



**MARVEL**  
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OWNER  
**THE MASTERS SCHOOL**  
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DOBBS FERRY, NEW YORK 10522  
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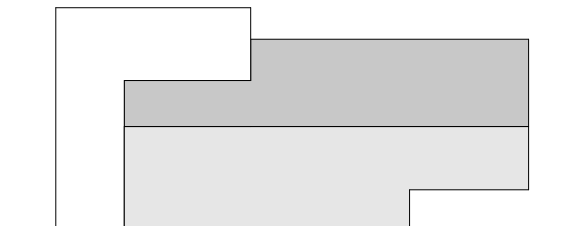
# THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE, DOBBS FERRY, NEW YORK 10522  
PROJECT NO. 2029

## SITE APPLICATION RESUBMISSION JULY 22, 2021

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



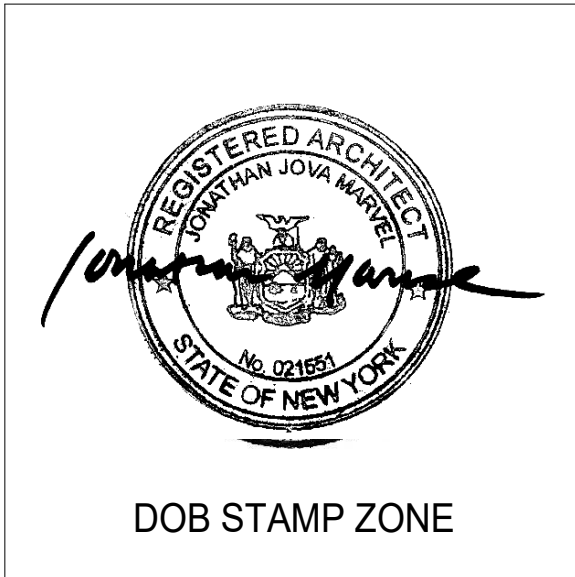
KEY PLAN:NTS

2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**TITLE SHEET**

SCALE: 12" = 1'-0"

DRAWING #:  
**T-000**  
of  
DOB JOB: -



DOB STAMP ZONE





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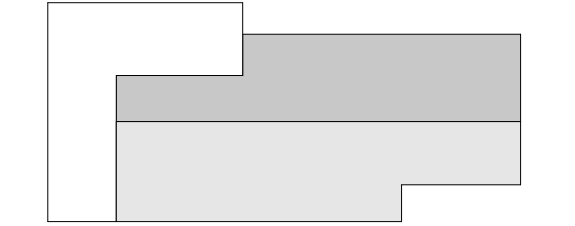
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SHEET INDEX - SITE PLAN APPLICATION					
CATEGORY	SHEET #	SHEET NAME	SITE PLAN APP 02/17/2021	SITE APP RESUBMISSION 06/17/2021	SITE APP RESUBMISSION 07/22/2021
00-TITLE	T-000	TITLE SHEET	X	X	X
01-GENERAL	G-001V	SHEET INDEX - SITE PLAN APP	X	X	X
	G-010	BUILDING SITE SURVEY	X	X	X
	G-011	BUILDING SITE SURVEY	X	X	X
02-ZONING	Z-100	ZONING MAP, TAX MAP, PLOT PLAN & FLOOD MAP	X	X	X
03-CIVIL	C-101	NOTES	X	X	X
	C-300	DEMOLITION & SITE CLEARING PLAN	X	X	X
	C-400	SOIL EROSION & SEDIMENT CONTROL PLAN	X	X	X
	C-500	SITE PLAN	X	X	X
	C-602	CONSTRUCTION ACCESS PLAN	X	X	X
	C-600	PROPOSED GRADING & DRAINAGE PLAN	X	X	X
	C-700	UTILITY PLAN	X	X	X
	C-701	UTILITY RELOCATION PLAN	X	X	X
	C-800	CONSTRUCTION DETAILS	X	X	X
	C-901	CONSTRUCTION DETAILS		X	X
04-LANDSCAPE	L-001	GENERAL NOTES	X	X	X
	L-100	LAYOUT PLAN	X	X	X
	L-200	MATERIALS PLAN	X	X	X
	L-400	TREE PLANTING PLAN	X	X	X
	L-410	UNDERSTORY PLANTING PLAN			X
	L-600	SITE SECTIONS I	X	X	X
	L-610	SITE SECTIONS II	X	X	X
	L-620	SITE PLAN		X	X
	L-700	TYPICAL DETAILS I	X	X	X
	L-710	TYPICAL DETAILS II	X	X	X
05-ARCH	A-100	BASEMENT FLOOR PLAN	X	X	X
	A-101	FIRST FLOOR PLAN	X	X	X
	A-102	SECOND FLOOR PLAN	X	X	X
	A-103	THIRD FLOOR PLAN	X	X	X
	A-104	ROOF PLAN	X	X	X
	A-300	BUILDING ELEVATIONS	X	X	X
	A-301	BUILDING ELEVATIONS	X	X	X
	A-320	BUILDING SECTIONS	X	X	X
	A-321	BUILDING SECTIONS	X	X	X
06-STRUCTURAL	S-501	RETAINING WALL DETAIL		X	
	S-505	TYPICAL DETAILS			X
12-LIGHTING	LC-010	SITE LIGHTING PLAN	X	X	X
	LC-011	SITE LIGHTING PHOTOMETRIC PLAN	X	X	X
Total Number of Sheets: 37					

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KEY PLAN:NTS

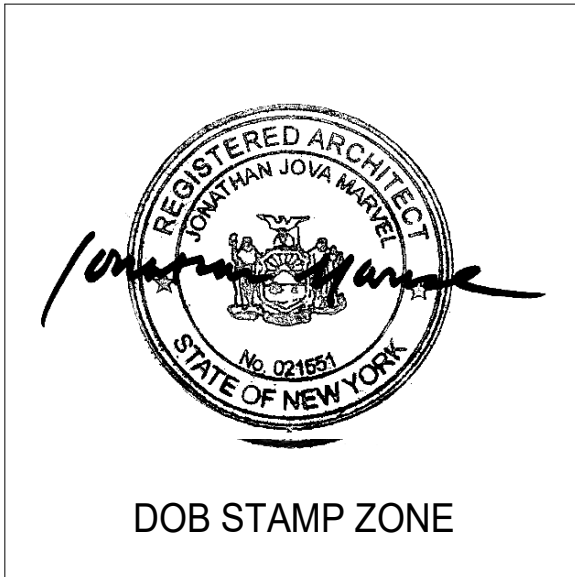
2029

**THE MASTERS SCHOOL  
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CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**SHEET INDEX - SITE PLAN  
APP**

SCALE:



DOB STAMP ZONE

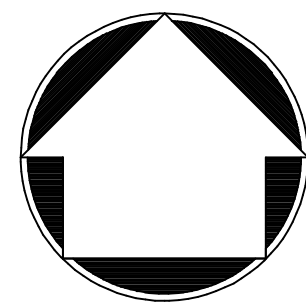
DRAWING #:

**G-001V**

of

DOB JOB: -





**Note**  
Refer to Sheet 2 of 2 for Notes and Legend.

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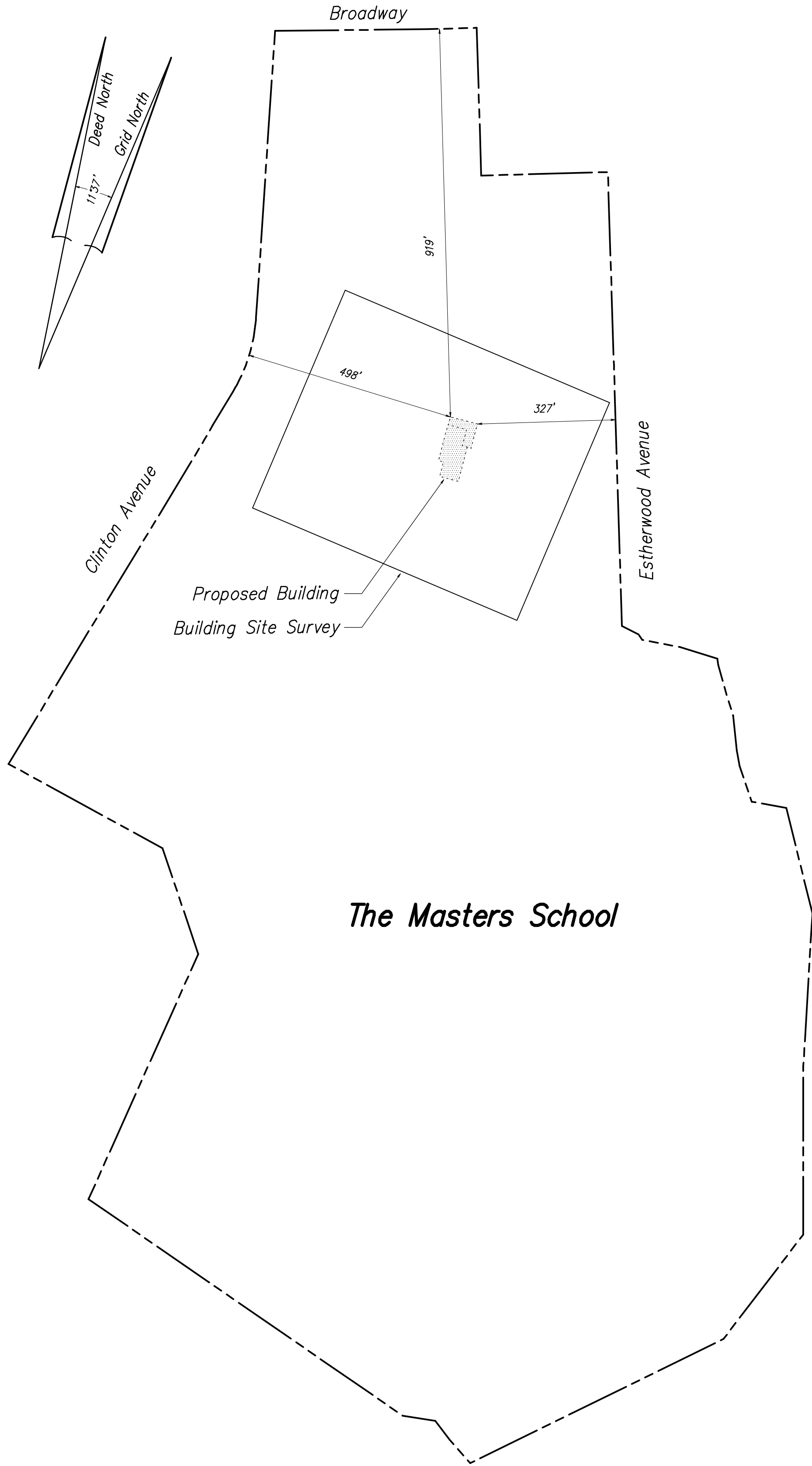
Building Site Survey  
for the proposed  
Innovation and Entrepreneurship Center  
to be constructed at  
**The Masters School**  
located at  
49 Clinton Avenue  
in the  
Village of Dobbs Ferry  
Westchester County, New York  
Scale 1" = 20' January 27, 2021

Sheet 1 of 2

Kenneth B. Salzmann, Land Surveyor, NY Lic. No. 49712  
12 Hunter Lane, P.O. Box 498, Pawling, NY 12564 (845) 855-3885

Project No. 825





Detail Showing Map Location and Proposed Building Offsets  
Scale 1" = 200'

Survey Notes:

- This map, consisting of two sheets, is based upon field measurements completed on January 25, 2021 to update a portion of the 20 scale survey prepared by Kenneth B. Salzmann, Land Surveyor, entitled:  
  
"Topographic Map of the developed portion of The Masters School located in the Village of Dobbs Ferry, Westchester County, New York, Scale 1" = 20' [dated] January 9, 2017, Sheets 1 to 21 of 21."
- The proposed building depicted hereon is based upon digital files received from Marvel Architects on January 7, 2021.
- The boring locations depicted hereon are based upon the disturbed soil found at the site. There may have been additional borings not depicted hereon.
- Utility locations are based upon visible structures, combined with the markings placed by Consumer Markouts, Inc. between December, 2020 and January, 2021. While a diligent effort was made to locate utilities, the actual location or absence of underground utilities cannot be guaranteed. Underground utilities may be encountered in locations other than depicted hereon. Verify the actual location of all utilities with the appropriate agencies prior to excavation or construction.
- Elevations are referenced to the datum of The Masters School, a site specific datum approximately 108.2 feet lower than NAVD 88. Refer to Note 4 below.
- Valid copies of this map are marked with the land surveyor's embossed seal and original signature. Copies lacking the land surveyor's embossed seal and original signature are considered fraudulent and may contain erroneous information.
- Unauthorized alteration or addition to a map bearing the seal of a Licensed Land Surveyor is a violation of Section 7209 of the New York State Education Law, except as per Section 7209, Sub-division 2.

Historical Notes:

- The notes from the January 9, 2017 Topographic Map are provided for reference:
- This Topographic Map, consisting of 21 sheets, is based upon photogrammetric mapping prepared by Geomaps International, Inc. compiled for this project at a scale of 1" = 20', using aerial photography taken in April, 2008, with supplemental field measurements completed between October 4 and December 31, 2016, combined with mapping of portions of the campus previously prepared by Kenneth B. Salzmann, Land Surveyor, specifically:
    - "Topographic Map of a portion of The Masters School in the vicinity of the Faculty Housing" dated January 5, 2007, Sheets 1 and 2 of 2.
    - "Topographic Map of a portion of The Masters School" dated July 13, 2007, Sheets 1 to 5 of 5.
    - "Topographic Map prepared for the proposed Tennis Court Parking Lot Improvements" dated May 12, 2008, revised May 28, 2009.
    - "As-built Location Survey depicting the Faculty Housing Building" dated July 2, 2009, revised July 14, 2009.
    - "Topographic Map of the northerly portion of The Masters School" dated July 22, 2010, Revised Oct. 06, 2010, Sheets 1 to 6 of 6.
    - "Topographic Map for the proposed Health Building Addition" dated Sept. 11, 2012.
    - "Topographic Map for the proposed Courtyard Improvements" dated June 27, 2013.In addition, information contained in the drawing files provided by other surveyors has been added to the Topographic Map, specifically:
    - "As Built Survey of New Athletic Field for The Masters School" last revised 2/14/12, by Link Land Surveyors, P.C.
    - "As Built Survey prepared for The Masters School, Community Athletics & Arts Center" dated Sep. 23, 2015 by Thomas C. Merritt's Land Surveyors, P.C.
  - The approximate limits of the record maps referenced above are indicated by the following line pattern: ———— · ———— · ———— ·. Per contractual agreement features within the areas of record mapping may not have been updated since the last date of the record map.
  - Features west of the west curb of Clinton Avenue, north of the north curb of Broadway and east of the east curb of Estherwood Avenue extend beyond the contractual mapping area. These features are provided for reference, but were not field checked and may not be complete.

- Elevations are referenced to the datum of The Masters School. However, the elevation datum of the map by Thomas C. Merritt's (map reference 1--1) is approximately 108.5 feet above the Masters School datum. Contour interval is one (1) foot, except that contours are not provided at the Faculty Housing Building (map reference1--d). The following bench marks were established for future reference:  
  
BM "D" the center of 4 cuts set in the top of the rock knob located approximately 90 feet southwest of the southwest corner of Morris Hall, elevation 164.68 feet.  
  
BM "F" the center of 4 cuts set in the top of the southwest corner of the concrete steps at the north side of the tennis courts, elevation 187.88 feet.  
  
BM "J" a NYSDOT Disk stamped "BW+499" found set in concrete between the curb and sidewalk on the north side of Broadway, approximately 300 feet east of the centerline of Clinton Avenue, elevation 93.66 feet.  
  
BM "M" a cross cut chiseled in the northwest corner of the concrete sidewalk at the NW corner of "Ford Hall," elevation 194.93 feet.  
  
BM "P" a small cross cut chiseled in the southwest corner of the vent grate rim approximately 12 feet west of the southwest corner of the "Cameron Mann Dining Hall," elevation 183.04 feet.  
  
BM "Q" the center of 4 cuts set in the top of the rock knob located approximately 160 feet southwest of the southwest corner of the Thompson dorm building, elevation 229.60 feet.  
  
BM "R" a cross cut set in the north rim of the drain manhole approximately 70 feet southwest of the southwest corner of the Ford dorm, elevation 200.42 feet.  
  
BM "S" the center of 4 cuts set in the top of the stone curb corner located approximately 8 feet south of the southwest corner of Masters Hall, elevation 170.67 feet.  
  
BM "Y" a cross cut set in the top of the stone curb on the north side of Cochrane Avenue approximately 20 feet east of the center of the concrete sidewalk leading to the north side of Masters Hall, elevation 158.04 feet.
- The gaps in the Bench Mark designations reflect old bench marks that have not survived renovations at the site, or were set in tree roots that are now grown over and were not recovered.
- The general ground lines of buildings are depicted, unless noted otherwise. Ornamental trim, water tables, window air conditioners, security cameras, stockpiled materials and movable furniture may not be depicted hereon. Building locations and grades are not to be used for the design of structural elements without further verification. Features obscured by dense vegetation or fallen leaves are not shown.
- In areas where heavy vegetation or shadows obscured the ground approximate contours are depicted. Contours within these obscured areas should be verified before the design or construction of grade sensitive elements.
- Underground utilities are limited to the storm drains and sanitary sewers depicted hereon, as well as the water, gas, steam, communication and electric lines found to be marked at the site. Additional underground utilities, including but not limited to water, gas, telephone, steam, communication and electric lines, roof drain leader pipes, underdrains or irrigation systems are not depicted hereon. The storm drains and sanitary sewers in Broadway are not depicted due to accessibility restrictions.
- This map does not depict all underground utilities. Underground utilities may be encountered in locations other than depicted hereon. Verify the actual location of all utilities with the appropriate agencies prior to excavation or construction.
- This map depicts trees with a diameter of 6 inches and larger, estimated 4.5 feet up the trunk, as well as smaller trees deemed significant. The location of dead trees, stumps and fallen trees may be incomplete. Symbols depict the location of trees and shrubs and are not to scale. Individual trees and shrubs within wooded areas are not shown, with the exception of trees deemed to be significant and the trees located as part of the record mapping noted above. Individual shrubs within planted beds are not depicted hereon.
- Building and trail designations are based upon documents provided.
- The property lines depicted hereon are based upon the deed dated Nov. 15, 2002 from County of Westchester Industrial Development Agency to The Masters School, recorded in the Westchester County Clerk's Office as CV 430870280, as surveyed as part of map reference 1--a, above. An "approximate property line" is depicted at the portion of the site that was not surveyed. Said "approximate property line" is subject to the facts revealed by a search of title and a current survey. This map is not intended to be used for title purposes.

