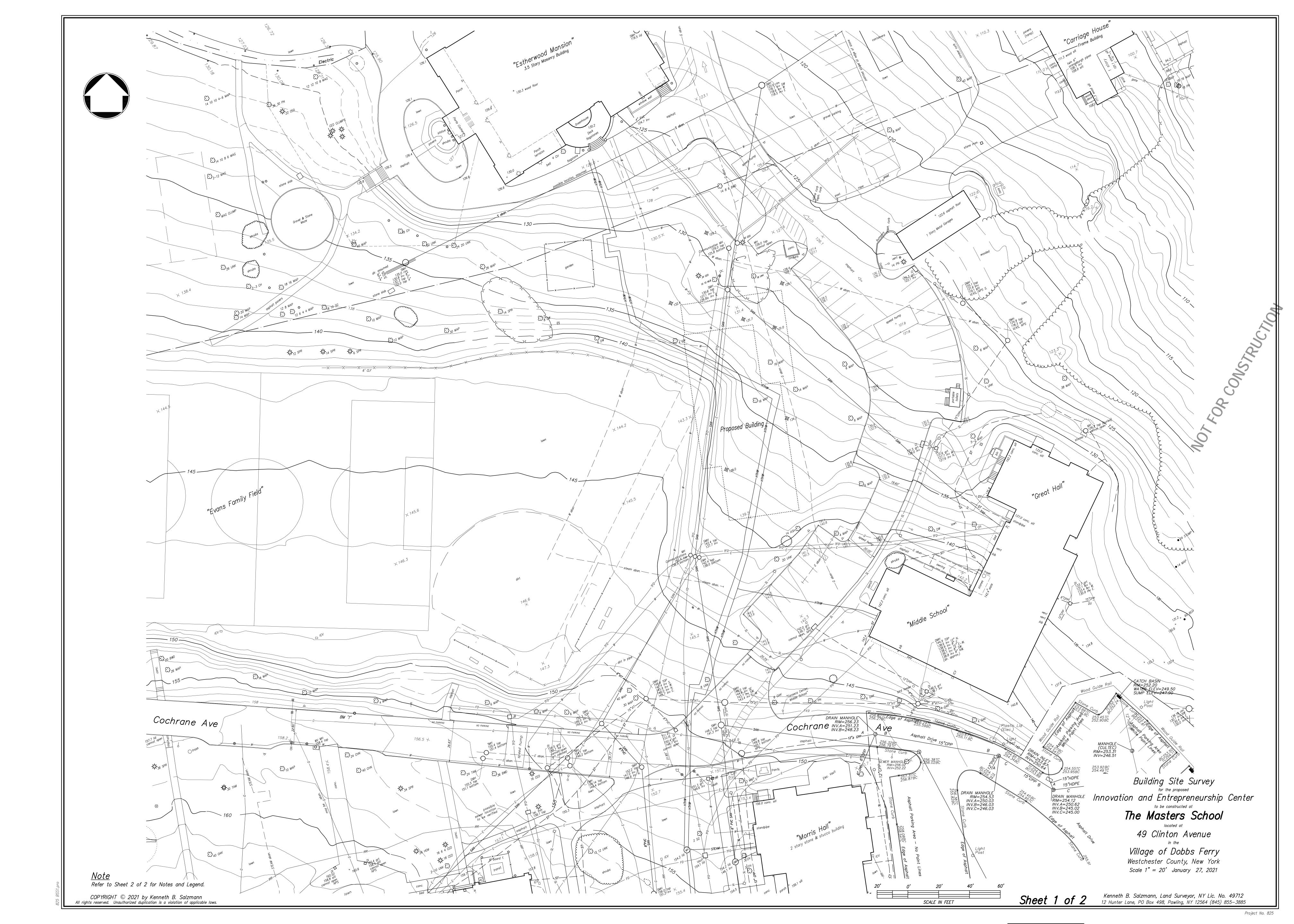
SHEET INDEX - SITE PLAN

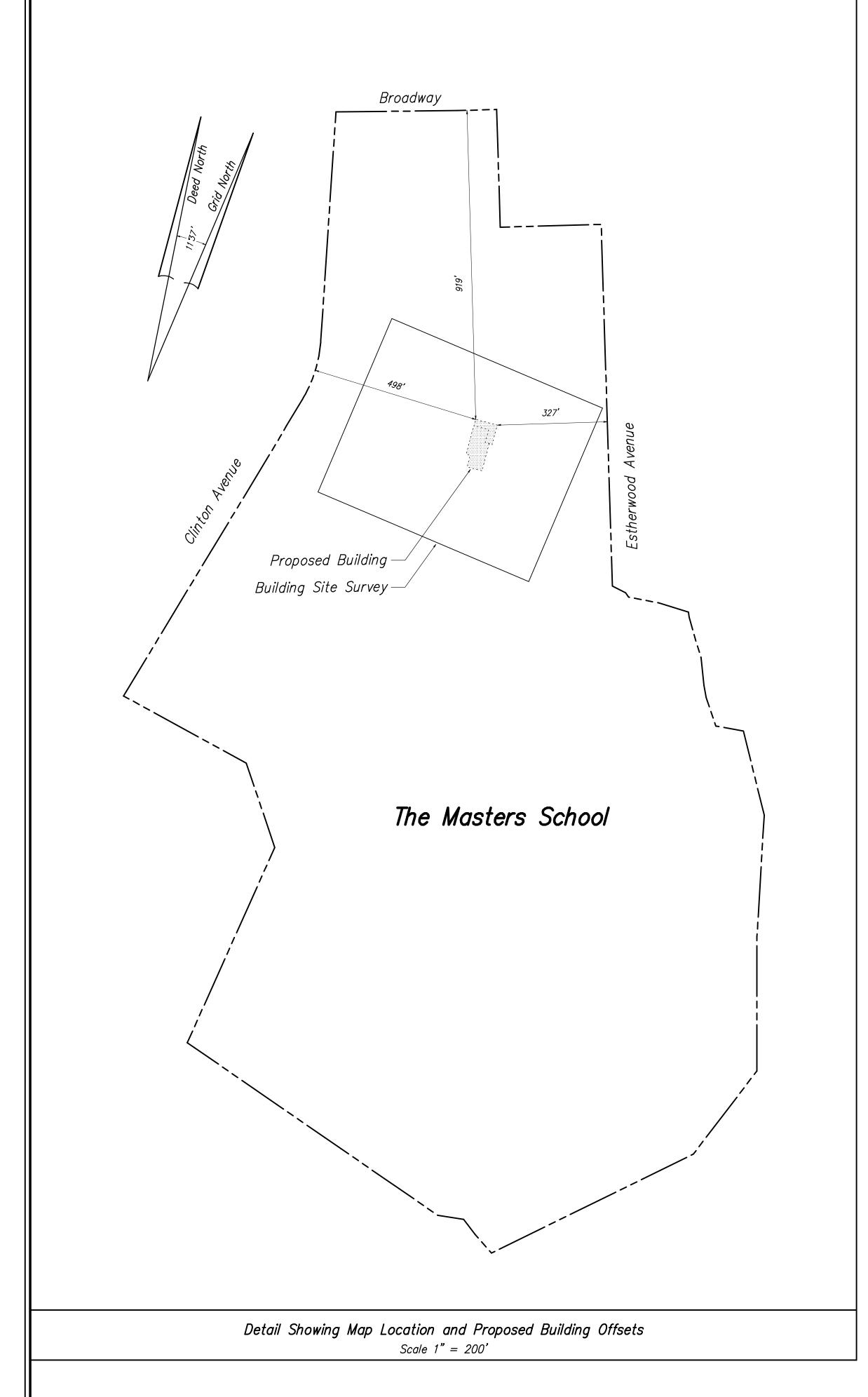
SCALE:



G-001V

DOB JOB:





#### Survey Notes:

 This map, consisting of two sheets, is based upon field measurements completed on January 25, 2021 to update a portion of the 20 scale survey prepared by Kenneth B Salzmann, Land Surveyor, entitled:

"Topographic Map of the developed portion of The Masters School located in the Village of Dobbs Ferry, Westchester County, New York, Scale 1" = 20' [dated] January 9, 2017, Sheets 1 to 21 of 21."

- The proposed building depicted hereon is based upon digital files received from Marvel Architects on January 7, 2021.
- 3. The boring locations depicted hereon are based upon the disturbed soil found at the site. There may have been additional borings not depicted hereon.
- 4. Utility locations are based upon visible structures, combined with the markings placed by Consumer Markouts, Inc. between December, 2020 and January, 2021. While a diligent effort was made to locate utilities, the actual location or absence of underground utilities cannot be guaranteed. Underground utilities may be encountered in locations other than depicted hereon. Verify the actual location of all utilities with the appropriate agencies prior to excavation or construction.
- 5. Elevations are referenced to the datum of The Masters School, a site specific datum approximately 108.2 feet lower than NAVD 88. Refer to Note 4 below.
- 6. Valid copies of this map are marked with the land surveyor's embossed seal and original signature. Copies lacking the land surveyor's embossed seal and original signature are considered fraudulent and may contain erroneous information.
- 7. Unauthorized alteration or addition to a map bearing the seal of a Licensed Land Surveyor is a violation of Section 7209 of the New York State Education Law, except as per Section 7209, Sub—division 2.

#### Historical Notes:

- The notes from the January 9, 2017 Topographic Map are provided for reference:
- 1. This Topographic Map, consisting of 21 sheets, is based upon photogrammetric mapping prepared by Geomaps International, Inc. compiled for this project at a scale of 1" = 20', using aerial photography taken in April, 2008, with supplemental field measurements completed between October 4 and December 31, 2016, combined with mapping of portions of the campus previously prepared by Kenneth B Salzmann, Land Surveyor, specifically:
- a. "Topographic Map of a portion of The Masters School in the vicinity of the Faculty Housing" dated January 5, 2007, Sheets 1 and 2 of 2.
- b. "Topographic Map of a portion of The Masters School" dated July 13, 2007, Sheets 1 to 5 of 5.
- c. "Topographic Map prepared for the proposed Tennis Court Parking Lot Improvements" dated May 12, 2008, revised May 28, 2009.
- d. "As—built Location Survey depicting the Faculty Housing Building" dated July 2, 2009, revised July 14, 2009.
- e. "Topographic Map of the northerly portion of The Masters School" dated
- f. "Topographic Map for the proposed Health Building Addition" dated

July 22, 2010, Revised Oct. 06, 2010, Sheets 1 to 6 of 6.

- g. "Topographic Map for the proposed Courtyard Improvements" dated
- In addition, information contained in the drawing files provided by other surveyors has been added to the Topographic Map, specifically:
- h. "As Built Survey of New Athletic Field for The Masters School" last revised 2/14/12, by Link Land Surveyors, PC.
- i. "As Built Survey prepared for The Masters School, Community Athletics & Arts Center" dated Sep. 23, 2015 by Thomas C. Merritts Land Surveyors, P.C.
- 3. Features west of the west curb of Clinton Avenue, north of the north curb of Broadway and east of the east curb of Estherwood Avenue extend beyond the contractual mapping area. These features are provided for reference, but were not field checked and may not be complete.

- 4. Elevations are referenced to the datum of The Masters School. However, the elevation datum of the map by Thomas C. Merritts (map reference 1—i) is approximately 108.3 feet above the Masters School datum. Contour interval is one (1) foot, except that contours are not provided at the Faculty Housing Building (map reference1—d). The following bench marks were established for future reference:
- BM 'D' the center of 4 cuts set in the top of the rock knob located approximately 90 feet southwest of the southwest corner of Morris Hall, elevation 164.68 feet.
- BM 'F' the center of 4 cuts set in the top of the southwest corner of the concrete steps at the north side of the tennis courts, elevation 187.88 feet.
- BM 'J' a NYSDOT Disk stamped "8W+499" found set in concrete between the curb and sidewalk on the north side of Broadway, approximately 300 feet east of the centerline of Clinton Avenue, elevation 93.66 feet.
- BM 'M' a cross cut chiseled in the northwest corner of the concrete sidewalk at the NW corner of "Ford Hall," elevation 194.93 feet.
- BM 'P' a small cross cut chiseled in the southwest corner of the vent grate rim approximately 12 feet west of the southwest corner of the "Cameron Mann Dining Hall," elevation 183.04 feet.
- BM 'Q' the center of 4 cuts set in the top of the rock knob located approximately 160 feet southwest of the southwest corner of the Thompson dorm building, elevation 229.60 feet.
- BM 'R' a cross cut set in the north rim of the drain manhole approximately 70 feet southwest of the southwest corner of the Ford dorm, elevation 200.42 feet.
- BM 'S' the center of 4 cuts set in the top of the stone curb corner located approximately 8 feet south of the southwest corner of Masters Hall, elevation 170.67 feet.
- BM 'T' a cross cut set in the top of the stone curb on the north side of Cochrane Avenue approximately 20 feet east of the center of the concrete sidewalk leading to the north side of Masters Hall, elevation 158.04 feet.
- The gaps in the Bench Mark designations reflect old bench marks that have not survived renovations at the site, or were set in tree roots that are now grown over and were not recovered.
- 6. The general ground lines of buildings are depicted, unless noted otherwise.
  Ornamental trim, water tables, window air conditioners, security cameras,
  stockpiled materials and movable furniture may not be depicted hereon. Building
  locations and grades are not to be used for the design of structural elements
  without further verification. Features obscured by dense vegetation or fallen
  leaves are not shown.
- 7. In areas where heavy vegetation or shadows obscured the ground approximate contours are depicted. Contours within these obscured areas should be verified before the design or construction of grade sensitive elements.
- 8. Underground utilities are limited to the storm drains and sanitary sewers depicted hereon, as well as the water, gas, steam, communication and electric lines found to be marked at the site. Additional underground utilities, including but not limited to water, gas, telephone, steam, communication and electric lines, roof drain leader pipes, underdrains or irrigation systems are not depicted hereon. The storm drains and sanitary sewers in Broadway are not depicted due to accessibility restrictions.
- 9. This map does not depict all underground utilities. Underground utilities may be encountered in locations other than depicted hereon. Verify the actual location of all utilities with the appropriate agencies prior to excavation or construction.
- 10. This map depicts trees with a diameter of 6 inches and larger, estimated 4.5 feet up the trunk, as well as smaller trees deemed significant. The location of dead trees, stumps and fallen trees may be incomplete. Symbols depict the location of trees and shrubs and are not to scale. Individual trees and shrubs within wooded areas are not shown, with the exception of trees deemed to be significant and the trees located as part of the record mapping noted above. Individual shrubs within planted beds are not depicted hereon.
- 11. Building and trail designations are based upon documents provided.
- 12. The property lines depicted hereon are based upon the deed dated Nov. 15, 2002 from County of Westchester Industrial Development Agency to The Masters School, recorded in the Westchester County Clerk's Office as CN 430870280, as surveyed as part of map reference 1—e, above. An "approximate property line" is depicted at the portion of the site that was not surveyed. Said "approximate property line" is subject to the facts revealed by a search of title and a current survey. This map is not intended to be used for title purposes.

<u>Tree Index</u>

ABBREV.

APP
ASH
ASH
BB
Black Birch
BCH
BP
Bradford Pear
BWD
CAT
CED
CH
CH
CHN
CHN
CHN
CHSTNUT
DD
Dead
DW
Dogwood
FIR
HEM
HEM
HEM
HOL
LIND
LIND
LIND
LOC
MAP
OAK
PN
PINE
SAS
SG
SWeet Gum
SPR
STMP
SYC
Sycamore
TAM
Tamarack
TOH
Tree of Heaven
TUL
LINR
Black Birch
Beech
Bradford Pear
Beech
Beech
Bradford Pear
Beech
Beasswood
CAT
Catalpa
Cheer
Beasswood
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3–8 tree 3 trees, 8" diameter 10 12 tree 10" and 12" tree

White Birch

bottom and top of wall BW TW cellar entrance chain link fence O CO concrete contour contour, obscured corrugated plastic pipe curb curb inlet direction unknown DIR. UNK. OR DU drain inlet drain manhole edge of lawn / bed electric box **EBOX** electric line \_\_\_\_\_E \_\_\_\_ fence fiber optic line \_\_\_\_\_F0-\_\_\_ gas line gas valve ------ HTHW ----hedge hydrant  $\gg$  OR orallindex contour index contour, obscured infiltrator invert irrigation control valve irrigation line junction box Ū JB monument no pipes seen overhead wires \_\_\_\_\_\_\_ reinforced concrete pipe roof drain leader sanitary manhole sanitary sewer OR O shrub sight lighting signs spot grade +123.4 OR × 123.4 steam line -----STEAM ----stone wall storm drain TBOX telephone box telephone line telephone & fiber optic line television line top/bottom of wall TW/BW TRASH trash can trench drain E3<sub>12 MAP</sub> OR 12 SG OR 18 SPR tree and size utility pole and guy

**-**—⊙

Legend

ASS'D LOC.

assumed abandoned

bench on concrete slab

assumed location

Building Site Survey

utility pole and lamp

vault limits not seen

vitreous tile pipe

vertical

water line water valve

Innovation and Entrepreneurship Center

The Masters School

49 Clinton Avenue

Village of Dobbs Ferry Westchester County, New York Scale 1" = 20' January 27, 2021

<u>Certification:</u>

I, Kenneth B. Salzmann, the surveyor who made this map, hereby certify that the boundary of The Masters School campus depicted hereon is based upon a field survey completed on June 23, 2020 and that this map was completed on January 27, 2021.

**Zoning Map Village of Dobbs Ferry** Town of Greenburgh Westchester County, New York Phillips Preiss Shapiro Associates, Inc. Adopted September 28, 2010 0 500 1,000 2,000 Feet

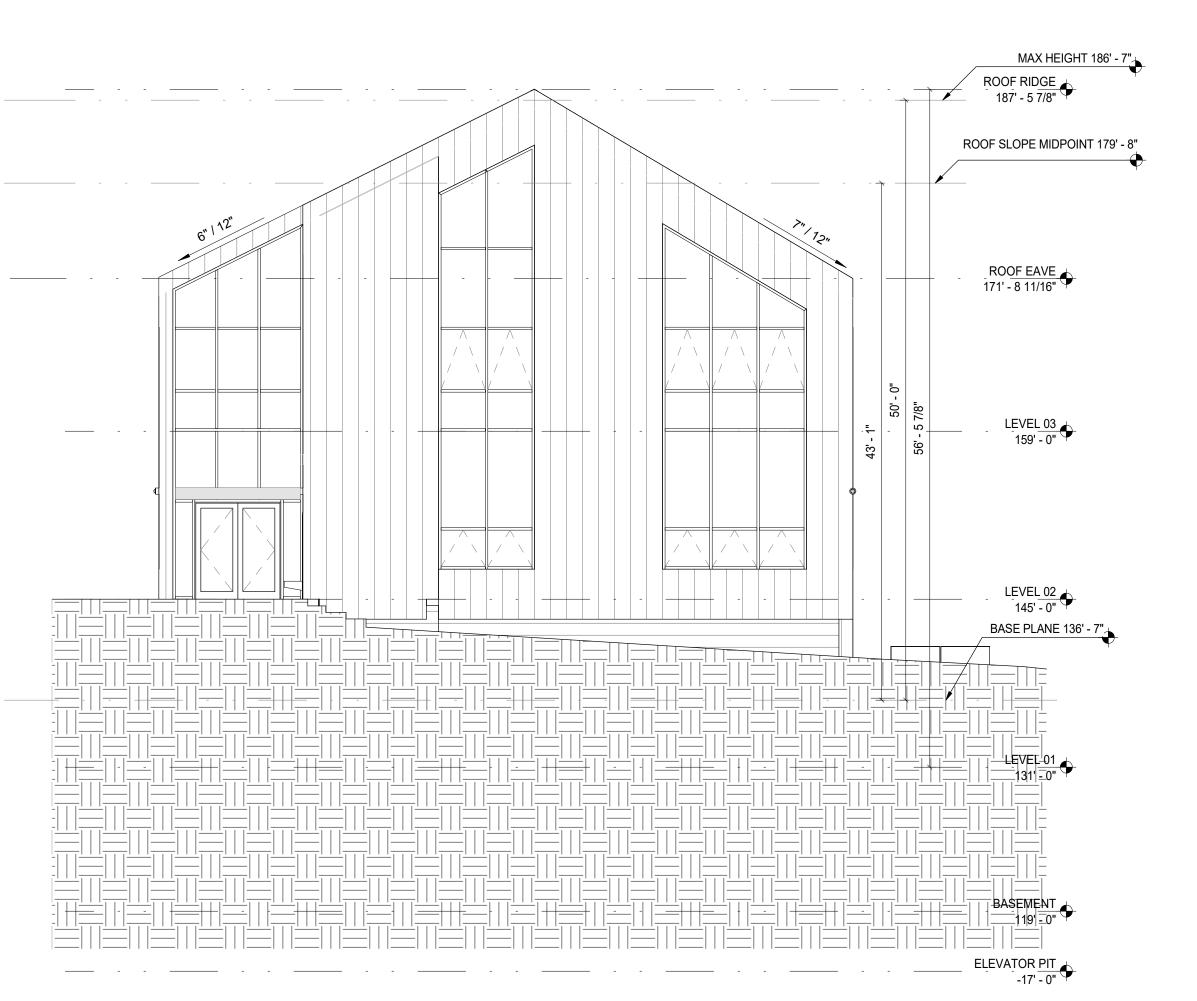
### ZONING

PER TABLE B-10: CP AND EI DISTRICTS DIMENSIONAL STANDARDS

REQUIREMENT (PER	R TABLE B-10)	EDUCATIONAL/INSTITUTIONAL DISTRICT REQUIREMENTS	PROVIDED BY MASTERS IEC	NOTES
LOT SIZE	MINIMUM LOT SIZE	-	-	
	MAXIMUM LOT AREA PER DWELLING UNIT (SF)	40,000	N/A DUE TO CAMPUS	COMPLIES
BUILDING HEIGHT	MAX STORIES	4	3	COMPLIES
	MAX HEIGHT (FT)	50' - 0"	43' - 1"	COMPLIES
	MIN STORIES	-	-	
	MIN HEIGHT	-	-	
LOT COVERAGE	MAX LOT COVERAGE BY BUILDINGS	50%	4.9%	COMPLIES
	MAX LOT COVERAGE BY IMPERVIOUS COVER	80%	10.16%	COMPLIES
LOT COVERAGE	MIN FRONT YARD SETBACK (FEET)	25	N/A DUE TO CAMPUS	
	MAX FRONT YARD SETBACK (FEET)	-	N/A DUE TO CAMPUS	
	MIN REAR YARD SETBACK (FEET)	25	N/A DUE TO CAMPUS	
	MIN SIDE YARD SETBACK (EACH) (FEET)	10	N/A DUE TO CAMPUS	
	MIN SIDE YARD SETBACK (BOTH) (FEET)	25	N/A DUE TO CAMPUS	
	MAX SIDE YARD SETBACK (EACH) (FEET)	-	N/A DUE TO CAMPUS	

### **GROSS BUILDING AREA**

ROPOSED GSF	
ASEMENT	3,897 GSF
IRST FLOOR	5,979 GSF
ECOND FLOOR	5,575 GSF (less atrium)
HIRD FLOOR	5,575 GSF (less atrium)
IECHANICAL PLATFORM	283 GSF
OTAL	21,309 GSF



2 SOUTH ELEVATION - ZONING
1/8" = 1'-0"

EAST ELEVATION
1/8" = 1'-0"



DOB STAMP ZONE

MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013

212.616.0420 OWNER
THE MASTERS SCHOOL

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522 TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS MARVEL 145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013 TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER
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STRUCTURAL ENGINEER

32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005 TEL 212 620 7970

BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002

VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001 TEL 212 868 9090

AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE NEW YORK, NEW YORK 10018

TEL 212 615 3600 ACOUSTICS CONSULTANT LSTN CONSULTANTS 76 BEAVER STREET NEW YORK, NEW YORK 10005 TEL 347 788 0810

ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004 TEL 347 809 6790

LIGHTING DESIGNER DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013

TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD

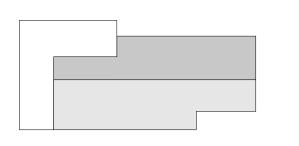
MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700

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07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

**ZONING MAP, TAX MAP,** PLOT PLAN & FLOOD

SCALE: As indicated

DRAWING #: **Z-100** 

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GENERAL NOTES:

1. THE CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS, LINES, AND DIMENSIONS ON THE DRAWINGS INCLUDING EXISTING STRUCTURES AND NOTIFY THE OWNER OF ANY DISCREPANCY IN DRAWINGS AND/OR EXISTING CONDITIONS BEFORE STARTING THE

2. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL WORK AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS. ALL JOINTS NOT OTHERWISE FILLED OR COVERED. SHALL BE

CAULKED WITH A PERMANENT SEALANT. AS SPECIFIED BY MANUFACTURER, TO MATCH ADJACENT SURFACES UNLESS OTHERWISE NOTED OR SHOWN. PUTTY WILL NOT BE PERMITTED 4. WHEREVER ELECTRICAL CONDUIT, MECHANICAL DUCTS, OR PIPES ARE INSTALLED INTO NEW OR EXISTING SURFACES, FINISH

SURFACES WITH MATERIAL TO MATCH ADJACENT MATERIALS UNLESS OTHERWISE DIRECTED. FIRESTOP IF IN RATED SURFACE. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING AND/OR RELOCATING ANY EXISTING UTILITIES

ENCOUNTERED IN THE WORK AREAS. 6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND NATIONAL BUILDING, PLUMBING, AND ELECTRIC CODES. THE CONTRACTOR SHALL COORDINATE ALL OF ITS OPERATIONS WITH THE OWNER AND ENGINEER OF RECORD.

8. THE CONTRACTOR SHALL COORDINATE ALL OF ITS OPERATIONS WITH ANY EQUIPMENT AND ITS INSTALLER. 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO BUILDINGS OR GOODS NEAR OR ADJACENT TO THEIR WORK AREA WHEN SUCH DAMAGE IS DUE TO THEIR ACTIONS OR NEGLECT.

10. SEE ARCHITECTURAL DRAWINGS FOR ALL BUILDING INFORMATION. 11. CONTRACTOR SHALL REPLACE ANY DAMAGED CURB, SIDEWALKS, SIGNAGE, AND ANY OTHER SITE FEATURES THAT IS DAMAGED DURING CONSTRUCTION. 12. ALL CURB AND PAVEMENTS BEYOND THE LIMITS OF THE

CONSTRUCTION THAT HAS BEEN DAMAGED DUE TO CONSTRUCTION ACTIVITY SHALL BE REPLACED WITH IN-KIND MATERIALS AS REQUESTED BY THE TOWNSHIP ENGINEER.

#### CONTRACTOR NOTES

2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATIONS OF ALL UTILITIES BELOW ARE APPROXIMATE.

1. EXISTING SINKHOLES AS SHOWN IN THE GEOTECHNICAL REPORT TO BE

- GRADING & DRAINAGE NOTES:

  1. SITE GRADING SHALL NOT PROCEED UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. GRADE ALL AREAS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS TO FINISH GRADE ELEVATIONS OR CONTOURS AS INDICATED ON DRAWINGS. FINISHED SUBGRADE SURFACE SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK DEBRIS OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATION, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. SLOPES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A
- MANNER THAT WILL MINIMIZE EROSION POTENTIAL. CONTRACTOR SHALL NOT GRADE OR REMOVE ANY SOIL OR EARTH FROM THE LOT WITHOUT FIRST OBTAINING A PERMIT FORM THE TOWNSHIP
- ENGINEER FOR SUCH PURPOSES. 4. SOIL PERMIT SHALL BE FILED WITH THE TOWNSHIP ENGINEER AND SHALL INCLUDE THE FOLLOWING: APPROXIMATE NUMBER OF CUBIC YARDS OF SOIL TO BE LOCATION FROM WHICH THE SOIL OR EARTH IS TO BE REMOVED AND THE LOCATION TO WHICH IT IS TO BE
- STATE THE STREETS OVER TO WHICH THE SOIL OR EARTH IS TO BE HAULED. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, SIZE, TYPE, AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC PRIOR TO THE START OF ANY WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL FIFLD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IN WRITING IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS. ABOVE GROUND STRUCTURES THERE WERE VISIBLE AND ACCESSIBLE IN THE FIELD. AND RECORD DRAWINGS AVAILABLE AT THI TIME OF THE SURVEY AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED
- DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S COSTS. 4. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES. ANY TRAFFIC CONTROL, ACCESS, SAFETY PROVISIONS WITH THE R.O.W (E.G.ACCESSIBLE RAMPS, PEDESTRIAN CROSSWALKS, SIDEWALKS, PAVEMENT STRIPING, ETC.) SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL DETERMINE APPROPRIATENESS OF REMOVAL ACTIVITIES AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL PERMANENT
- COMPONENTS/REPLACEMENTS CAN BE INSTALLED. 5. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO THE STRUCTURES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF EXPOSED AND/OR BELOW GRADE FOUNDATIONS/WALLS/SIDEWALKS AND PAVEMENT TO REMAIN, AND SHALL PROVIDE A SAFE WORK AREA. ANY DAMAGE OR DISTURBANCE DUE TO SUBJECT WORKSCOPE SHALL BE REPAIRED TO LIKE-KIND CONDITIONS AT THE CONTRACTOR'S EXPENSE.
- 6. THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT WITH A STRAIGHT VERTICAL EDGE FREE FROM IRREGULARITIES, WHEREVER NEW PAVEMENT JOINS EXISTING PAVEMENT EXCAVATION SHALL BE PROPERLY BACKFILLED WITH CLEAN MATERIALS AND COMPACTED WITH 8" MAX. LIFTS TO 95% OF ITS MODIFIED PROCTOR
- DENSITY. CONTRACTOR SHALL RE-PAVE EFFECTED AREAS AS SHOWN ON 8. UNSUITABLE MATERIALS, CONSTRUCTION DEBRIS, EXCESS SOILS, ETC. SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES AND LAWS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING MATERIALS AND INSTALLATION OF PROPOSED WORK. 10. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE
- SATISFACTION OF THE RESPECTIVE AGENCIES, UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES. 11. THESE PLANS ARE BASED ON INFORMATION AVAILABLE TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY

EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE

CONDITIONS THAT DIFFER FROM THAT SHOWN ON THE PLAN. OR IF THE PROPOSED WORK WOULD BE IMPACTED BY ANY OTHER SITE FEATURES. 12. THE CONTRACTOR SHALL ENSURE THE FACILITY'S OPERATIONS ARE NOT ADVERSELY AFFECTED BY CONSTRUCTION. CONTRACTOR TO WORK WITH LANDLORD/WAREHOUSE MANAGER TO DETERMINE ADEQUATE PHASING IN ORDER TO MAINTAIN A CLEAR AND SAFE ENTRANCE, TRAVEL PATH, AND EXIT FOR VEHICLES AND PEDESTRIAN ON-SITE.

### GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, CLEANING AND EPAIRING ALL SOIL EROSION CONTROL MEASURES THROUGHOUT TH WORKING PERIOD OF EACH PHASE. 2. A COPY OF THE SOIL EROSION CONTROL PLANS MUST BE AVAILABLE
- AT THE SITE. 3. MAINTAIN ALL EROSION CONTROL FACILITIES THROUGH THE WORKING
- PERIOD OF EACH AREA. CONTRACTOR SHALL REMOVE ACCUMULATED SEDIMENT TO MAINTAIN EFFECTIVENESS OF EROSION CONTROL FACILITIES WHEN CAPACITY IS REDUCED BY A MAXIMUM OF 25%.
- 4. TEMPORARY OR PERMANENT SEEDING SHALL BE COMPLETED ON ALI OPEN GROUND WHICH IS TO BE LEFT UNDISTURBED FOR LONGER THAN TWENTY (20) DAYS.
- 5. ALL EROSION CONTROL FACILITIES SHALL BE PROMPTLY INSPECTED AND REPAIRED BY CONTRACTOR AFTER EACH HEAVY RAINFALL
- 6. THE CONTRACTOR SHALL SCHEDULE AND CONDUCT OPERATIONS TO MINIMIZE SOIL EROSION. SEDIMENTATION AND AIR-WATER POLLUTION. WHEN LAND IS EXPOSED DURING CONSTRUCTION, THE PERIOD C EXPOSURE MUST BE MINIMIZED. THE CONTRACTOR SHALL STOCKPILI WOOD CHIPS, MULCHING AND/OR TEMPORARY SEEDING TO APPLY TO EXPOSED AREAS, AS NECESSARY TO CONTROL EROSION. EXCAVATION MATERIALS SHALL BE STOCKPILED ON UPPER SLOPE OF TRENCHES OF ROADWAYS SUCH THAT RUNOFF WILL BE IMPEDED FROM CROSSING THE
- 7. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHAL BE FOLLOWED. SHOULD UNFORESEEN EROSION CONDITIONS DEVELO DURING CONSTRUCTION. THE CONTRACTOR SHALL TAKE ACTION T REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACEN PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMEN' DISPLACEMENT. SPECIAL ATTENTION SHOULD BE GIVEN TO FROZEN SLOPES. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEA IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH PROVISION OF APPENDIX 64, EROSION CONTROL RULES ANI REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART C, PROTECTION OF NATURAL RESOURCES,

ARTICLE II, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.

- 8. PRIOR TO THE SUSPENSION OF CONSTRUCTION OPERATIONS FOR EARTHWORK IN A MANNER THAT WILL PERMIT STORM RUNOFF WITH A MINIMUM OF EROSION. EXPOSED SURFACES AND CUT SLOPES SHALL BE PROPERLY SEEDED AND STABILIZED.
- 9. LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE—GROUND OBSERVATIONS AT THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH CANNOT BE GUARANTEED. ALL CONTRACTORS AND OTHER PERSONS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 38. ENTITLED "EXCAVATION AND DEMOLITION WORK PROTECTION OF LINDERGROUND LITHLITIES" FACH INDIVIDUAL USING THIS PLAN MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE STARTING WORK.
- 10. THIS PLAN IS SCHEMATIC AND IS NOT TO BE USED FOR CONSTRUCTION LAYOUT. REFER TO RECORD PLAN OF
- SUBDIVISION/LAND DEVELOPMENT REQUIRED. 11. PER PART I.B.1.b OF THE GENERAL PERMIT, IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED THE APPLICATION OF SOIL STABILIZATION MEASURES MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN FOURTEEN (14) DAYS FROM THE DATE THE CURRENT SOIL
- 12. PER PART IV.B.I OF THE GENERAL PERMIT, THE TRAINED CONTRACTOR MUST INSPECT EROSION AND SEDIMENT CONTROL PRACTICES IN ACTIVE
- 13. NO QUEUING ALONG CLINTON AVENUE.

DISTURBANCE ACTIVITY CEASED.

14. AFTER CONSTRUCTION IS COMPLETED, THE AREA OF ASPHALT MILLINGS AND BASE COURSE SHOULD BE COMPLETELY REMOVED AND THE AREA DE-COMPACTED AND RESTORED TO ORIGINAL CONDITIONS.

#### TEMPORARY CONTROL MEASURES

- 1.FOLLOW THE PROCEDURE OUTLINED IN "STAGING OF EARTHMOVING ACTIVITIES".
- 2. GENERAL -2.1. EXISTING TREES AND OTHER EXISTING VEGETATION WILL BE DISRUPTED AS LITTLE AS POSSIBLE.
- OR EQUIVALENT TO PROTECT THEM FROM DAMAGE. INSTALL FENCING AT THE DRIP LINE OF THE TREE BRANCHES. 2.3. ONLY THE AREA WHICH IS NECESSARY FOR CONSTRUCTION

2.2. TREES TO BE SAVED WILL BE ROPED OFF WITH SNOW FENCE

- OF THE DWELLINGS, DRIVEWAYS AND ASSOCIATED UTILITIES BEING BUILT WILL BE EXPOSED AT ONE TIME. 2.4. ALL TOPSOIL FROM THE OVERALL SITE PREPARATIONS WILL BE STOCKPILED AND REDISTRIBUTED UNIFORMLY AT THE TIME OF FINAL GRADING. ALL STOCKPILES SHALL HAVE PERIMETER SILT FENCE INSTALLED AND BE SEEDED AND MULCHED IMMEDIATELY. STOCKPILE HEIGHT SHALL
- NOT EXCEED 35 FEET. SEE PLAN FOR LOCATION OF TOPSOIL STOCKPILES. 2.5. TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED TO ALL AREAS WHICH WILL REMAIN OPEN OR INACTIVE FOR 20 DAYS OR MORE OR AREAS AT FINISHED GRADE THAT WILL BE DISTURBED WITHIN ONE YEAR. PERMANENT SEEDING TO BE USED IN ANY AREA THAT WILL NOT BE DISTURBED WITHIN ONE YEAR. (SEE SEEDING AND MULCHING RATES
- 2.6. SEEDING AREAS THAT WASH OUT SHALL BE REGRADED, RESEEDED AND A NETTING USED TO HOLD THE SEED AND MULCH IN PLACE. THIS IS IMPORTANT AROUND STEEP SLOPES, WATER COURSES, SWALES AND AREAS OF CONCENTRATED FLOWS.
- 2.7. AREAS THAT FAIL TO GERMINATE MUST BE RESEEDED. 2.8. RIP-RAP WILL BE APPLIED TO ALL AREAS WHERE HEAVY CONCENTRATIONS OF DRAINAGE ARE PREVALENT. THIS WOULD BE IN CERTAIN SWALES, AT CULVERT OUTLETS. WHERE WATER IS IN TRANSITION FROM AN OPEN CHANNEL INTO A CULVERT OR AS SPECIFIED.
- 2.9. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED DAILY AND AFTER EACH STORM EVENT. NECESSARY REPAIRS, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, RENETTING AND CLEANINGS SHALL BE PERFORMED IMMEDIATELY.
- 2.10. ROCK FILTER OUTLETS MUST BE PROVIDED IMMEDIATELY WHERE SILT FENCING HAS BEEN UNDERMINED OR OVERTOPPED.
- 2.11. EROSION CONTROL FACILITIES MUST DISCHARGE INTO ADEQUATE STORM SEWERS, NATURAL WATERWAYS OR STABLE EROSION RESISTANT AREAS.
- 2.12. IF AT ANY TIME PRIOR TO SITE STABILIZATION, ANY EROSION AND SEDIMENT PROBLEMS OCCUR WHICH REQUIRE (ADDITIONAL) CONTROLS, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEMS.
- 2.13. NO SEDIMENT OR SEDIMENT LADEN WATER MUST BE ALLOWED TO LEAVE THE SITE/PROPERTY WITHOUT FIRST BEING FILTERED.
- 2.14. ANY SEDIMENT OR MUD THAT IS TRACKED ONTO THE PUBLIC ROADWAY MUST BE CLEANED OFF IMMEDIATELY BY BROOMING TO THE SATISFACTION OF THE CONSERVATION DISTRICT AT THE EXPENSE OF THE DEVELOPER AND/OR RESPONSIBLE CONTRACTOR.

#### UTILITY TRENCH EXCAVATION NOTES:

- 1. GENERAL EXPOSED TRENCH EXCAVATIONS HAVE HIGH POTENTIAL FOR ACCELERATED EROSION AND SEDIMENT POLLUTION. SINCE THESE EXCAVATIONS ARE USUALLY LOCATED AT LOWER ELEVATIONS ALONG OR ACROSS EARTH DISTURBANCE SITES, OPEN TRENCHES SERVE TO CONCENTRATE SEDIMENT LADEN RUNOFF AND CONVEY IT TO SITE BOUNDARIES OR WATERWAYS. THE MOST IMPORTANT EROSION AND SEDIMENT POLLUTION CONTROL CONSIDERATION FOR TRENCH CONSTRUCTION IS THE LIMITING AND SPECIFIC SCHEDULING OF WORK
- 2. CONSTRUCTION REQUIREMENTS 2.1. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED
- 2.2. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. 2.3. TRENCH PLUGS WILL BE SPACED AND CONSTRUCTED OF THE MATERIALS
- SHOWN IN ACCORDANCE WITH THE TRENCH PLUG DETAIL AND TABLE. 2.3.1. AT ALL CROSSINGS OF WATERS OF THE COMMONWEALTH, TRENCH PLUGS WILL BE INSTALLED AT THE BANKS AFTER TRENCH EXCAVATION. THE PLUGS MAY BE TEMPORARILY REMOVED WHEN PLACING THE PIPE, BUT
- 2.3.2. CONSTRUCTION OF THE CROSSING WILL BE IN ACCORDANCE WITH THE REQUIREMENTS OF STREAM CROSSING CONSTRUCTION
- 2.4. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. ALL WATER MUST BE PUMPED THROUGH A STILLING BASIN. 2.5. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, TH DISTURBED AREA WILL BE GRADED TO ORIGINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AN MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH
- 2.6. THE WETLANDS AREA SHALL BE DELINEATED AND PROTECTED BY SILT FENCE. EQUIPMENT AND MATERIALS MAY NOT BE STORED WITHIN THE WETLAND AREA.
- 2.7. ALL EXCAVATED TRENCH MATERIAL SHOULD BE LOCATED ON THE UPHILL SIDE OF THE TRENCH WHEREVER APPLICABLE. 3. EXCEPTIONS - IN CERTAIN CASES TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED. IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM 2 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:
- 3.1. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
- 3.2. IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.

#### VILLAGE OF DOBB'S FERRY NOTES: 1. "THE APPLICANT SHALL NOTIFY THE VILLAGE BUILDING INSPECTOR AT

- LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING AS REQUIRED BY THE STORMWATER MANAGEMENT OFFICER:
- 1.1. START OF CONSTRUCTION 1.2. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES
- 1.3. COMPLETION OF SITE CLEARING 1.4. COMPLETION OF ROUGH GRADING
- 1.5. INSTALLATION OF STORMWATER MANAGEMENT FACILITIES
- 1.6. COMPLETION OF FINAL GRADING
- 1.7. CLOSE OF THE CONSTRUCTION SEASON
- 1.8. COMPLETION OF FINAL LANDSCAPING 1.9. SUCCESSFUL ESTABLISHMENT OF LANDSCAPING"
- 2. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
- 3. AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATION OF OCCUPANCY. 4. STORMWATER SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE
- 5. 'FILL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINTED
- FILL SUITABLE FOR THE INTENDED USE. 6. SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 - BLASTING OF THE DOBBS FERR VILLAGE CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW / APPROVAL
- 7. BEFORE THE SITE PLANS ARE SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THI PLANNING BOARD AND THE VILLAGE ENGINEER IN A FORM SATISFACTORY
- TO THE VILLAGE ATTORNEY. 8. STORMWATER MAY NOT BE CONNECTED UNTIL CONSTRUCTION IS
- COMPLETE AND CONTRIBUTING AREA IS STABILIZED.. 9. AREA OF STORMWATER MANAGEMENT TO BE DE-COMPACTED PRIOR TO
- 10. THE OWNER OR OPERATOR SHALL HAVE A QUALIFIED INSPECTOR INSPECT AND DOCUMENT THE EFFECTIVENESS OF ALL EROSION AND SEDIMENTATION CONTROL PRACTICES AND PREPARE INSPECTION REPORTS AT LEAST ONCE A MONTH. THESE REPORTS MUST BE KEPT ON SITE AND

#### **SEQUENCE OF CONSTRUCTION:**

SEWER UTILITIES.

6. PERFORM ON-SITE GRADING.

- 1. INSTALL TREE PROTECTION, PERIMETER SILT FENCE, TEMPORARY CHAIN LINK CONSTRUCTION FENCE, INLET PROTECTION AND TURBIDITY BARRIER. INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AND OTHER SOIL EROSION AND SEDIMENT CONTROL MEASURES. PROPERLY PROTECT EXISTING ACCESS ROADWAY ALONG
- CLARKE DRIVE INTO THE PROPERTY. 2. PERFORM ALL SITE DEMOLITION WORK SHOWN ON CIVIL DEMOLITION PLANS, SHEETS
- 3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN PROPER

FUNCTIONING ORDER UNTIL CONSTRUCTION IS COMPLETE AND SITE IS FULLY

- 4. INSTALL UNDERGROUND STORM WATER INFRASTRUCTURE AND STORM WATER
- 5. INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON THE PROPOSED STORM WATER RELATED ITEMS (I.E. INLET PROTECTION FOR NEW INLETS).
- 7. START CONSTRUCTION OF THE SOUTH-EAST PARKING LOT AND OTHER SITE IMPROVEMENTS, INCLUDING PLACEMENT OF CURBING, PAVEMENT, LANDSCAPING BUFFERS AND STRIPING APPLICATION.
- 8. INSTALL FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.
- 9. REMOVE SOIL EROSION MEASURES WHEN SITE IS RETURNED TO STABLE CONDITION.



#### **MARVEL** 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013 212.616.0420

OWNER THE MASTERS SCHOOL 49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

TEL 914 479 6400 PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

145 HUDSON STREET, FLOOR 3

NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC

2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622

STRUCTURAL ENGINEER 32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005

TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002

VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001 TEL 212 868 9090

AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE NEW YORK, NEW YORK 10018 TEL 212 615 3600

LSTN CONSULTANTS **76 BEAVER STREET** NEW YORK, NEW YORK 10005 TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14

ACOUSTICS CONSULTANT

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TEL 212 951 0660

NEW YORK, NEW YORK 10004

CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751 TEL 732 970 0700

GEOTHERMAL ENGINEER

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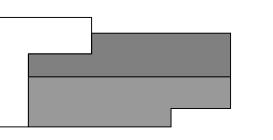
DESCRIPTION REV DATE

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION SITE APPLICATION RESUBMISSION

SITE APPLICATION

RESUBMISSION

07/22/2021



**KEY PLAN:NTS** 

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

SCALE:



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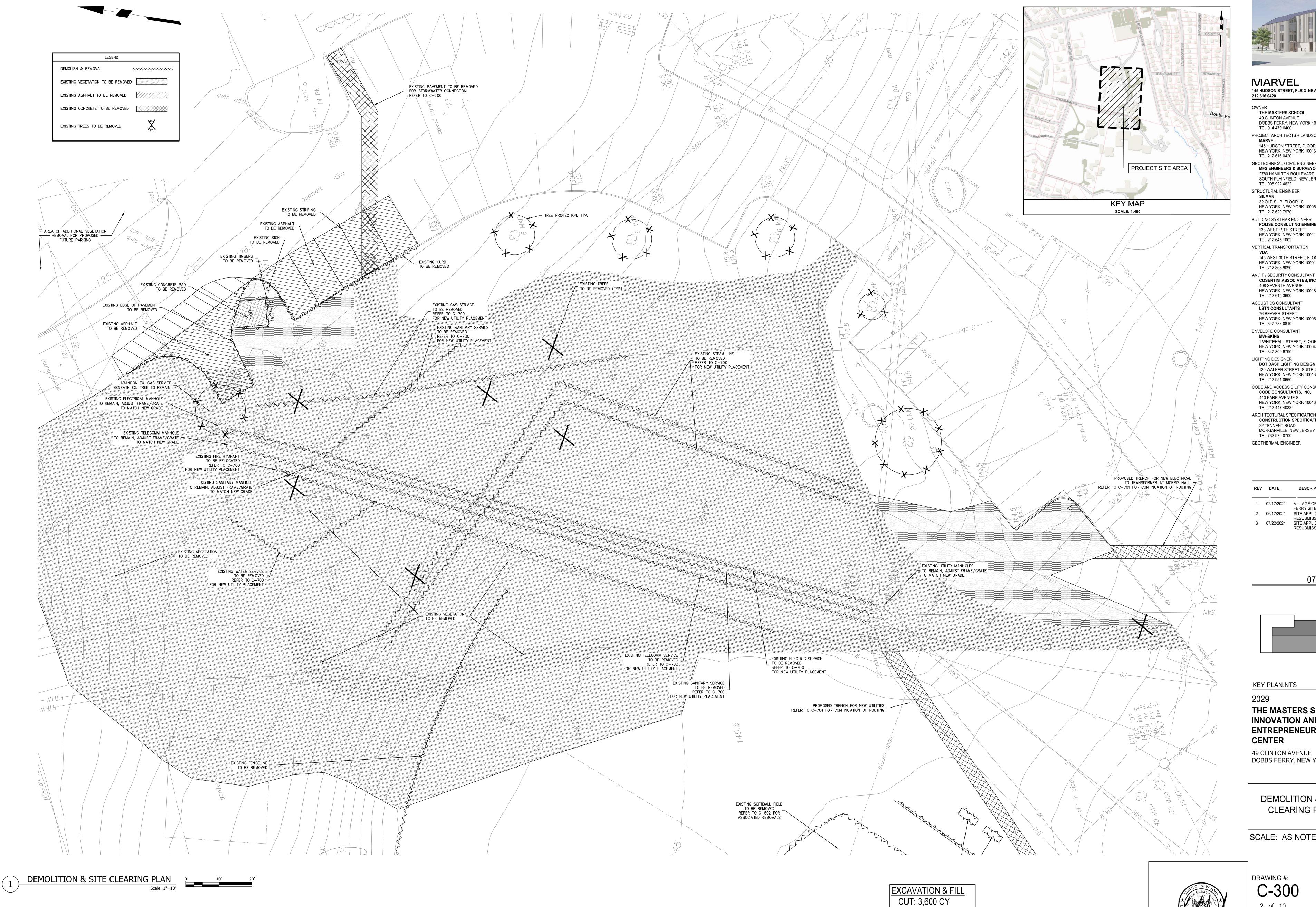
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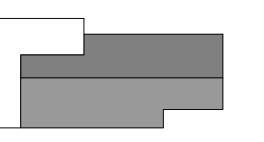
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REV DATE DESCRIPTION 1 02/17/2021 VILLAGE OF DOBBS

FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION RESUBMISSION 3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

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**DEMOLITION & SITE CLEARING PLAN** 

SCALE: AS NOTED

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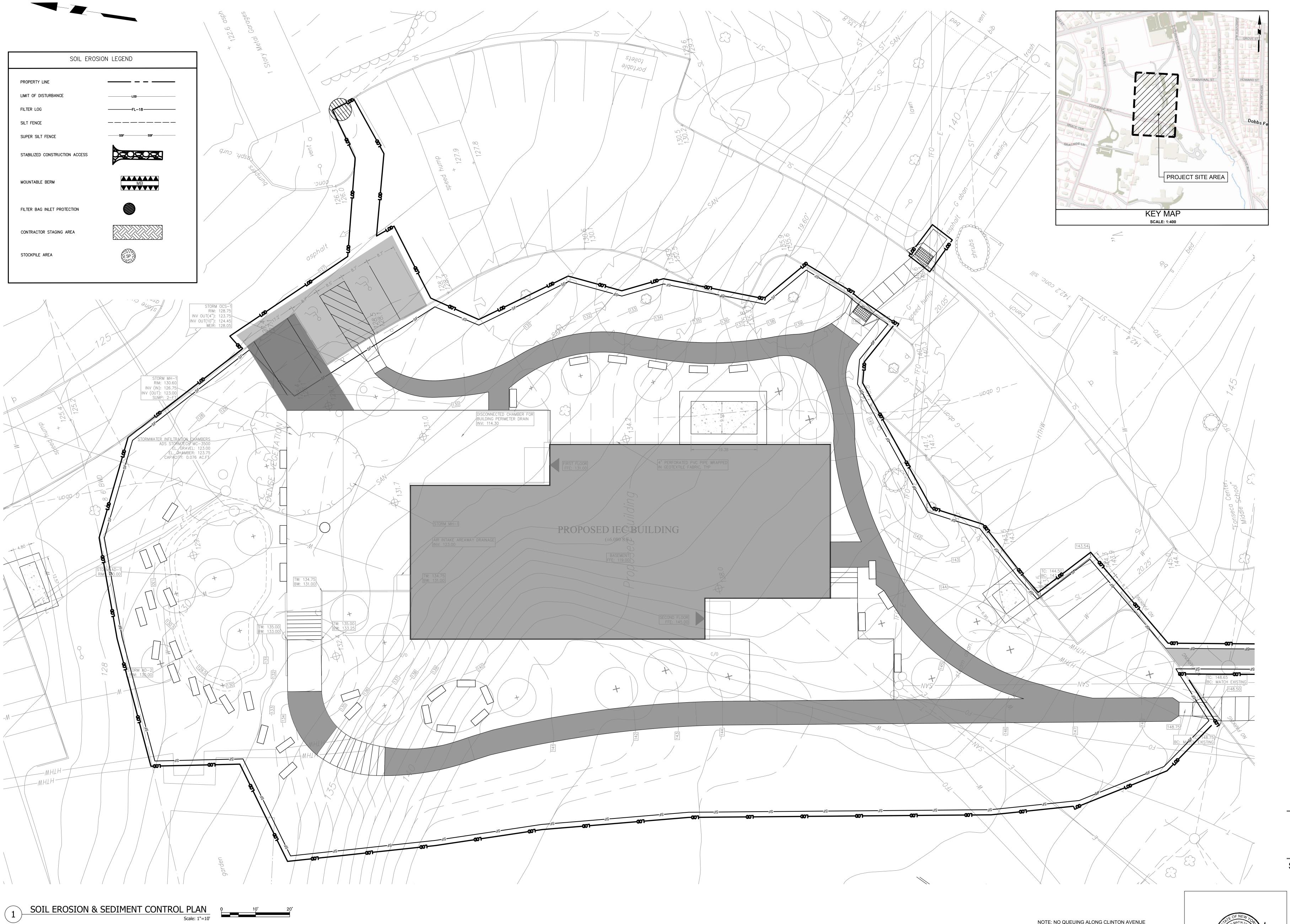
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TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080

TEL 908 922 4622 STRUCTURAL ENGINEER 32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005 TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC

133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002 VERTICAL TRANSPORTATION

145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001 TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC.

498 SEVENTH AVENUE NEW YORK, NEW YORK 10018 TEL 212 615 3600 ACOUSTICS CONSULTANT

LSTN CONSULTANTS **76 BEAVER STREET** NEW YORK, NEW YORK 10005 TEL 347 788 0810 ENVELOPE CONSULTANT

MW-SKINS 1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004 TEL 347 809 6790

LIGHTING DESIGNER DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013

TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

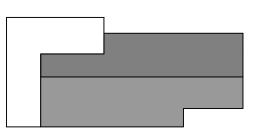
ARCHITECTURAL SPECIFICATIONS CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751 TEL 732 970 0700

GEOTHERMAL ENGINEER

REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS 7 VILLAGE OF DOBBS
FERRY SITE APPLICATION
2 06/17/2021 SITE APPLICATION
RESUBMISSION
3 07/22/2021 SITE APPLICATION
RESUBMISSION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

> SOIL EROSION & SEDIMENT CONTROL PLAN

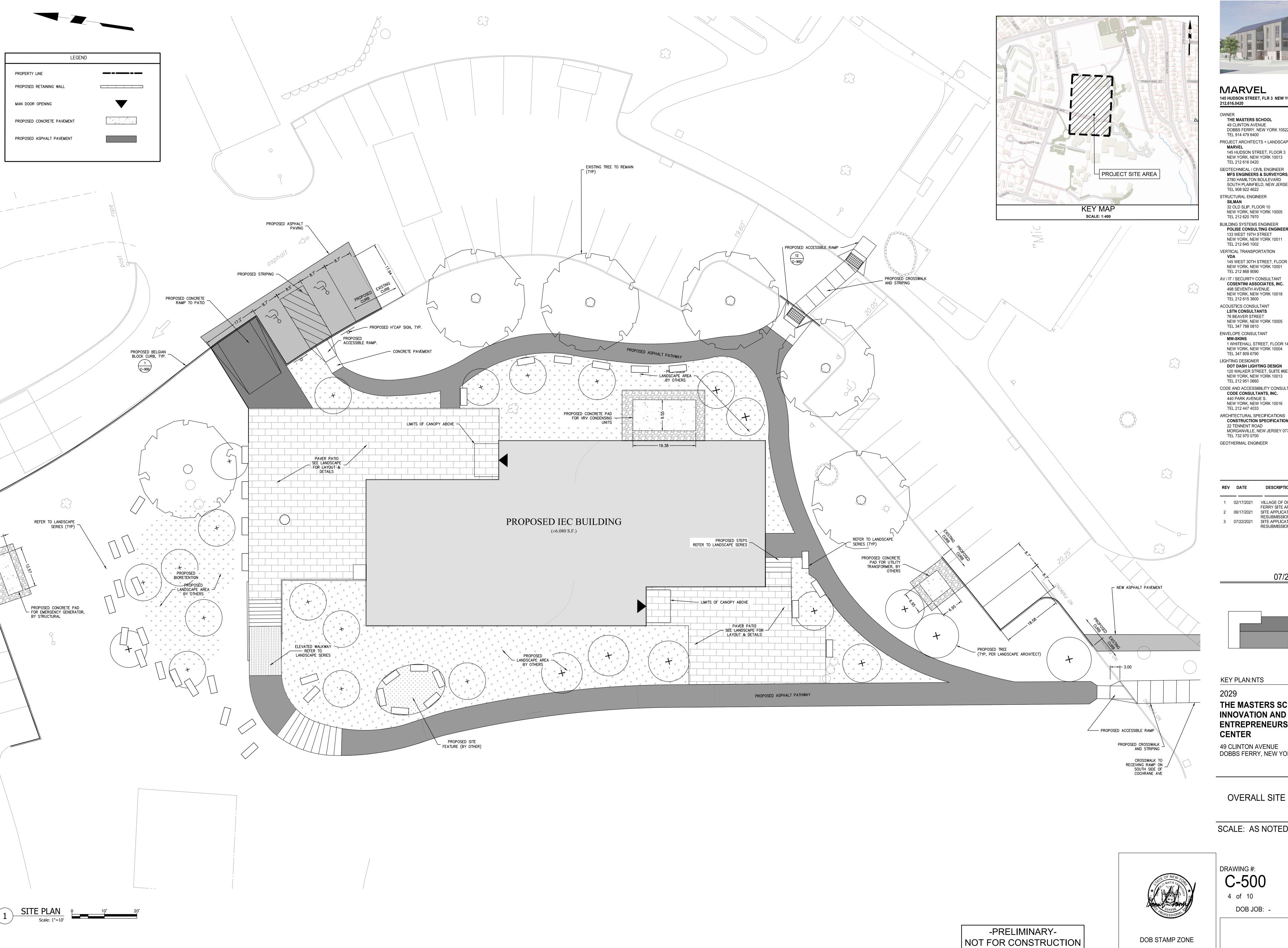
SCALE: AS NOTED

NOTE: NO QUEUING ALONG CLINTON AVENUE

-PRELIMINARY-NOT FOR CONSTRUCTION DRAWING #: C-400 3 of 10 DOB JOB: -

DOB STAMP ZONE

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MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013

THE MASTERS SCHOOL 49 CLINTON AVENUE

DOBBS FERRY, NEW YORK 10522 TEL 914 479 6400 PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080

TEL 908 922 4622 STRUCTURAL ENGINEER

32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005 TEL 212 620 7970

BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002

VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC.

NEW YORK, NEW YORK 10018 TEL 212 615 3600 ACOUSTICS CONSULTANT

LSTN CONSULTANTS **76 BEAVER STREET** NEW YORK, NEW YORK 10005 TEL 347 788 0810

ENVELOPE CONSULTANT MW-SKINS

1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004 TEL 347 809 6790

DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013 TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

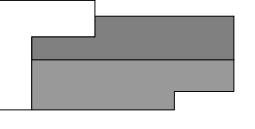
ARCHITECTURAL SPECIFICATIONS CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751

GEOTHERMAL ENGINEER

DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION RESUBMISSION
3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

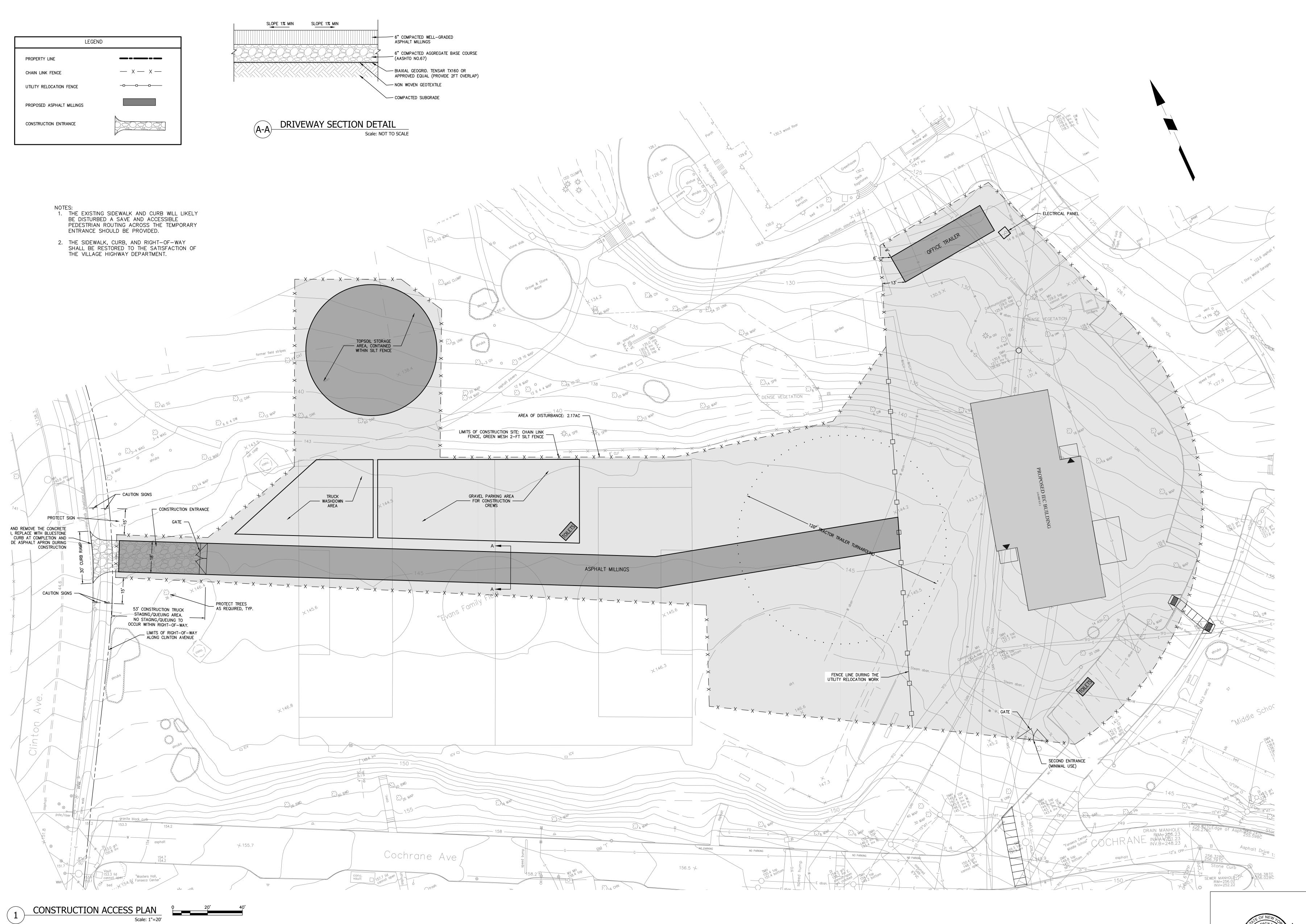
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OVERALL SITE PLAN

SCALE: AS NOTED

DRAWING #: C-500

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OWNER THE MASTERS SCHOOL 49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522 TEL 914 479 6400 PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD

MARVEL

SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622 STRUCTURAL ENGINEER 32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005 TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002

VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE NEW YORK, NEW YORK 10018

TEL 212 615 3600 ACOUSTICS CONSULTANT LSTN CONSULTANTS 76 BEAVER STREET NEW YORK, NEW YORK 10005 TEL 347 788 0810

ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14

NEW YORK, NEW YORK 10004 TEL 347 809 6790 LIGHTING DESIGNER DOT DASH LIGHTING DESIGN

120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013 TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC.