Tree Index

ABBREV. COMMON NAME

APP	Apple
ASH	Ash
BB	Black Birch
BCH	Beech
BP	Bradford Pear
BWD	Basswood
CAT	Catalpa
CED	Cedar
CH	Cherry
CIN	Chestnut
DD	Dead
DW	Dogwood
FR	Fir
HCM	Hemlock
HK	Hickory
HOL	Holly
LND	Linden
LOC	Locust
MAP	Maple
DAK	Dak
FR	Fine
SAS	Sassafras
SG	Sweet Gum
SPR	Spruce
STMP	Stump
SVC	Sycamore
TAM	Tamarack
TOH	Tree of Heaven
TUL	Tulip
UNK	Unknown
WB	White Birch
WNT	Walnut

3-8 trees  
10-12 tree  
3 trees, 8" diameter  
10" and 12" tree

Legend

assumed abandoned	ABAN
assumed location	ASSTD LOC
bench on concrete slab	BSC
boring	⊕
bottom and top of wall	BW TW
cellar entrance	C.E
chain link fence	CLF
cleanout	□ CO
concrete	CONC
contour	— 54 —
contour, obscured	- 54 -
corrugated plastic pipe	CPP
curb	=====
curb inlet	CI
direction unknown	DIR. UNK. DR. DU
drain inlet	DI
drain manhole	DMH
edge of lawn / bed	=====
electric box	EBOX
electric line	— E —
fence	— F —
fiber optic line	— FIB —
fuel line	— FUEL —
gas line	— G —
gas valve	GV
heat and hot water	HTHW
hedge	=====
hydrant	HD
index contour	— 60 —
index contour, obscured	- 60 -
infiltrator	INFIL
invert	INV
irrigation control valve	ICV
irrigation line	— IRR —
junction box	JB
light	⊕
monument	MON
no pipes seen	NPS
overhead wires	=====
property line	=====
reinforced concrete pipe	RCF
roof drain leader	RD
sanitary manhole	SMH
sanitary sewer	— SAN —
shrub	OR
sight lighting	SL
signs	⊕
spot grade	SP
steam line	— STEAM —
stone wall	=====
storm drain	— ST —
telephone box	TBOX
telephone line	— T —
telephone & fiber optic line	— TFO —
television line	— TV —
top/bottom of wall	TW/BW
trash can	TRASH
trench drain	TD
tree and size	12 MAP OR 12 SP OR 18 SP
utility pole and guy	⊕
utility pole and lamp	⊕
vault limits not seen	VERT
vertical	VERT
vitreous tile pipe	VT
water line	— W —
water valve	⊕

Certification:

I, Kenneth B. Salzmann, the surveyor who made this map, hereby certify that the boundary of The Masters School campus depicted hereon is based upon a field survey completed on June 23, 2020 and that this map was completed on January 27, 2021.

Kenneth B. Salzmann, NY Land Surveyor Lic. No. 49712

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Sheet 2 of 2

Building Site Survey  
for the proposed  
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Scale 1" = 20' January 27, 2021

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## ZONING

PER TABLE B-10: CP AND EI DISTRICTS DIMENSIONAL STANDARDS

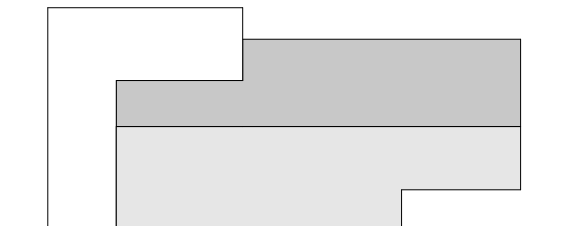
REQUIREMENT (PER TABLE B-10)		EDUCATIONAL/INSTITUTIONAL DISTRICT REQUIREMENTS	PROVIDED BY MASTERS IEC	NOTES
LOT SIZE	MINIMUM LOT SIZE	-	-	
	MAXIMUM LOT AREA PER DWELLING UNIT (SF)	40,000	N/A DUE TO CAMPUS	COMPLIES
BUILDING HEIGHT	MAX STORIES	4	3	COMPLIES
	MAX HEIGHT (FT)	50' - 0"	43' - 1"	COMPLIES
	MIN STORIES	-	-	
	MIN HEIGHT	-	-	
LOT COVERAGE	MAX LOT COVERAGE BY BUILDINGS	50%	4.9%	COMPLIES
	MAX LOT COVERAGE BY IMPERVIOUS COVER	80%	10.16%	COMPLIES
LOT COVERAGE	MIN FRONT YARD SETBACK (FEET)	25	N/A DUE TO CAMPUS	
	MAX FRONT YARD SETBACK (FEET)	-	N/A DUE TO CAMPUS	
	MIN REAR YARD SETBACK (FEET)	25	N/A DUE TO CAMPUS	
	MIN SIDE YARD SETBACK (EACH) (FEET)	10	N/A DUE TO CAMPUS	
	MIN SIDE YARD SETBACK (BOTH) (FEET)	25	N/A DUE TO CAMPUS	
	MAX SIDE YARD SETBACK (EACH) (FEET)	-	N/A DUE TO CAMPUS	

## GROSS BUILDING AREA

PROPOSED GSF	
BASEMENT	3,897 GSF
FIRST FLOOR	5,979 GSF
SECOND FLOOR	5,575 GSF (less atrium)
THIRD FLOOR	5,575 GSF (less atrium)
MECHANICAL PLATFORM	283 GSF
TOTAL	21,309 GSF

REV	DATE	DESCRIPTION
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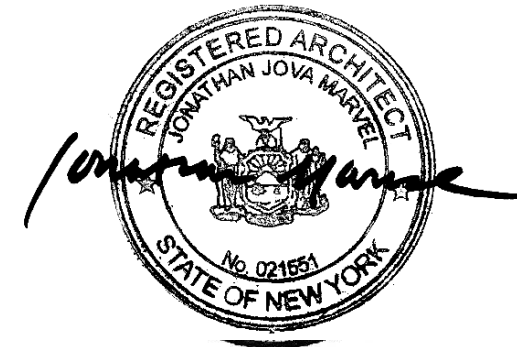
KEY PLAN:NTS

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49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**ZONING MAP, TAX MAP, PLOT PLAN & FLOOD MAP**

SCALE:As indicated

DRAWING #:  
**Z-100**  
of  
DOB JOB: -



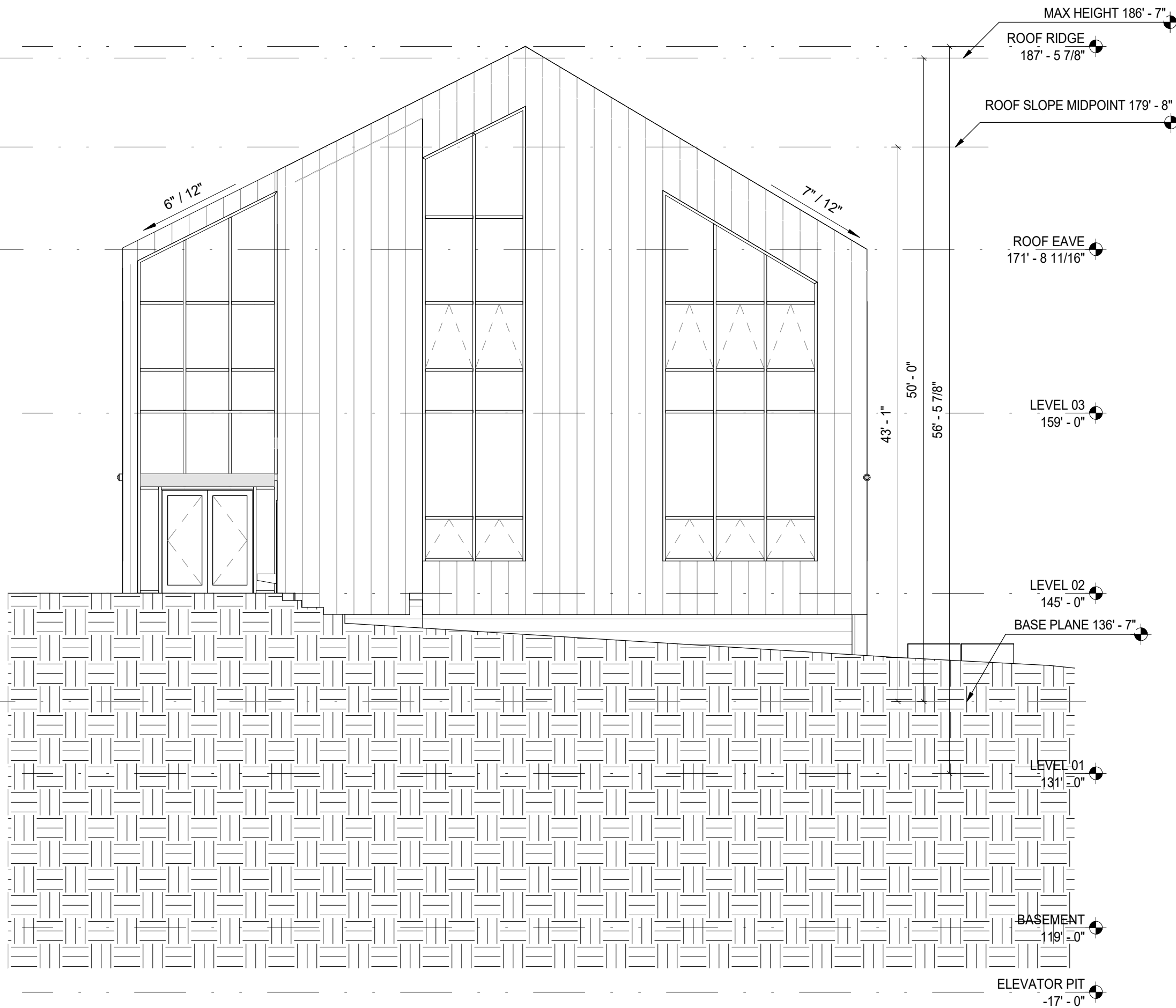
DOB STAMP ZONE

300 Main Street, 31

DOB - 18 - 18



ZONING AND LAND USE  
300 Main Street, 31  
Village of Dobbs Ferry  
Zoning Map



**2 SOUTH ELEVATION - ZONING**  
1/8" = 1'-0"



**1 EAST ELEVATION**  
1/8" = 1'-0"





## MARVEL

145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

### OWNER

**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

### PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420

### GEOTECHNICAL / CIVIL ENGINEER

**MFS ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 1010

### STRUCTURAL ENGINEER

**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

### BUILDING SYSTEMS ENGINEER

**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

### VERTICAL TRANSPORTATION

**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 688 9090

### AV / IT / SECURITY CONSULTANT

**COSENTINI ASSOCIATES, INC.**  
498 SEVENTH AVENUE  
NEW YORK, NEW YORK 10018  
TEL 212 615 9000

### ACOUSTICS CONSULTANT

**LSTN CONSULTANTS**  
78 BEAVER STREET  
NEW YORK, NEW YORK 10005  
TEL 347 788 0810

### ENVELOPE CONSULTANT

**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
TEL 347 809 6790

### LIGHTING DESIGNER

**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #6E  
NEW YORK, NEW YORK 10013  
TEL 212 951 0580

### CODE AND ACCESSIBILITY CONSULTANT

**CODE CONSULTANTS, INC.**  
440 PARK AVENUE S.  
NEW YORK, NEW YORK 10016  
TEL 212 447 4033

### ARCHITECTURAL SPECIFICATIONS

**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

### GEOTHERMAL ENGINEER

### REV DATE DESCRIPTION

1 02/17/2021 VILLAGE OF DOBBS  
FERRY SITE APPLICATION

2 06/17/2021 SITE APPLICATION  
RESUBMISSION

3 07/22/2021 SITE APPLICATION  
RESUBMISSION

07/22/2021





**LEGEND**

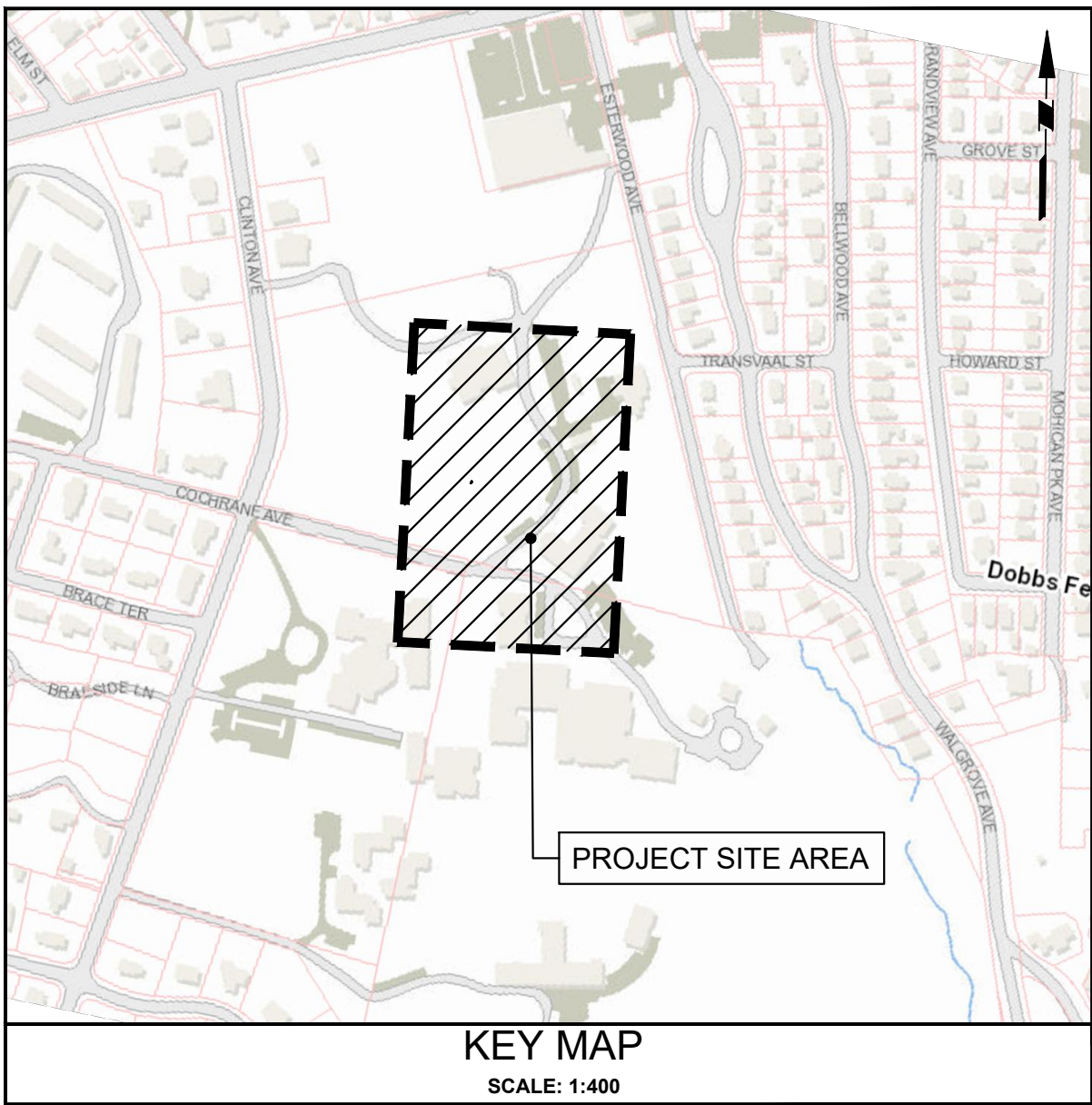
DEMOLISH & REMOVAL

EXISTING VEGETATION TO BE REMOVED

EXISTING ASPHALT TO BE REMOVED

EXISTING CONCRETE TO BE REMOVED

EXISTING TREES TO BE REMOVED



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212.616.0420

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TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
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TEL 212 616 0420

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VERTICAL TRANSPORTATION  
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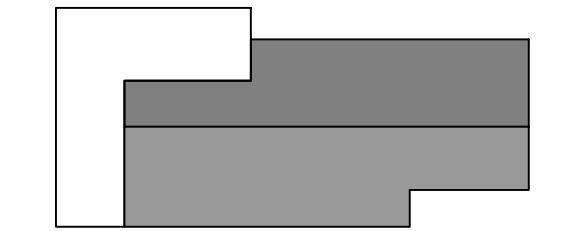
CODE AND ACCESSIBILITY CONSULTANT  
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ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

GEOTHERMAL ENGINEER

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN: NTS

2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**DEMOLITION & SITE  
CLEARING PLAN**

SCALE: AS NOTED

DRAWING #:  
**C-300**  
2 of 10  
DOB JOB: -



DOB STAMP ZONE

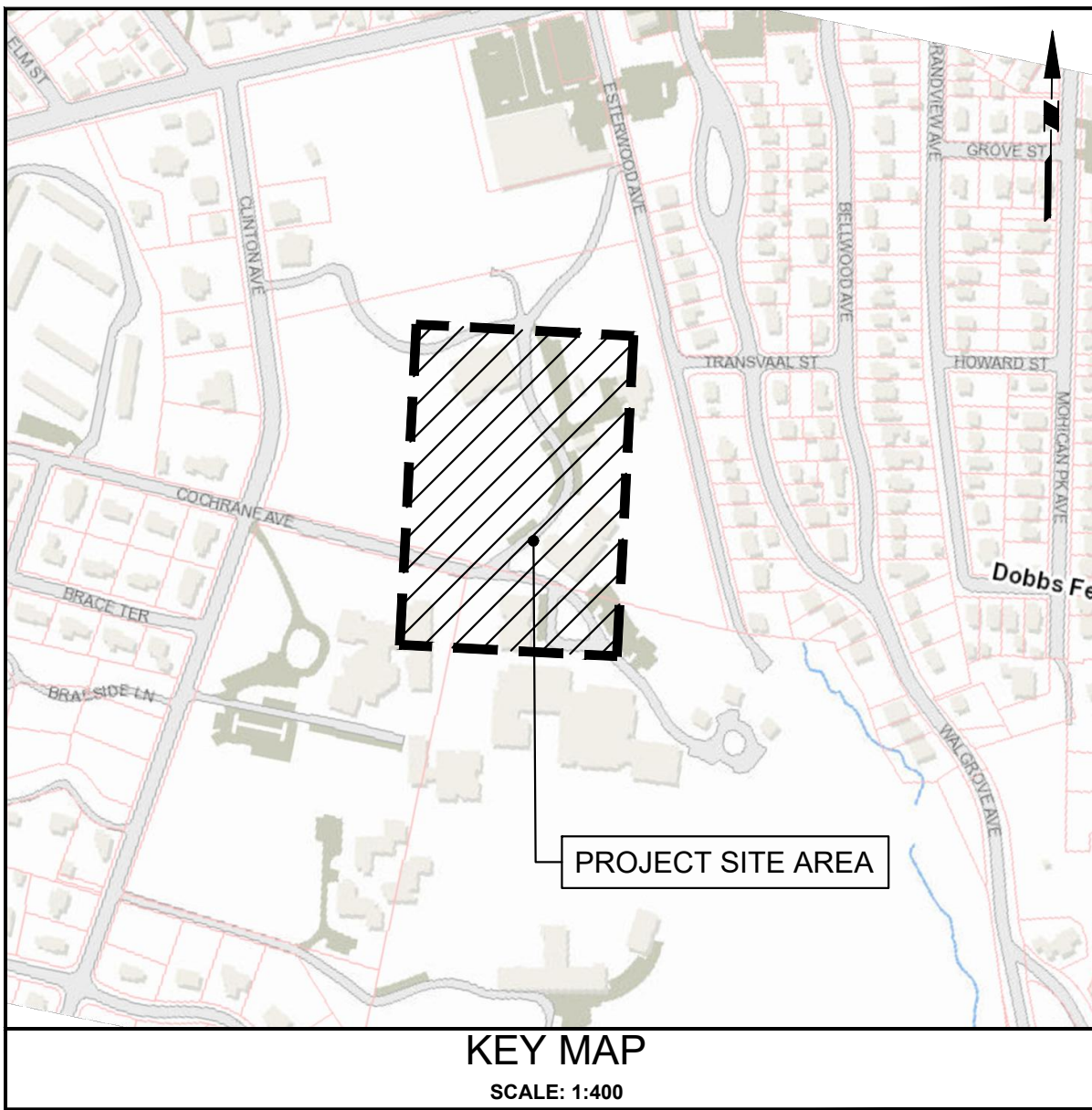
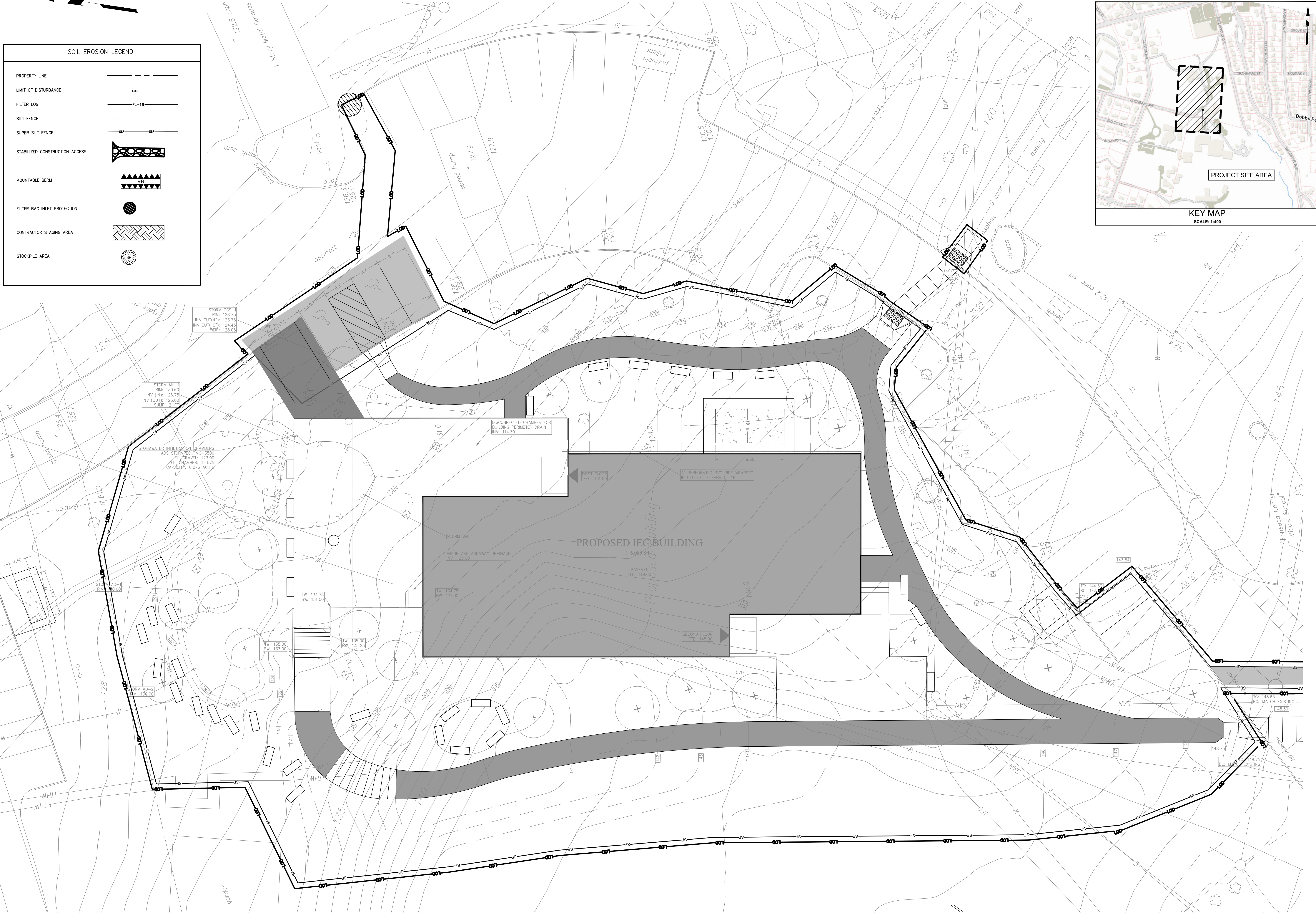
**EXCAVATION & FILL**  
CUT: 3,600 CY  
FILL: 650 CY  
NET: 2,950 CY CUT

**-PRELIMINARY-  
NOT FOR CONSTRUCTION**

**1 DEMOLITION & SITE CLEARING PLAN**  
Scale: 1"=10'



SOIL EROSION LEGEND	
PROPERTY LINE	---
LIMIT OF DISTURBANCE	---
FILTER LOG	FL-18
SILT FENCE	---
SUPER SILT FENCE	SSF
STABILIZED CONSTRUCTION ACCESS	---
MOUNTABLE BERM	MB
FILTER BAG INLET PROTECTION	---
CONTRACTOR STAGING AREA	---
STOCKPILE AREA	---



**MARVEL**  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

OWNER  
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DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
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NEW YORK, NEW YORK 10013  
TEL 212 616 0420

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**M/S ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622

STRUCTURAL ENGINEER  
**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 689 9090

AVIATION SECURITY CONSULTANT  
**COSENTINI ASSOCIATES, INC.**  
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**MW-SKINS**  
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LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #8E  
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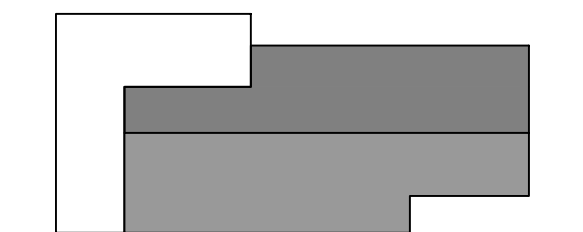
CODE AND ACCESSIBILITY CONSULTANT  
**CODE CONSULTANTS, INC.**  
440 PARK AVENUE S.  
NEW YORK, NEW YORK 10016  
TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

GEOTHERMAL ENGINEER

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
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07/22/2021



KEY PLAN:NTS

2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**SOIL EROSION &  
SEDIMENT  
CONTROL PLAN**

SCALE: AS NOTED

DRAWING #:  
**C-400**  
3 of 10  
DOB JOB: -

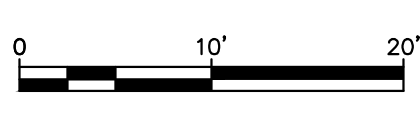


DOB STAMP ZONE

NOTE: NO QUEUING ALONG CLINTON AVENUE

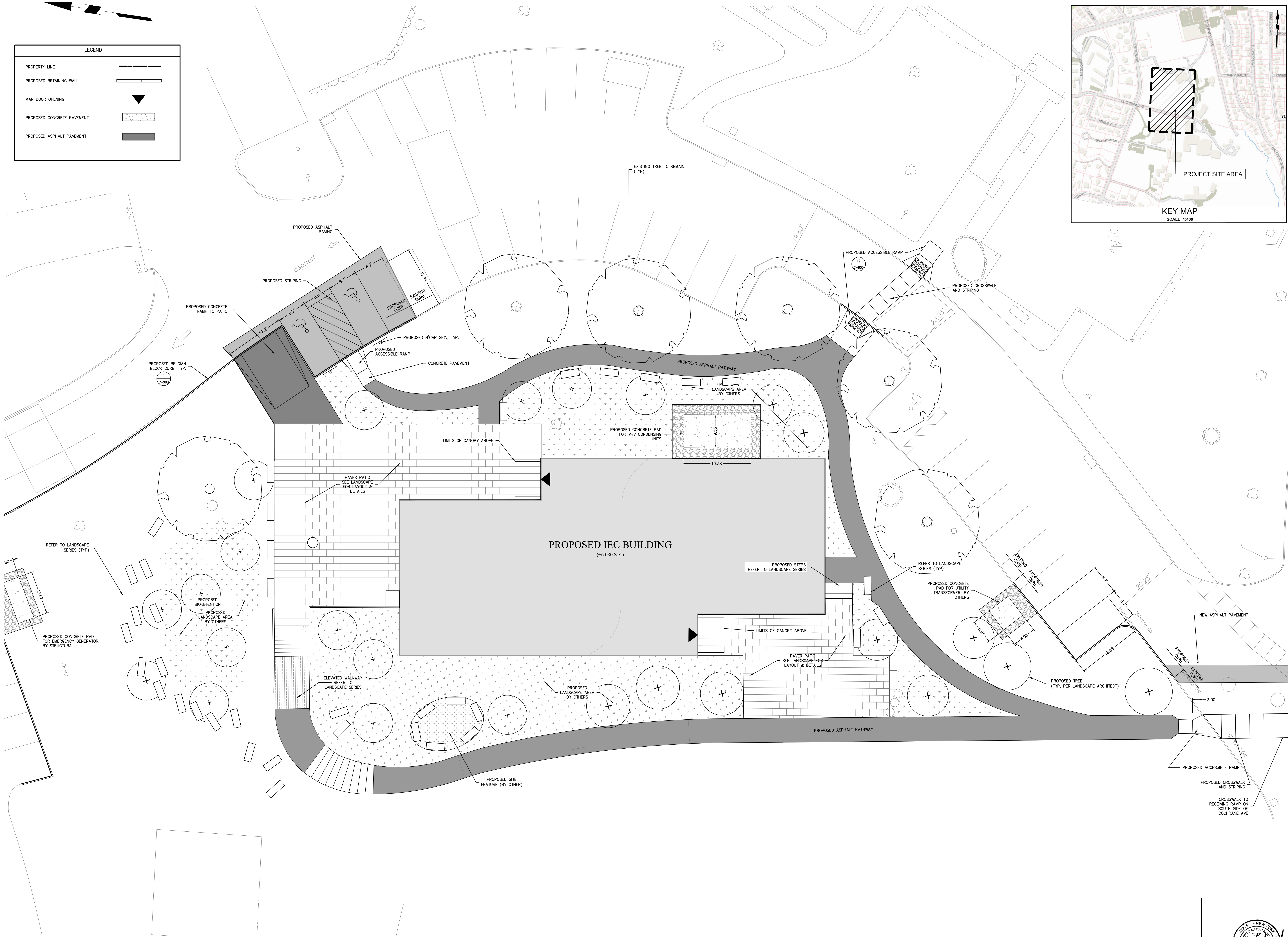
**-PRELIMINARY-  
NOT FOR CONSTRUCTION**

1 **SOIL EROSION & SEDIMENT CONTROL PLAN**  
Scale: 1"=10'





LEGEND	
PROPERTY LINE	---
PROPOSED RETAINING WALL	=====
MAN DOOR OPENING	▼
PROPOSED CONCRETE PAVEMENT	▨
PROPOSED ASPHALT PAVEMENT	■



## MARVEL

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212.616.0420

OWNER  
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DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
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NEW YORK, NEW YORK 10013  
TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER  
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2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622

STRUCTURAL ENGINEER  
**SILMAN**  
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NEW YORK, NEW YORK 10005  
TEL 212 620 7570

BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 868 9090

AV / IT / SECURITY CONSULTANT  
**COSENTINI ASSOCIATES, INC.**  
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TEL 347 788 0810

ENVELOPE CONSULTANT  
**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
TEL 347 809 6790

LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #E  
NEW YORK, NEW YORK 10013  
TEL 212 851 0660

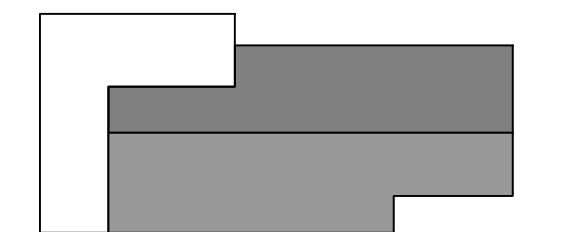
CODE AND ACCESSIBILITY CONSULTANT  
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ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

GEOTHERMAL ENGINEER

REV	DATE	DESCRIPTION
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07/22/2021



KEY PLAN: NTS

## 2029 THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

OVERALL SITE PLAN

SCALE: AS NOTED

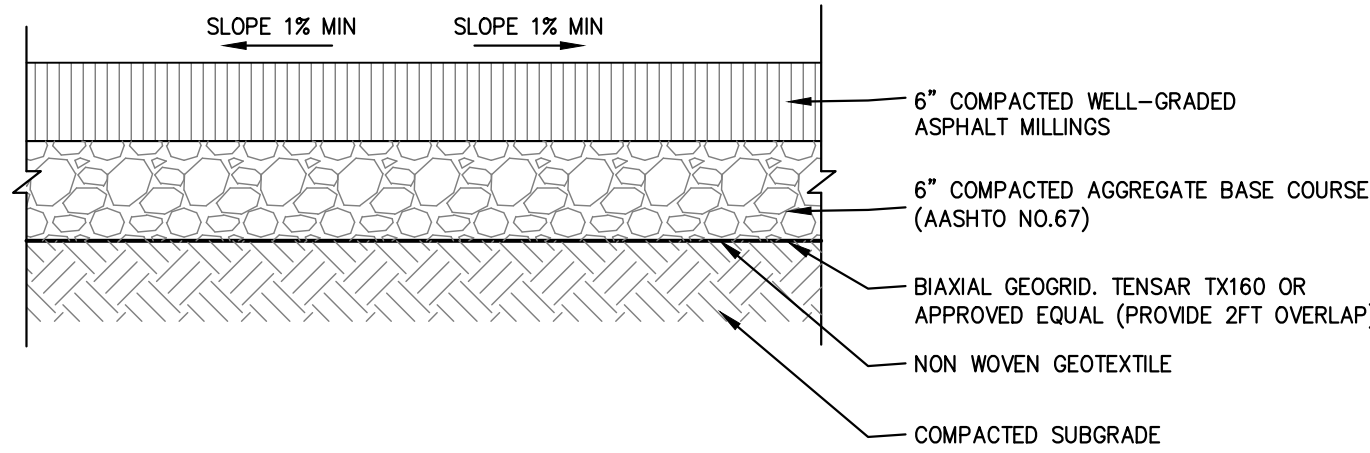
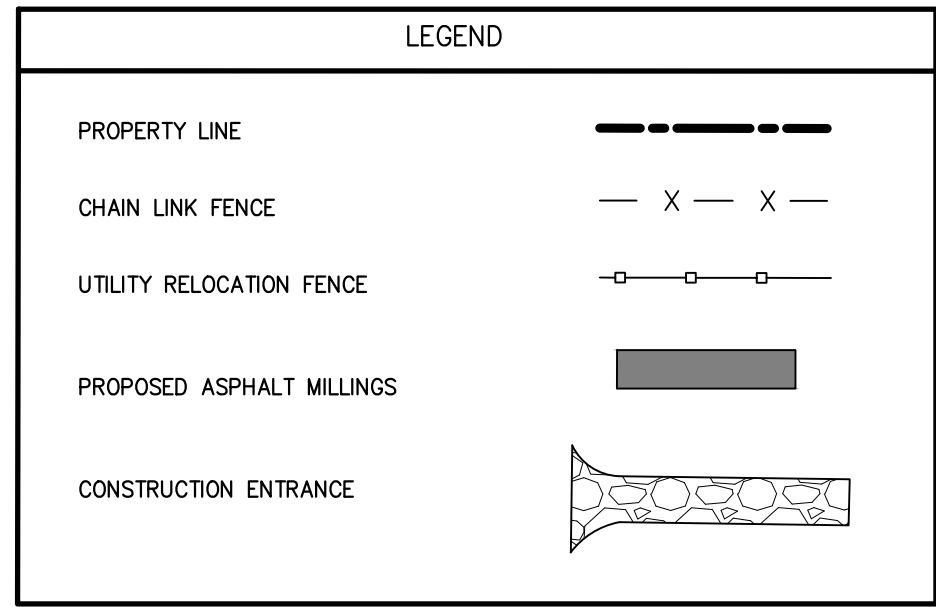
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**C-500**  
4 of 10  
DOB JOB: -



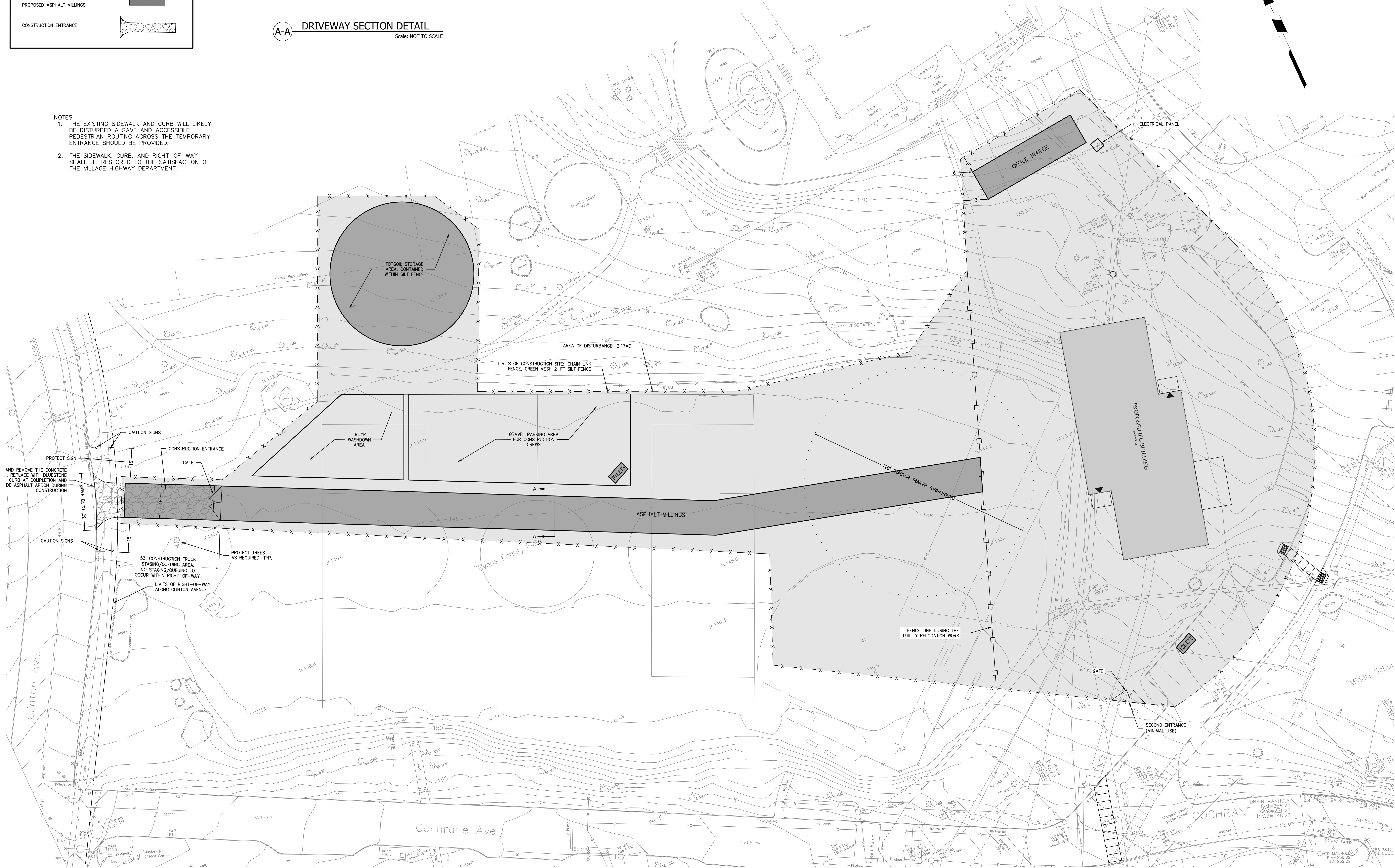
DOB STAMP ZONE

-PRELIMINARY-  
NOT FOR CONSTRUCTION





- NOTES:
- THE EXISTING SIDEWALK AND CURB WILL LIKELY BE DISTURBED A SAVE AND ACCESSIBLE PEDESTRIAN ROUTING ACROSS THE TEMPORARY ENTRANCE SHOULD BE PROVIDED.
  - THE SIDEWALK, CURB, AND RIGHT-OF-WAY SHALL BE RESTORED TO THE SATISFACTION OF THE VILLAGE HIGHWAY DEPARTMENT.