440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033 ARCHITECTURAL SPECIFICATIONS

22 TENNENT ROAD

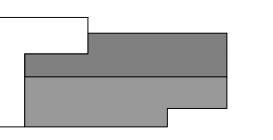
MORGANVILLE, NEW JERSEY 07751 TEL 732 970 0700 GEOTHERMAL ENGINEER

CONSTRUCTION SPECIFICATIONS, INC

DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION RESUBMISSION 3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

**49 CLINTON AVENUE** DOBBS FERRY, NEW YORK 10522

ACCESS PLAN

SCALE: AS NOTED

DRAWING #:

C-502 5 of 10

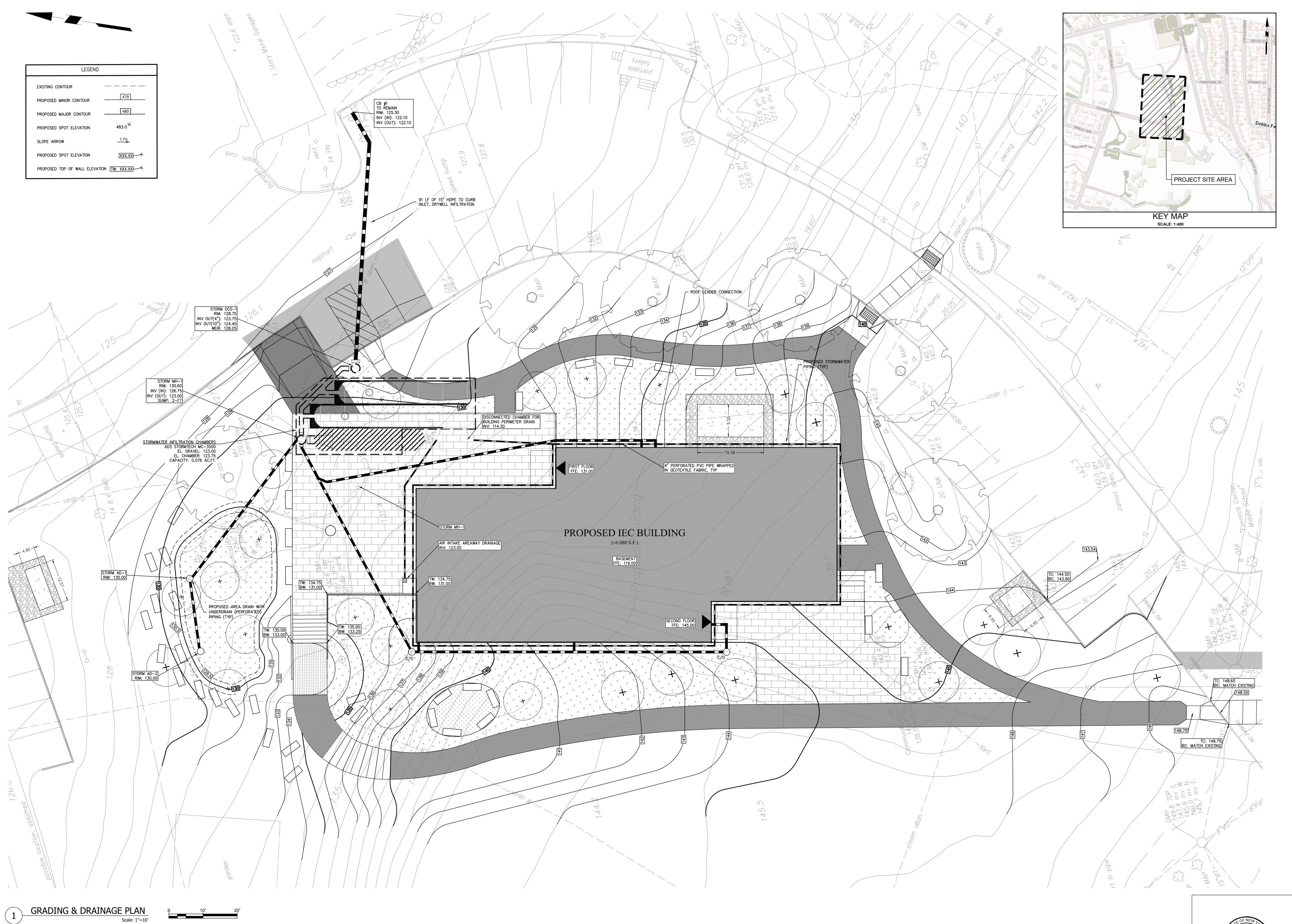
DOB JOB: -

-PRELIMINARY-

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145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD

SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622 STRUCTURAL ENGINEER 32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005 TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011

TEL 212 645 1002 VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4

NEW YORK, NEW YORK 10001 TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE

NEW YORK, NEW YORK 10018 TEL 212 615 3600 ACOUSTICS CONSULTANT LSTN CONSULTANTS

76 BEAVER STREET NEW YORK, NEW YORK 10005 TEL 347 788 0810

ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14

NEW YORK, NEW YORK 10004 TEL 347 809 6790 LIGHTING DESIGNER DOT DASH LIGHTING DESIGN

120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013 TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC.

440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033 ARCHITECTURAL SPECIFICATIONS CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD

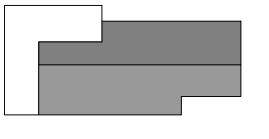
MORGANVILLE, NEW JERSEY 07751 TEL 732 970 0700 GEOTHERMAL ENGINEER

REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION RESUBMISSION
3 07/22/2021 SITE APPLICATION

RESUBMISSION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER 49 CLINTON AVENUE

DOBBS FERRY, NEW YORK 10522

PROPOSED GRADING & DRAINAGE PLAN

SCALE: AS NOTED

DOB JOB: -

DRAWING #:

C-600

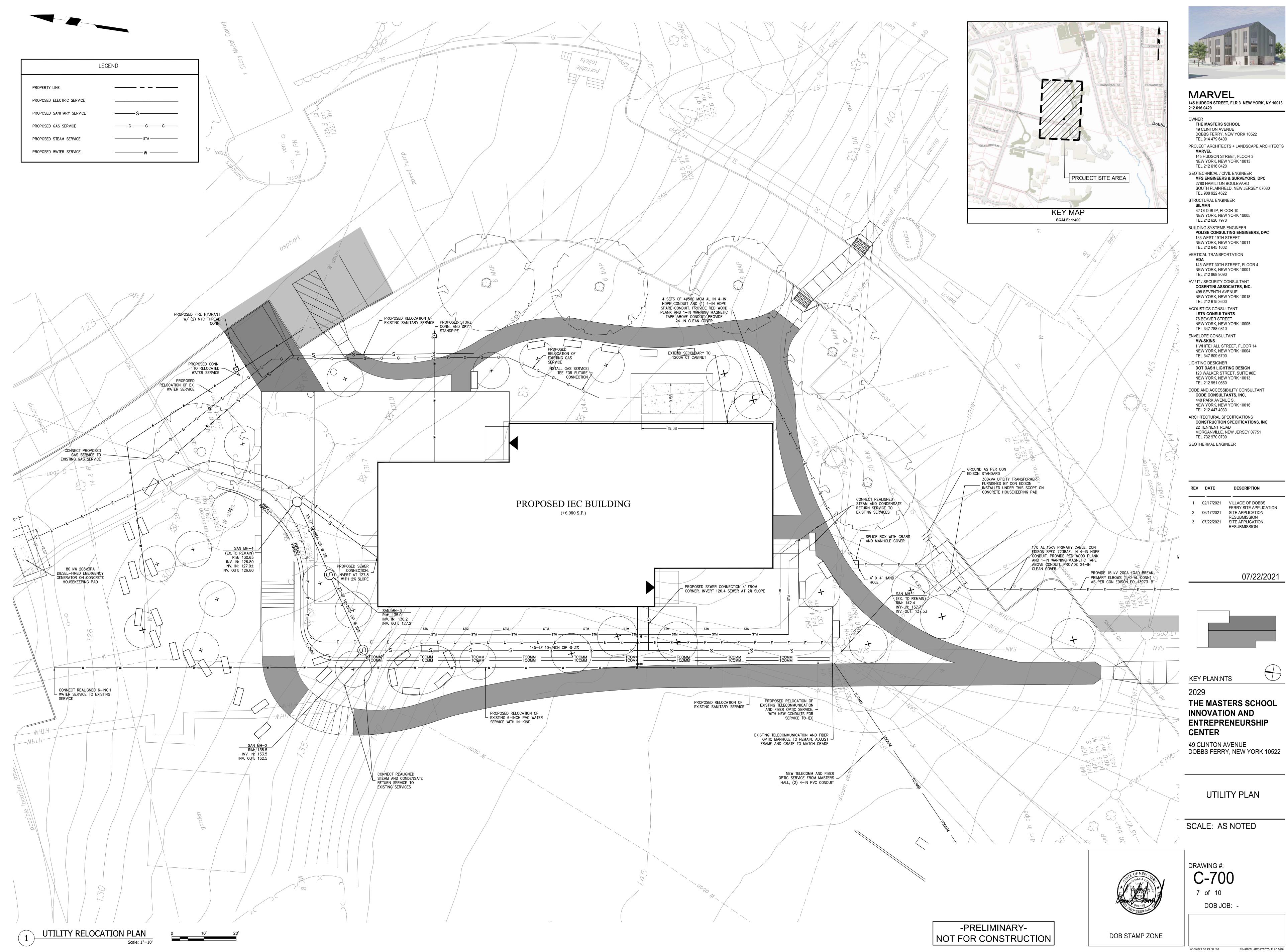
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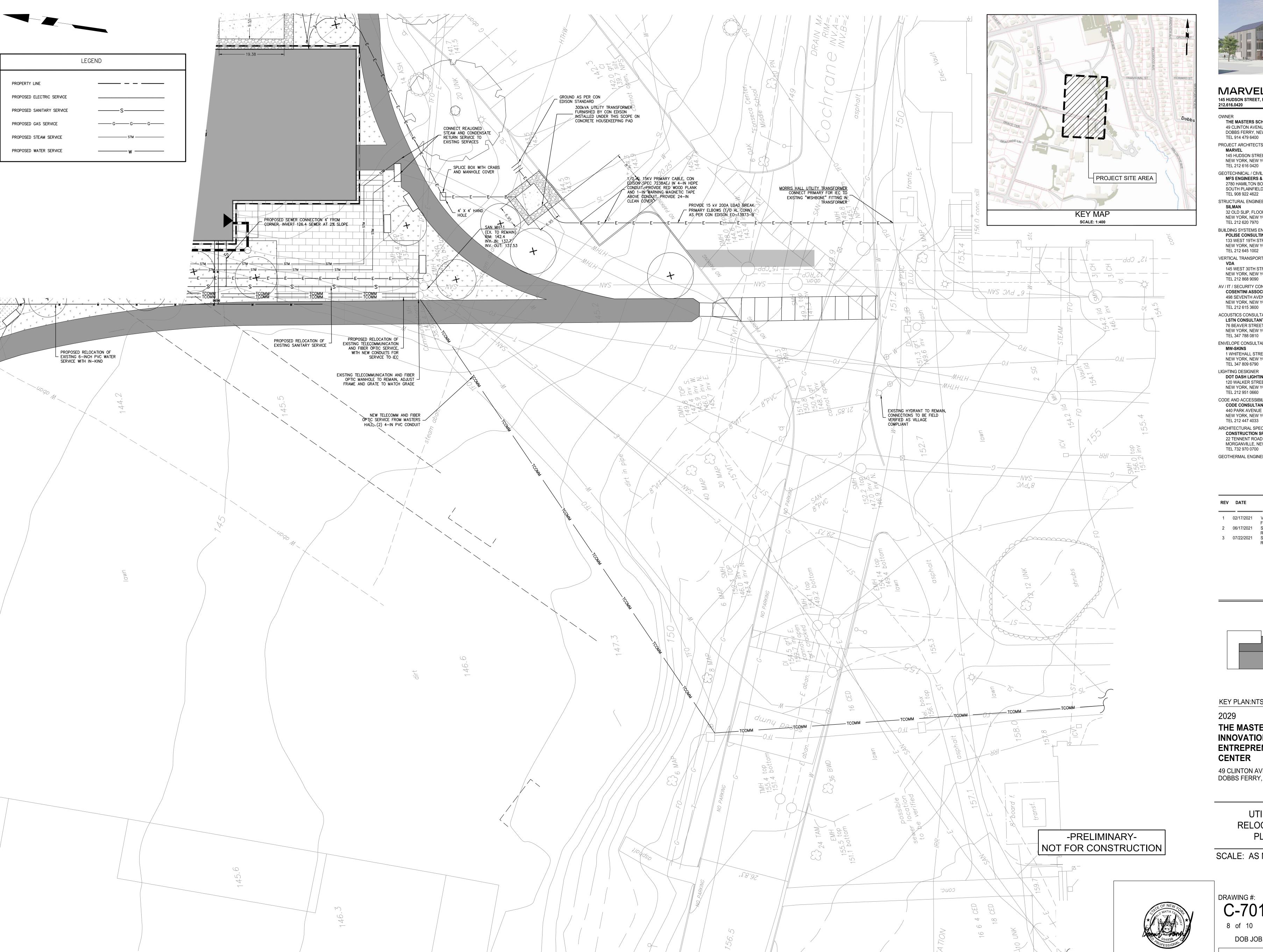
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OWNER THE MASTERS SCHOOL **49 CLINTON AVENUE** 

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NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080

TEL 908 922 4622 STRUCTURAL ENGINEER 32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005 TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011

TEL 212 645 1002 VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4

NEW YORK, NEW YORK 10001

TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE

NEW YORK, NEW YORK 10018 TEL 212 615 3600 ACOUSTICS CONSULTANT LSTN CONSULTANTS 76 BEAVER STREET

NEW YORK, NEW YORK 10005 TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS

1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004 TEL 347 809 6790

DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013 TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT

CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033 ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC

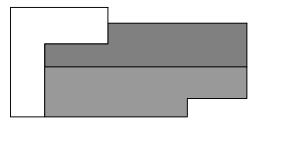
22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751 TEL 732 970 0700 GEOTHERMAL ENGINEER

REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION

RESUBMISSION
3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

> UTILITY RELOCATION PLAN

SCALE: AS NOTED

DRAWING #: C-701

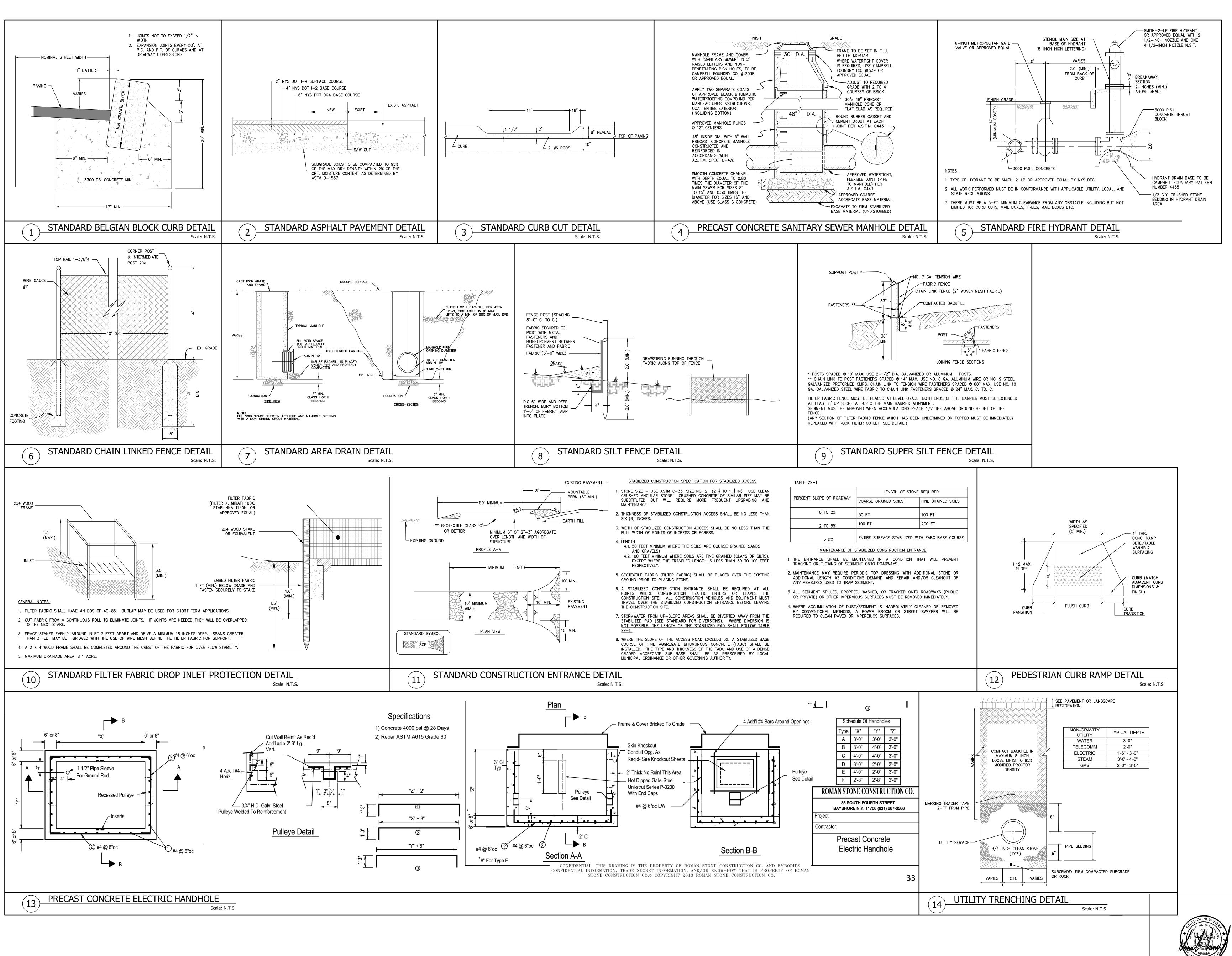
8 of 10

DOB JOB: -

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DOB STAMP ZONE

1 UTILITY RELOCATION PLAN
Scale: 1"=10'





145 HUDSON STREET, FLR 3 NEW YORK, NY 10013 212.616.0420

OWNER
THE MASTERS SCHOOL
49 CLINTON AVENUE
DOBBS FERRY, NEW YORK 10522
TEL 914 479 6400

TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

MARVEL

145 HUDSON STREET, FLOOR 3

NEW YORK, NEW YORK 10013

TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER

MFS ENGINEERS & SURVEYORS, DPC

2780 HAMILTON BOULEVARD

SOUTH PLAINFIELD, NEW JERSEY 07080

TEL 908 922 4622

STRUCTURAL ENGINEER
SILMAN
32 OLD SLIP, FLOOR 10
NEW YORK, NEW YORK 10005
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER
POLISE CONSULTING ENGINEERS, DPC
133 WEST 19TH STREET
NEW YORK, NEW YORK 10011
TEL 212 645 1002
VERTICAL TRANSPORTATION

VDA

145 WEST 30TH STREET, FLOOR 4

NEW YORK, NEW YORK 10001

TEL 212 868 9090

AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE NEW YORK, NEW YORK 10018 TEL 212 615 3600

ACOUSTICS CONSULTANT

LSTN CONSULTANTS

76 BEAVER STREET

NEW YORK, NEW YORK 10005

TEL 347 788 0810

NEW YORK, NEW YORK 1000 TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS

1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004 TEL 347 809 6790 LIGHTING DESIGNER

DOT DASH LIGHTING DESIGN
120 WALKER STREET, SUITE #6E
NEW YORK, NEW YORK 10013
TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT

CODE CONSULTANTS, INC.

440 PARK AVENUE S.

NEW YORK, NEW YORK 10016

TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC

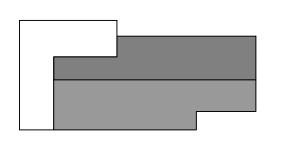
22 TENNENT ROAD
MORGANVILLE, NEW JERSEY 07751
TEL 732 970 0700
GEOTHERMAL ENGINEER

GEOTHERMAL ENGINEER

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION
3	07/22/2021	RESUBMISSION SITE APPLICATION

07/22/2021

RESUBMISSION



KEY PLAN:NTS

2029

THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

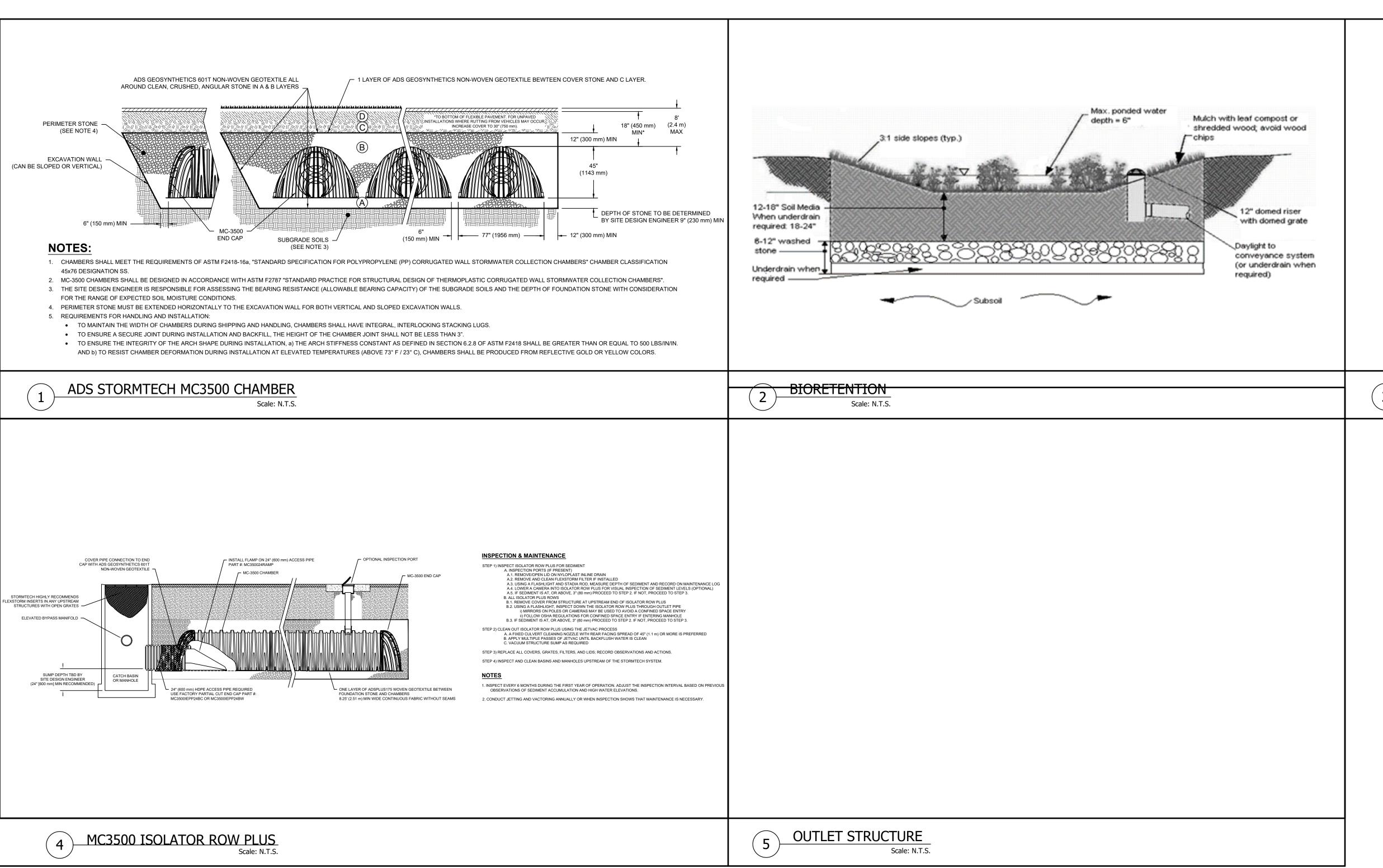
CONSTRUCTION DETAILS

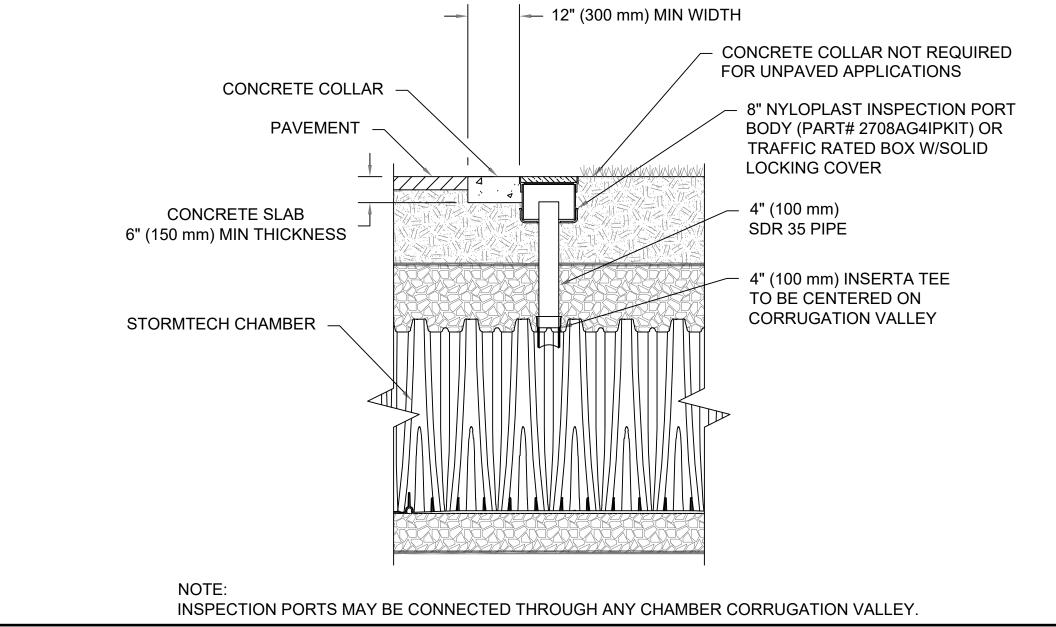
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DRAWING #:

9 of 10 DOB JOB: -

DOB STAMP ZONE





4" PVC INSPECTION PORT (MC SERIES CHAMBER) Scale: N.T.S.



MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013 212.616.0420

THE MASTERS SCHOOL **49 CLINTON AVENUE** 

NEW YORK, NEW YORK 10013

DOBBS FERRY, NEW YORK 10522 TEL 914 479 6400 PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS 145 HUDSON STREET, FLOOR 3

TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622

STRUCTURAL ENGINEER 32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005

TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011

TEL 212 645 1002 VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE

NEW YORK, NEW YORK 10018 TEL 212 615 3600 ACOUSTICS CONSULTANT LSTN CONSULTANTS 76 BEAVER STREET

NEW YORK, NEW YORK 10005 TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS

NEW YORK, NEW YORK 10004 TEL 347 809 6790 LIGHTING DESIGNER DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E

1 WHITEHALL STREET, FLOOR 14

NEW YORK, NEW YORK 10013 TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016

TEL 212 447 4033 ARCHITECTURAL SPECIFICATIONS CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751

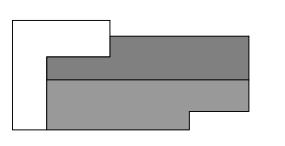
TEL 732 970 0700 GEOTHERMAL ENGINEER

REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION RESUBMISSION

3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

**49 CLINTON AVENUE** DOBBS FERRY, NEW YORK 10522

> CONSTRUCTION **DETAILS**

SCALE: AS NOTED



DOB STAMP ZONE

DRAWING #:

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#### **GENERAL NOTES**

#### GENERAL

- A. DO NOT SCALE DRAWINGS. CONSULT THE LANDSCAPE ARCHITECT FOR ANSWERS TO ALL QUESTIONS REGARDING DIMENSIONS. THE CONTRACTOR IS ADVISED THAT THIS INFORMATION IS DIAGRAMMATIC ANDD NOT NECESSARILY COMPLETE.