1 CONSTRUCTION ACCESS PLAN

Scale: 1"=20'

-PRELIMINARY-  
NOT FOR CONSTRUCTION



DOB STAMP ZONE



## MARVEL

145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

### OWNER

THE MASTERS SCHOOL  
48 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

### PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

MARVEL  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420

### GEOTECHNICAL / CIVIL ENGINEER

MFS ENGINEERS & SURVEYORS, DPC  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622

### STRUCTURAL ENGINEER

SILMAN  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

### BUILDING SYSTEMS ENGINEER

POLISE CONSULTING ENGINEERS, DPC  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

### VERTICAL TRANSPORTATION

VDA  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 689 9090

### AV / IT / SECURITY CONSULTANT

COSENTINI ASSOCIATES, INC.  
498 SEVENTH AVENUE  
NEW YORK, NEW YORK 10018  
TEL 212 615 3000

### ACOUSTICS CONSULTANT

LSTN CONSULTANTS  
76 BEAVER STREET  
NEW YORK, NEW YORK 10005  
TEL 347 788 0810

### ENVELOPE CONSULTANT

MW-SKINS  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
TEL 347 809 6790

### LIGHTING DESIGNER

DOT DASH LIGHTING DESIGN  
120 WALKER STREET, SUITE #B6  
NEW YORK, NEW YORK 10013  
TEL 212 651 0660

### CODE AND ACCESSIBILITY CONSULTANT

CODE CONSULTANTS, INC.  
440 PARK AVENUE S.  
NEW YORK, NEW YORK 10016  
TEL 212 447 4033

### ARCHITECTURAL SPECIFICATIONS

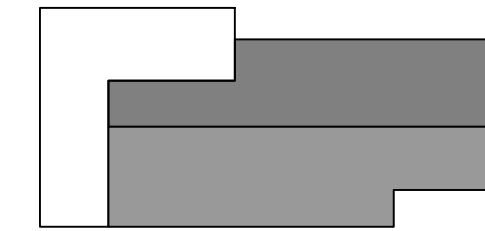
CONSTRUCTION SPECIFICATIONS, INC  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

### GEOTHERMAL ENGINEER

### REV DATE DESCRIPTION

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
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07/22/2021



### KEY PLAN:NTS

2029

## THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

## CONSTRUCTION ACCESS PLAN

SCALE: AS NOTED

DRAWING #:

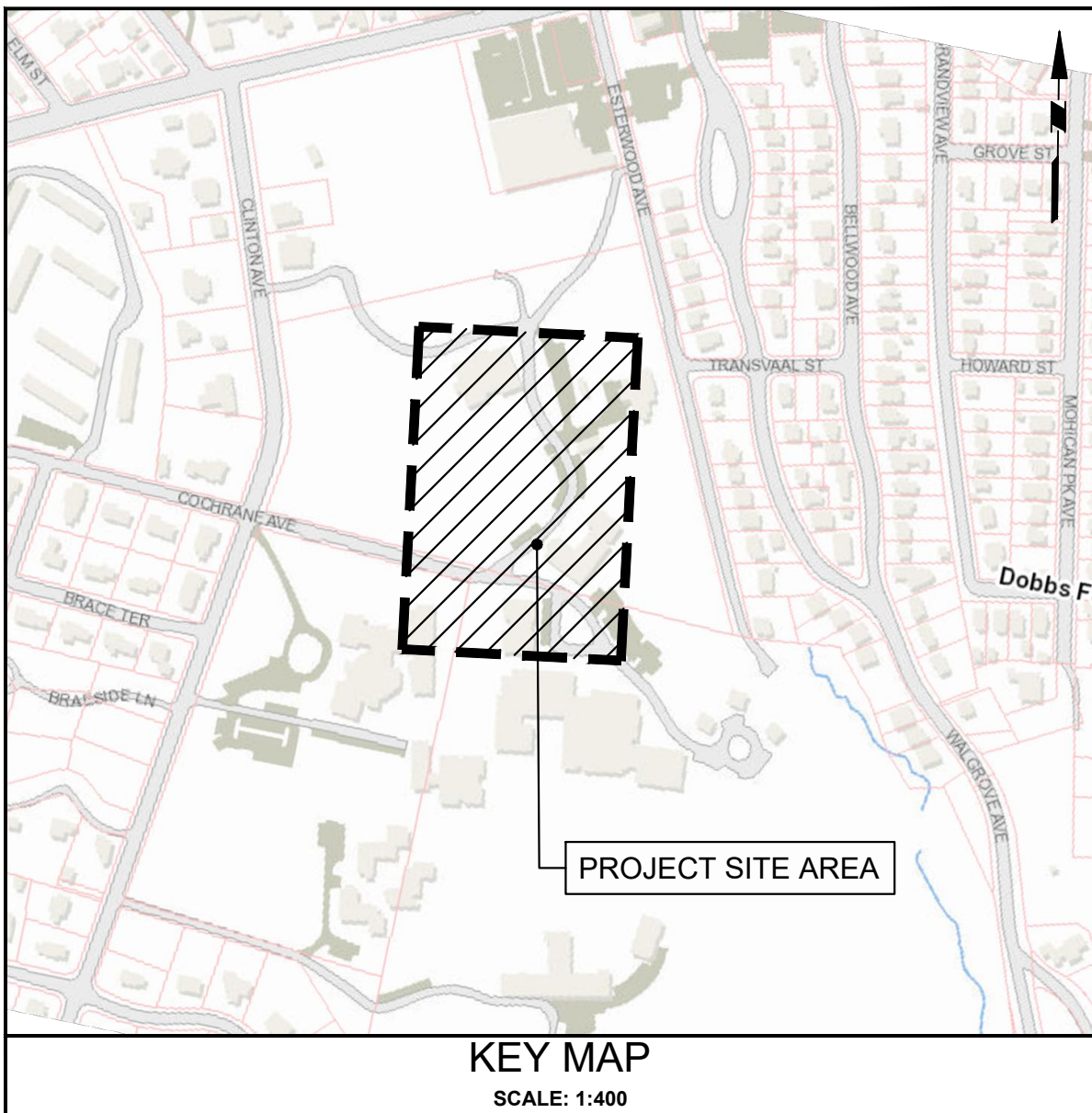
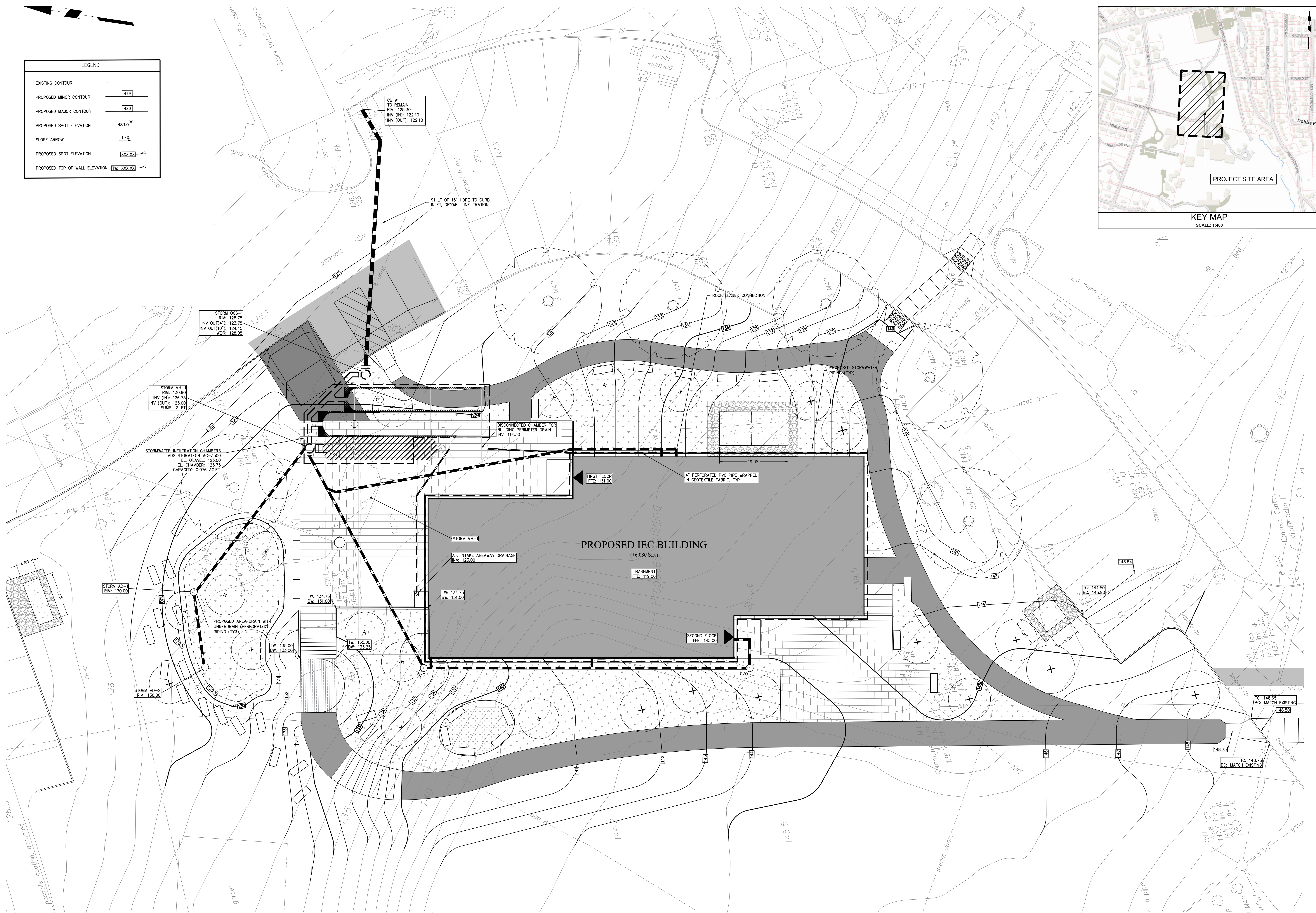
C-502

5 of 10

DOB JOB: -



LEGEND	
EXISTING CONTOUR	---
PROPOSED MINOR CONTOUR	475
PROPOSED MAJOR CONTOUR	480
PROPOSED SPOT ELEVATION	483.0
SLOPE ARROW	1.7%
PROPOSED SPOT ELEVATION	XXX.XX
PROPOSED TOP OF WALL ELEVATION	TW XXX.XX



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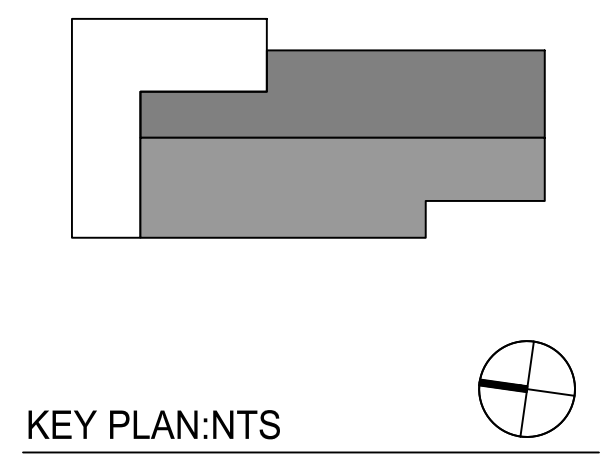
CODE AND ACCESSIBILITY CONSULTANT  
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KEY PLAN: NTS

2029  
**THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**PROPOSED GRADING & DRAINAGE PLAN**

SCALE: AS NOTED

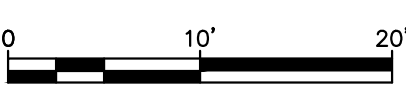
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**C-600**  
6 of 10  
DOB JOB: -



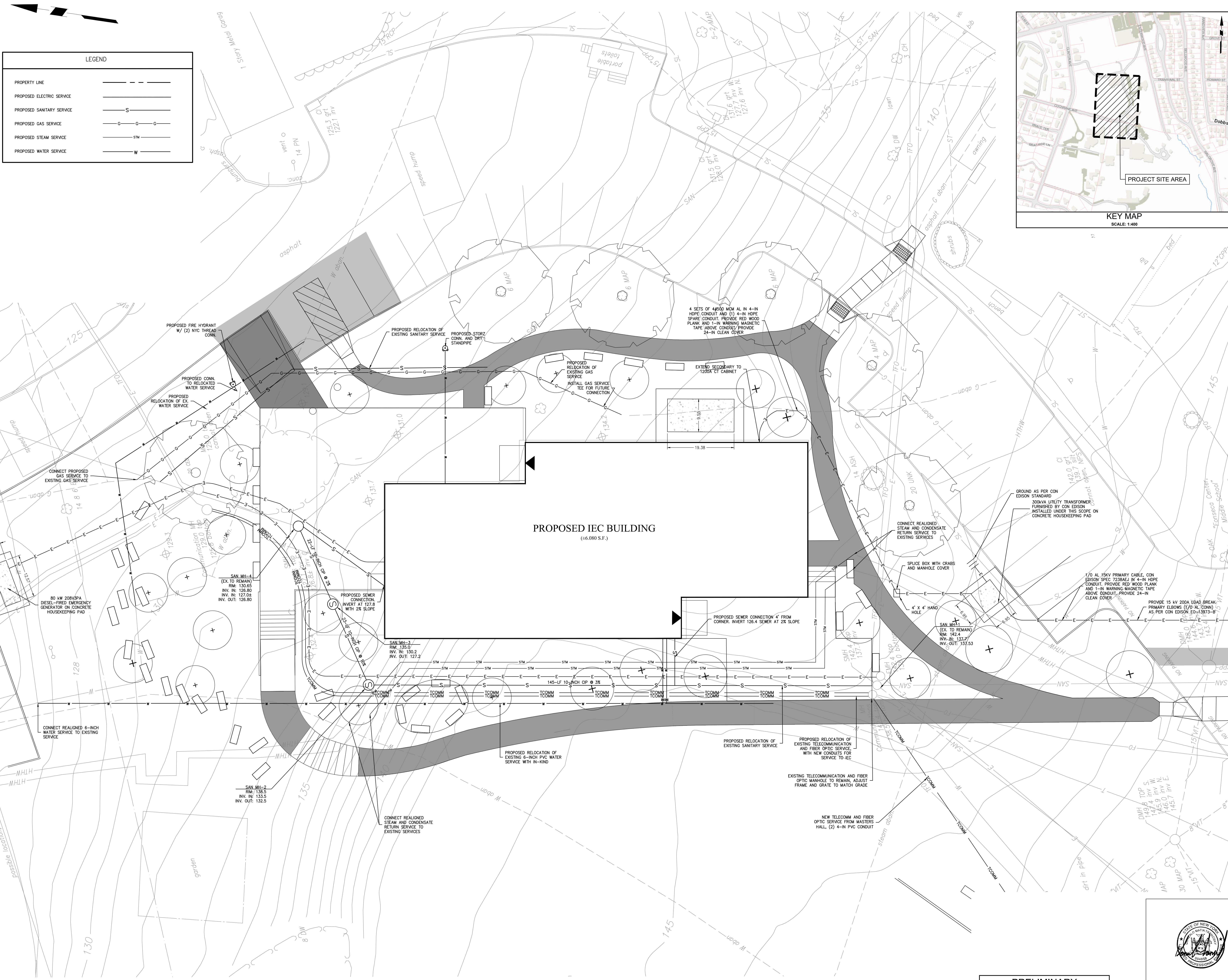
DOB STAMP ZONE

-PRELIMINARY-  
NOT FOR CONSTRUCTION

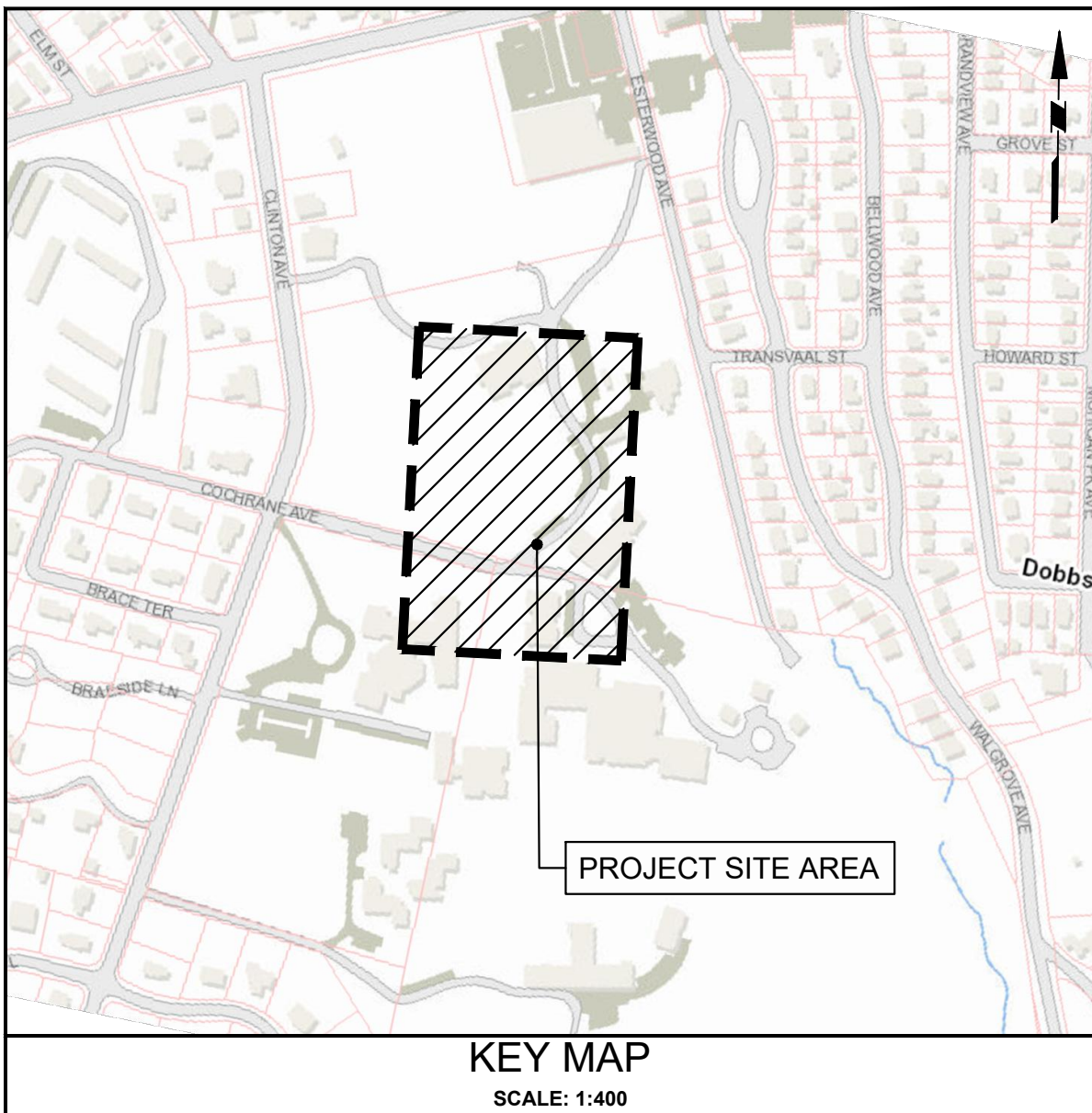
1 GRADING & DRAINAGE PLAN  
Scale: 1"=10'







LEGEND	
PROPERTY LINE	---
PROPOSED ELECTRIC SERVICE	---
PROPOSED SANITARY SERVICE	S
PROPOSED GAS SERVICE	G
PROPOSED STEAM SERVICE	STM
PROPOSED WATER SERVICE	W



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212.616.0420

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TEL 914 479 6400

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GEOTHERMAL ENGINEER

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021

KEY PLAN: NTS

2029

**THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

UTILITY PLAN

SCALE: AS NOTED

DRAWING #:  
**C-700**  
7 of 10  
DOB JOB: -

-PRELIMINARY-  
NOT FOR CONSTRUCTION

DOB STAMP ZONE





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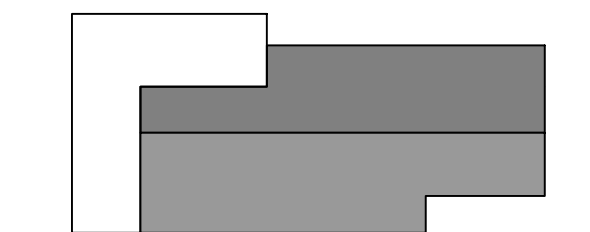
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KEY PLAN:NTS

2029  
THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER

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# UTILITY RELOCATION PLAN

SCALE: AS NOTED

DRAWING #:  
**C-701**  
8 of 10  
DOB JOB: -

2/10/2021 10:49:38 PM © MAR/TE ARCHITECTS, PLLC 2019



1 UTILITY RELOCATION PLAN

Scale: 1"=10'







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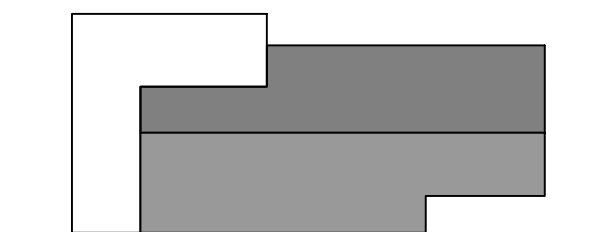
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KEY PLAN:NTS

2029  
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INNOVATION AND  
ENTREPRENEURSHIP  
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DOBBS FERRY, NEW YORK 10522

**CONSTRUCTION  
DETAILS**

SCALE: AS NOTED

DRAWING #:  
**C-900**  
9 of 10  
DOB JOB: -



DOB STAMP ZONE

1. JOINTS NOT TO EXCEED 1/2" IN WIDTH  
2. EXPANSION JOINTS EVERY 50', AT P.C. AND P.T. OF CURVES AND AT DRIVEWAY DEPRESSIONS

2" NYS DOT 1-4 SURFACE COURSE  
4" NYS DOT 1-2 BASE COURSE  
6" NYS DOT DGA BASE COURSE

14' 18' 18' 8" REVEAL

MANHOLE FRAME AND COVER WITH "SANITARY SEWER" IN 2" RAISED LETTERS AND NON-PENETRATING POK HOLES TO BE CAMPBELL FOUNDRY CO. #1203B OR APPROVED EQUAL.

SMITH-2-LP FIRE HYDRANT OR APPROVED EQUAL WITH 2 1/2-INCH NOZZLE AND ONE 4 1/2-INCH NOZZLE N.S.T.

1 STANDARD BELGIAN BLOCK CURB DETAIL  
Scale: N.T.S.

2 STANDARD ASPHALT PAVEMENT DETAIL  
Scale: N.T.S.

3 STANDARD CURB CUT DETAIL  
Scale: N.T.S.

4 PRECAST CONCRETE SANITARY SEWER MANHOLE DETAIL  
Scale: N.T.S.

5 STANDARD FIRE HYDRANT DETAIL  
Scale: N.T.S.

WIRE GAUGE #11

CAST IRON GRATE AND FRAME

FENCE POST (SPACING 6'-0" C. TO C.)

SUPPORT POST

6 STANDARD CHAIN LINKED FENCE DETAIL  
Scale: N.T.S.

7 STANDARD AREA DRAIN DETAIL  
Scale: N.T.S.

8 STANDARD SILT FENCE DETAIL  
Scale: N.T.S.

9 STANDARD SUPER SILT FENCE DETAIL  
Scale: N.T.S.

2x4 WOOD FRAME

STABILIZED CONSTRUCTION SPECIFICATION FOR STABILIZED ACCESS

TABLE 29-1

PERCENT SLOPE OF ROADWAY	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

MAINTENANCE OF STABILIZED CONSTRUCTION ENTRANCE

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS.
- MAINTENANCE MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.
- WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES.

10 STANDARD FILTER FABRIC DROP INLET PROTECTION DETAIL  
Scale: N.T.S.

11 STANDARD CONSTRUCTION ENTRANCE DETAIL  
Scale: N.T.S.

12 PEDESTRIAN CURB RAMP DETAIL  
Scale: N.T.S.

Specifications

- Concrete 4000 psi @ 28 Days
- Rebar ASTM A615 Grade 60

Plan

Section A-A

Section B-B

UTILITY TRENCHING DETAIL

13 PRECAST CONCRETE ELECTRIC HANDHOLE  
Scale: N.T.S.

14 UTILITY TRENCHING DETAIL  
Scale: N.T.S.







GENERAL NOTES

GENERAL

- DO NOT SCALE DRAWINGS. CONSULT THE LANDSCAPE ARCHITECT FOR ANSWERS TO ALL QUESTIONS REGARDING DIMENSIONS. THE CONTRACTOR IS ADVISED THAT THIS INFORMATION IS DIAGRAMMATIC AND NOT NECESSARILY COMPLETE.
  - THE CONTRACTOR IS ADVISED THAT ALL UTILITY INFORMATION INDICATED HEREIN AND/OR AVAILABLE FROM AGENCIES, PRIVATE UTILITIES AND/OR THE OWNER MAY NOT BE COMPLETE.
- ALL SURVEY INFORMATION AND EXISTING CONDITIONS HAVE BEEN PROVIDED BY LAND AND GRADE SURVEYORS, D.P.C., 23 NEPPERHAN AVENUE, ELMSFORD, NY 10523, 914-347-3141.
  - ALL EXISTING CONDITIONS INFORMATION SHOWN IS FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SURVEY INFORMATION SHOWN.
- PRIOR TO COMMENCEMENT OF THE WORK, THE CONTRACTOR SHALL VERIFY STATUS OF EXISTING UTILITIES WITHIN THE PROJECT AREA AS REQUIRED BY LOCAL LAW. ALL COMMUNICATIONS AND COORDINATION MEETINGS RELATIVE TO THE PROJECT BETWEEN THE CONTRACTOR AND ANY AGENCY, UTILITY COMPANY OR ORGANIZATION WILL BE CONDUCTED AND/OR APPROVED BY THE CLIENT. THE LANDSCAPE ARCHITECT SHALL RECEIVE NOTIFICATION OF ANY MEETINGS AND COPIES OF ANY AND ALL MINUTES OR COMMUNICATIONS AS A RESULT OF THOSE COMMUNICATIONS OR COORDINATION MEETINGS.
- THE CONTRACTOR SHALL MAKE TEST PITS AS REQUIRED TO VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES AND OTHER SUBSURFACE ELEMENTS AS THE WORK PROGRESSES. SUCH WORK SHALL BE DEEMED TO BE INCLUDED IN THE LUMP SUM BID FOR THE PROJECT. ALL WORK SHALL COMPLY WITH APPLICABLE BUILDING CODE AND NEW YORK CITY LOCAL LAW 53.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CLIENT, PRIVATE UTILITY COMPANIES, AND THE CITY AGENCIES AS REQUIRED FOR THE EXPEDITIOUS EXECUTION OF WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL THE EXISTING FIELD CONDITIONS ADJACENT TO THE SITE INCLUDING BUT NOT LIMITED TO ALL STRUCTURES, UTILITIES, FENCES, PAVEMENTS, SHRUBS, TREES, LIGHT POSTS, ETC. THROUGHOUT THE DURATION OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN ALL EXISTING CONDITIONS ADJACENT TO THE SITE, OR AS INDICATED ON CONTRACT DRAWINGS. IN THE EVENT THE CONTRACTOR'S RESPONSIBILITY IN DAMAGE TO EXISTING CONDITIONS ADJACENT TO THE SITE, OR CONDITIONS INDICATED TO REMAIN ON CONTRACT DRAWINGS, THE CONTRACTOR SHALL REPAIR AND CORRECT ALL DAMAGES TO THE SATISFACTION OF THE CLIENT AT NO EXTRA COST.
- CHANGES IN THE WORK, ALL REQUESTS FOR CHANGES AND/OR SUBSTITUTIONS IN THE WORK SHALL BE MADE IN WRITING TO THE LANDSCAPE ARCHITECT. A COPY OF ALL SUCH REQUESTS SHALL BE SENT TO THE CLIENT.
- THE CONTRACTOR SHALL STUDY THE INTERRELATIONSHIP OF ALL THE VARIOUS ELEMENTS OF CONSTRUCTION SHOWN ON THE CONTRACT DRAWINGS AND DESCRIBED IN THE PROJECT SPECIFICATIONS AND BULLETINS, AND SHALL COORDINATE THEIR CONSTRUCTION OPERATIONS ACCORDINGLY. ANY CONFLICTS WHICH MAY BECOME APPARENT FROM THE COORDINATION STUDY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL NEW AND EXISTING INLETS, BASINS, AND CONNECTIONS WITHIN THE LIMITS OF THIS CONTRACT ARE TO BE CLEANED, FLUSHED, AND OTHERWISE MADE OPERABLE TO THE SATISFACTION OF THE CLIENT AND ARE TO BE INCLUDED IN THE LUMP SUM BID.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL BRING CONDITIONS WHICH CONFLICT WITH PROPOSED GRADING AND SITE CONSTRUCTION TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE CLIENT.
- ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY THE CONTRACTOR.
- ALL CITY AGENCIES HAVING JURISDICTION, NAMELY, DEPARTMENT OF BUILDINGS AND APPROVALS OF OTHERS REQUIRED, AS WELL AS PRIVATE UTILITY COMPANIES MUST BE OBTAINED PRIOR TO ACCEPTANCE OF THE PROJECT BY THE CLIENT.
- ALL MECHANICAL EQUIPMENT, CONCEALED WATER AND GAS VALVES, ETC. TO REMAIN UNLESS OTHERWISE SPECIFICALLY NOTED.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
- AT ALL TIMES, THE SITE SHALL BE KEPT NEAT, AND KEPT FREE OF DEBRIS LEFT FROM ALL CONSTRUCTION OPERATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE AND PROTECT ALL WORK FINISHED OR IN PROGRESS, AND TO PROTECT THE PUBLIC FROM ANY INJURY THAT MAY OCCUR AS A RESULT OF THE SITE BEING ACCESSIBLE DURING PROJECT CONSTRUCTION.
- UNLESS OTHERWISE NOTED, DETAILED DRAWINGS AND PART PLANS SHALL HAVE PRECEDENCE OVER LAYOUT DRAWINGS (I.E. SITE PLAN) FOR ACCURACY OF INFORMATION.
- SUBMITTALS
  - ALL SUBMITTALS REQUIRING THE LANDSCAPE ARCHITECT'S APPROVAL SHALL BE TRANSMITTED (3 COPIES ARE REQUIRED) DIRECTLY TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL FABRICATED ELEMENTS. SUBMITTAL REQUIREMENTS ARE GENERALLY INDICATED IN THE GENERAL SPECIFICATIONS.
  - SEE PROJECT SPECIFICATIONS FOR OTHER REQUIRED SUBMITTALS.
- THE SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR SHALL SHOW ALL FASTENING DEVICES AND LOCATIONS COMPLETE WITH FASTENINGS TO ALL FOUNDATION WALLS AND PAVEMENTS. THE SHOP DRAWINGS SHALL PROVIDE SUFFICIENT DETAIL TO ALLOW THE LANDSCAPE ARCHITECT TO REVIEW AND APPROVE THE SYSTEM AND PIECES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO GUARANTEE ANY AND ALL ANCHORING SYSTEMS FOR ALL WORK.
- EXPANSION JOINTS SHALL BE PROVIDED AND INSTALLED AT ALL INTERFACES OF ADJACENT SURFACES, VERTICAL AND HORIZONTAL SURFACES, GRADIC CHANGES, AND AS INDICATED ON DRAWINGS. THE TOP OF EXPANSION JOINTS SHALL BE SET 1/2 INCH BELOW FINISHED GRADE AND THEN SEALED WITH A URETHANE BASED SEALER TO BE FLUSH WITH THE FINISHED GRADE AS CALLED FOR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL INDICATE PROPOSED LOCATIONS ON ALL APPLICABLE SHOP DRAWINGS SUBMITTED FOR APPROVAL.
- THE CONTRACTOR SHALL INSTALL GALVANIZED STEEL PIPE SLEEVES AS REQUIRED TO INSTALL UTILITY WORK THROUGH CONCRETE AND MASONRY FOOTINGS AND FOUNDATIONS. ALL PIPE SLEEVES SHALL BE SCHEDULE 40 PIPE AND BE TWICE THE DIAMETER OF THE UTILITY PIPE UNLESS OTHERWISE NOTED.
- CONCRETE FOR CURBS, FOOTINGS, AND WALLS COMPLY WITH STRUCTURAL AND ARCHITECTURAL SPECIFICATIONS FOR CAST-IN-PLACE CONCRETE WORK.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE ACCESS TO ALL BUILDING ENTRANCES AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
- PAVER SYSTEMS SHALL MEET (ADJACENT) ALTERNATE MATERIAL PAVEMENTS FLUSH. THE CONTRACTOR SHALL VERIFY THE INTERIOR GRADES AND THEIR RELATIONSHIP WITH THE PROPOSED GRADES. THE CLIENT SHALL BE NOTIFIED IF THERE ARE ANY DISCREPANCIES IN THE ELEVATIONS. ADJUSTMENTS SHALL BE MADE AS NECESSARY AND SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.
- EXISTING DRAINS/VALVE COVERS, ETC. SHALL BE ADJUSTED AS NECESSARY IN AREAS WHERE PROPOSED WORK IS TO BE INSTALLED.
- CONCRETE CURBS/FOOTINGS FOR ALL FENCING AND WALLS SHALL BRIDGE OVER ANY EXISTING DRAIN INLETS AND UTILITIES AND SHALL BE BROUGHT TO THE ATTENTION OF THE CLIENT AND THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SUPPLY THE CLIENT WITH MANUFACTURER'S SHOP DRAWINGS AND INSTALLATION DRAWINGS PRIOR TO THE INSTALLATION OF ANY SPECIFIED ITEM.
- CONTRACTOR IS REQUIRED TO OBTAIN ALL DEPARTMENT OF BUILDINGS AS WELL AS ANY REGULATORY AGENCY PERMITS FOR WORK UNDER THIS CONTRACT.

DEMOLITION AND REMOVALS

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN THE EXISTING CONDITIONS AND THE LANDSCAPE PLAN IN PREPARING BIDS AND EXECUTING WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE AND PROTECT ALL EXISTING FACILITIES NOT SPECIFICALLY STATED FOR REMOVAL WITHIN THE WORK AREA.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND VERIFY ELEVATIONS OF ALL UTILITY/MECHANICAL STRUCTURES, AND UTILITY LINES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE UTILITY/MECHANICAL LINES AND CONDUITS/PIPES DURING REMOVALS AND CONSTRUCTION. DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE SUBJECT TO LANDSCAPE ARCHITECT AND THE CLIENT'S APPROVAL.
- THE CONTRACTOR SHALL, AS PART OF THEIR CONTRACTUAL OBLIGATIONS, REMOVE AS DIRECTED, ALL BALLAST AGGREGATE AND OTHER ENCROACHMENTS THAT INTERFERE WITH LANDSCAPE WORK.
- ALL REMOVED MATERIAL NOT STATED FOR REUSE SHALL BE REMOVED FROM THE SITE AND SHALL NOT BE MIXED WITH NEW FILL OR GRAVEL TO BE BROUGHT ON SITE.
- REMOVE ALL EXISTING RUBBLE, DEBRIS, AND ENCROACHMENT FROM THE SITE AND DISPOSE OF LEGALLY. EVIDENCE OF LEGAL DISPOSAL SHALL BE GIVEN BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT AND THE CLIENT.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY AS PART OF THIS CONTRACT TO DETERMINE THE MOST APPROPRIATE METHOD OF REMOVAL OF EXCAVATED AND/OR DEMOLITION MATERIALS FROM THE SITE WITHIN THE CONTRACT LIMIT. REMOVALS WHETHER BY MACHINE OR BY HAND SHALL BE INCLUDED IN THE CONTRACTOR'S PROPOSAL. STRIP EXISTING BALLAST AGGREGATE IN AREAS OF CONSTRUCTION AND STOCKPILE FOR FUTURE RE-USE, IF APPROVED, AS MAY BE REQUIRED.

WATER SUPPLY / MAINTENANCE WORK

- THE CONTRACTOR SHALL LOCATE ALL EXISTING VALVE BOXES WITHIN THE CONTRACT LIMIT LINES AND SHALL INDICATED THEM IN THE FIELD TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT. FURTHERMORE, THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT THEY WILL BE RESPONSIBLE FOR THE REPLACEMENT AND RESETTIN' OF ALL VALVE BOXES NOT STATED FOR REMOVAL WHICH ARE DAMAGED OR DISTURBED AS A RESULT OF THEIR OPERATIONS, SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL EXISTING DRAIN AND WATER SUPPLY CONNECTIONS SHOULD BE CONTINUOUSLY MAINTAINED DURING CONSTRUCTION OF ANY WATER LINES. IF ANY HOUSE CONNECTION MUST BE DISCONNECTED FOR CONSTRUCTION PURPOSES, FLOW MUST BE MAINTAINED BY PLUMBING OR OTHER SUITABLE MEANS AS DIRECTED BY THE LANDSCAPE ARCHITECT, AND IN SUCH A MANNER THAT NO BACK-UPS OCCUR, ANY AND ALL EXISTING HOUSE CONNECTIONS OR OTHER SEWER APPURTENANCES WHICH ARE TO REMAIN AND WHICH MUST BE DISTURBED FOR CONSTRUCTION PURPOSES SHALL BE RESTORED TO THEIR PRESENT CONNECTIONS AFTER COMPLETION OF THE WORK SUBJECT TO APPROVAL OF LANDSCAPE ARCHITECT AND THE CLIENT. ANY DAMAGE DONE AS A RESULT OF THE WORK SHALL BE REPAIRED AT NO COST TO THE CLIENT. AN IRRIGATION SYSTEM INCLUSIVE OF ALL REQUIRED COMPONENTS AND INSTALLATION FOR A FULLY FUNCTIONAL AUTOMATIC IRRIGATION SYSTEM AT ALL PLANTED AREAS SHALL BE INCLUDED AS PART OF THE BASE BID.

DRAINAGE WORK

- ALL PROPOSED DRAINAGE WORK SHALL BE DONE IN CONFORMANCE WITH THE LATEST STANDARDS OF THE DEPARTMENT OF BUILDINGS AND ANY OTHER APPLICABLE CODES.
- ALL AREA DRAINS WITHIN THE CONTRACT LIMITS SHALL BE ADJUSTED AS NECESSARY, SO THAT THEY WILL BE OPERATIONAL, ACCESSIBLE, AND CONCEALED FROM PROJECTS OCCUPANTS AFTER THE COMPLETION OF THE WORK.
- ANY DAMAGE TO EXISTING AREA DRAINS, AND CONNECTIONS CAUSED BY THE CONTRACTOR'S WORK SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT NO COST TO THE CLIENT, SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CLIENT.
- ALL EXISTING AREA DRAINS AND CONNECTIONS WITHIN THE LIMITS OF THIS CONTRACT AND COONTIGUOUS ARE TO BE CLEANED OUT, REPAIRED, AND OTHERWISE MADE OPERABLE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

STRUCTURAL

- ALL CAST-IN-PLACE CONCRETE SHALL BE CONTROLLED CONCRETE HAVING A MINIMUM COMPREHENSIVE STRENGTH 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED.
- ALL REINFORCING STEEL SHALL BE DEFORMED NEW BILLET STEEL CONFORMING WITH THE REQUIREMENTS OF ASTM A615, GRADE 60, CURRENT EDITION.
- SPLICES AND REINFORCING STEEL SHALL BE STAGGERED WHERE POSSIBLE AND LOCATED SO TO LEAST IMPAIR THE STRENGTH OF THE MEMBER.
- SPLICES, ANCHORAGES, HOOKS, AND REINFORCING DETAILS SHALL CONFORM WITH THE REQUIREMENTS OF ACI 318 UNLESS OTHERWISE NOTED.
- MINIMUM CONCRETE COVER FOR REINFORCEMENT, UNLESS OTHERWISE NOTED, SHALL BE:
  - CONCRETE SURFACE EXPOSED TO SOIL  
(1) UNFORMED SURFACE = 3"  
(2) FORMED SURFACE = 2"
  - TOP AND VERTICAL CONCRETE SURFACE EXPOSED TO WEATHER  
(1) SLABS = 1 1/2"
- ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM STANDARDS UNLESS OTHERWISE SPECIFIED.
- ALL WELDING SHALL BE PERFORMED USING E709 LOW HYDROGEN ELECTRODES IN ACCORDANCE WITH AMERICAN WELDING SOCIETY.