  B. THE CONTRACTOR IS ADVISED THAT ALL UTILITY INFORMATION INDICATED HEREIN AND/OR AVAILABLE FROM
- AGENCIES, PRIVATE UTILITIES AND/OR THE OWNER MAY NOT BE COMPLETE.
- A. ALL SURVEY INFORMATION AND EXISTING CONDITIONS HAVE BEEN PROVIDED BY LAND AND GRADE SURVEYORS, D.P.C., 23 NEPPERHAN AVENUE, ELMSFORD, NY 10523, 914-347-3141.
- B. ALL EXISTING CONDITIONS INFORMATION SHOWN IS FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN.
- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL VERIFY STATUS OF EXISTING UTILITIES WITHIN THE PROJECT AREA AS REQUIRED BY LOCAL LAW. ALL COMMUNICATIONS AND COORDINATION MEETINGS RELATIVE TO THE PROJECT BETWEEN THE CONTRACTOR AND ANY AGENCY, UTILITY COMPANY OR ORGANIZATION WILL BE CONDUCTED AND/OR APPROVED BY THE CLIENT. THE LANDSCAPE ARCHITECT SHALL RECEIVE NOTIFICATION OF ANY MEETINGS AND COPIES OF ANY AND ALL MINUTES OR COMMUNICATIONS AS A RESULT OF THOSE COMMUNICATIONS OR COORDINATION MEETINGS.
- 4. THE CONTRACTOR SHALL MAKE TEST PITS AS REQUIRED TO VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES AND OTHER SUBSURFACE ELEMENTS AS THE WORK PROGRESSES. SUCH WORK SHALL BE DEEMED TO BE INCLUDED IN THE LUMP SUM BUD FOR THE PROJECT. ALL WORK SHALL COMPLY WITH APPLICABLE BUILDING CODE AND NEW YORK CITY LOCAL LAW 53.
- 5. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CLIENT, PRIVATE UTILITY COMPANIES, AND THE CITY AGENCIES AS REQUIRED FOR THE EXPEDITIOUS EXECUTION OF WORK.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL THE EXISTING FIELD CONDITIONS ADJACENT TO THE SITE INCLUDING BUT NOT LIITED TO ALL STRUCTURES, UTILITIES, FENCES, PAVEMENTS, SHRUBS, TREES, LIGHT POSTS, ETC. THROUGHOUT THE DURATION OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN ALL EXISTING CONDITIONS ADJACENT TO THE SITE, OR AS INDICATED ON CONTRACT DRAWINGS. IN THE EVENT THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO EXISTING CONDITIONS ADJACENT TO THE SITE, OR CONNDITIONS INDICATED TO REMAIN ON CONTRACT DRAWINGS, THE CONTRACTOR SHALL REPAIR AND CORRECT ALL DAMAGES TO THE SATISFACTION OF THE CLIENT AT NO EXTRA COST.
- 7. CHANGES IN THE WORK; ALL REQUESTS FOR CHANGES AND/OR SUBSTITUTIONS IN THE WORK SHALL BE MADE IN WRITING TO THE LANDSCAPE ARCHITECT. A COPY OF ALL SUCH REQUESTS SHALL BE SENT TO THE CLIENT.
- 8. THE CONTRACTOR SHALL STUDY THE INTERRELATIONSHIP OF ALL THE VARIOUS ELEMENTS OF CONSTRUCTION SHOWN ON THE CONTRACT DRAWINGS AND DESCRIBED IN THE PROJECT SPECIFICATIONS AND BULLETINS, AND SHALL COORDINATE THEIR CONSTRUCTION OPERATIONS ACCORDINGLY. ANY CONFLICTS WHICH MAY BECOME APPARENT FROM THE COORDINATION STUDY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- 9. ALL NEW AND EXISTING INLETS, BASINS, AND CONNECTIONS WITHIN THE LIMITS OF THIS CONTRACT ARE TO BE CLEANED, FLUSHED, AND OTHERWISE MADE OPERABLE TO THE SATISFACTION OF THE CLIENT AND ARE TO BE INCLUDED IN THE LUMP SUM RID
- 10. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL BRING CONDITIONS WHICH CONFLICT WITH PROPOSED GRADING AND SITE CONSTRUCTION TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE CLIENT.
- 11. ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK, IMPROPER SCHEDULEING OR DELINQUENT ORDERING SHALL BE BORNE BY THE CONTRACTOR.
- 12. ALL CITY AGENCIES HAVING JURISDICTION, NAMELY, DEPARTMENT OF BUILDINGS AND APPROVALS OF OTHERS REQUIRED, AS WELL AS PRIVATE UTILITY COMPANIES MUST BE OBTAINED PRIOR TO ACCEPTANCE OF THE PROJECT BY THE CLIENT.
- 13. ALL MECHANICAL EQUIPMENT, CONCEALED WATER AND GAS VALVES, ETC. TO REMAIN UNLESS OTHERWISE SPECIFICALLY
- NOTED.

  14. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE
- WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.

  15. AT ALL TIMES, THE SITE SHALL BE KEPT NEAT, AND KEPT FREE OF DEBRIS LEFT FROM ALL CONSTRUCTION OPERATIONS. IT
- PROTECT THE PUBLIC FROM ANY INJURY THAT MAY OCCUR AS A RESULT OF THE SITE BEING ACCESSIBLE DURING PROJECT CONSTRUCTION.

  16. UNLESS OTHERWISE NOTED, DETAILED DRAWINGS AND PART PLANS SHALL HAVE PRECEDENCE OVER LAYOUT DRAWINGS (I.E.

SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE AND PROTECT ALL WORK FINISHED OR IN PROGRESS, AND TO

- 16. UNLESS OTHERWISE NOTED, DETAILED DRAWINGS AND PART PLANS SHALL HAVE PRECEDENCE OVER LAYOUT DRAWINGS (I.E. SITE PLAN) FOR ACCURACY OF INFORMATION.
- 17. SUBMITTALS
- A. ALL SUBMITTALS REQUIRING THE LANDSCAPE ARCHITECT'S APPROVAL SHALL BE TRANSMITTED (3 COPIES ARE REQUIRED) DIRECTLY TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ELEMENTS. SUBMITTAL REQUIREMENTS ARE GENERALLY INDICATED IN THE GENERAL SPECIFICATIONS.

  B. SEE PROJECT SPECIFICATIONS FOR OTHER REQUIRED SUBMITTALS.
- 18. THE SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR SHALL SHOW ALL FASTENING DEVICES AND LOCATITONS COMPLETE WITH FASTENINGS TO ALL FOUNDATION WALLS AND PAVEMENTS. THE SHOP DRAWINGS SHALL PROVIDE SUFFICIENT DETAIL TO ALLOW THE LANDSCAPE ARCHITECT TO REVIEW AND APPROVE THE SYSTEM AND PIECES.
- 19. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO GUARANTEE ANY AND ALL ANCHORING SYSTEMS FOR ALL WORK.
- 20. EXPANSION JOINTS SHALL BE PROVIDED AND INSTALLED AT ALL INTERFACES OF ADJACENT SURFACES, VERTICAL AND HORIZONTAL SURFACES, GRADE CHANGES, AND AS INDICATED ON DRAWINGS. THE TOP OF EXPANSION JOINTS SHALL BE SET ½ INCH BELOW FINISHED GRADE AND THEN SEALED WITH A URETHANE BASED SEALER TO BE FLUSH WITH THE FINISHED GRADE AS CALLED FOR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL INDICATE PROPOSED LOCATIONS ON ALL APPLICABLE SHOP DRAWINGS SUBMITTED FOR APPROVAL.
- 21. THE CONTRACTOR SHALL INSTALL GALVANIZED STEEL PIPE SLEEVES AS REQUIRED TO INSTALL UTILITY WORK THROUGH CONCRETE AND MASONRY FOOTINGS AND FOUNDATIONS. ALL PIPE SLEEVES SHALL BE SCHEDULE 40 PIPE AND BE TWICE THE DIAMETER OF THE UTILITY PIPE UNLESS OTHERWISE NOTED.
- 22. CONCRETE FOR CURBS, FOOTINGS, AND WALLS COMPLY WITH STRUCTURAL AND ARCHITECTURAL SPECIFICATIONS FOR CAST-IN-PLACE CONCRETE WORK.
- 23. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO ALL BUILDING ENTRANCES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- 24. PAVER SYSTEMS SHALL MEET (ADJACENT) ALTERNATE MATERIAL PAVEMENTS FLUSH. THE CONTRACTOR SHALL VERIFY THE INTERIOR GRADES AND THEIR RELATIONSHIP WITH THE PROPOSED GRADES. THE CLIENT SHALL BE NOTIFIED IF THERE ARE ANY DISCREPANCIES IN THE ELEVATIONS. ADJUSTMENTS SHALL BE MADE AS NECESSARY AND SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.
- 25. EXISTING DRAINS/VALVE COVERS, ETC. SHALL BE ADJUSTED AS NECESSARY IN AREAS WHERE PROPOSED WORK IS TO BE INSTALLED.
- 26. CONCRETE CURBS/FOOTINGS FOR ALL FENCING AND WALLS SHALL BRIDGE OVER ANY EXISTING DRAIN INLETS AND UTILITIES AND SHALL BE BROUGHT TO THE ATTENTION OF THE CLIENT AND THE LANDSCAPE ARCHITECT.
- 27. CONTRACTOR SHALL SUPPLY THE CLIENT WITH MANUFACTURER'S SHOP DRAWINGS AND INSTALLATION DRAWINGS PRIOR TO THE INSTALLATION OF ANY SPECIFIED ITEM.
- 28. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEPARTMENT OF BUILDINGS AS WELL AS ANY REGULATORY AGENCY PERMITS FOR WORK UNDER THIS CONTRACT.

### DEMOLITION AND REMOVALS

- 1. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN THE EXISTING CONDITIONS AND THE LANDSCAPE PLAN IN PREPARING BIDS AND EXECUTING WORK.
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE AND PROTECT ALL EXISTING FACILITIES NOT SPECIFICALLY STATED FOR REMOVAL WITHIN THE WORK AREA.
- 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND VERIFY ELEVATIONS OF ALL UTILITY/MECHANICAL STRUCTURES, AND UTILITY LINES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE UTILITY/MECHANICAL LINES AND CONDUITS/PIPES DURING REMOVALS AND CONSTRUCTION. DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE SUBJECT TO LANDSCAPE ARCHITECT AND THE CLIENT'S APPROVAL.
- 4. THE CONTRACTOR SHALL, AS PART OF THEIR CONTRACTUAL OBLIGATIONS, REMOVE AS DIRECTED, ALL BALLAST AGGREGATE AND OTHER ENCROACHMENTS THAT INTERFERE WITH LANDSCAPE WORK.
- 5. ALL REMOVED MATERIAL NOT STATED FOR REUSE SHALL BE REMOVED FROM THE SITE AND SHALL NOT BE MIXED WITH NEW FILL OR GRAVEL TO BE BROUGHT ON SITE.
- 6. REMOVE ALL EXISTING RUBBLE, DEBRIS, AND ENCROACHMENT FROM THE SITE AND DISPOSE OF LEGALLY. EVIDENCE OF LEGAL DISPOSAL SHALL BE GIVEN BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT AND THE CLIENT.
- 7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY AS PART OF THIS CONTRACT TO DETERMINE THE MOST APPROPRIATE METHOD OF REMOVALS OF EXCAVATED AND/OR DEMOLITION MATERIALS FROM THE SITE WITHIN THE CONTRACT LIMIT. REMOVALS WHETHER BY MACHINE OR BY HAND SHALL BE INCLUDED IN THE CONTRACTOR'S PROPOSAL. STRIP EXISTING BALLAST AGGREGATE IN AREAS OF CONSTRUCTION AND STOCKPILE FOR FUTURE RE-USE, IF APPROVED, AS MAY BE REQUIRED.

### WATER SUPPLY / MAINTENANCE WORK

- 1. THE CONTRACTOR SHALL LOCATE ALL EXISTING VALVE BOXES WITHIN THE CONTRACT LIMIT LINES AND SHALL INDICATED THEM IN THE FIELD TO THE SATISFACTION OF THE LANDSAPE ARCHITECT. FURTHERMORE, THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT THEY WILL BE RESPONSIBLE FOR THE REPLACEMENT AND RESETTINF OF ALL VALVE BOXES NOT STATED FOR REMOVAL WHICH, ARE DAMANGED OR DISTURBED AS A RESULT OF THEIR OPERATIONS, SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT.
- 2. ALL EXISTING DRAIN AND WATER SUPPLY CONNECTIONS SHOULD BE CONTINUOUSLY MAINTAINED DURING CONSTRUCTION OF ANY WATER LINNES. IF ANY HOUSE CONNECTION MUST BE DISCONNECTED FOR CONSTRUCTION PURPOSES, FLOW MUST BE MAINTAINED BY PLUMBING OR OTHER SUITABLE MEANS AS DIRECTED BY THE LANDSCAPE ARCHITECT, AND IN SUCH A MANNER THAT NO BACK-UPS OCCUR. ANY AND ALL EXISTING HOUSE CONNECTIONS OR OTHER SEWER APPURTENANCES WHICH ARE TO REMAIN AND WHICH MUST BE DISTURBED FOR CONSTRUCTION PURPOSES SHALL BE RESTORED TO THEIR PRESENT CONNECTIONS AFTER COMPLETION OF THE WORK SUBJECT TO APPROVAL OF LANDSCAPE ARCHITECT AND THE CLIENT. ANY DAMAGE DONE AS A RESULT OF THE WORK SHALL BE REPAIRED AT NO COST TO THE CLIENT. AN IRRIGATION SYSTEM INCLUSIVE OF ALL REQUIRED COMPONENTS AND INSTALLATION FOR A FULLY FUNCTIONAL AUTOMATIC IRRIGATION SYSTEM AT ALL PLANTED AREAS SHALL BE INCLUDED AS PART OF THE BASE BID.

#### DRAINAGE WORK

- 1. ALL PROPOSED DRAINAGE WORK SHALL BE DONE IN CONFORMANCE WITH THE LATEST STANDARDS OF THE DEPARTMENT OF BUILDINGS AND ANY OTHER APPLICABLE CODES.
- 2. ALL AREA DRAINS WITHIN THE CONTRACT LIMITS SHALL BE ADJUSTED AS NECESSARY, SO THAT THEY WILL BE OPERATIONAL,
- ACCESSIBLE, AND CONCEALED FROM PROJECTS OCCUPANTS AFTER THE COMPLETION OF THE WORK.

  ANY DAMAGE TO EXISTING AREA DRAINS, AND CONNECTIONS CAUSED BY THE CONTRACTOR'S WORK SHALL BE REPAIRED OR

REPLACED BY THE CONTRACTOR, AT NO COST TO THE CLIENT, SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT

4. ALL EXISTING AREA DRAINS AND CONNECTIONS WITHIN THE LIMITS OF THIS CONTRACT AND COCNTIGUOUS ARE TO BE CLEANED OUT, REPAIRED, AND OTHERWISE MADE OPERABLE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

#### STRUCTURAL

AND THE CLIENT.

- 1. ALL CAST-IN-PLACE CONCRETE SHALL BE CONTROLLED CONCRETE HAVING A MINIMUM COMPREHENSIVE STRENGTH 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
- 2. ALL REINFORCING STEEL SHALL BE DEFORMED NEW BILLET STEEL CONFORMING WITH THE REQUIREMENTS OF ASTM A615, GRADE 60, CURRENT EDITION.
- 3. SPLICES AND REINFORCING STEEL SHALL BE STAGGERED WHERE POSSIBLE AND LOCATED SO TO LEAST IMPAIR THE STRENGTH OF THE MEMBER.
- 4. SPLICES, ANCHORAGES, HOOKS, AND REINFORCING DETAILS SHALL CONFORM WITH THE REQUIREMENTS OF ACI 318 UNLESS
- 5. MINIMUM CONCRETE COVER FOR REINFORCEMENT, UNLESS OTHERWISE NOTED, SHALL BE:
- A. CONCRETE SURFACE EXPOSED TO SOIL (1.) UNFORMED SURFACE = 3"
- (2.) FORMED SURFACE = 2"
- B. TOP AND VERTICAL CONCRETE SURFACE EXPOSED TO WEATHER (1.) SLABS = 1 ½"
- 6. ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM STANDARDS UNLESS OTHERWISE SPECIFIED.
- 7. ALL WELDING SHALL BE PERFORMED USING E709 LOW HYDROGREN ELECTRODES IN ACCORDANCE WITH AMERICAN WELDING SOCIETY.



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49 CLINTON AVENUE

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1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION

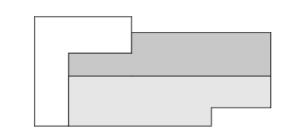
3 07/22/2021 SITE APPLICATION

DESCRIPTION

RESUBMISSION

REV DATE

07/22/2021



KEY PLAN:NTS

2029

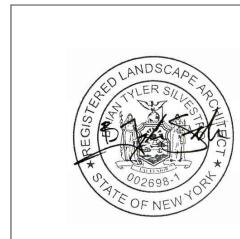
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GENERAL NOTES

SCALE: NTS



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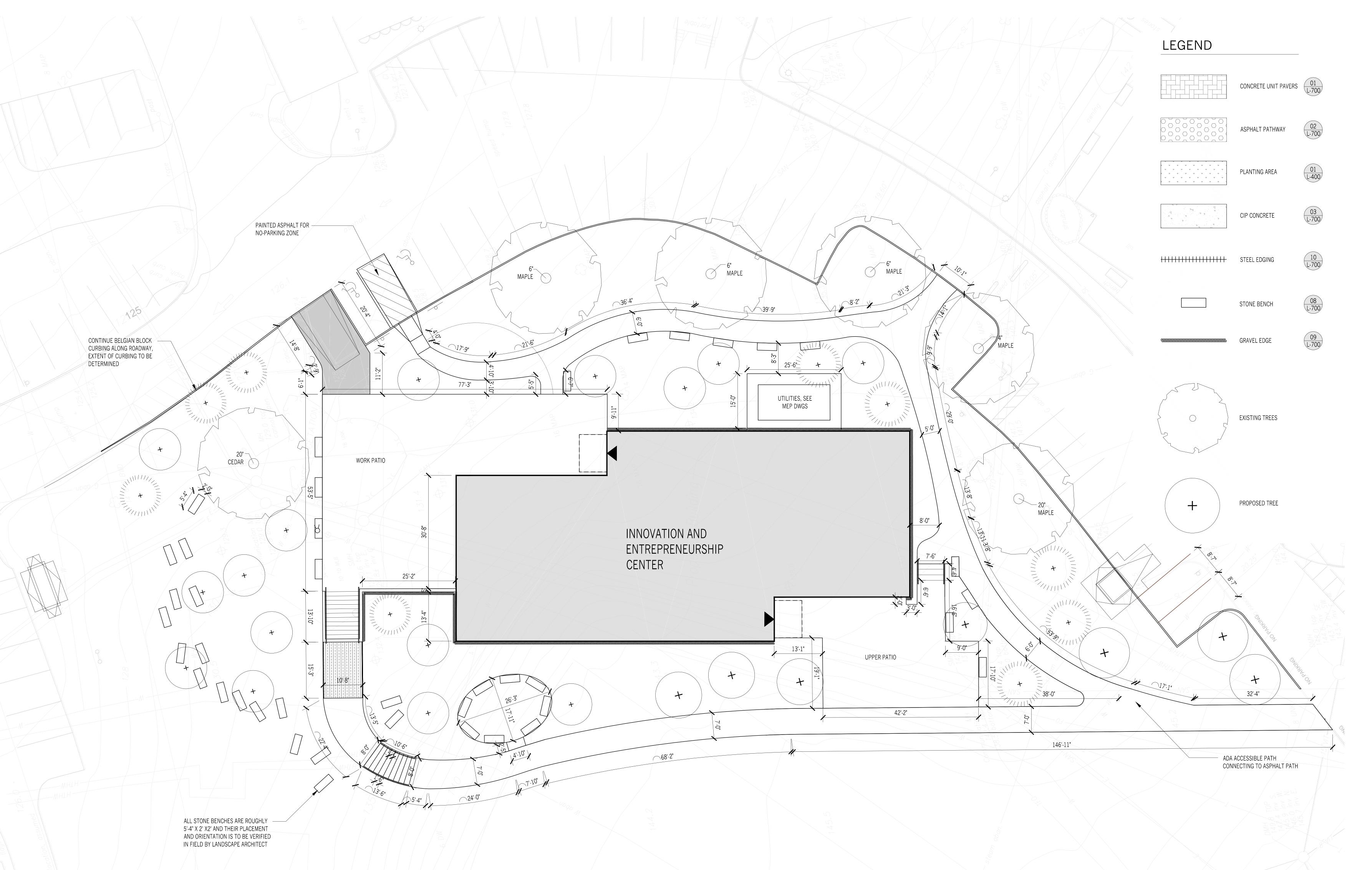
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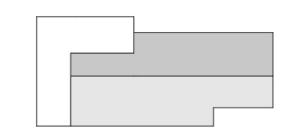
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22 TENNENT ROAD
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TEL 732 970 0700

DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION
2 06/17/2021 SITE APPLICATION RESUBMISSION
3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

2029

THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

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**LAYOUT PLAN** 

SCALE: 1" = 10'



DRAWING #:

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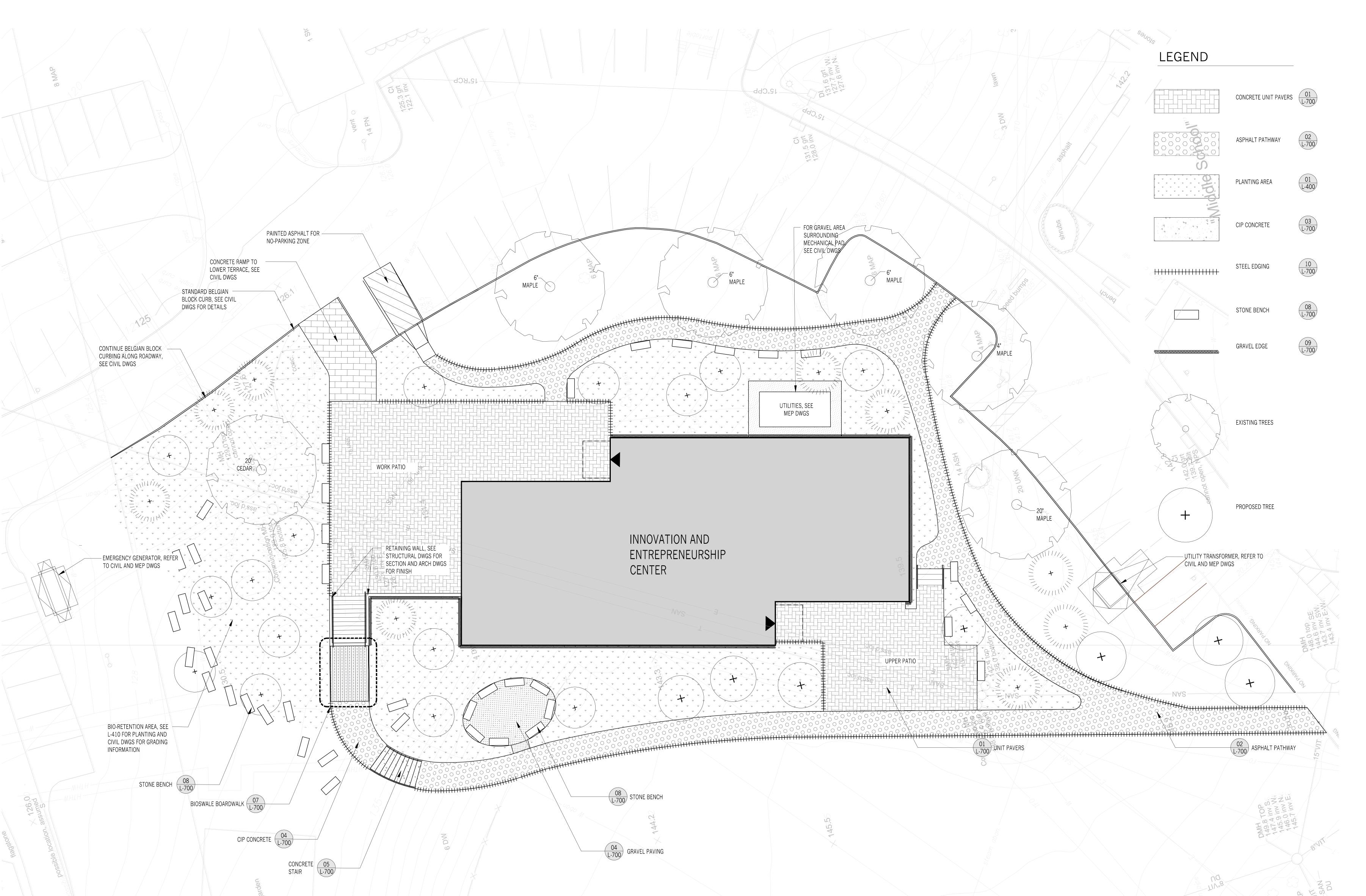
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PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

145 HUDSON STREET, FLOOR 3
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SOUTH PLAINFIELD, NEW JERSEY 07080

TEL 908 922 4622
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32 OLD SLIP, FLOOR 10
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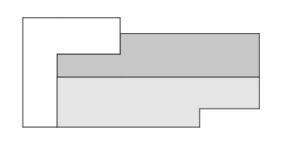
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1 02/17/2021 VILLAGE OF DOBBS
FERRY SITE APPLICATION
2 06/17/2021 SITE APPLICATION

3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021

RESUBMISSION



KEY PLAN:NTS

2029

THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

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MATERIALS PLAN

SCALE: 1" =

DRAWING

03 of 2

DOB STAMP ZONE

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### **PLANTING PLAN**

	TREES						
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE		
AG	5	Acer griseum	Paperbark maple	(N)	3.5"-4" Caliper		
ВР	7	Betula populifolia	Grey Birch	(Y)	3.5"-4" Caliper		
MS	6	Magnolia x soulangeana	Saucer Magnolia	(Y)	3.5"-4" Caliper		
NS	5	Nyssa sylvatica	Black Tupelo	(Y)	3.5"-4" Caliper		
ТО	9	Thuja occidentalis 'Hetz Wintergreen'	Hetz Wintergreen Arborvitae	(Y)	25 Gal Cont.		

#### **IRRIGATION NOTES**

## **PLANTING NOTES**

- Prior to commencing planting operations the contractor shall stake out the exact location of all trees, shrubs and herbaceous plants for the landscape architect's approval. All planting operations and layout shall proceed under close coordination with the landscape architect. Tree locations may vary as directed by

WORK PATIO

6"— MAPLE

- by landscape architect. However, plant material which has become damaged or diseased or which is unacceptable to the landscape architect may be rejected upon delivery to the site.
- The actual location of plant materials may vary due to the field conditions. Final placement of plant material shall be approved before the pits are dug. If initial placement is not satisfactory, plants shall be relocated in the field at the direction of the landscape architect at no additional cost to the owner.
- The contractor is to use care during digging and planting to avoid disturbing or damaging any adjacent or underground utilities and built items. Repair to any damage resulting from this construction will be the contractors responsibility and shall be restored at their expense to the satisfaction of the landscape architect.
- Should there be any discrepancies between the quantities called for on the plant list and those indicated on the plan, the greater quantity shall govern.

INNOVATION AND

CENTER

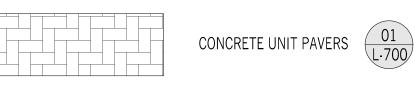
ENTREPRENEURSHIP

MAPLE

- All trees shall be "deadmaned" with a minimum of three (3)
- to maintain their health and vitality. Plants shall be otherwise shade. Any plants deemed not in satisfactory health or condition at time of planting shall be replaced at the contractors expense. All shrubs designated for reuse that cannot be replanted immediately after digging shall be heeled-in as noted.

6" MAPLE

## LEGEND







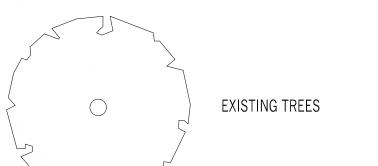














PROPOSED TREE

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION

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INNOVATION AND **ENTREPRENEURSHIP CENTER** 

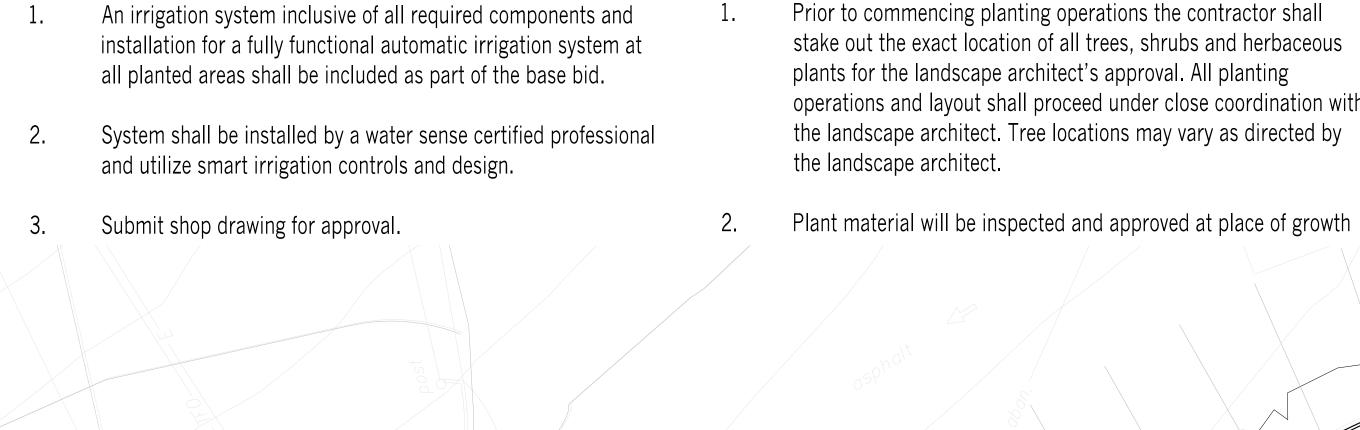
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TREE PLANTING **PLAN** 



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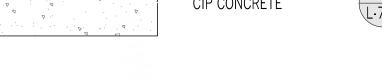


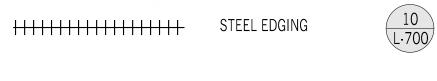
CMU's per tree as shown on the planting details, unless otherwise

At all times the site shall be kept neat, and shall be kept free of debris left from the planting operations.