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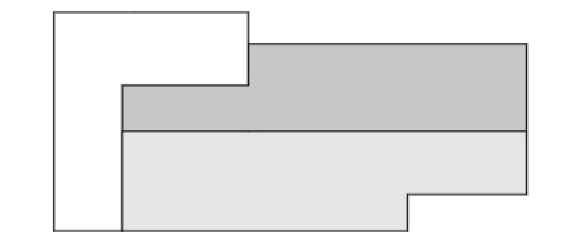
LIGHTING DESIGNER  
DOT DASH LIGHTING DESIGN  
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MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

2029

THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

GENERAL NOTES

SCALE: NTS

DRAWING #:

L- 001

01 of 10

DOB JOB: -



DOB STAMP ZONE





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145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
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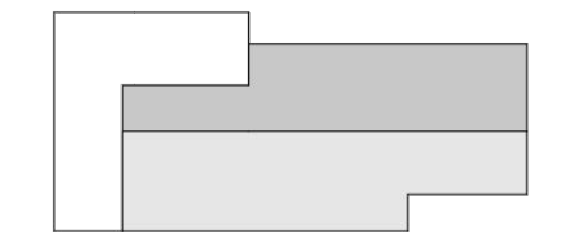
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CENTER**

49 CLINTON AVENUE  
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**LAYOUT PLAN**

SCALE: 1" = 10'

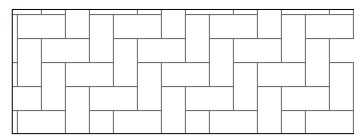
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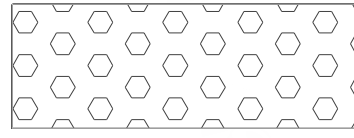


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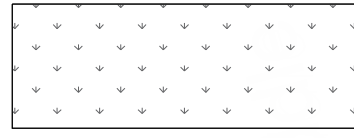
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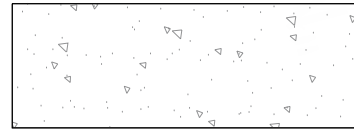
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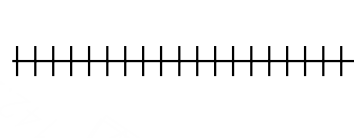
ASPHALT PATHWAY 02 L-700



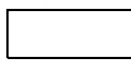
PLANTING AREA 01 L-400



CIP CONCRETE 03 L-700



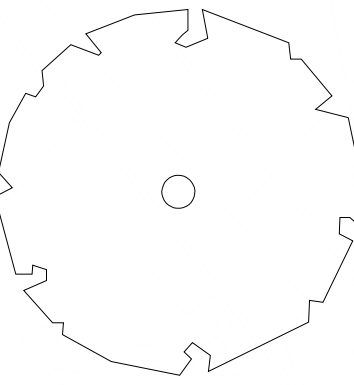
STEEL EDGING 10 L-700



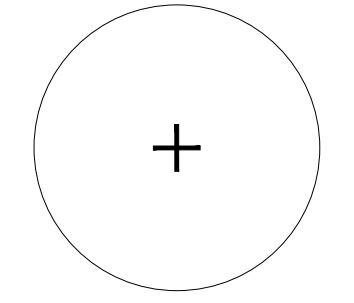
STONE BENCH 08 L-700



GRAVEL EDGE 09 L-700



EXISTING TREES



PROPOSED TREE

ADA ACCESSIBLE PATH  
CONNECTING TO ASPHALT PATH

INNOVATION AND  
ENTREPRENEURSHIP  
CENTER

UPPER PATIO

WORK PATIO

ALL STONE BENCHES ARE ROUGHLY  
5'-4" X 2' X 2' AND THEIR PLACEMENT  
AND ORIENTATION IS TO BE VERIFIED  
IN FIELD BY LANDSCAPE ARCHITECT

CONTINUE BELGIAN BLOCK  
CURBING ALONG ROADWAY,  
EXTENT OF CURBING TO BE  
DETERMINED

PAINTED ASPHALT FOR  
NO-PARKING ZONE





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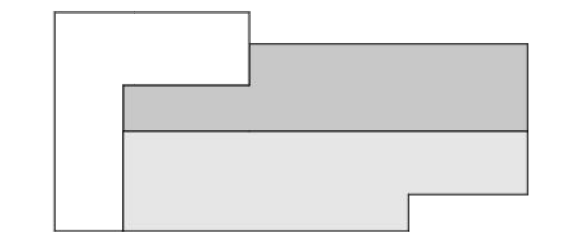
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**MATERIALS PLAN**

SCALE: 1" = 10'

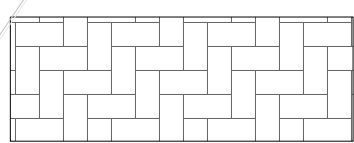
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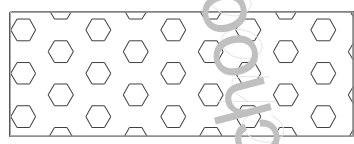


DOB STAMP ZONE

**LEGEND**



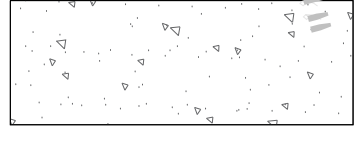
CONCRETE UNIT PAVERS 01 L-700



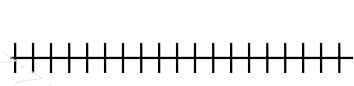
ASPHALT PATHWAY 02 L-700



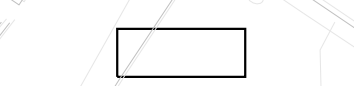
PLANTING AREA 01 L-400



CIP CONCRETE 03 L-700



STEEL EDGING 10 L-700



STONE BENCH 08 L-700



GRAVEL EDGE 09 L-700

EXISTING TREES

PROPOSED TREE

UTILITY TRANSFORMER, REFER TO  
CIVIL AND MEP DWGS

01 L-700 UNIT PAVERS

02 L-700 ASPHALT PATHWAY

03 L-700 CIP CONCRETE

04 L-700 GRAVEL PAVING

05 L-700 CONCRETE STAIR

06 L-700 STONE BENCH

07 L-700 BIOSWALE BOARDWALK

08 L-700 STONE BENCH

09 L-700 GRAVEL PAVING

10 L-700 STEEL EDGING

11 L-700 PLANTING AREA

12 L-700 ASPHALT PATHWAY

13 L-700 CONCRETE UNIT PAVERS

14 L-700 CIP CONCRETE

15 L-700 GRAVEL PAVING

16 L-700 STONE BENCH

17 L-700 BIOSWALE BOARDWALK

18 L-700 STONE BENCH

19 L-700 GRAVEL PAVING

20 L-700 STEEL EDGING

21 L-700 PLANTING AREA

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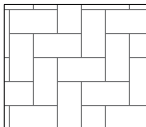
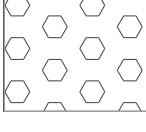

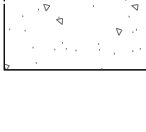

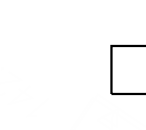



TREES					
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/ N)	SIZE
AG	5	<i>Acer griseum</i>	Paperbark maple	(N)	3.5"-4" Caliper
BP	7	<i>Betula populifolia</i>	Grey Birch	(Y)	3.5"-4" Caliper
MS	6	<i>Magnolia x soulangeana</i>	Saucer Magnolia	(Y)	3.5"-4" Caliper
NS	5	<i>Nyssa sylvatica</i>	Black Tupelo	(Y)	3.5"-4" Caliper
TO	9	<i>Thuja occidentalis</i> 'Hetz Wintergreen'	Hetz Wintergreen Arborvitae	(Y)	25 Gal Cont.

1. An irrigation system inclusive of all required components and installation for a fully functional automatic irrigation system at all planted areas shall be included as part of the base bid.
2. System shall be installed by a water sense certified professional and utilize smart irrigation controls and design.
3. Submit shop drawing for approval.

1. Prior to commencing planting operations the contractor shall stake out the exact location of all trees, shrubs and herbaceous plants for the landscape architect's approval. All planting operations and layout shall proceed under close coordination with the landscape architect. Tree locations may vary as directed by the landscape architect.
2. Plant material will be inspected and approved at place of growth

3. The actual location of plant materials may vary due to the field conditions. Final placement of plant material shall be approved before the pits are dug. If initial placement is not satisfactory, plants shall be relocated in the field at the direction of the landscape architect at no additional cost to the owner.
4. The contractor is to use care during digging and planting to avoid disturbing or damaging any adjacent or underground utilities and built items. Repair to any damage resulting from this construction will be the contractors responsibility and shall be restored at their expense to the satisfaction of the landscape architect.
5. Should there be any discrepancies between the quantities called for on the plant list and those indicated on the plan, the greater quantity shall govern.

- |   |                      |             |
|---|----------------------|-------------|
|  | CONCRETE UNIT PAVERS | 01<br>L-700 |
|  | ASPHALT PATHWAY      | 02<br>L-700 |
|  | PLANTING AREA        | 01<br>L-400 |
|  | CIP CONCRETE         | 03<br>L-700 |
|  | STEEL EDGING         | 10<br>L-700 |
|  | STONE BENCH          | 08<br>L-700 |
|  | GRAVEL EDGE          | 09<br>L-700 |



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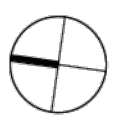
ACOUSTICS CONSULTANT  
LSTN CONSULTANTS  
76 BEAVER STREET  
NEW YORK, NEW YORK 10005  
TEL 347 788 0810

ENVELOPE CONSULTANT  
**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
TEL 347 809 6790

**LIGHTING DESIGNER**  
**DOT DASH LIGHTING DESIGN**  
 120 WALKER STREET, SUITE #6E  
 NEW YORK, NEW YORK 10013  
 TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT  
**CODE CONSULTANTS, INC.**  
440 PARK AVENUE S.  
NEW YORK, NEW YORK 10016  
TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS  
CONSTRUCTION SPECIFICATIONS, INC  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

07/22/2021

2029

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

SCALE: 1" = 10'

**L- 400**  
04 of 10

DOB JOB: -



DOB STAMP ZONE

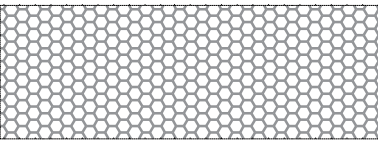


PLANTING PLAN

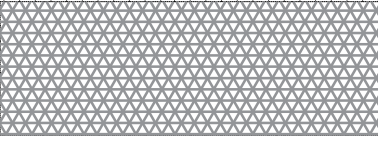
TREES					
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/ N)	SIZE
AG	5	<i>Acer griseum</i>	Paperbark maple	(N)	3.5"-4" Caliper
BP	7	<i>Betula populifolia</i>	Grey Birch	(Y)	3.5"-4" Caliper
MS	6	<i>Magnolia x soulangeana</i>	Saucer Magnolia	(Y)	3.5"-4" Caliper
NS	5	<i>Nyssa sylvatica</i>	Black Tupelo	(Y)	3.5"-4" Caliper
TO	9	<i>Thuja occidentalis</i> 'Hetz Wintergreen'	Hetz Wintergreen Arborvitae	(Y)	25 Gal Cont.
PLANTING MIX -ZONE 1 - SHRUBS & PERENNIALS - 913 SF					
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE
CS	16	<i>Cornus sericea</i> 'Flaviramea'	Yellow Twig Dogwood	(Y)	5 gallon
OS	132	<i>Onoclea sensibilis</i>	Sensitive Fern	(Y)	1 gallon
PLANTING MIX -ZONE 2 - PERENNIALS - 1010 SF					
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE
AS	146	<i>Actaea simplex</i> 'Black Negligee'	Black Negligee Snakeroot	(Y)	1 gallon
AC	146	<i>Asarum canadense</i>	Canadian Wild Ginger	(Y)	1 gallon

PLANTING MIX -ZONE 3 - PERENNIALS - 1636 SF					
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE
EA	236	<i>Euphorbia amygdaloides</i>	Wood Spurge	(Y)	1 gallon
OS	236	<i>Onoclea sensibilis</i>	Sensitive Fern	(Y)	1 gallon
PLANTING MIX -ZONE 4 - PERENNIALS - 1517 SF					
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE
IV	27	<i>Itea virginica</i>	Virginia sweetspire	(Y)	5 gallon
PV	187	<i>Panicum virgatum</i> 'shenandoah'	Switchgrass	(Y)	1 gallon
PLANTING MIX -ZONE 5 - PERENNIALS - 2080 SF					
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE
PV	300	<i>Panicum virgatum</i> 'shenandoah'	Switchgrass	(Y)	1 gallon
AR	300	<i>Actaea racemosa</i>	Snakeroot	(Y)	1 gallon
PLANTING MIX -ZONE 6 - PERENNIALS - 1018 SF					
SYM	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE (Y/N)	SIZE
DE	24	<i>Myrica pensylvanica</i>	Northern Bayberry	(Y)	5 gallon
OC	147	<i>Osmundastrum cinnamomeum</i>	Cinnamon Fern	(Y)	1 gallon

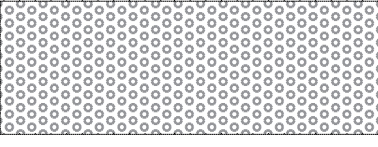
LEGEND



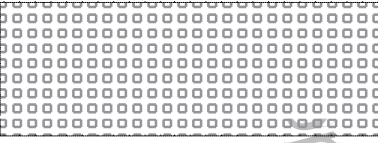
PLANTING MIX 1



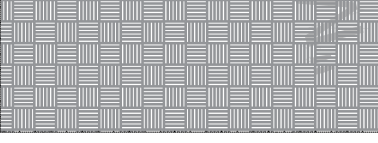
PLANTING MIX 2



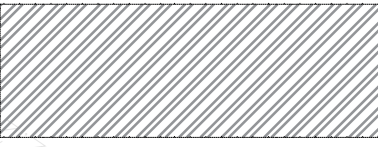
PLANTING MIX 3



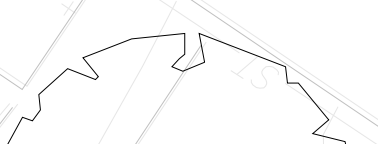
PLANTING MIX 4



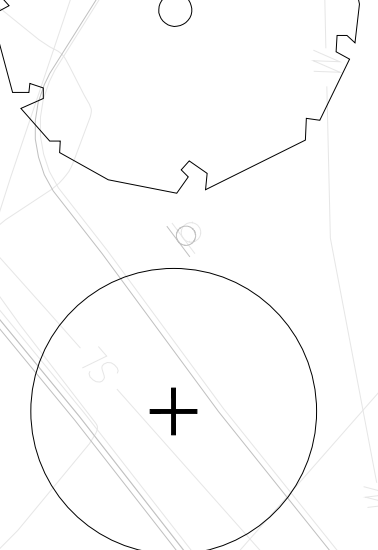
PLANTING MIX 5



PLANTING MIX 6



EXISTING TREES



PROPOSED TREES



MARVEL

145 HUDSON STREET, FLR 3 NEW YORK, NY 10013

212.616.0420

OWNER

THE MASTERS SCHOOL

49 CLINTON AVENUE

DOBBS FERRY, NEW YORK 10522

TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

MARVEL

145 HUDSON STREET, FLOOR 3

NEW YORK, NEW YORK 10013

TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER

MRS ENGINEERS & SURVEYORS, DPC

2780 HAMILTON BOULEVARD

SOUTH PLAINFIELD, NEW JERSEY 07080

TEL 908 922 4022

STRUCTURAL ENGINEER

SILMAN

32 OLD SLIP, FLOOR 10

NEW YORK, NEW YORK 10005

TEL 212 620 7970

BUILDING SYSTEMS ENGINEER

POLISE CONSULTING ENGINEERS, DPC

133 WEST 19TH STREET

NEW YORK, NEW YORK 10011

TEL 212 645 1002

VERTICAL TRANSPORTATION

VDA

145 WEST 30TH STREET, FLOOR 4

NEW YORK, NEW YORK 10001

TEL 212 868 9099

AV / IT / SECURITY CONSULTANT

COSENTINI ASSOCIATES, INC.

498 SEVENTH AVENUE

NEW YORK, NEW YORK 10018

TEL 212 615 3000

ACOUSTICS CONSULTANT

LSTN CONSULTANTS

76 BEAVER STREET

NEW YORK, NEW YORK 10005

TEL 347 788 0810

ENVELOPE CONSULTANT

MW-SKINS

1 WHITEHALL STREET, FLOOR 14

NEW YORK, NEW YORK 10004

TEL 347 809 6790

LIGHTING DESIGNER

DOT DASH LIGHTING DESIGN

120 WALKER STREET, SUITE #6E

NEW YORK, NEW YORK 10013

TEL 212 951 0860

CODE AND ACCESSIBILITY CONSULTANT

CODE CONSULTANTS, INC.

440 PARK AVENUE S.

NEW YORK, NEW YORK 10016

TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS

CONSTRUCTION SPECIFICATIONS, INC

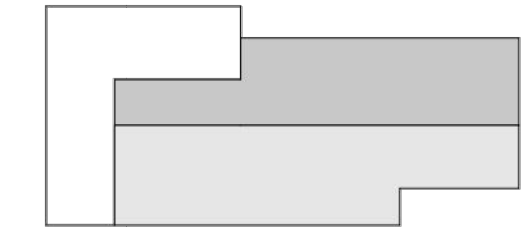
22 TENNENT ROAD

MORGANVILLE, NEW JERSEY 07751

TEL 732 970 0700

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
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07/22/2021



KEY PLAN:NTS

2029

THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER

49 CLINTON AVENUE

DOBBS FERRY, NEW YORK 10522

UNDERSTORY  
PLANTING PLAN

SCALE: 1" = 10'

DRAWING #:

L- 410

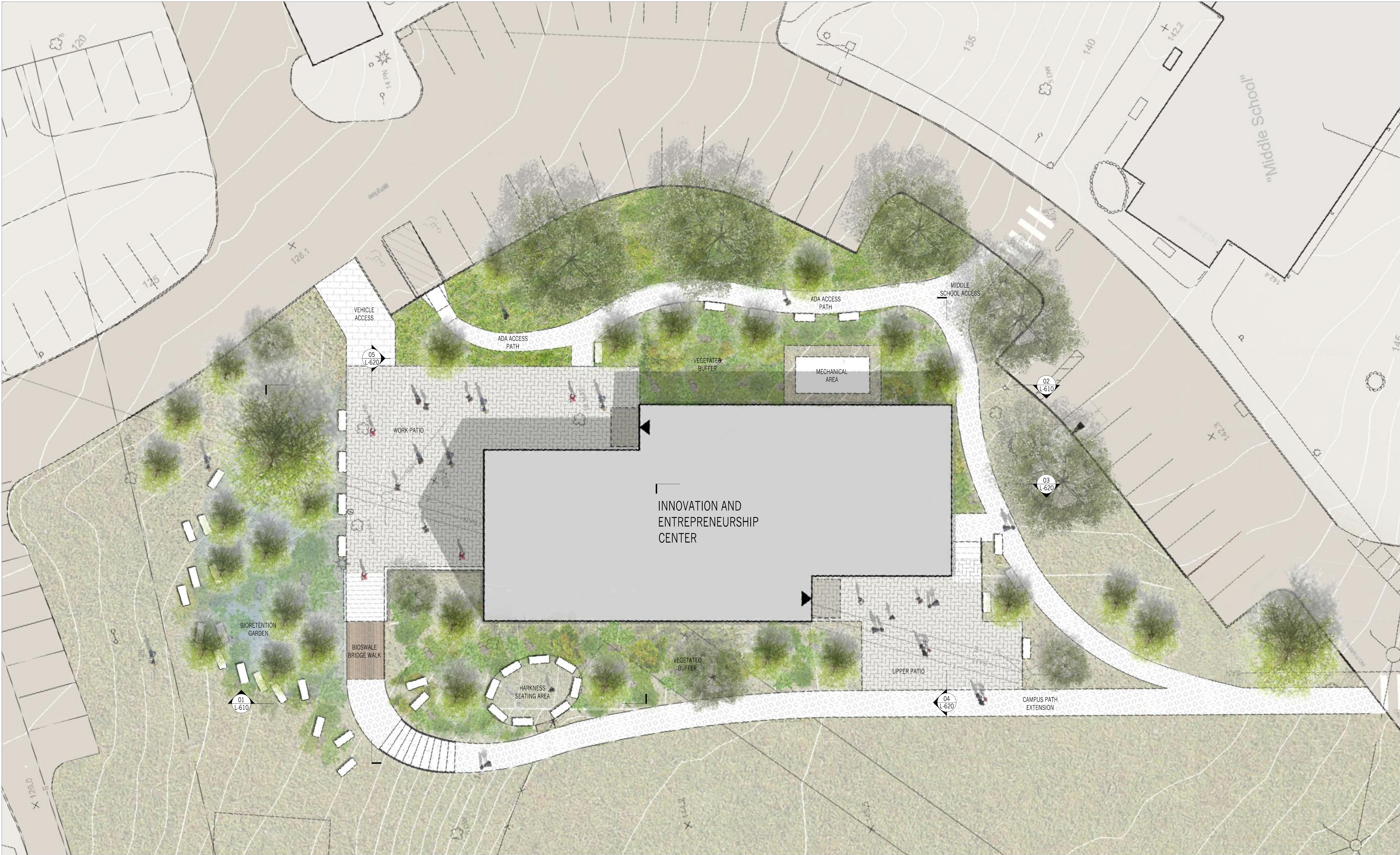
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DOB JOB: -