All trees in the same planting area shall be placed and planted at the same time. If because of delivery schedule, any plant remains on the site for more than 24 hours, they shall be heeled-in on site protected and maintained, including, but not limited to, water and







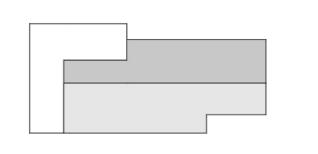






REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
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07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL

49 CLINTON AVENUE



## **PLANTING PLAN**

BOTANICAL NAME

Asarum candense

Actaea simplex 'Black Negligee'

TREES						
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/ N)	SIZE	
AG	5	Acer griseum	Paperbark maple	(N)	3.5"-4" Caliper	
ВР	7	Betula populifolia	Grey Birch	(Y)	3.5"-4" Caliper	
MS	6	Magnolia x soulangeana	Saucer Magnolia	(Y)	3.5"-4" Caliper	
NS	5	Nyssa sylvatica	Black Tupelo	(Y)	3.5"-4" Caliper	
ТО	9	Thuja occidentalis 'Hetz Wintergreen'	Hetz Wintergreen Arborvitae	(Y)	25 Gal Cont.	
	-					
		PLANTING MIX -ZO	ONE 1 - SHRUBS & PERENNIALS - 913 S	F		
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE	
CS	16	Cornus sericea 'Flaviramea'	Yellow Twig Dogwood	(Y)	5 gallon	
OS C	132	Onoclea sensibilis	Sensitive Fern	(Y)	1 gallon	

PLANTING MIX -ZONE 2 - PERENNIALS - 1010 SF

COMMON NAME

Black Negligee Snakeroot

Canadian Wild Ginger

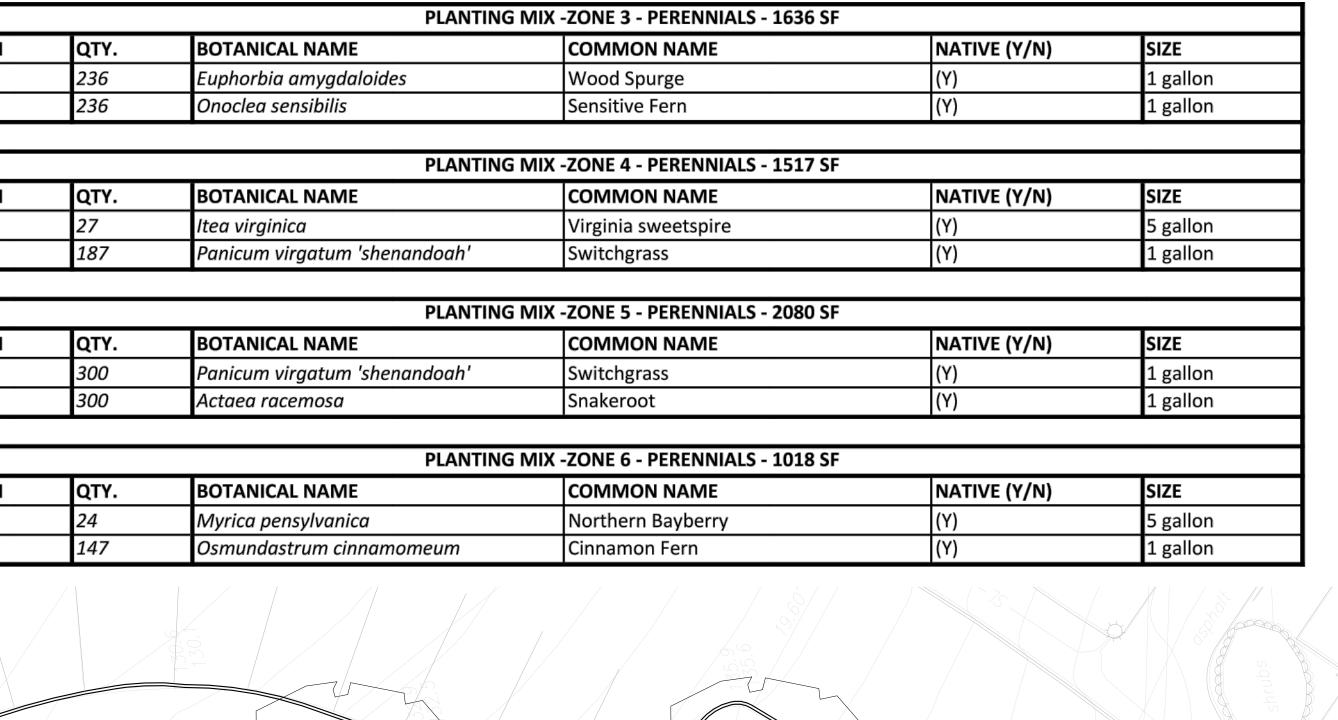
NATIVE (Y/N)

WORK PATIO

1 gallon

1 gallon

SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE
EA	236	Euphorbia amygdaloides	Wood Spurge	(Y)	1 gallor
OS	236 Onoclea sensibilis		Sensitive Fern	(Y)	1 gallor
	-				<u>-</u> .
		PLANTING	MIX -ZONE 4 - PERENNIALS - 1517 SF		
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE
IV	27 Itea virginica		Virginia sweetspire	(Y)	5 gallor
PV	187	Panicum virgatum 'shenandoah'	Switchgrass	(Y)	1 gallon
			The state of the s		•
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE
<b>SYM</b> PV	<b>QTY.</b> 300	BOTANICAL NAME Panicum virgatum 'shenandoah'	Switchgrass	(Y)	_
		<del></del>			SIZE 1 gallor 1 gallor
PV	300	Panicum virgatum 'shenandoah'	Switchgrass	(Y)	1 gallor
PV	300	Panicum virgatum 'shenandoah' Actaea racemosa	Switchgrass	(Y) (Y)	1 gallor
PV	300	Panicum virgatum 'shenandoah' Actaea racemosa	Switchgrass Snakeroot	(Y) (Y)	1 gallor
PV AR	300 300	Panicum virgatum 'shenandoah' Actaea racemosa PLANTING	Switchgrass Snakeroot  MIX -ZONE 6 - PERENNIALS - 1018 SF	(Y) (Y)	1 gallor 1 gallor





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LEGEND

PLANTING MIX 1

PLANTING MIX 2

PLANTING MIX 3

PLANTING MIX 4

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ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004 TEL 347 809 6790

LIGHTING DESIGNER DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013 TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

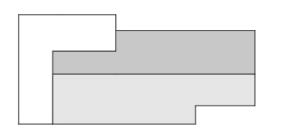
ARCHITECTURAL SPECIFICATIONS
CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD
MORGANVILLE, NEW JERSEY 07751
TEL 732 970 0700

-		
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

REV DATE

DESCRIPTION

07/22/2021



KEY PLAN:NTS

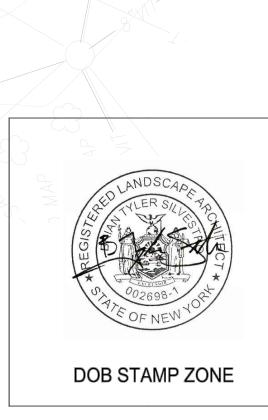
THE MASTERS SCHOOL INNOVATION AND **ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

UNDERSTORY **PLANTING PLAN** 

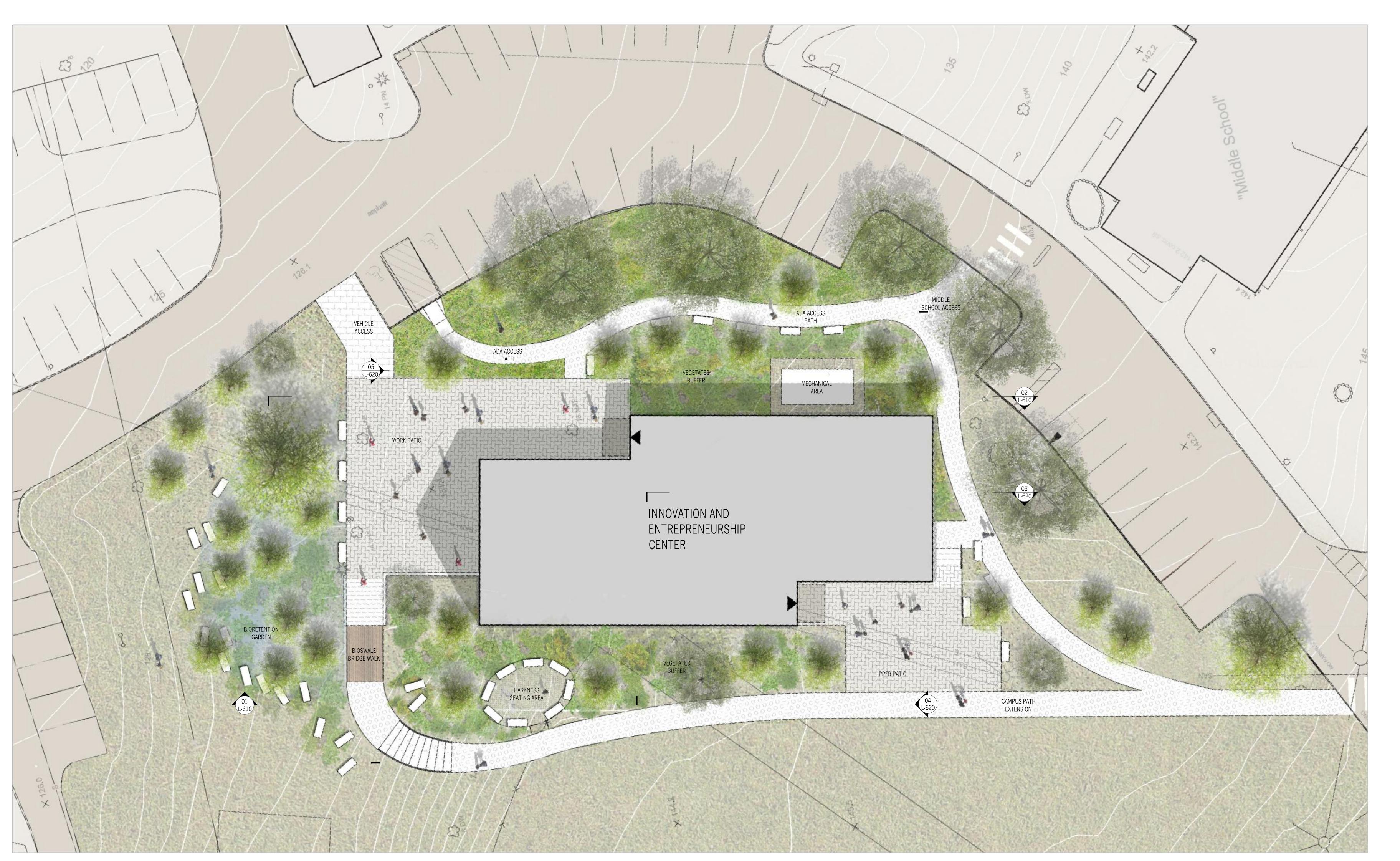
SCALE: 1" = 10'

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PLANTING MIX 5 PLANTING MIX 6 **EXISTING TREES** PROPOSED TREES INNOVATION AND ENTREPRENEURSHIP CENTER

UPPER PATIO





MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013

OWNER
THE MASTERS SCHOOL
49 CLINTON AVENUE

DOBBS FERRY, NEW YORK 10522 TEL 914 479 6400 PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS MARVEL

145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER

MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622

STRUCTURAL ENGINEER SILMAN 32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005 TEL 212 620 7970

BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET

NEW YORK, NEW YORK 10011 TEL 212 645 1002 VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE NEW YORK, NEW YORK 10018 TEL 212 615 3600

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LIGHTING DESIGNER DOT DASH LIGHTING DESIGN

120 WALKER STREET, SUITE #6E
NEW YORK, NEW YORK 10013 TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC.

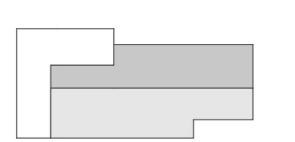
440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS
CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD
MORGANVILLE, NEW JERSEY 07751
TEL 732 970 0700

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION RESUBMISSION 3 07/22/2021 SITE APPLICATION RESUBMISSION

DESCRIPTION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL INNOVATION AND **ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

SITE PLAN

SCALE: 1" = 10'



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L-610

07 of 10

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DOBBS FERRY, NEW YORK 10522

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TEL 914 479 6400
PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS
MARVEL

145 HUDSON STREET, FLOOR 3
NEW YORK, NEW YORK 10013
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2780 HAMILTON BOULEVARD

SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622 STRUCTURAL ENGINEER SILMAN 32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005
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76 BEAVER STREET

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DOT DASH LIGHTING DESIGN
120 WALKER STREET, SUITE #6E
NEW YORK, NEW YORK 10013

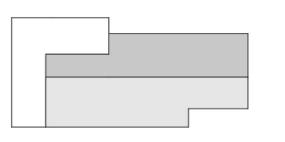
TEL 212 951 0660

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MORGANVILLE, NEW JERSEY 07751
TEL 732 970 0700

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07/22/2021



KEY PLAN:NTS

2029

THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

SITE SECTIONS I

SCALE: AS NOTED





 $05 \frac{\text{NORTHERN FACADE ELEVATION}}{\text{SCALE: } 1/4" = 1' \cdot 0"}$ 

 $O4 \frac{\text{SOUTHERN FACADE ELEVATION}}{\text{SCALE: } 1/4" = 1' \cdot 0"}$ 



O3 SECTION AT BUILDING ROOFLINE SCALE: 1/4" = 1'-0"





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TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622

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BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011

TEL 212 645 1002 VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

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LSTN CONSULTANTS
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TEL 347 809 6790

LIGHTING DESIGNER DOT DASH LIGHTING DESIGN

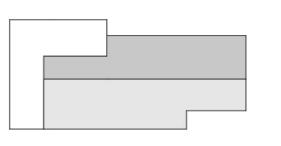
120 WALKER STREET, SUITE #6E
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07/22/2021



KEY PLAN:NTS

2029

THE MASTERS SCHOOL INNOVATION AND **ENTREPRENEURSHIP CENTER** 

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

SITE SECTIONS II

SCALE: AS NOTED



DRAWING #: L- 620

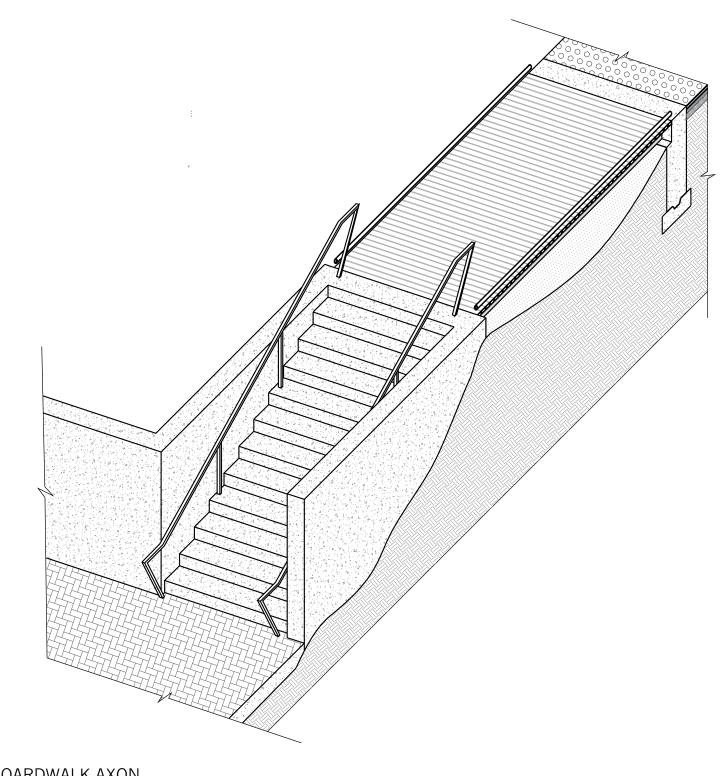
08 of 10

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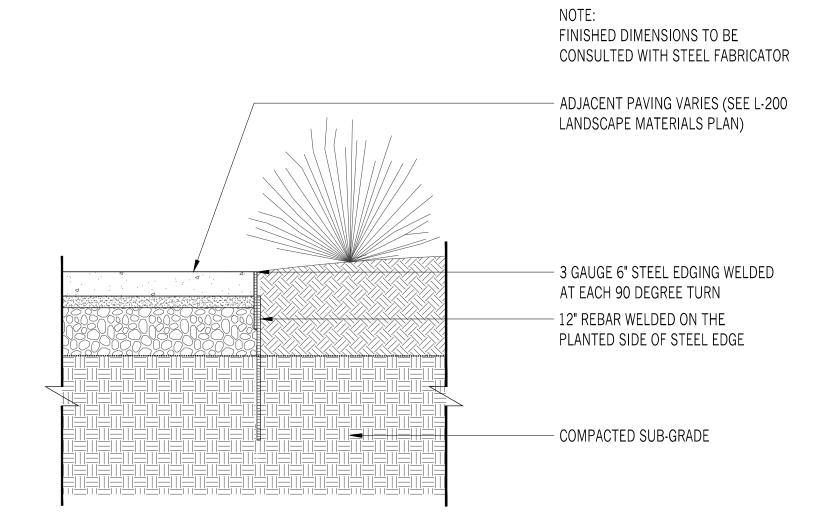
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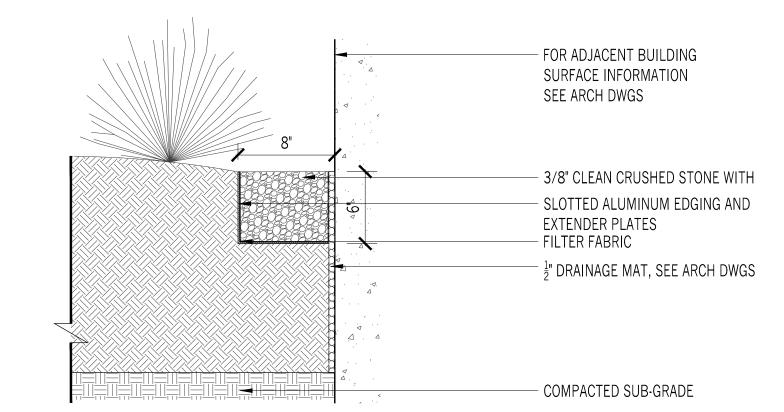
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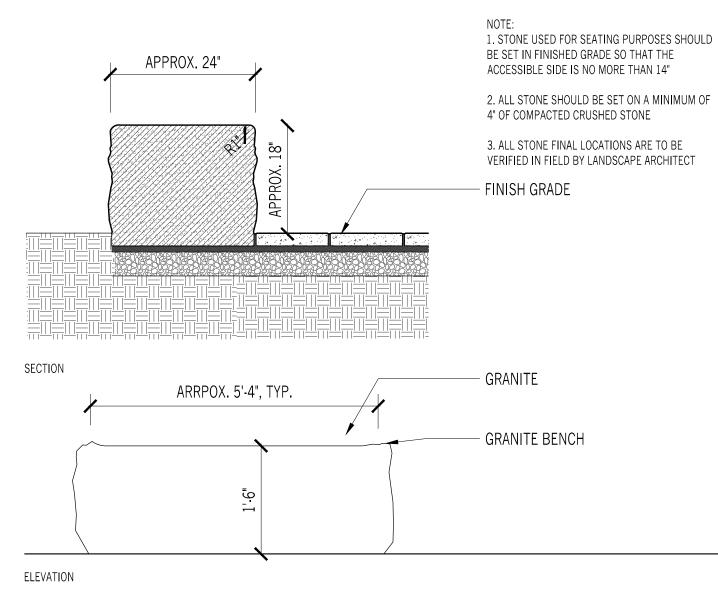
BIOSWALE BOARDWALK AXON SCALE: NTS



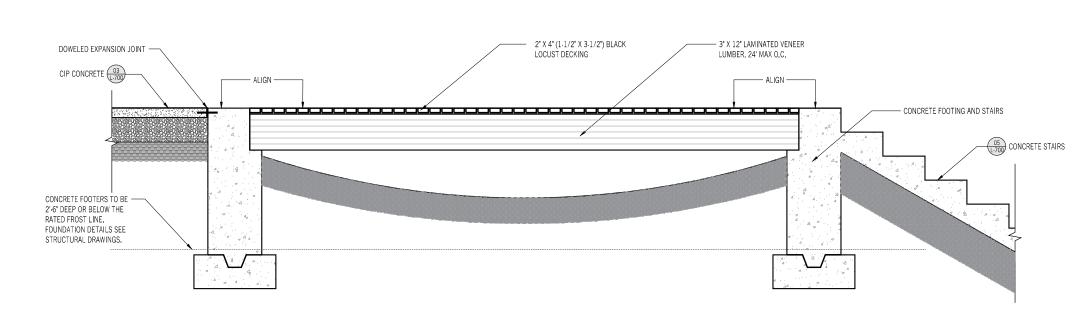
 $10^{\frac{\text{STEEL EDGING}}{\text{SCALE: }1\cdot1/2"=1'\cdot0"}}$ 



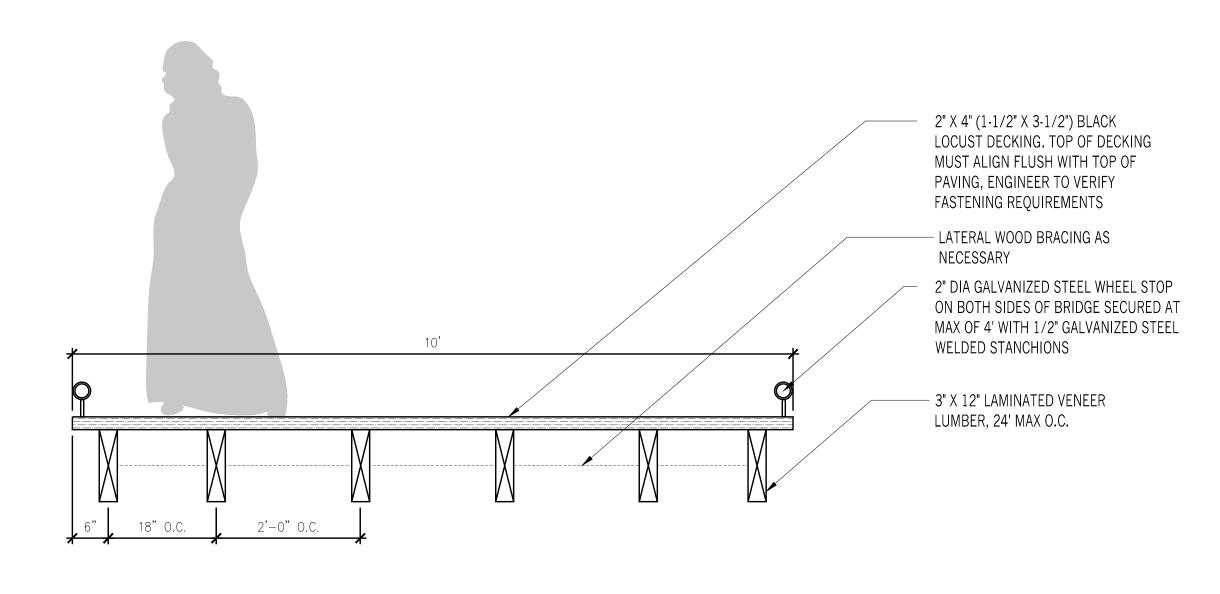
 $09 \frac{\text{STONE GRAVEL COURSE}}{\text{SCALE: } 1 \cdot 1/2" = 1' \cdot 0"}$ 



 $08 \frac{\text{STONE BENCH}}{\text{SCALE: } 3/4" = 1' \cdot 0"}$ 

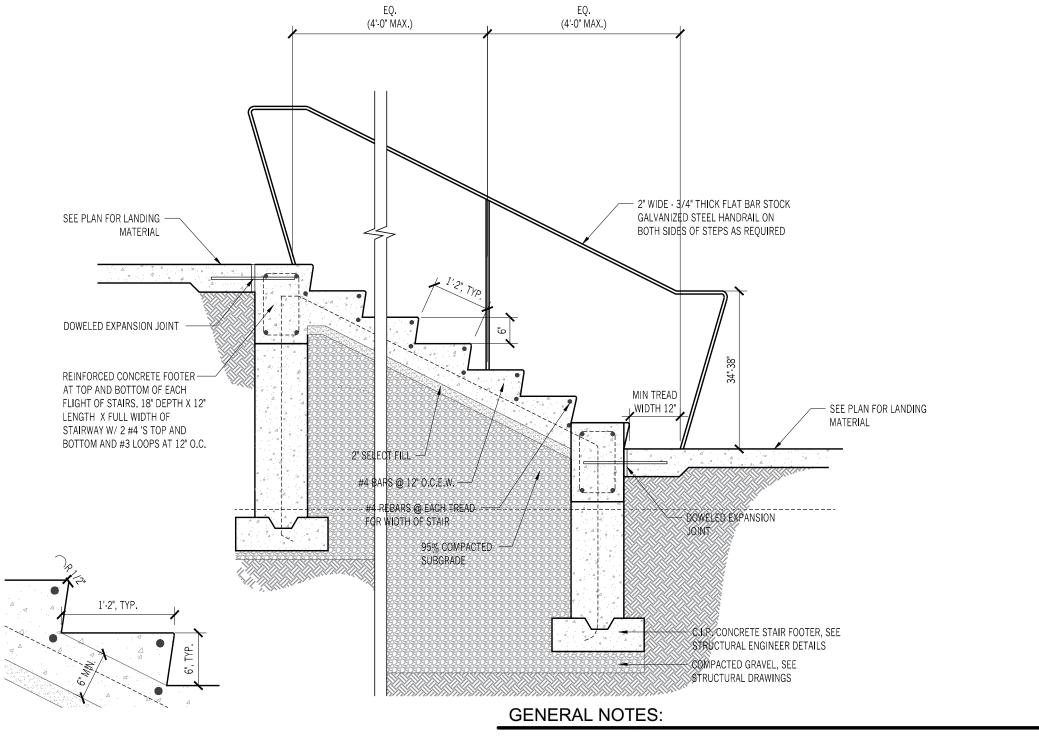


BIOSWALE BOARDWALK LONG SECTION SCALE:  $3/8" = 1' \cdot 0"$ 



 $07 \frac{\text{BIOSWALE BOARDWALK}}{\text{SCALE: } 3/4" = 1' \cdot 0"}$ 

 $06 \, \frac{\text{STEEL HANDRAIL (NOT IN THIS SUBMISSION)}}{\text{SCALE: } 1 \cdot 1/2" = 1' \cdot 0"}$ 



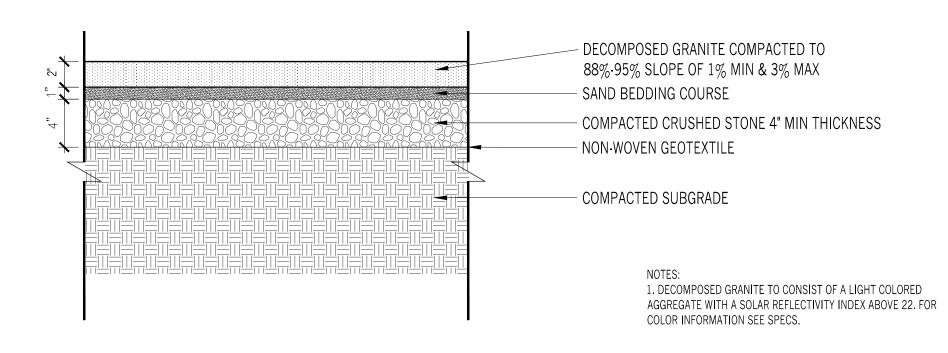
1. REFER TO PLAN FOR STEP TREAD AND RISER QUANTITY AND DIMENSIONS.

SLOPE TREAD @ 1.0% MAX FOR DRAINAGE.
 UNLESS NOTED OTHERWISE, STAIR FINISH SHALL BE A NON-SLIP HORIZONTAL BROOM FINISH.
 ALL DIMENSIONS AND MATERIALS FOR STAIRS SHALL COMPLY WITH SECTIONS 504 AND 505

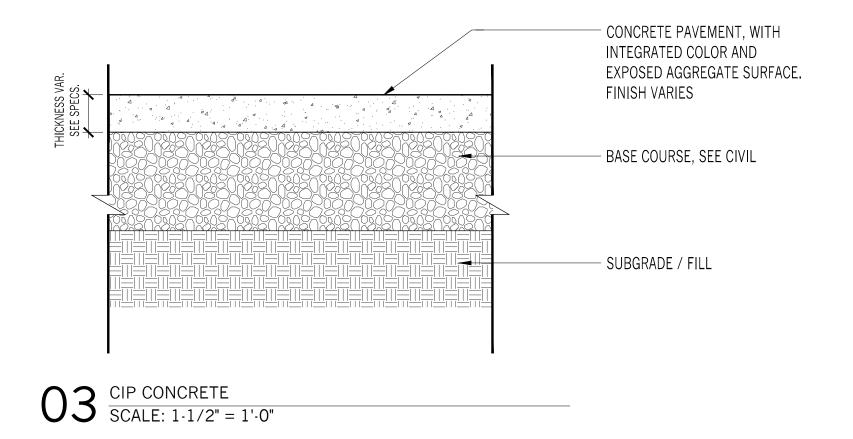
OF THE TEXAS ACCESSIBILITY STANDARDS (MARCH 2012).

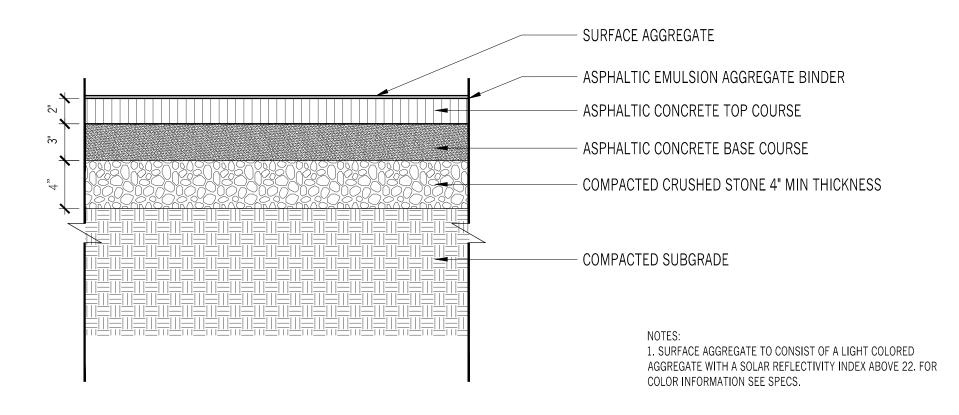
5. POSTS SHALL BE SURFACE MOUNTED, CORED, SLEEVED OR SET IN POST FOOTERS REFERENCE TECHNICAL SPECIFICATIONS AND/OR PROJECT SPECIFIC DETAIL FOR MOUNTING.

O5 CONCRETE STAIR
SCALE: 3/8" = 1'-0"

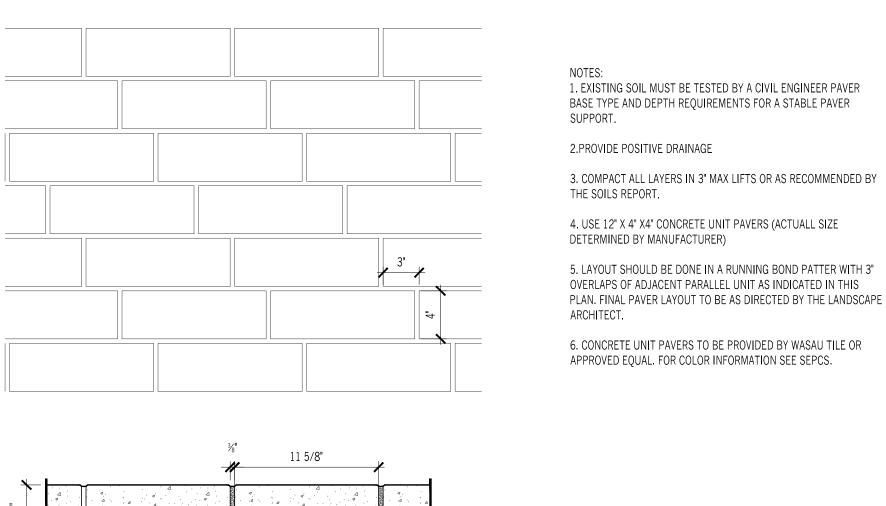


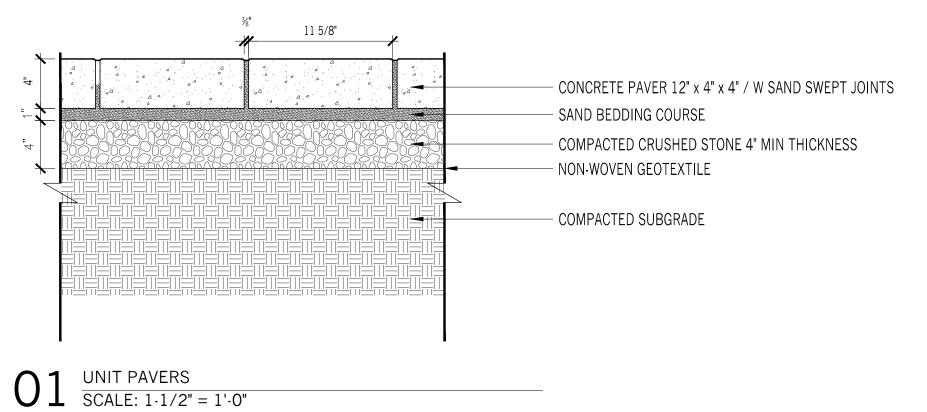
 $O4 \frac{\text{GRAVEL PAVING}}{\text{SCALE: } 1 \cdot 1/2" = 1' \cdot 0"}$ 





 $02^{\frac{\text{ASPHALT PAVEMENT}}{\text{SCALE: }1\cdot1/2"=1'\cdot0"}}$ 





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212.616.0420

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49 CLINTON AVENUE
DOBBS FERRY, NEW YORK 10522
TEL 914 479 6400

DOBBS FERRY, NEW YORK 10522
TEL 914 479 6400
PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS
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2780 HAMILTON BOULEVARD

NEW YORK, NEW YORK 10005 TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002

VERTICAL TRANSPORTATION

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ACOUSTICS CONSULTANT

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ENVELOPE CONSULTANT

MW-SKINS

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TEL 347 809 6790

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DOT DASH LIGHTING DESIGN

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CONSTRUCTION SPECIFICATIONS, INC
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MORGANVILLE, NEW JERSEY 07751
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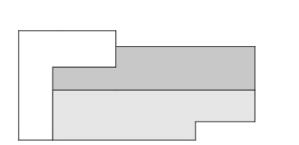
	_	
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION

DESCRIPTION

RESUBMISSION

REV DATE

07/22/2021



KEY PLAN:NTS

2029

THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

TYPICAL DETAILS I

SCALE: AS NOTED



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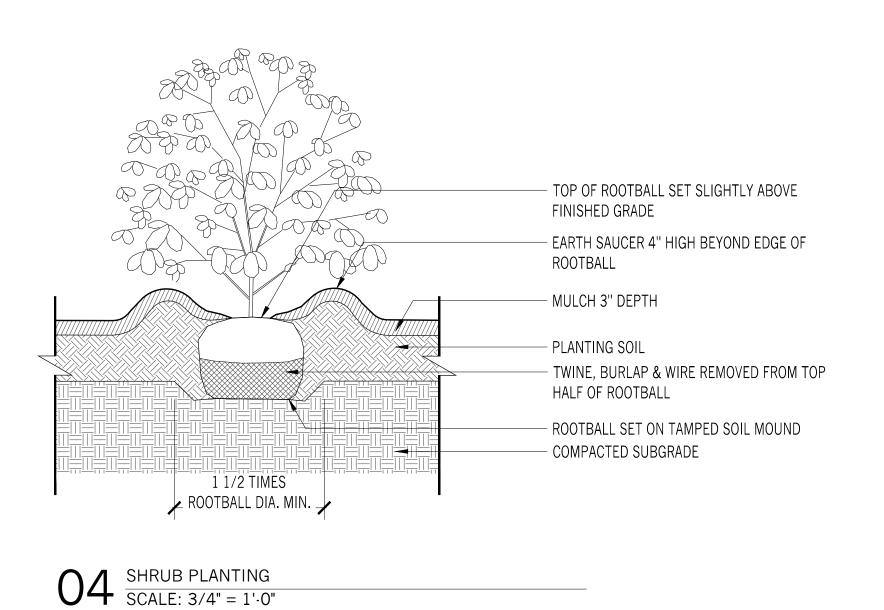
09 of 10

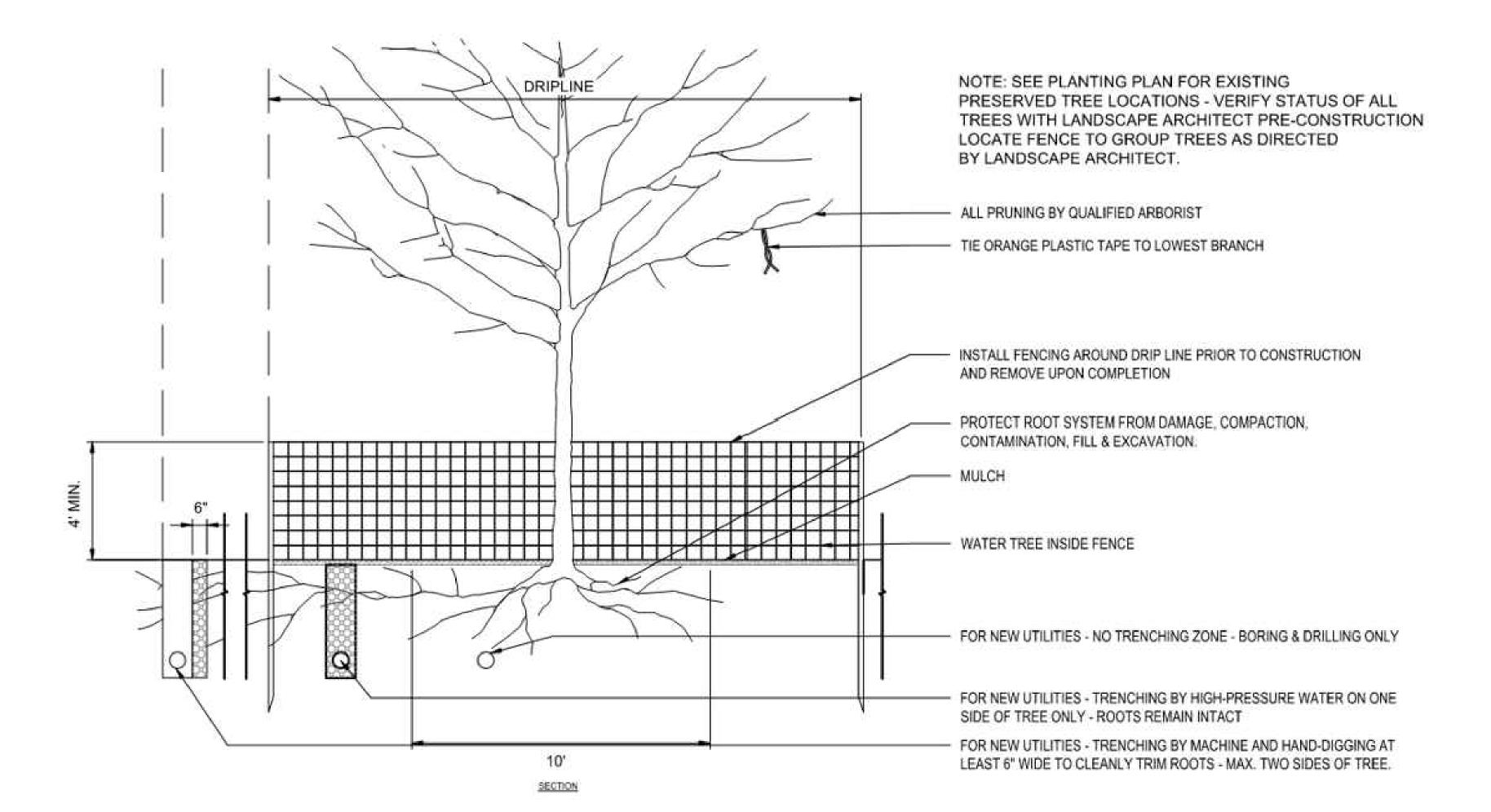
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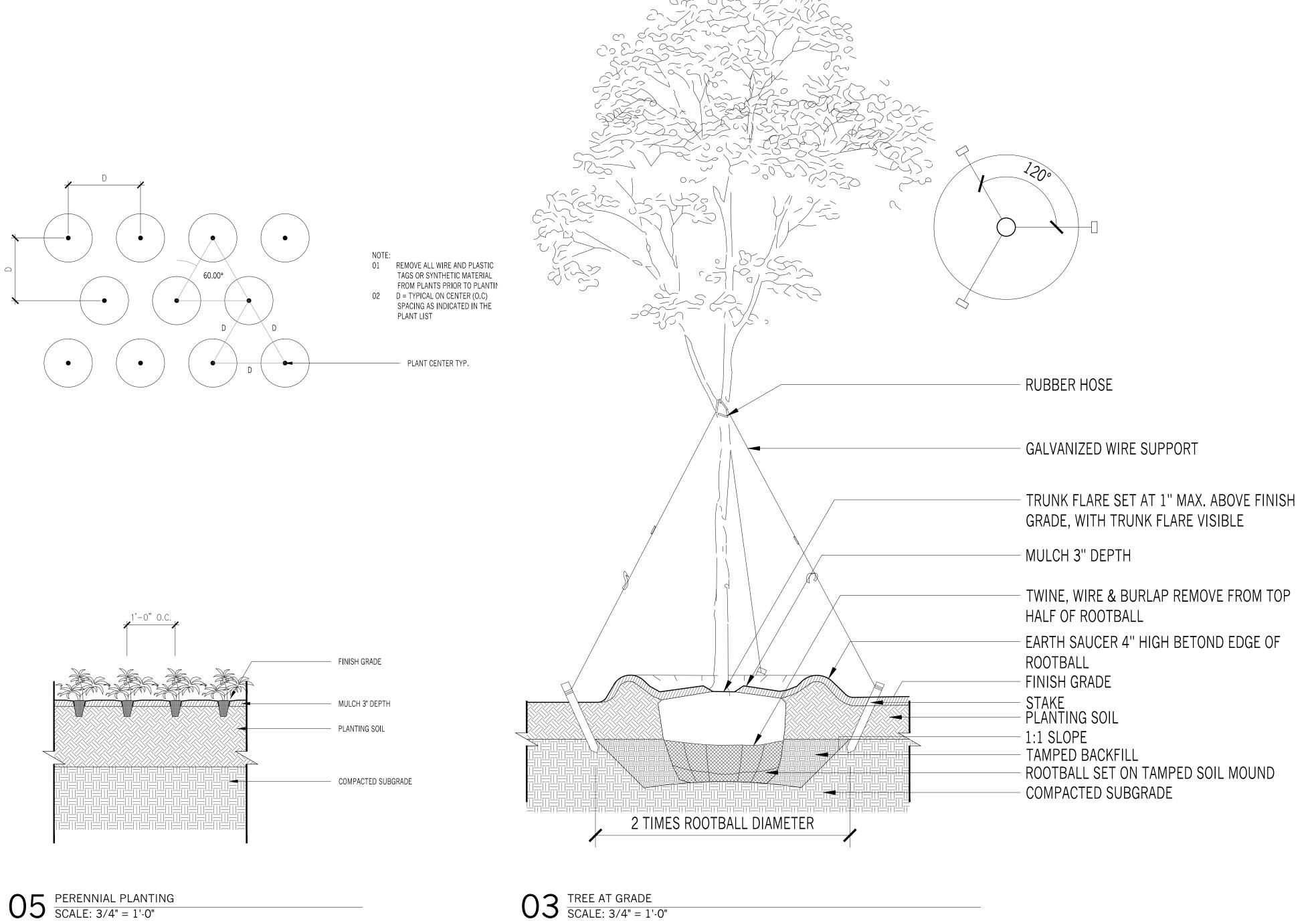
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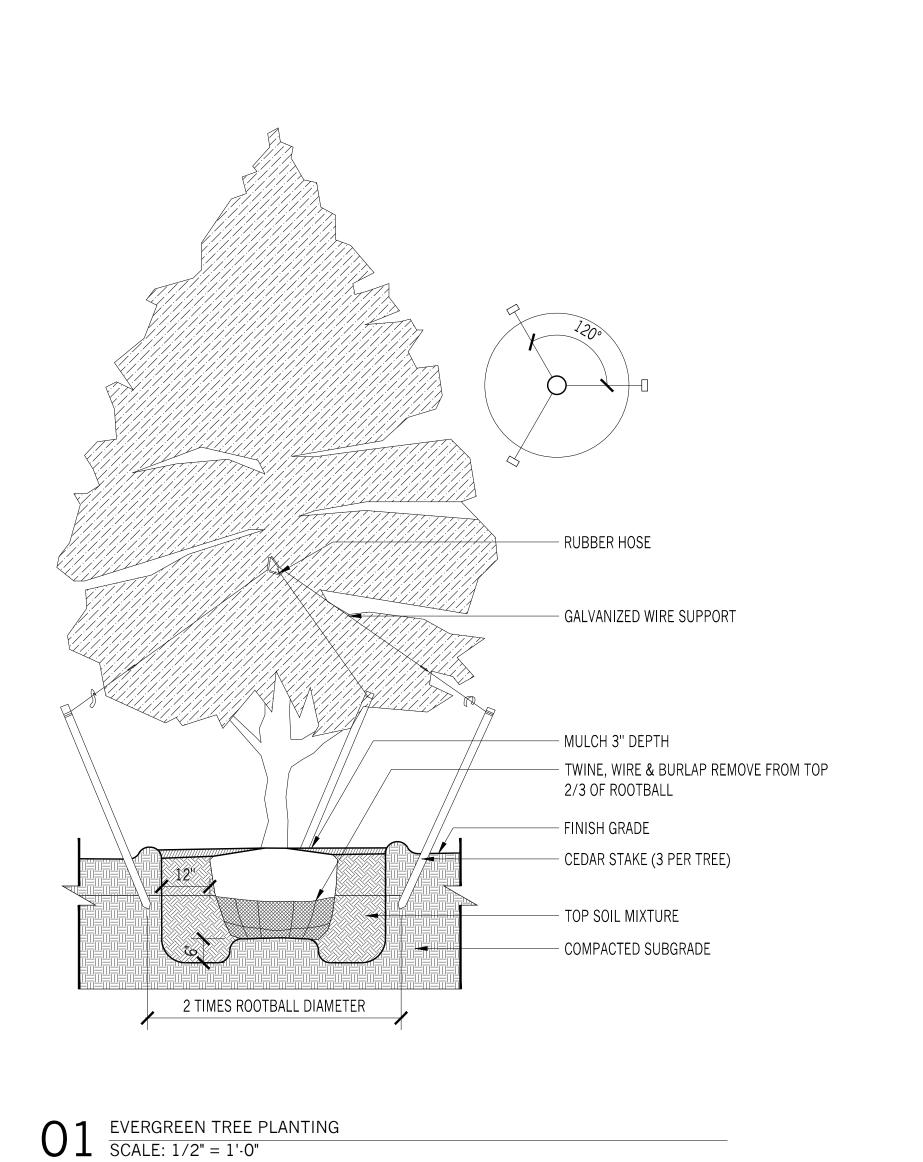
DOB STAMP ZONE





 $02^{\frac{\text{TREE PROTECTION}}{\text{SCALE: }3/8" = 1'-0"}}$ 





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2/10/2021 10:47:54 PM

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MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013

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BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002 VERTICAL TRANSPORTATION

145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001 TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC.

498 SEVENTH AVENUE NEW YORK, NEW YORK 10018 TEL 212 615 3600 ACOUSTICS CONSULTANT LSTN CONSULTANTS

76 BEAVER STREET NEW YORK, NEW YORK 10005 TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14

NEW YORK, NEW YORK 10004 TEL 347 809 6790 LIGHTING DESIGNER DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013

CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

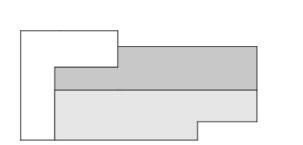
TEL 212 951 0660

ARCHITECTURAL SPECIFICATIONS
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22 TENNENT ROAD
MORGANVILLE, NEW JERSEY 07751
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1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION SITE APPLICATION

DESCRIPTION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL INNOVATION AND **ENTREPRENEURSHIP** CENTER

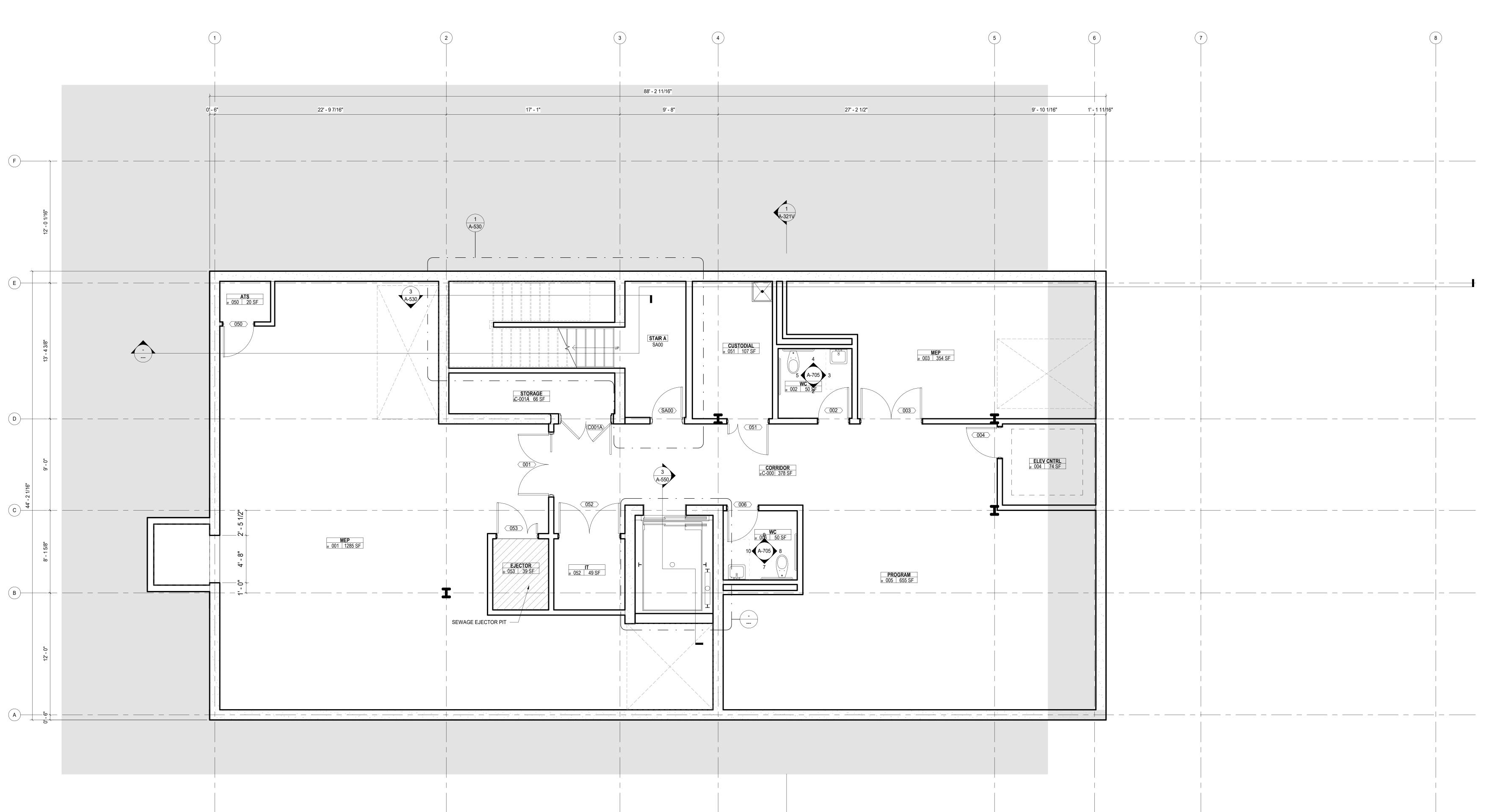
49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

**TYPICAL DETAILS II** 

SCALE: AS NOTED

<u>10</u> of <u>10</u>

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/maria

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PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS
MARVEL

145 HUDSON STREET, FLR 3 NEW YORK, NY 10013

PROJECT ARCHITECTS + LANDSCAPE ARCHITEC

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CODE CONSULTANTS, INC.

440 PARK AVENUE S.

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TEL 212 447 4033

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ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD

MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700

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07/22/2021

KEY PLAN:NTS

2029

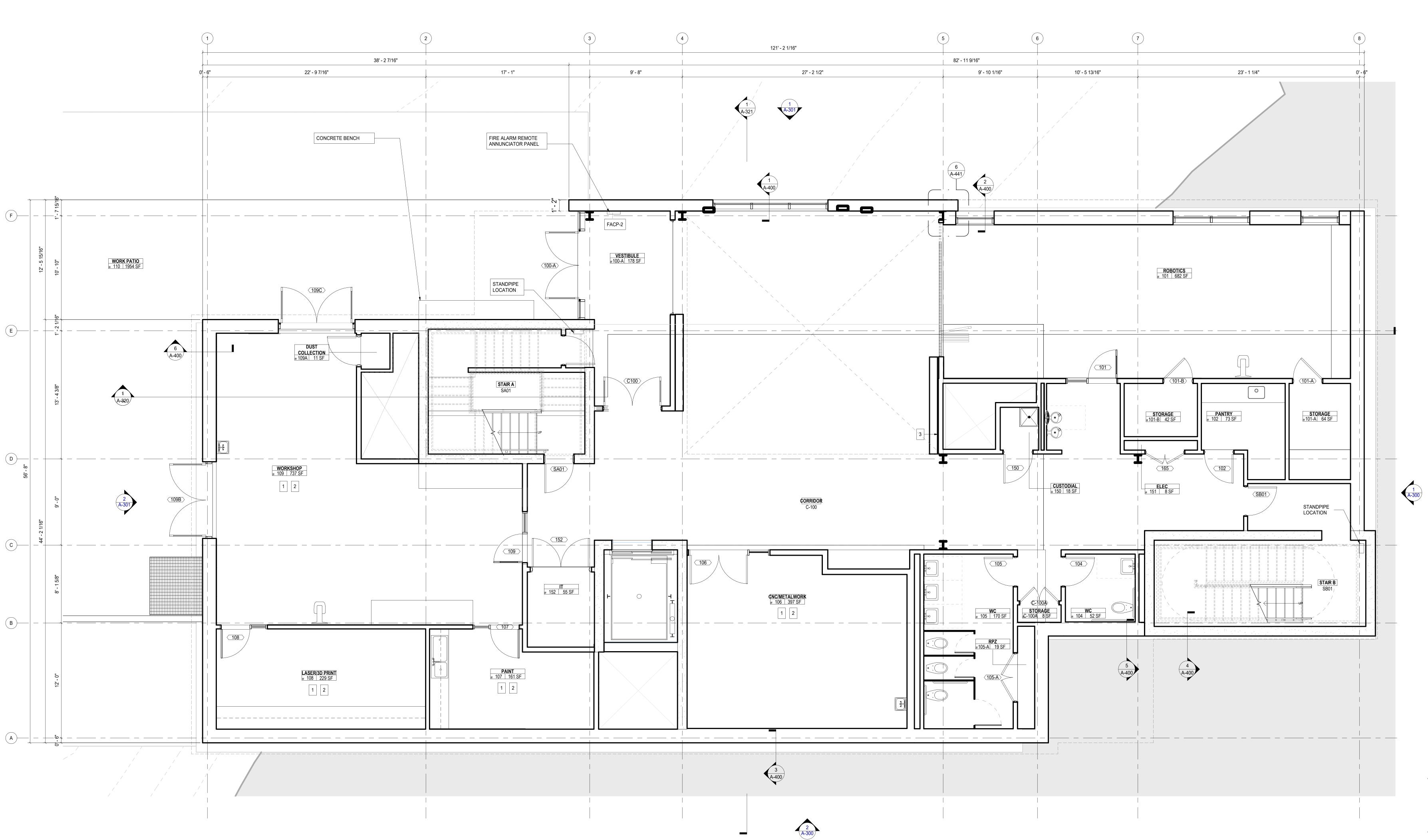
THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

CELLAR FLOOR PLAN
1/4" = 1'-0"



OWNER
THE MASTERS SCHOOL

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522 TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS MARVEL 145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013

TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080

TEL 908 922 4622 STRUCTURAL ENGINEER

32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005 TEL 212 620 7970 BUILDING SYSTEMS ENGINEER

POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002 VERTICAL TRANSPORTATION

145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001 TEL 212 868 9090

AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE NEW YORK, NEW YORK 10018

TEL 212 615 3600 ACOUSTICS CONSULTANT LSTN CONSULTANTS 76 BEAVER STREET

NEW YORK, NEW YORK 10005 TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14

NEW YORK, NEW YORK 10004 TEL 347 809 6790 LIGHTING DESIGNER DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E

NEW YORK, NEW YORK 10013 TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT

CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD

MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700

REV DATE DESCRIPTION 1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION
2 06/17/2021 SITE APPLICATION RESUBMISSION

3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL INNOVATION AND **ENTREPRENEURSHIP CENTER** 

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

**FIRST FLOOR PLAN** 

SCALE: As indicated

FIRST FLOOR PLAN
1/4" = 1'-0"

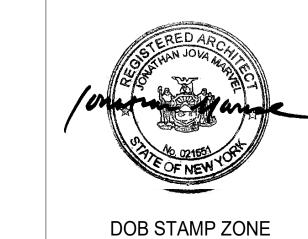
## **PLAN KEYNOTES**

RECEIVE NEW MULTI SCREEN VIDEO WALL UNIT.

1. HAZARDOUS WASTE SHALL NOT BE DISPOSED OF IN TRASH CANS, DUMPSTERS, SEPTIC SYSTEMS, SANITARY SEWERS, STORM DRAINS, WASH RACKS/OIL-WATER SEPARATORS, ON LAND, BY EVAPORATION, NEUTRALIZATION, DILUTION, INCINERATION AND/OR THROUGH ANY OTHER TREATMENT PROCESS, OR IN MUNICIPAL LANDFILLS. ALL WASTE SHALL BE PROPERLY HELD AND DISPOSED OF PER THE SCHOOL'S HAZARDOUS WASTE GUIDELINES, FOLLOWING

THE VILLAGE AND COUNTY'S GUIDELINES FOR PROPER OFF-SITE DISPOSAL. 2. FLAMMABLE PRODUCTS AND WASTE ARE STORED WITHIN THE FLAMMABLE MATERIAL STORAGE CABINETS PROVIDED AS PART OF THE OWNER'S EQUIPMENT PACKAGE. CABINETS WILL BE LOCATED IN AREAS WHERE FLAMMABLE MATERIALS ARE USED OR WASTE IS

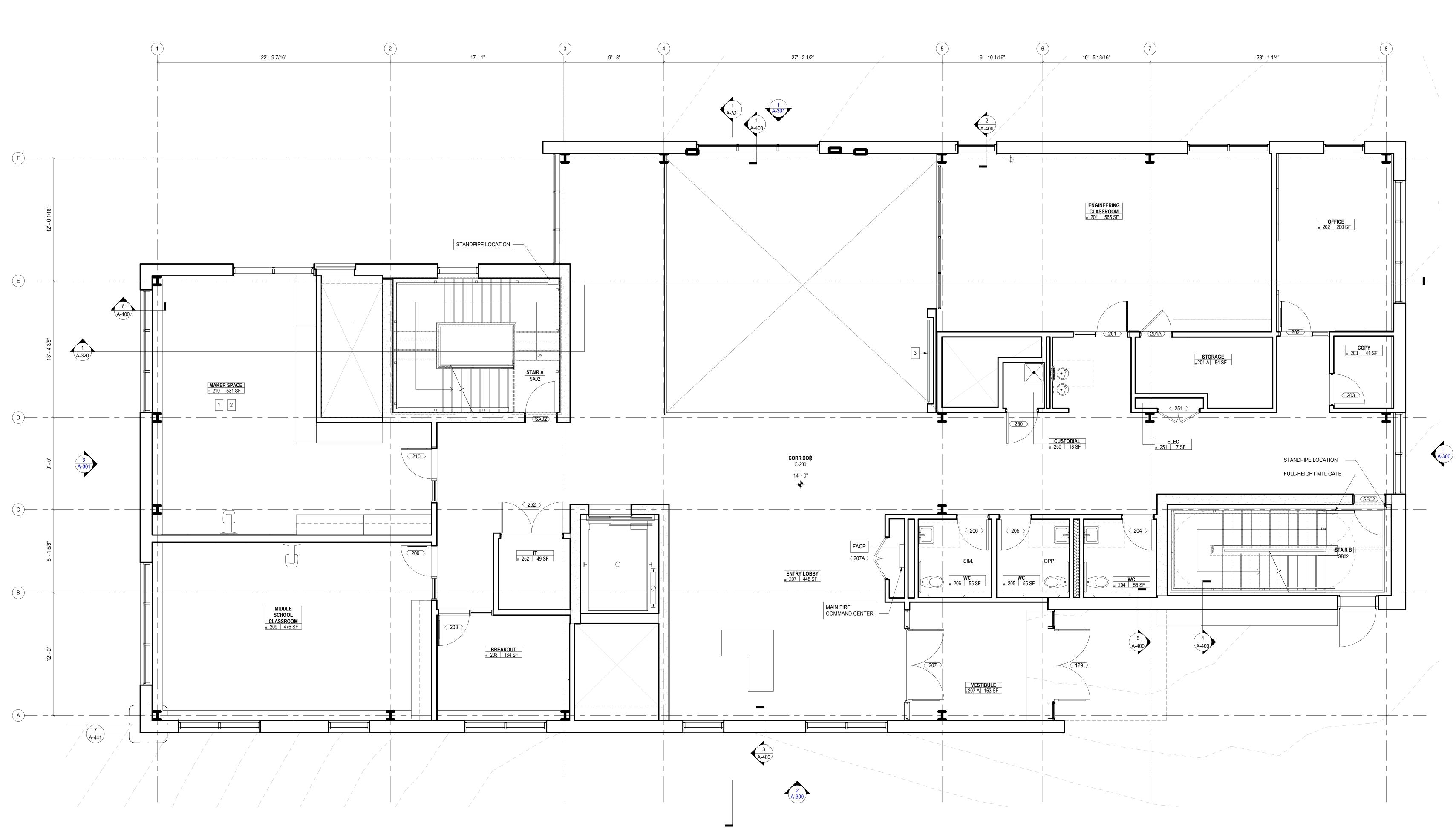
3. 8'x32' VIDEO WALL:POWER, DATA, AND SHEETMETAL BLOCKING WITHIN WALL REQUIRED TO



DRAWING #:

7/21/2021 10:20:08 AM

DOB JOB: -



OWNER
THE MASTERS SCHOOL 49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS MARVEL 145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER

MFS ENGINEERS & SURVEYORS, DPC

2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622

STRUCTURAL ENGINEER

32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005 TEL 212 620 7970

BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002

VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4

NEW YORK, NEW YORK 10001 TEL 212 868 9090

AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE NEW YORK, NEW YORK 10018 TEL 212 615 3600

ACOUSTICS CONSULTANT LSTN CONSULTANTS **76 BEAVER STREET** NEW YORK, NEW YORK 10005 TEL 347 788 0810

TEL 347 809 6790

ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004

LIGHTING DESIGNER DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013

TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC.

440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD

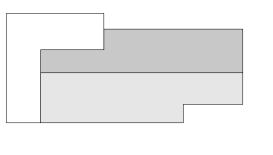
MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700

REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION
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3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

THE MASTERS SCHOOL INNOVATION AND **ENTREPRENEURSHIP CENTER** 

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

SECOND FLOOR PLAN

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SCALE: As indicated

SECOND FLOOR PLAN
1/4" = 1'-0"

## **PLAN KEYNOTES**

RECEIVE NEW MULTI SCREEN VIDEO WALL UNIT.