DOB STAMP ZONE



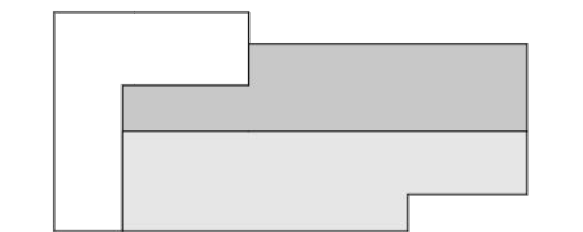


**MARVEL**  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

- OWNER  
**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBS FERRY, NEW YORK 10522  
TEL 914 479 6400
- PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420
- GEOTECHNICAL / CIVIL ENGINEER  
**M/S ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 822 4622
- STRUCTURAL ENGINEER  
**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970
- BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002
- VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 868 9090
- AV / IT / SECURITY CONSULTANT  
**COSENTINI ASSOCIATES, INC.**  
488 SEVENTH AVENUE  
NEW YORK, NEW YORK 10018  
TEL 212 615 3000
- ACOUSTICS CONSULTANT  
**LSTN CONSULTANTS**  
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TEL 347 788 0810
- ENVELOPE CONSULTANT  
**MW-SKINS**  
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NEW YORK, NEW YORK 10004  
TEL 347 809 6790
- LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
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TEL 212 951 0860
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**CONSTRUCTION SPECIFICATIONS, INC**  
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TEL 732 970 0700

REV	DATE	DESCRIPTION
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07/22/2021



KEY PLAN:NTS

2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBS FERRY, NEW YORK 10522

**SITE PLAN**

SCALE: 1" = 10'



DOB STAMP ZONE

DRAWING #:  
**L- 600**  
06 of 10

DOB JOB: -





02 WESTERN FACADE ELEVATION  
SCALE: 1/4" = 1'-0"



01 EASTERN FACADE ELEVATION  
SCALE: 1/4" = 1'-0"



**MARVEL**  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

OWNER  
**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBS FERRY, NEW YORK 10522  
TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER  
**MES ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622

STRUCTURAL ENGINEER  
**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 868 9090

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**COSENTINI ASSOCIATES, INC.**  
488 SEVENTH AVENUE  
NEW YORK, NEW YORK 10018  
TEL 212 615 3000

ACOUSTICS CONSULTANT  
**LSTN CONSULTANTS**  
78 BEAVER STREET  
NEW YORK, NEW YORK 10005  
TEL 347 788 0810

ENVELOPE CONSULTANT  
**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
TEL 347 809 6790

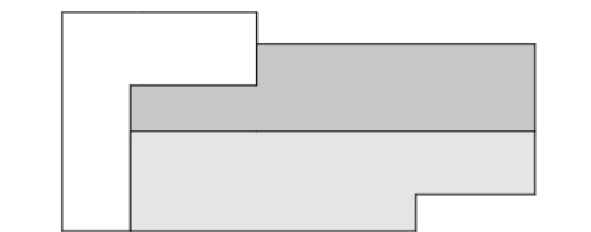
LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #8E  
NEW YORK, NEW YORK 10013  
TEL 212 851 0860

CODE AND ACCESSIBILITY CONSULTANT  
**CODE CONSULTANTS, INC.**  
440 PARK AVENUE S.  
NEW YORK, NEW YORK 10016  
TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNET ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

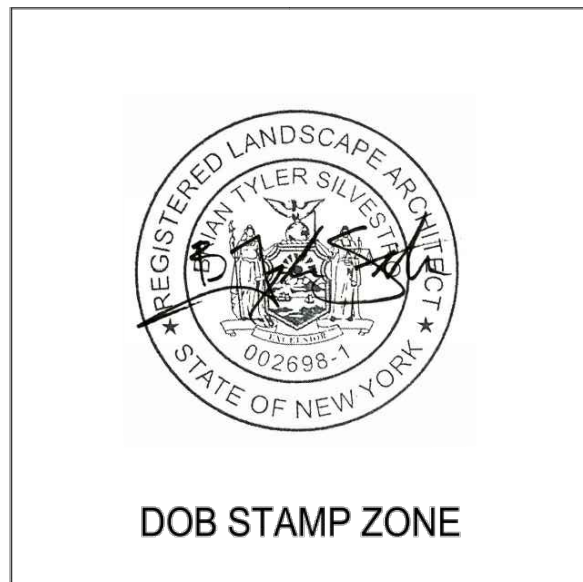
2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**  
49 CLINTON AVENUE  
DOBS FERRY, NEW YORK 10522

**SITE SECTIONS I**

SCALE: AS NOTED

DRAWING #:  
**L- 610**  
07 of 10

DOB JOB: -



DOB STAMP ZONE







**MARVEL**  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

OWNER  
**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420

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**MRS ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
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**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 868 9090

AV / IT / SECURITY CONSULTANT  
**COSENTINI ASSOCIATES, INC.**  
498 SEVENTH AVENUE  
NEW YORK, NEW YORK 10018  
TEL 212 615 3000

ACOUSTICS CONSULTANT  
**LSTN CONSULTANTS**  
76 BEAVER STREET  
NEW YORK, NEW YORK 10005  
TEL 347 788 0810

ENVELOPE CONSULTANT  
**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
TEL 347 809 6790

LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #8E  
NEW YORK, NEW YORK 10013  
TEL 212 951 0960

CODE AND ACCESSIBILITY CONSULTANT  
**CODE CONSULTANTS, INC.**  
440 PARK AVENUE S.  
NEW YORK, NEW YORK 10016  
TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700



05 NORTHERN FACADE ELEVATION  
SCALE: 1/4" = 1'-0"



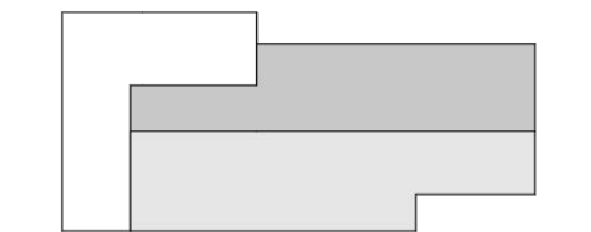
04 SOUTHERN FACADE ELEVATION  
SCALE: 1/4" = 1'-0"



03 SECTION AT BUILDING ROOFLINE  
SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
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3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



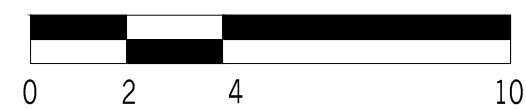
KEY PLAN:NTS

2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**SITE SECTIONS II**

SCALE: AS NOTED



DOB STAMP ZONE

DRAWING #:  
**L- 620**  
08 of 10

DOB JOB: -





**MARVEL**  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

OWNER  
**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER  
**MFS ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 862 4822

STRUCTURAL ENGINEER  
**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 868 9090

AV / IT / SECURITY CONSULTANT  
**COSENTINI ASSOCIATES, INC.**  
488 SEVENTH AVENUE  
NEW YORK, NEW YORK 10018  
TEL 212 615 3000

ACOUSTICS CONSULTANT  
**LSTN CONSULTANTS**  
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**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
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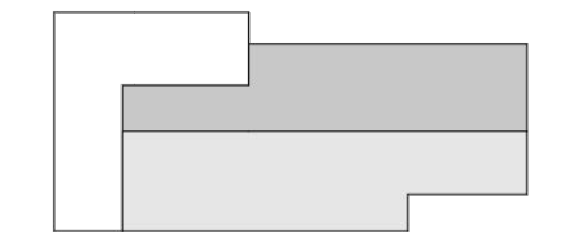
LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #8E  
NEW YORK, NEW YORK 10013  
TEL 212 951 0860

CODE AND ACCESSIBILITY CONSULTANT  
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NEW YORK, NEW YORK 10016  
TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

REV	DATE	DESCRIPTION
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07/22/2021



KEY PLAN: NTS

2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

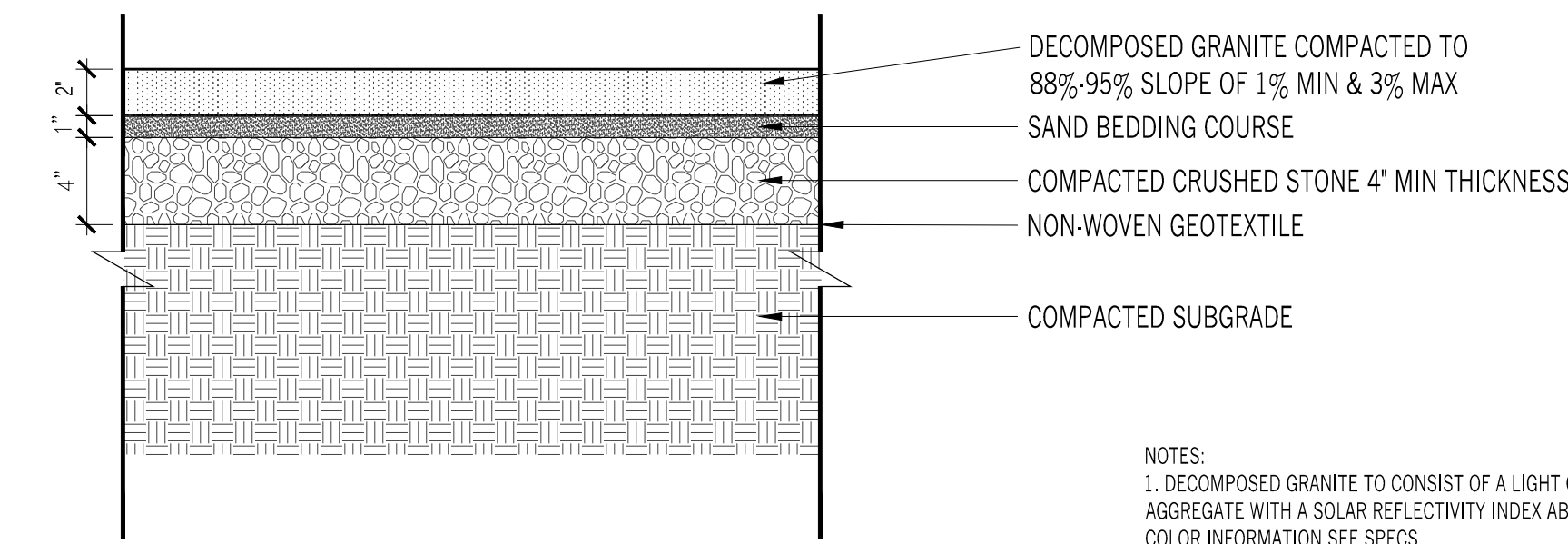
TYPICAL DETAILS I

SCALE: AS NOTED

DRAWING #:  
**L 700**  
09 of 10  
DOB JOB: -

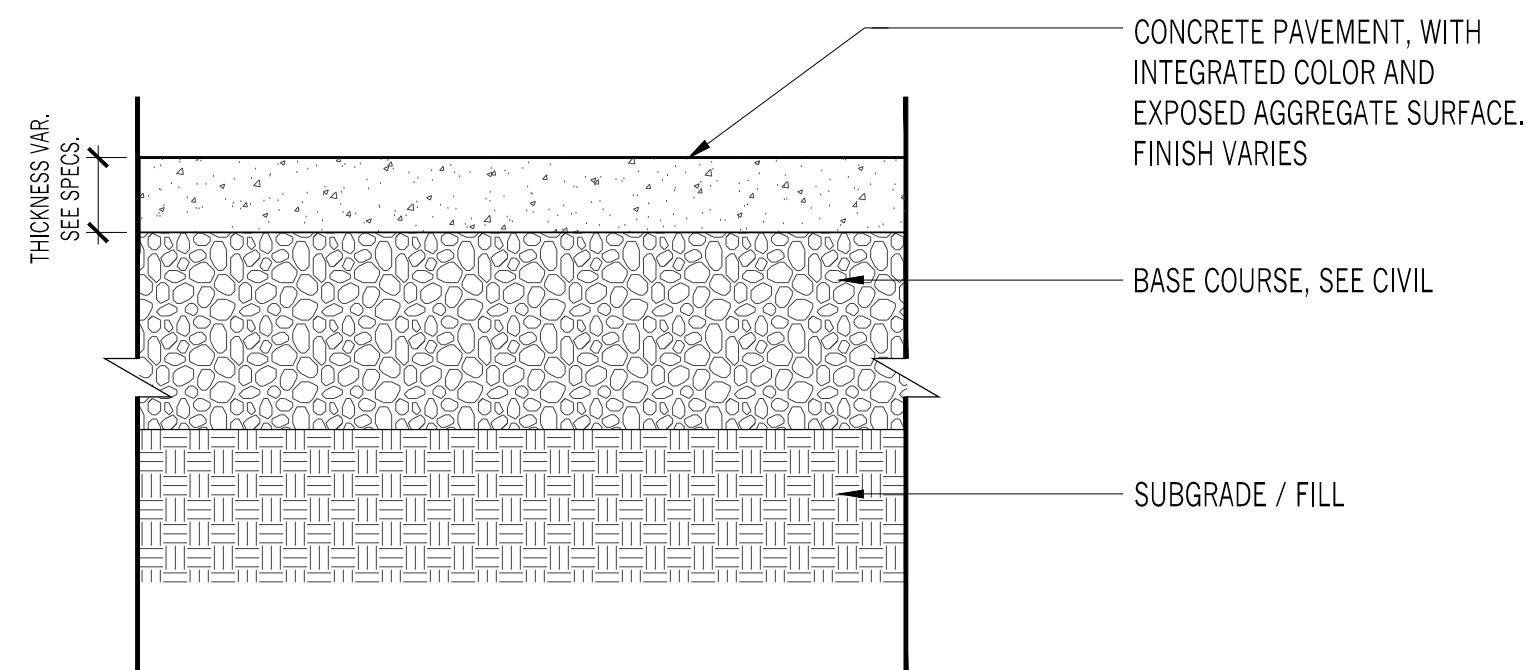


DOB STAMP ZONE

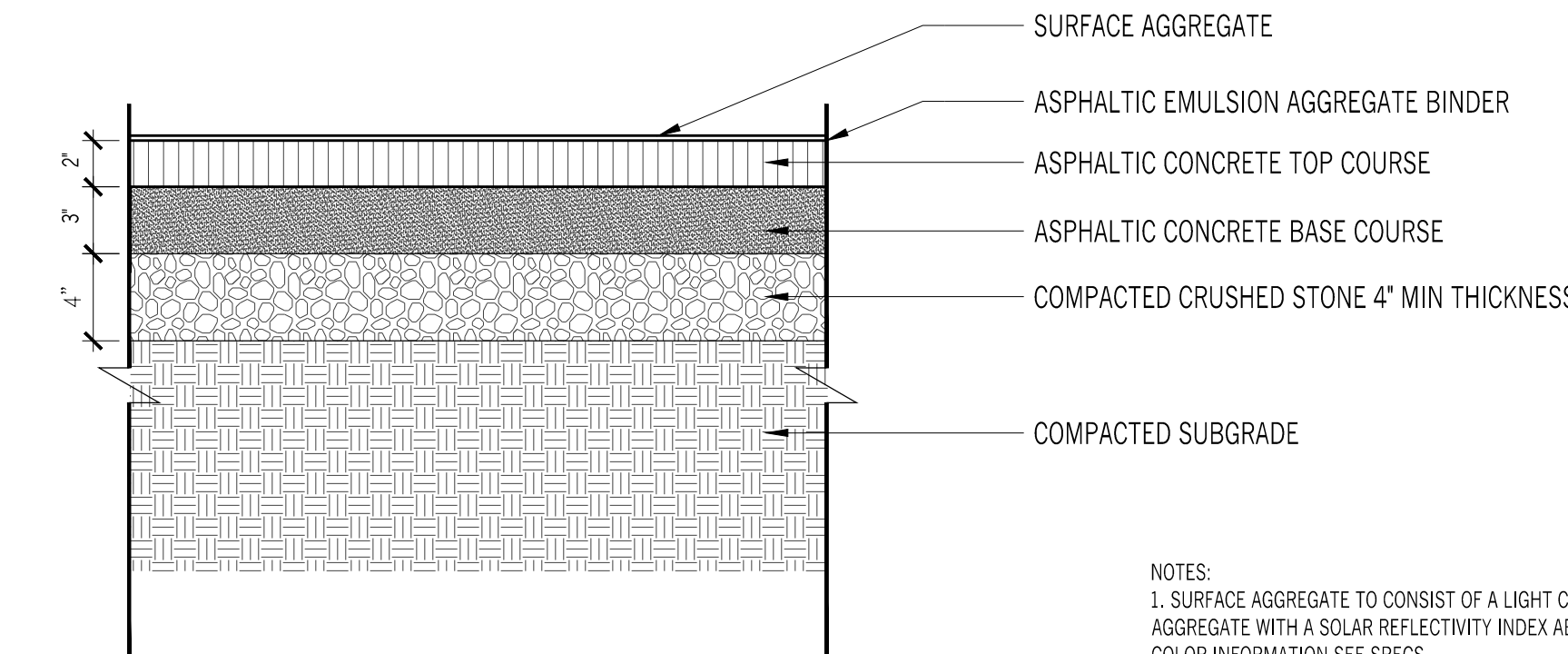


NOTES:  
1. DECOMPOSED GRANITE TO CONSIST OF A LIGHT COLORED AGGREGATE WITH A SOLAR REFLECTIVITY INDEX ABOVE 22. FOR COLOR INFORMATION SEE SPECS.