1. HAZARDOUS WASTE SHALL NOT BE DISPOSED OF IN TRASH CANS, DUMPSTERS, SEPTIC SYSTEMS, SANITARY SEWERS, STORM DRAINS, WASH RACKS/OIL-WATER SEPARATORS, ON LAND, BY EVAPORATION, NEUTRALIZATION, DILUTION, INCINERATION AND/OR THROUGH ANY OTHER TREATMENT PROCESS, OR IN MUNICIPAL LANDFILLS. ALL WASTE SHALL BE PROPERLY HELD AND DISPOSED OF PER THE SCHOOL'S HAZARDOUS WASTE GUIDELINES, FOLLOWING

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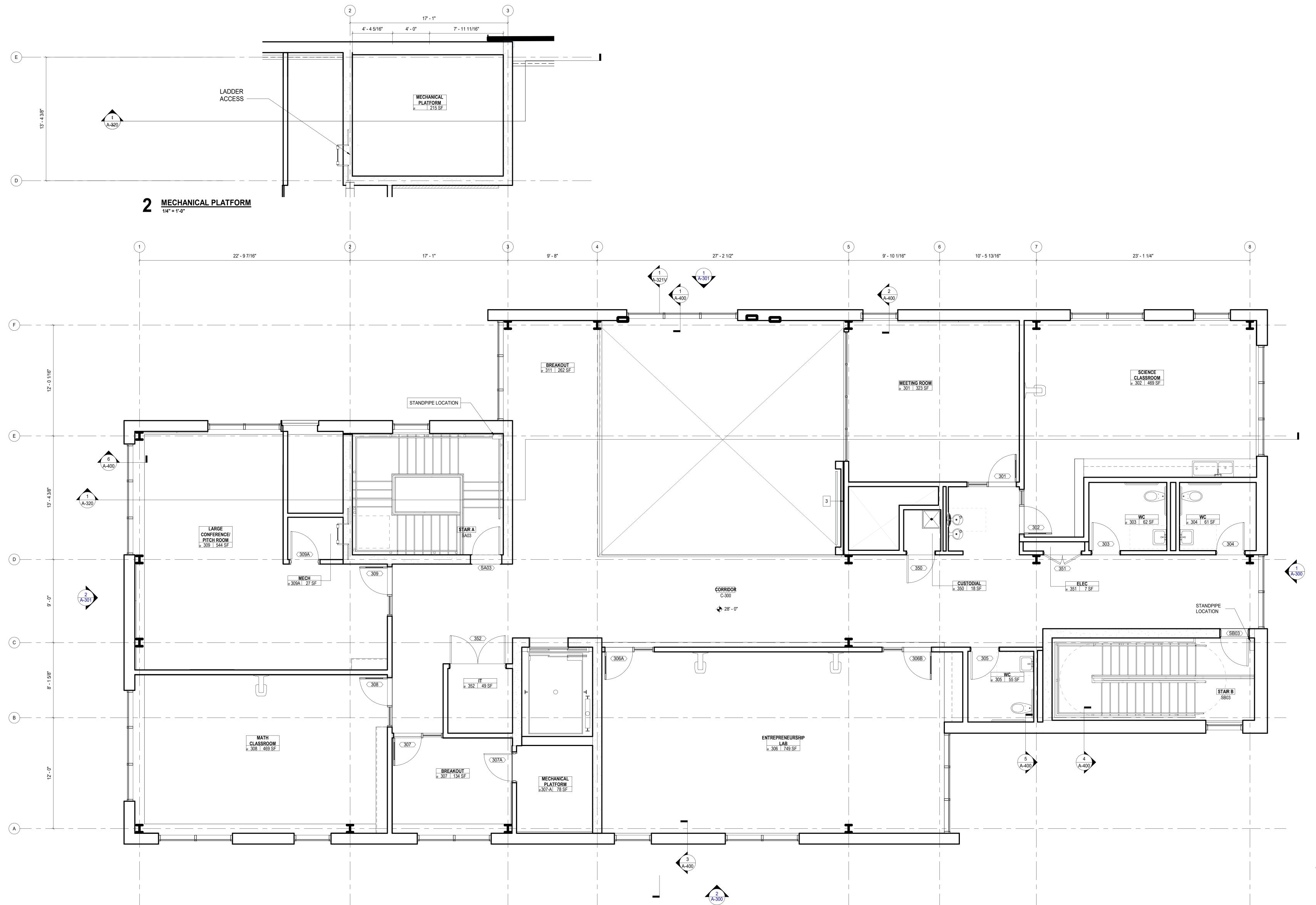
3. 8'x32' VIDEO WALL:POWER, DATA, AND SHEETMETAL BLOCKING WITHIN WALL REQUIRED TO



DRAWING #:

DOB JOB: -

7/21/2021 10:20:12 AM



THIRD FLOOR PLAN



MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013 212.616.0420

OWNER
THE MASTERS SCHOOL

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522 TEL 914 479 6400 PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER
MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080

TEL 908 922 4622 STRUCTURAL ENGINEER SILMAN

MARVEL

32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005

TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011

TEL 212 645 1002 VERTICAL TRANSPORTATION

145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001 TEL 212 868 9090 AV / IT / SECURITY CONSULTANT

COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE NEW YORK, NEW YORK 10018 TEL 212 615 3600

ACOUSTICS CONSULTANT
LSTN CONSULTANTS
76 BEAVER STREET NEW YORK, NEW YORK 10005 TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS

1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004 TEL 347 809 6790 LIGHTING DESIGNER

DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013 TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD

MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700

REV DATE DESCRIPTION

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3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021

KEY PLAN:NTS

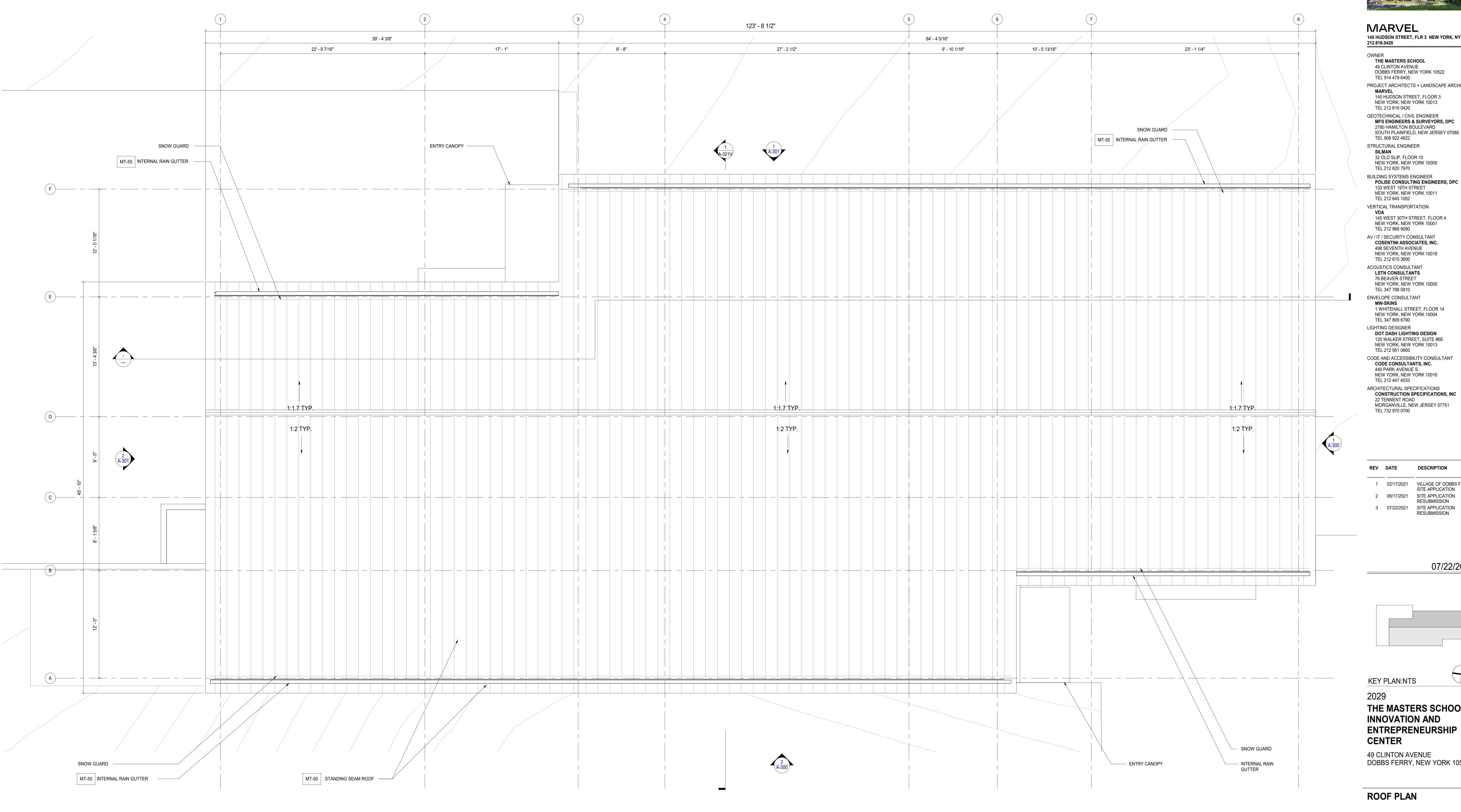
THE MASTERS SCHOOL INNOVATION AND **ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

7/21/2021 10:20:14 AM



**MATERIALS LEGEND** 

CONC-50 ARCHITECTURAL CAST IN PLACE CONCRETE WITH BOARD FORMED FINISH

CW-01 BLACK ANODIZED ALUMINUM INSULATED CURTAIN WALL SYSTEM

CW-02 BLACK ANODIZED ALUMINUM INSULATED PUNCHED WINDOW SYSTEM

LV-01 ANODIZED ALUMINUM ARCHITECTURAL EXHAUST LOUVER TO MATCH CURTAINWALL SYSTEM

MT-50 NATURAL FINISH ZINC STANDING SEAM FACADE CLADDING

MT-55 NATURAL FINISH ZINC TRIM

MT-60

ANODIZED ALUMINUM CLADDING OVER
TOP OF STEEL FRAME STRUCTURE WITH
WOOD PLANK MATERIAL AT LINDERSIDE WOOD PLANK MATERIAL AT UNDERSIDE WD-50 SOLID WOOD PLANK MEMBERS

DOB STAMP ZONE



MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013 212.616.0420

OWNER
THE MASTERS SCHOOL

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522 TEL 914 479 6400 PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD

TEL 908 922 4622

STRUCTURAL ENGINEER

32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005 TEL 212 620 7970 BUILDING SYSTEMS ENGINEER

POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002

VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE

NEW YORK, NEW YORK 10018 TEL 212 615 3600 ACOUSTICS CONSULTANT LSTN CONSULTANTS 76 BEAVER STREET NEW YORK, NEW YORK 10005

TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004

TEL 347 809 6790 LIGHTING DESIGNER DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013

TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S.

NEW YORK, NEW YORK 10016 TEL 212 447 4033 ARCHITECTURAL SPECIFICATIONS
CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751

REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION

2 06/17/2021 SITE APPLICATION RESUBMISSION 3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021

KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

**49 CLINTON AVENUE** DOBBS FERRY, NEW YORK 10522

**ROOF PLAN** 

SCALE: 1/4" = 1'-0"

DRAWING #:

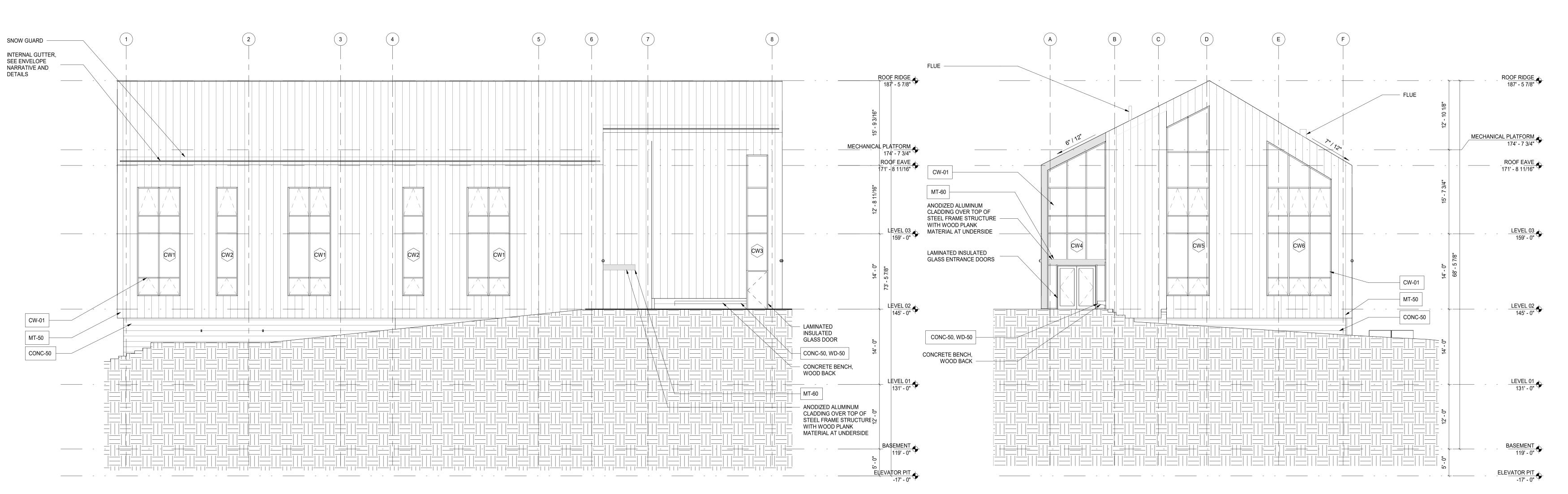
A-104

7/21/2021 10:20:22 AM

\_\_\_\_ of \_\_\_\_ DOB JOB: -

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**ROOF PLAN**1/4" = 1'-0"



**WEST ELEVATION**1/8" = 1'-0"

SOUTH ELEVATION
1/8" = 1'-0"



CONC-50 ARCHITECTURAL CAST IN PLACE CONCRETE WITH BOARD FORMED FINISH

CW-01 BLACK ANODIZED ALUMINUM INSULATED CURTAIN WALL SYSTEM

CW-02 BLACK ANODIZED ALUMINUM INSULATED PUNCHED WINDOW SYSTEM

LV-01

ANODIZED ALUMINUM ARCHITECTURAL EXHAUST LOUVER TO MATCH CURTAINWALL SYSTEM

MT-50 NATURAL FINISH ZINC STANDING SEAM FACADE CLADDING

MT-55 NATURAL FINISH ZINC TRIM

MT-60 ANODIZED ALUMINUM CLADDING OVER TOP OF STEEL FRAME STRUCTURE WITH WOOD PLANK MATERIAL AT UNDERSIDE

WD-50 SOLID WOOD PLANK MEMBERS

REV DATE DESCRIPTION 1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION RESUBMISSION 3 07/22/2021 SITE APPLICATION RESUBMISSION 07/22/2021 KEY PLAN:NTS

MARVEL

THE MASTERS SCHOOL

TEL 914 479 6400

TEL 212 616 0420

TEL 908 922 4622 STRUCTURAL ENGINEER

TEL 212 620 7970

TEL 212 645 1002

TEL 212 868 9090

TEL 212 615 3600

TEL 347 788 0810

TEL 347 809 6790 LIGHTING DESIGNER

TEL 212 951 0660

MW-SKINS

ENVELOPE CONSULTANT

ACOUSTICS CONSULTANT

LSTN CONSULTANTS 76 BEAVER STREET

32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005

BUILDING SYSTEMS ENGINEER

133 WEST 19TH STREET NEW YORK, NEW YORK 10011

VERTICAL TRANSPORTATION

AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC.

NEW YORK, NEW YORK 10018

NEW YORK, NEW YORK 10005

1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004

DOT DASH LIGHTING DESIGN

NEW YORK, NEW YORK 10013

440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

120 WALKER STREET, SUITE #6E

CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC.

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD

MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700

498 SEVENTH AVENUE

MARVEL

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013

GEOTECHNICAL / CIVIL ENGINEER

2780 HAMILTON BOULEVARD

MFS ENGINEERS & SURVEYORS, DPC

SOUTH PLAINFIELD, NEW JERSEY 07080

POLISE CONSULTING ENGINEERS, DPC

145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

212.616.0420

OWNER

145 HUDSON STREET, FLR 3 NEW YORK, NY 10013

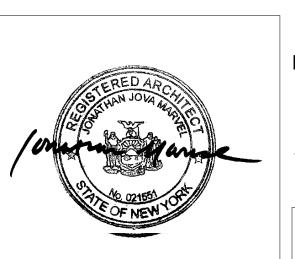
PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP CENTER** 

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

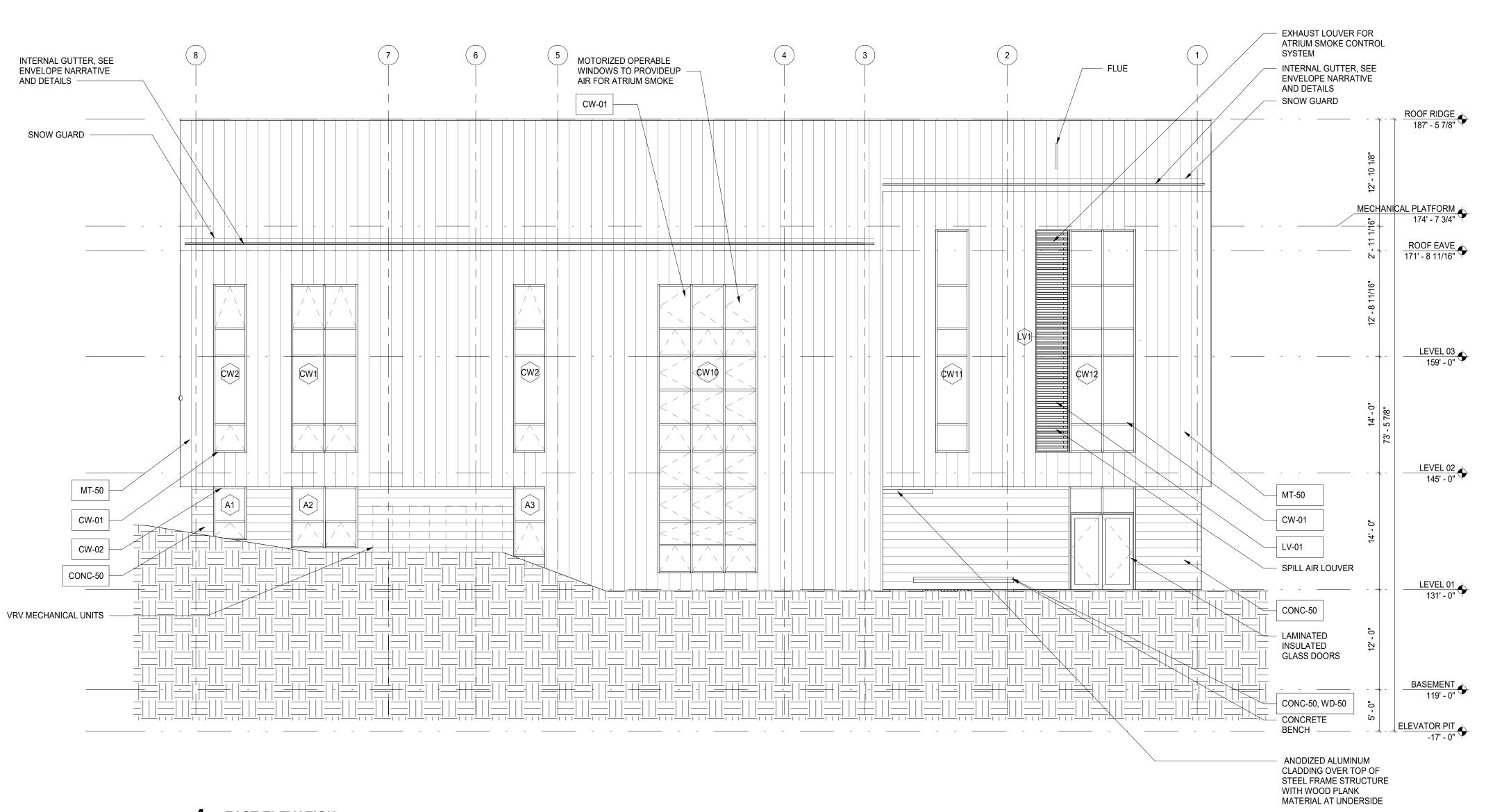
**BUILDING ELEVATIONS** 

SCALE: As indicated



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## ROOF EAVE CW-01 CW-01 MT-60 -ANODIZED ALUMINUM CLADDING OVER TOP OF STEEL FRAME STRUCTURE — MT-50 WITH WOOD PLANK MATERIAL AT UNDERSIDE LAMINATED CONC-50 INSULATED GLASS **ENTRANCE DOORS** LEVEL 01 BOARD-FORMED CONCRETE CONC-50, WD-50 RETAINING WALL CONCRETE BENCH, FRESH AIR WOOD BACK INTAKE LOUVER LAMINATED INSULATED GLASS DOORS AREAWAY



#### **MATERIALS LEGEND**

CONC-50 ARCHITECTURAL CAST IN PLACE CONCRETE WITH BOARD FORMED FINISH CW-01 BLACK ANODIZED ALUMINUM INSULATED CURTAIN WALL SYSTEM CW-02 BLACK ANODIZED ALUMINUM INSULATED PUNCHED WINDOW SYSTEM LV-01 ANODIZED ALUMINUM ARCHITECTURAL EXHAUST LOUVER TO MATCH CURTAINWALL SYSTEM MT-50 NATURAL FINISH ZINC STANDING SEAM FACADE CLADDING MT-55 NATURAL FINISH ZINC TRIM MT-60 ANODIZED ALUMINUM CLADDING OVER TOP OF STEEL FRAME STRUCTURE WITH

WOOD PLANK MATERIAL AT UNDERSIDE

WD-50 SOLID WOOD PLANK MEMBERS

REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION 2 06/17/2021 SITE APPLICATION RESUBMISSION 3 07/22/2021 SITE APPLICATION RESUBMISSION

MARVEL

THE MASTERS SCHOOL

TEL 914 479 6400

TEL 212 616 0420

TEL 908 922 4622 STRUCTURAL ENGINEER

TEL 212 620 7970

TEL 212 645 1002

TEL 212 868 9090

TEL 212 615 3600

TEL 347 788 0810

TEL 347 809 6790 LIGHTING DESIGNER

TEL 212 951 0660

TEL 732 970 0700

MW-SKINS

ENVELOPE CONSULTANT

ACOUSTICS CONSULTANT

LSTN CONSULTANTS 76 BEAVER STREET

32 OLD SLIP, FLOOR 10 NEW YORK, NEW YORK 10005

BUILDING SYSTEMS ENGINEER

133 WEST 19TH STREET NEW YORK, NEW YORK 10011

VERTICAL TRANSPORTATION

AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC.

NEW YORK, NEW YORK 10018

NEW YORK, NEW YORK 10005

1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004

DOT DASH LIGHTING DESIGN

440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS

120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013

CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC.

CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751

498 SEVENTH AVENUE

MARVEL

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013

MFS ENGINEERS & SURVEYORS, DPC

SOUTH PLAINFIELD, NEW JERSEY 07080

POLISE CONSULTING ENGINEERS, DPC

145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

GEOTECHNICAL / CIVIL ENGINEER

2780 HAMILTON BOULEVARD

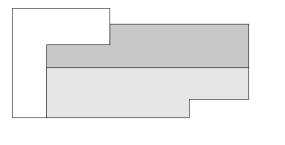
212.616.0420

OWNER

145 HUDSON STREET, FLR 3 NEW YORK, NY 10013

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

07/22/2021



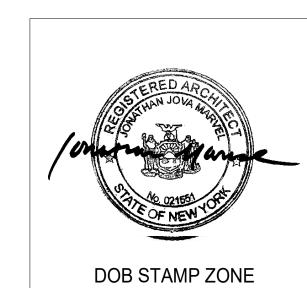
KEY PLAN:NTS

THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

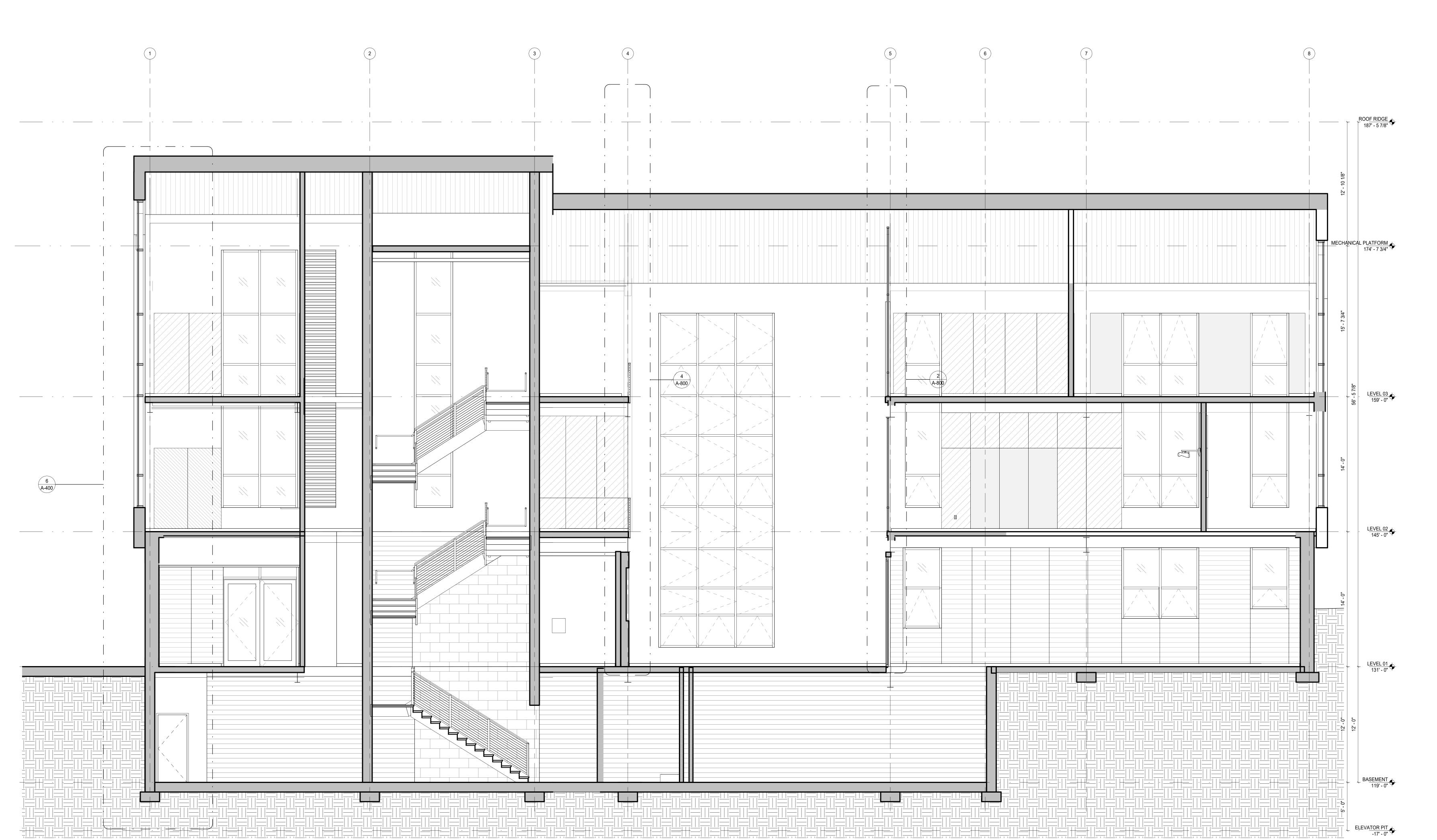
**BUILDING ELEVATIONS** 

SCALE: As indicated



DRAWING #: DOB JOB: -

7/21/2021 10:20:31 AM



OWNER
THE MASTERS SCHOOL 49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS MARVEL 145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER

MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622

STRUCTURAL ENGINEER 32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005 TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002

VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC.

498 SEVENTH AVENUE NEW YORK, NEW YORK 10018 TEL 212 615 3600 ACOUSTICS CONSULTANT

LSTN CONSULTANTS 76 BEAVER STREET NEW YORK, NEW YORK 10005 TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS

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DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E NEW YORK, NEW YORK 10013 TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S. NEW YORK, NEW YORK 10016 TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD

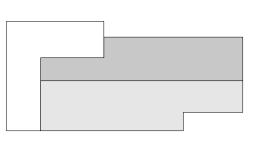
MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700

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3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

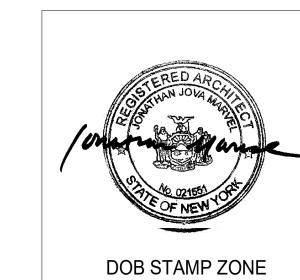
THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** 

**CENTER** 49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

**BUILDING SECTIONS** 

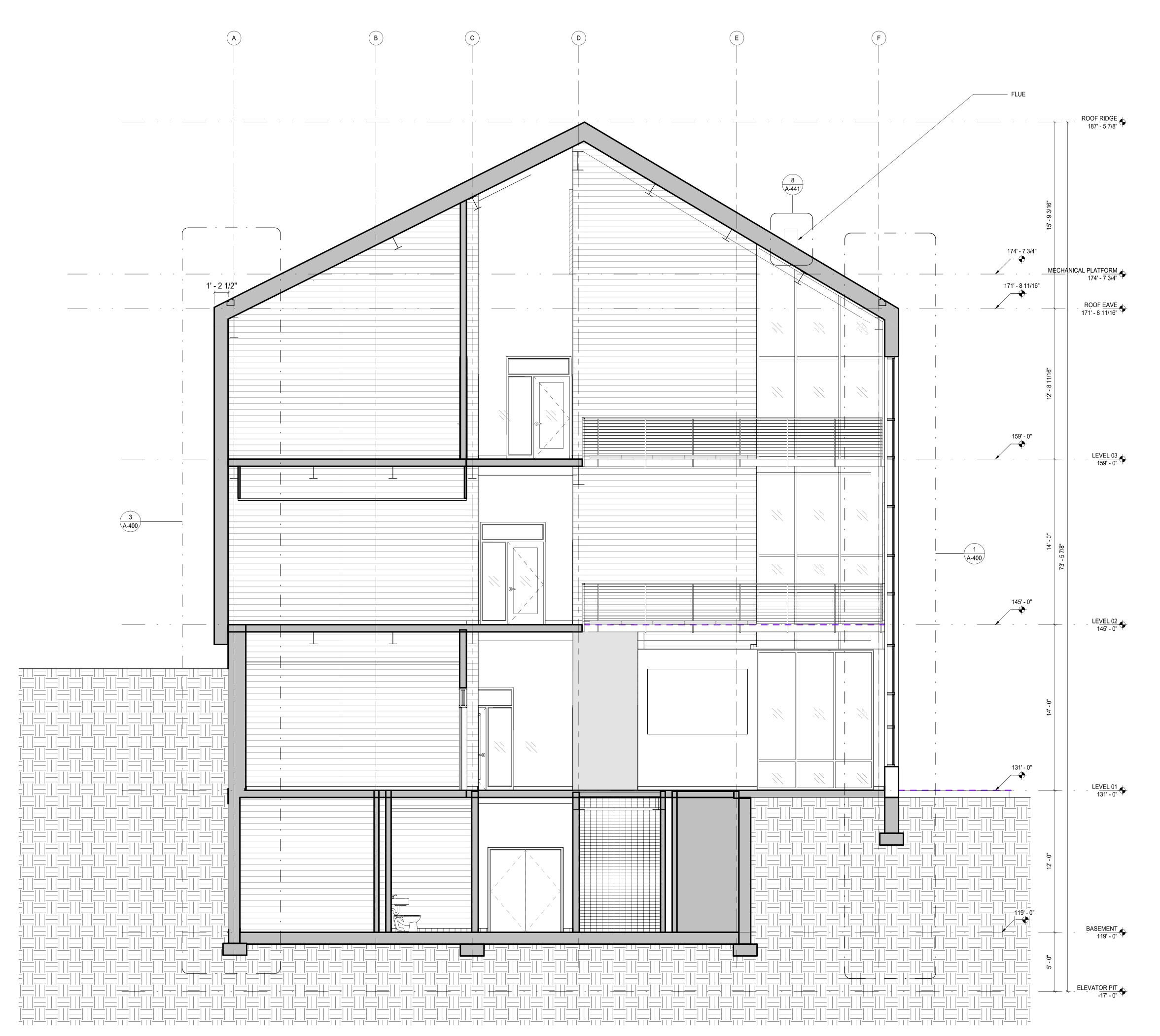
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SCALE: 1/4" = 1'-0"



7/21/2021 10:20:35 AM

BUILDING SECTION - LONGITUDINAL - EAST SIDE



BUILDING SECTION - CROSS



# MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013 212.616.0420

OWNER
THE MASTERS SCHOOL
49 CLINTON AVENUE
DOBBS FERRY, NEW YORK 10522

TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

MARVEL

145 HUDSON STREET, FLOOR 3

NEW YORK, NEW YORK 10013

TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER

MFS ENGINEERS & SURVEYORS, DPC

2780 HAMILTON BOULEVARD

SOUTH PLAINFIELD, NEW JERSEY 07080

STRUCTURAL ENGINEER
SILMAN

TEL 908 922 4622

32 OLD SLIP, FLOOR 10
NEW YORK, NEW YORK 10005
TEL 212 620 7970
BUILDING SYSTEMS ENGINEER
POLISE CONSULTING ENGINEERS, DPC
133 WEST 19TH STREET

NEW YORK, NEW YORK 10011
TEL 212 645 1002

VERTICAL TRANSPORTATION
VDA

145 WEST 30TH STREET, FLOOR 4

NEW YORK, NEW YORK 10001 TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE

NEW YORK, NEW YORK 10018
TEL 212 615 3600

ACOUSTICS CONSULTANT
LSTN CONSULTANTS
76 BEAVER STREET
NEW YORK NEW YORK 10005

NEW YORK, NEW YORK 10005
TEL 347 788 0810
ENVELOPE CONSULTANT
MW-SKINS
1 WHITEHALL STREET, FLOOR 14
NEW YORK, NEW YORK 10004

TEL 347 809 6790

LIGHTING DESIGNER

DOT DASH LIGHTING DESIGN

120 WALKER STREET, SUITE #6E

NEW YORK, NEW YORK 10013

120 WALKER STREET, SUITE #6E
NEW YORK, NEW YORK 10013
TEL 212 951 0660
CODE AND ACCESSIBILITY CONSULTANT
CODE CONSULTANTS, INC.

TEL 732 970 0700

440 PARK AVENUE S.
NEW YORK, NEW YORK 10016
TEL 212 447 4033

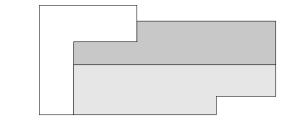
ARCHITECTURAL SPECIFICATIONS
CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD
MORGANVILLE, NEW JERSEY 07751

REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS FERRY SITE APPLICATION
2 06/17/2021 SITE APPLICATION RESUBMISSION

3 07/22/2021 SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

2029

THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

**BUILDING SECTIONS** 

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SCALE: 1/4" = 1'-0"



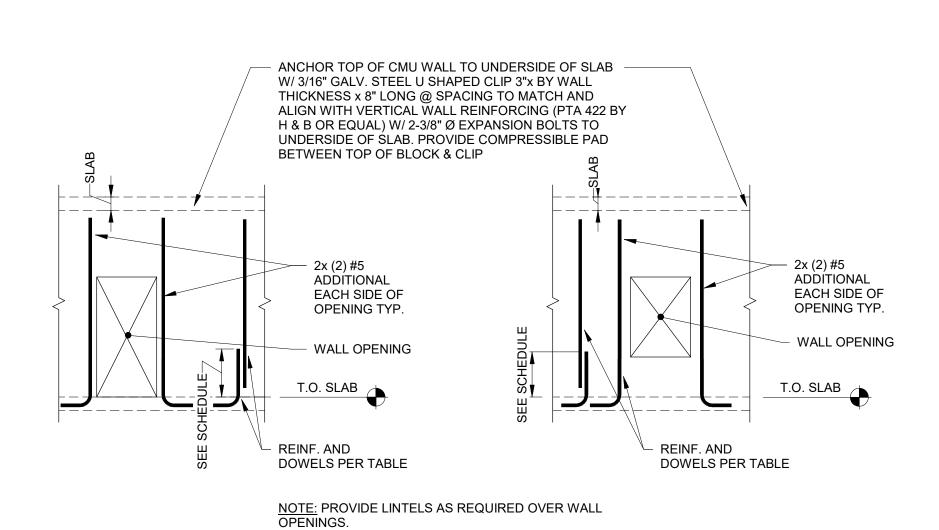
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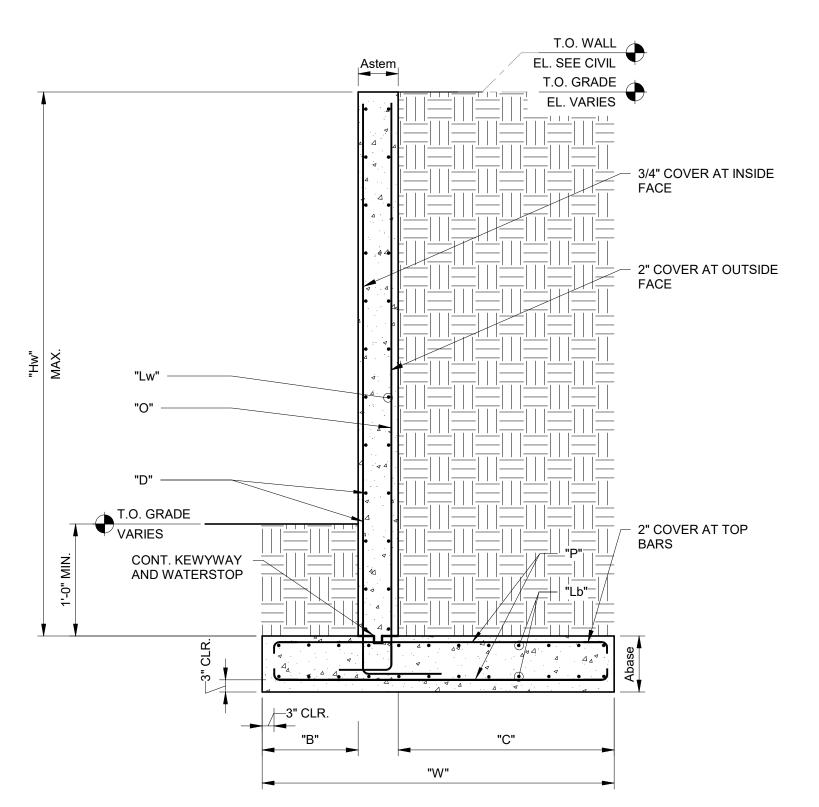


		INTERIOR WALLS		
NOMINAL CMU THICKNESS	VERTICAL REBAR	HORIZONTAL REBAR	MAXIMUM HEIGHT (FT)	DOWELS
6"	#4 @ 48"	9 GAGE LADDER REINFORCING @ 16" O.C.	23'-6"	SAME AS VERTICAL BAR
8"	#4 @ 48"	9 GAGE LADDER REINFORCING @ 16" O.C.	27'-7"	SAME AS VERTICAL BAR

		EXTERIOR WALLS		
NOMINAL CMU THICKNESS	VERTICAL REBAR	HORIZONTAL REBAR	MAXIMUM HEIGHT (FT)	DOWELS
6"	#5 @ 24"	9 GAGE LADDER REINFORCING @ 16" O.C.	14'-6"	SAME AS VERTICAL BARS
8"	#5 @ 24"	9 GAGE LADDER REINFORCING @ 16" O.C.	18'-8"	SAME AS VERTICAL BARS

TYPICAL REINFORCING FOR NON-BEARING MASONRY WALLS (PLAN)

#### HEEL (C) WITH OF BASE BASE (W) DEPTH ABOVE THICKNESS BASE (Hw) ft-in. | SIZE @ in. W101 0'-6' 4'-6" W102 6'-12' 4'-6" 7'-0"

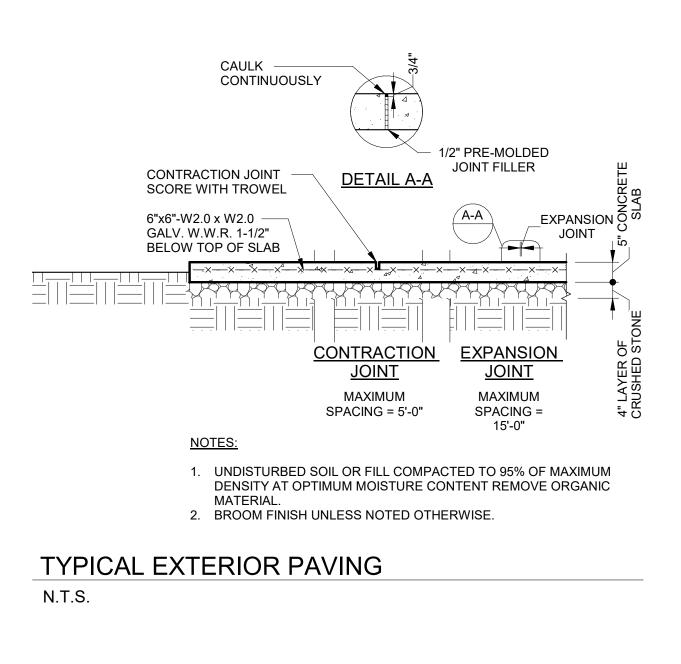


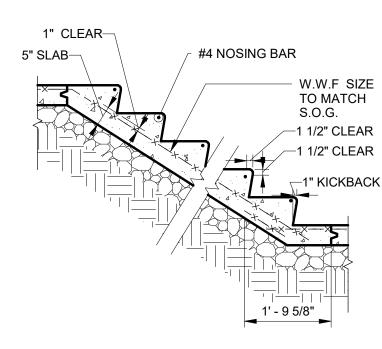
1. FOR TOP OF WALL. GRADE ELEVATION AND LOCATION, SEE CIVIL, LANDCSAPE AND ARCH. DWGS. 2. REFER TO TYPICAL DETAILS FOR CONTROL JOINT & EXPANSION JOINT DETAILS, AND REQUIRED JOINT SPACINGS RETAINING WALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR CONTROLLED COMPACTED BACKFILL HAVING A MINIMUM SAFE BEARING CAPACITY OF TWO TONS PER SQ.FT. 3. REFER TO CIVIL DRAWINGS FOR LENGTH AND LOCATION OF RETAINING WALLS.

TYPICAL CONCRETE SITE RETAINING WALL DETAIL N.T.S.

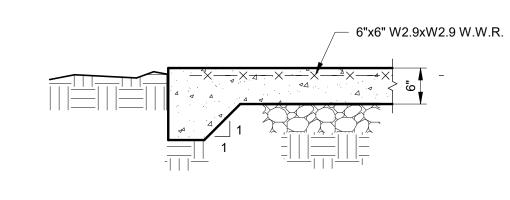
2" MIN.; IF LESS THAN COMPRESSIBLE FILLER 2" EXTEND BLOCK TO SLAB ABOVE (4) POWDER ACTUATED FÁSTENERS PER CLIP, - U-SHAPED CLIP. SEE TYPICAL MINIMUM DETAIL REINF. FOR NON-LOAD BEARING MASONRY WALLS SEE TYPICAL DETAIL REINF. FOR NON-LOAD BEARING WALLS AT PARALLEL TO STEEL BEAM COMPRESSIBLE FILLER U-SHAPED CLIP. SEE TYPICAL DETAIL REINF. FOR NON-LOAD BEARING MASONRY WALLS SEE TYPICAL DETAIL REINF. FOR NON-LOAD BEARING WALLS AT STEEL DECK SLAB COMPRESSIBLE FILLER -U-SHAPED CLIP. SEE TYPICAL DETAIL REINF. FOR NON-LOAD SEE TYPICAL REINF. FOR NON-BEARING MASONRY WALLS LOAD BEARING WALLS DETAIL — AT CAST IN PLACE SLAB

TYPICAL SUPPORT FOR MASONRY PARTITIONS AT CONCRETE SLAB N.T.S.





TYPICAL STAIR ON GRADE N.T.S.



NOTES: 1. FOR SIZE AND LOCATION SEE ARCHITECTURAL AND MECHANICAL DRAWINGS. 2. CONCRETE FOR PADS SHALL BE NORMAL WEIGHT WITH f'c = 4000 PSI
3. THREADED RODS TO BE 3/8" Ø A-36 STEEL IN EXPANSION INSERTS @ 18"

O.C. HY-200 ADHESIVE OR APPROVED EQUAL.

TYPICAL EQUIPMENT PAD ON GRADE (EXTERIOR) N.T.S.



#### MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013 212.616.0420

OWNER THE MASTERS SCHOOL 49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

TEL 914 479 6400 PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS MARVEL

145 HUDSON STREET, FLOOR 3

NEW YORK, NEW YORK 10013 TEL 212 616 0420 GEOTECHNICAL / CIVIL ENGINEER MFS ENGINEERS & SURVEYORS, DPC 2780 HAMILTON BOULEVARD

SOUTH PLAINFIELD, NEW JERSEY 07080 TEL 908 922 4622 STRUCTURAL ENGINEER

SILMAN

32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005 TEL 212 620 7970 BUILDING SYSTEMS ENGINEER POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011

TEL 212 645 1002 VERTICAL TRANSPORTATION 145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001

TEL 212 868 9090 AV / IT / SECURITY CONSULTANT COSENTINI ASSOCIATES, INC. 498 SEVENTH AVENUE

NEW YORK, NEW YORK 10018 TEL 212 615 3600 ACOUSTICS CONSULTANT LSTN CONSULTANTS

**76 BEAVER STREET** NEW YORK, NEW YORK 10005 TEL 347 788 0810 ENVELOPE CONSULTANT MW-SKINS 1 WHITEHALL STREET, FLOOR 14 NEW YORK, NEW YORK 10004

TEL 347 809 6790 LIGHTING DESIGNER DOT DASH LIGHTING DESIGN 120 WALKER STREET, SUITE #6E

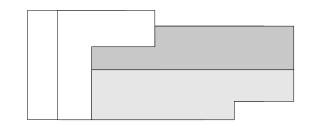
NEW YORK, NEW YORK 10013 TEL 212 951 0660 CODE AND ACCESSIBILITY CONSULTANT CODE CONSULTANTS, INC. 440 PARK AVENUE S.

NEW YORK, NEW YORK 10016 TEL 212 447 4033 ARCHITECTURAL SPECIFICATIONS CONSTRUCTION SPECIFICATIONS, INC 22 TENNENT ROAD MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700 GEOTHERMAL ENGINEER

> REV DATE DESCRIPTION 1 07/22/2021 SITE APPLICATION RESUBMISSION

> > 07/22/2021

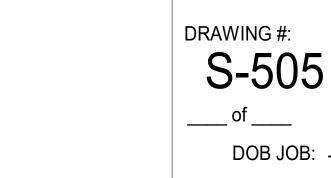


KEY PLAN:NTS THE MASTERS SCHOOL

**49 CLINTON AVENUE** DOBBS FERRY, NEW YORK 10522

**TYPICAL DETAILS** 

SCALE: As indicated

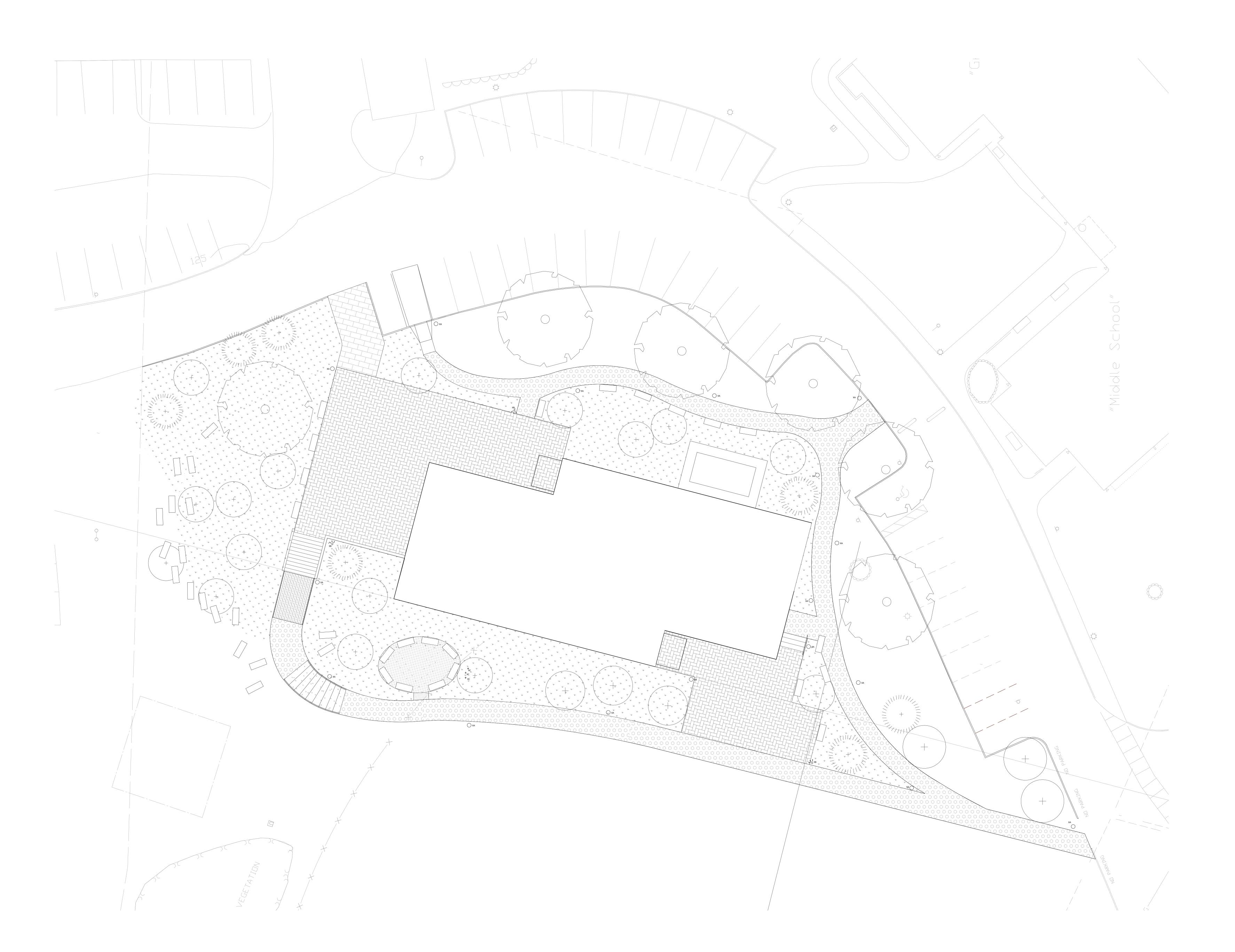


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## MARVEL 145 HUDSON STREET, FLR 3 NEW YORK, NY 10013

212.616.0420

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THE MASTERS SCHOOL
49 CLINTON AVENUE
DOBBS FERRY, NEW YORK 10522

TEL 914 479 6400 PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS
MARVEL 145 HUDSON STREET, FLOOR 3 NEW YORK, NEW YORK 10013 TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER

MFS ENGINEERS & SURVEYORS, DPC

2780 HAMILTON BOULEVARD

SOUTH PLAINFIELD, NEW JERSEY 07080

TEL 908 922 4622

STRUCTURAL ENGINEER

SILMAN
32 OLD SLIP, FLOOR 10
NEW YORK, NEW YORK 10005
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER
POLISE CONSULTING ENGINEERS, DPC 133 WEST 19TH STREET NEW YORK, NEW YORK 10011 TEL 212 645 1002

VERTICAL TRANSPORTATION

145 WEST 30TH STREET, FLOOR 4 NEW YORK, NEW YORK 10001 TEL 212 868 9090

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LSTN CONSULTANTS

76 BEAVER STREET

NEW YORK, NEW YORK 10005 TEL 347 788 0810

ENVELOPE CONSULTANT

MW-SKINS

1 WHITEHALL STREET, FLOOR 14

NEW YORK, NEW YORK 10004

TEL 347 809 6790

LIGHTING DESIGNER

DOT DASH LIGHTING DESIGN

120 WALKER STREET, SUITE #6E

NEW YORK, NEW YORK 10013

TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT
CODE CONSULTANTS, INC.
440 PARK AVENUE S.
NEW YORK, NEW YORK 10016
TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC
22 TENNENT ROAD

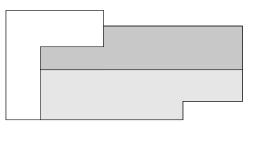
MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FER SITE APPLICATION
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RESUBMISSION

07/22/2021



KEY PLAN:NTS

2029

THE MASTERS SCHOOL INNOVATION AND **ENTREPRENEURSHIP** CENTER

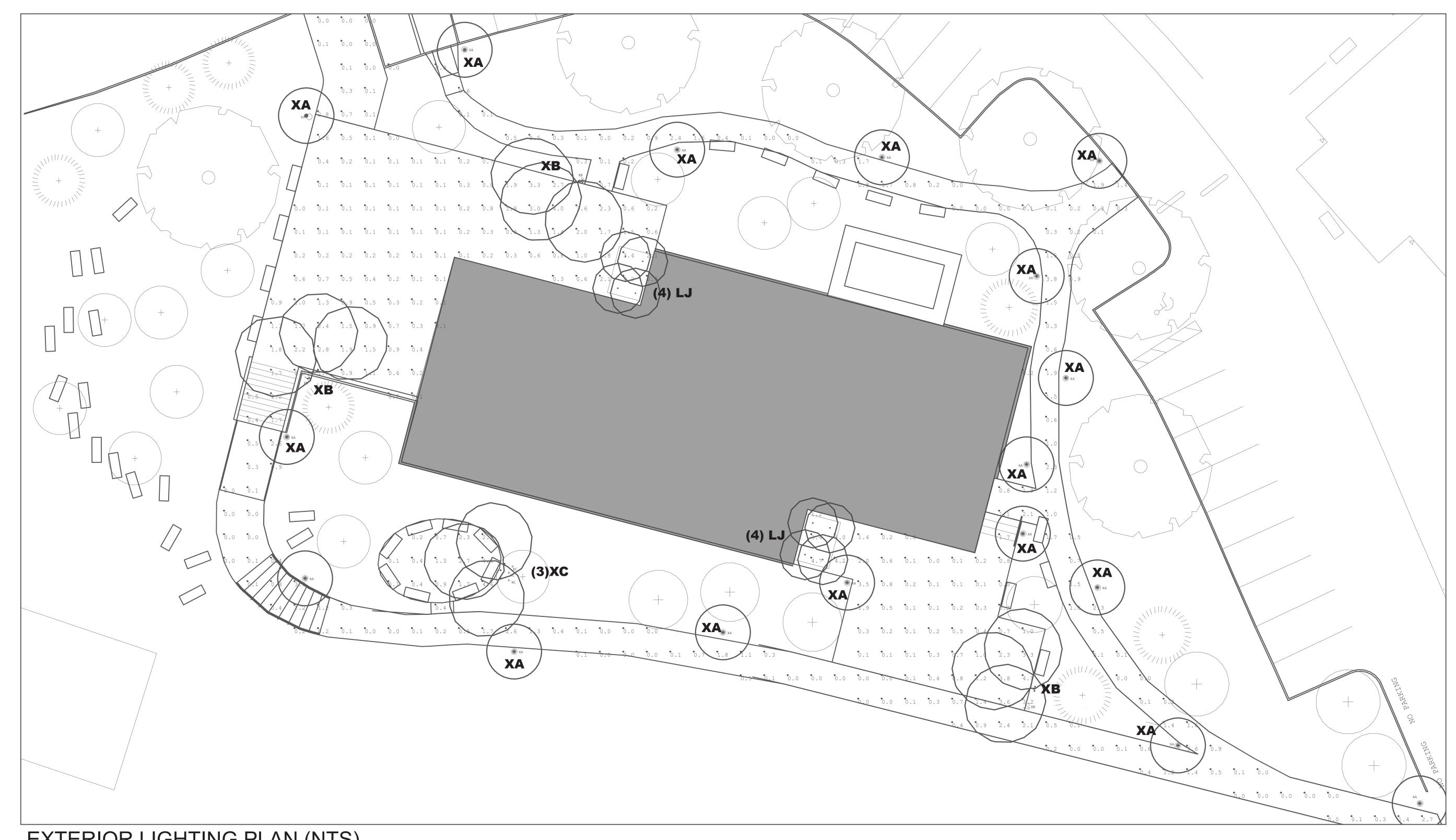
49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

LANDSCAPE LIGHTING **PLAN** 

SCALE: 3/32" = 1'-0"

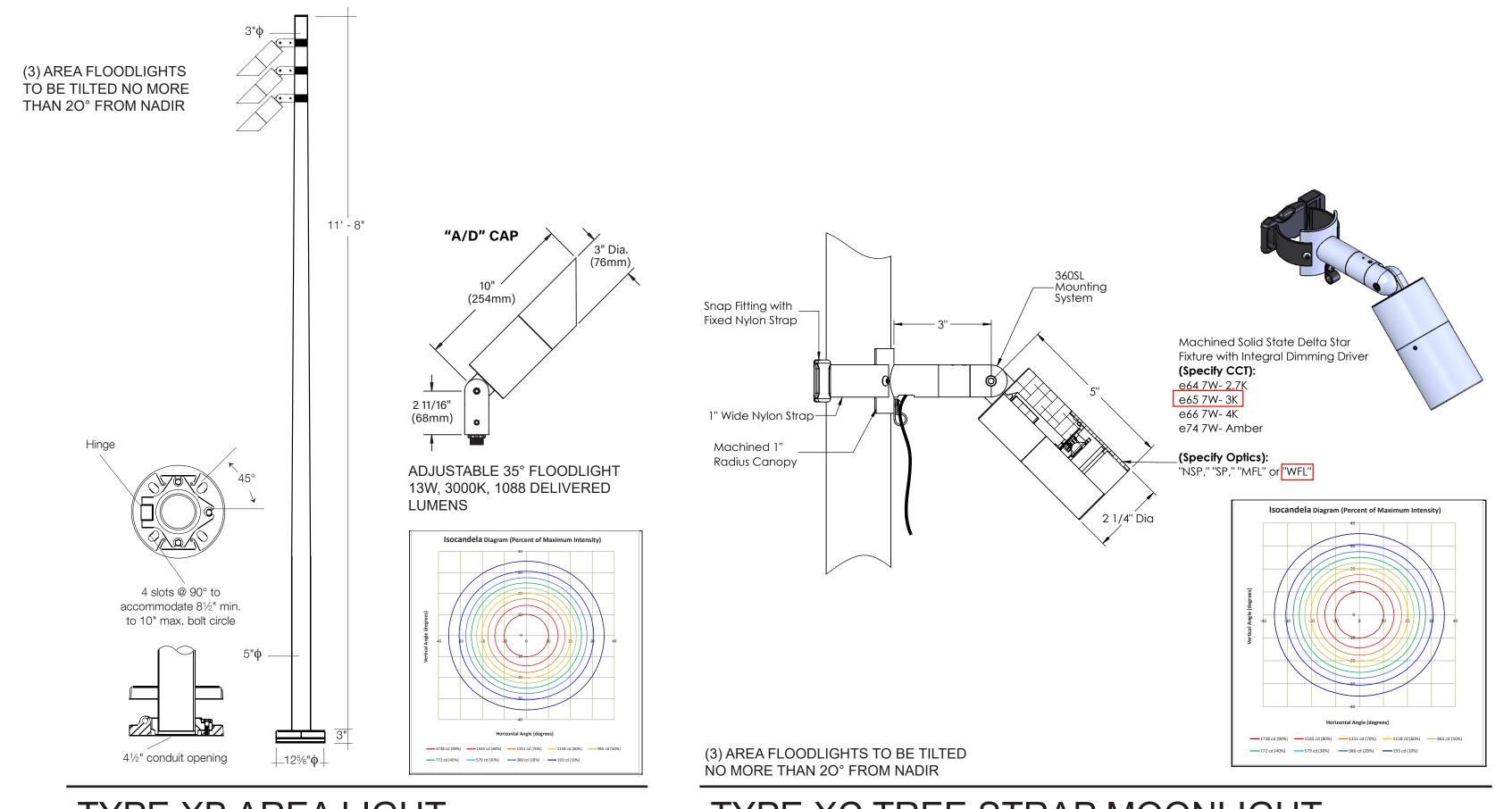
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EXTERIOR LIGHTING PLAN (NTS)

ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE GENERAL STANDARDS AND MAXIMUM LIGHT LEVELS PER SECTION 300-41 OF THE ZONING CODE



0.6W, 3000K, 1577 LUMENS CONDUIT (BY OTHERS) RECESSED LED DOWNLIGHT WITH 40 DEGREE OPTICS, 16W, 3000K, 1095 DELIVERED LUMENS TYPE XA BOLLARD TYPE XB AREA LIGHT TYPE XC TREE STRAP MOONLIGHT TYPE LJ CANOPY DOWNLIGHT

## MARVEL

145 HUDSON STREET, FLR 3 NEW YORK, NY 10013 212.616.0420

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145 HUDSON STREET, FLOOR 3

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STRUCTURAL ENGINEER

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THE MASTERS SCHOOL **INNOVATION AND ENTREPRENEURSHIP** CENTER

49 CLINTON AVENUE DOBBS FERRY, NEW YORK 10522

LANDSCAPE LIGHTING PHOTOMETRIC PLAN

SCALE: NTS

DRAWING #: LC-011

DOB JOB: -

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