04 GRAVEL PAVING  
SCALE: 1-1/2" = 1'-0"

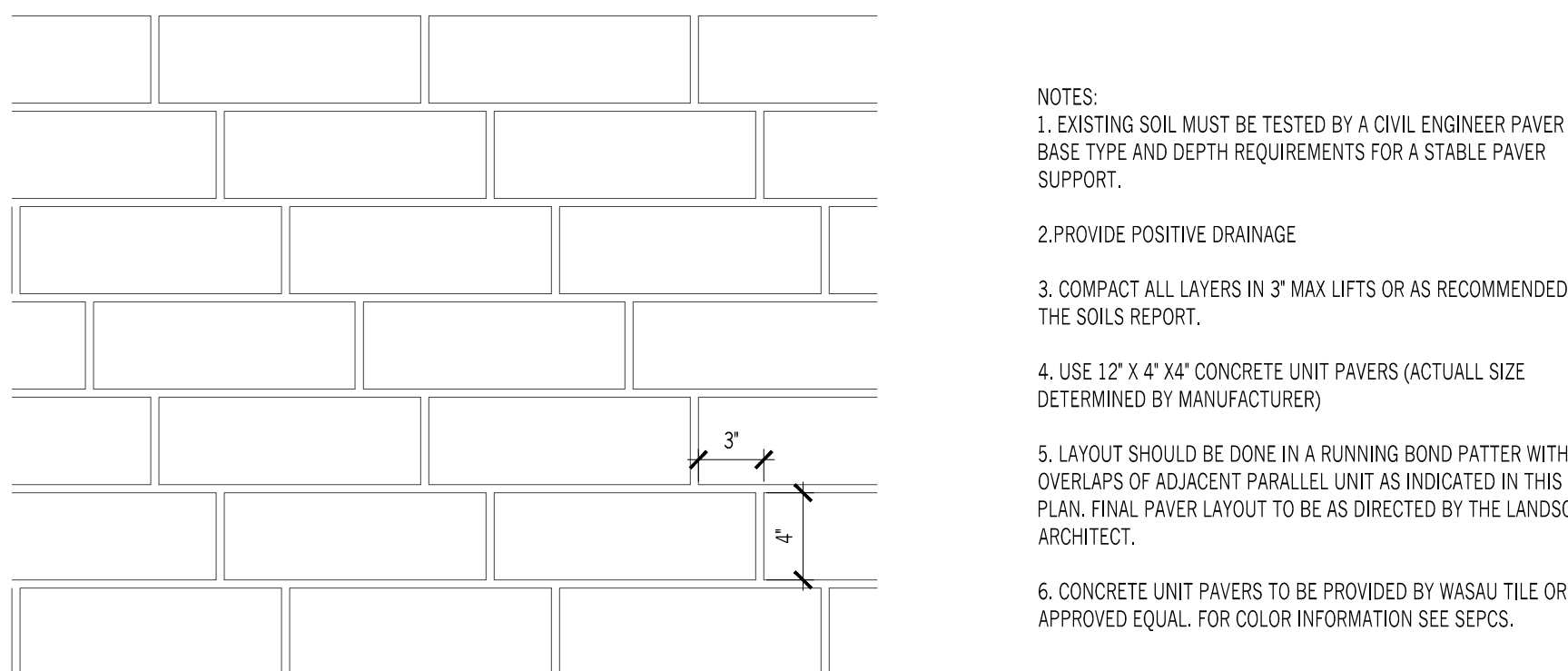


03 CIP CONCRETE  
SCALE: 1-1/2" = 1'-0"

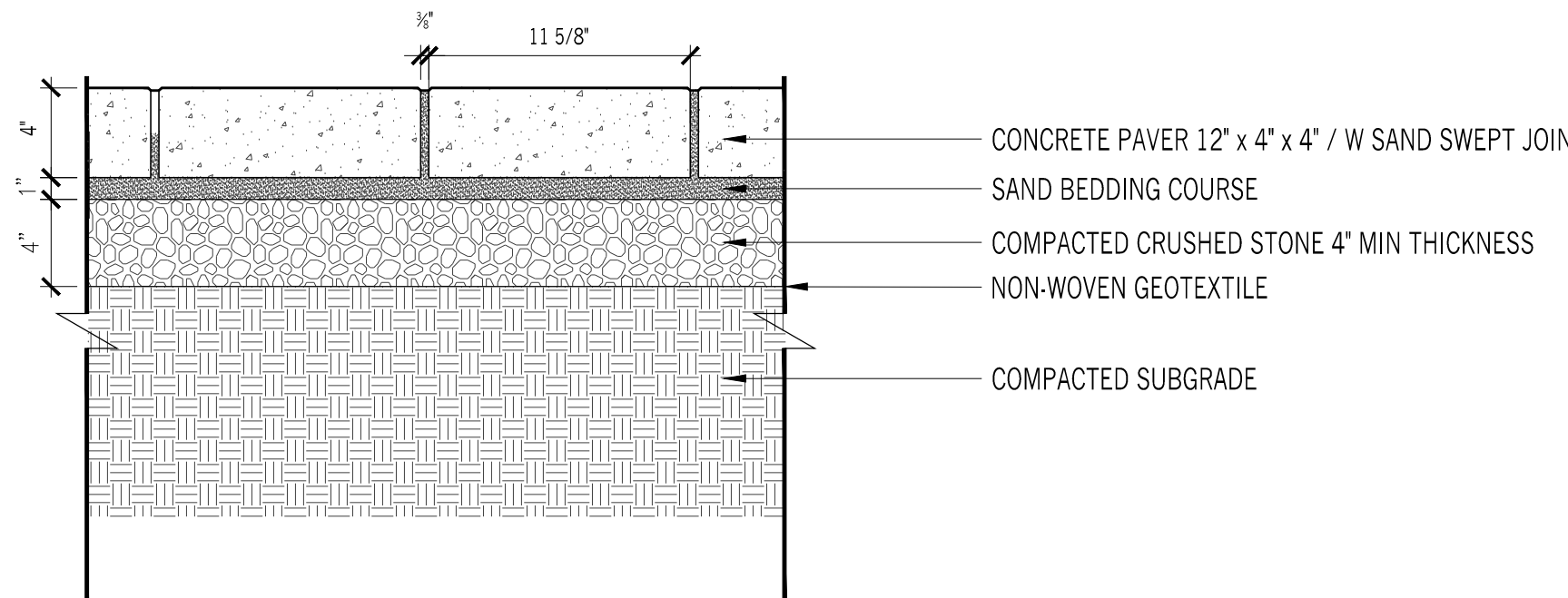


NOTES:  
1. SURFACE AGGREGATE TO CONSIST OF A LIGHT COLORED AGGREGATE WITH A SOLAR REFLECTIVITY INDEX ABOVE 22. FOR COLOR INFORMATION SEE SPECS.

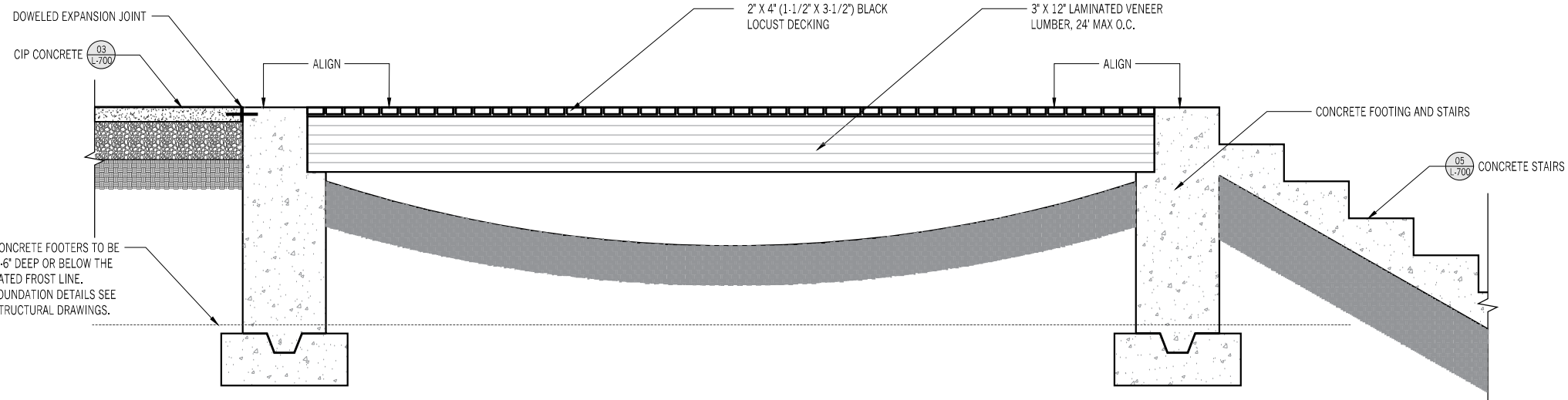
02 ASPHALT PAVEMENT  
SCALE: 1-1/2" = 1'-0"



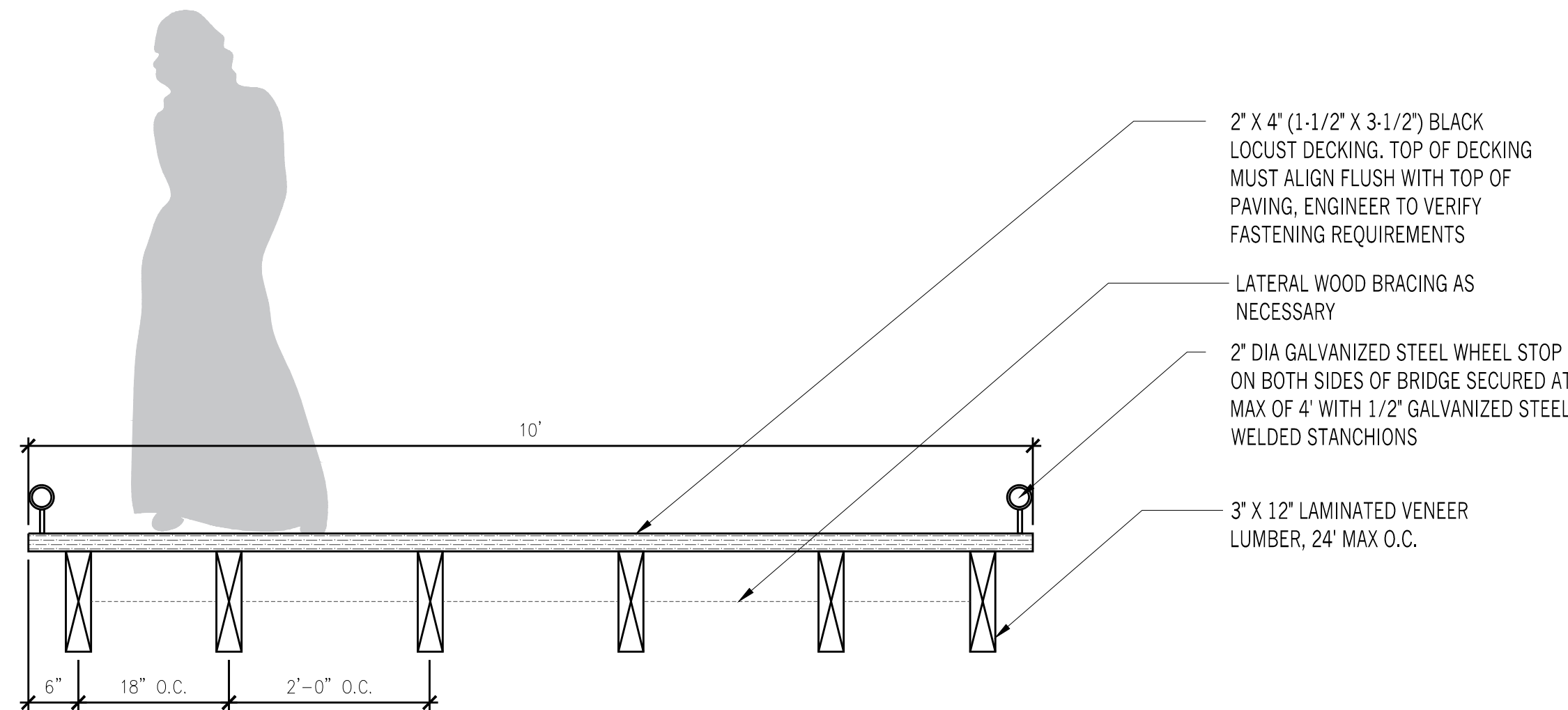
NOTES:  
1. EXISTING SOIL MUST BE TESTED BY A CIVIL ENGINEER PAVEMENT BASE TYPE AND DEPTH REQUIREMENTS FOR A STABLE PAVEMENT SUPPORT.  
2. PROVIDE POSITIVE DRAINAGE.  
3. COMPACT ALL LAYERS IN 3" MAX LIFTS OR AS RECOMMENDED BY THE SOILS REPORT.  
4. USE 12" X 4" X 1/2" CONCRETE UNIT PAVERS (ACTUAL SIZE DETERMINED BY MANUFACTURER).  
5. LAYOUT SHOULD BE DONE IN A RUNNING BOND PATTERN WITH 3" OVERLAPS OF ADJACENT PARALLEL UNITS AS INDICATED IN THIS PLAN. FINAL PAVEMENT LAYOUT TO BE AS DIRECTED BY THE LANDSCAPE ARCHITECT.  
6. CONCRETE UNIT PAVERS TO BE PROVIDED BY WASAU TILE OR APPROVED EQUAL. FOR COLOR INFORMATION SEE SPECS.



01 UNIT PAVERS  
SCALE: 1-1/2" = 1'-0"

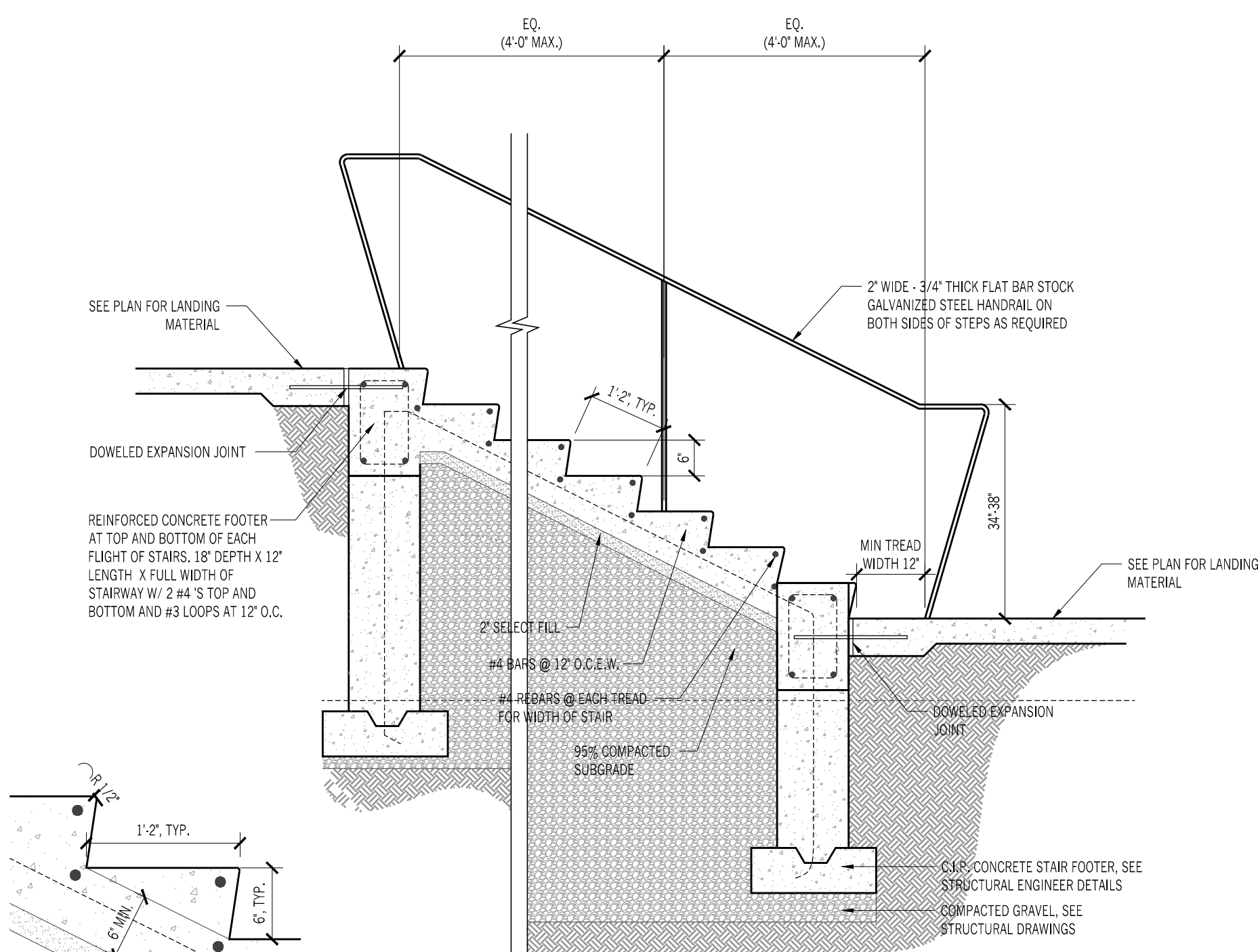


BIOSWALE BOARDWALK LONG SECTION  
SCALE: 3/8" = 1'-0"



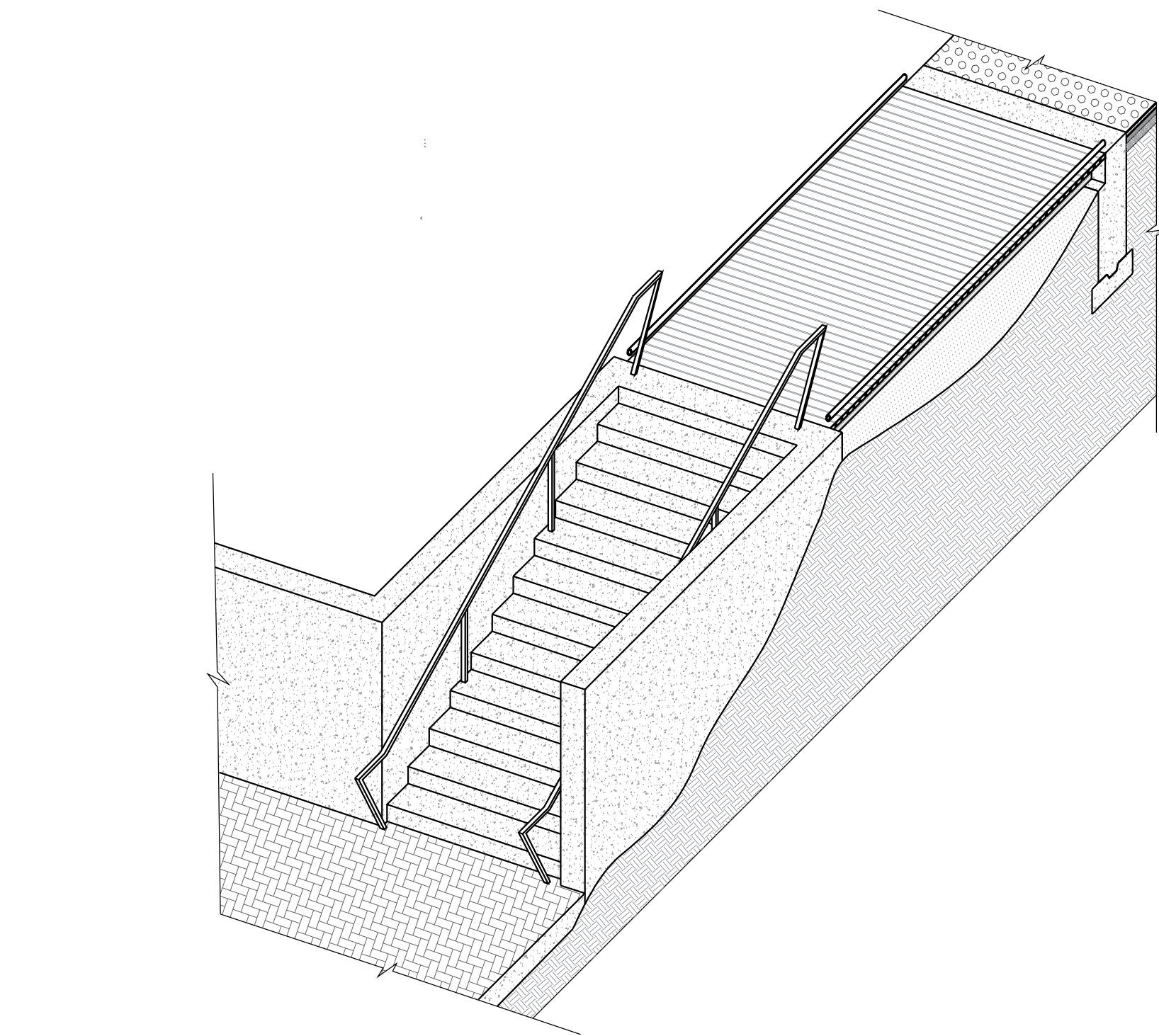
07 BIOSWALE BOARDWALK  
SCALE: 3/4" = 1'-0"

06 STEEL HANDRAIL (NOT IN THIS SUBMISSION)  
SCALE: 1-1/2" = 1'-0"

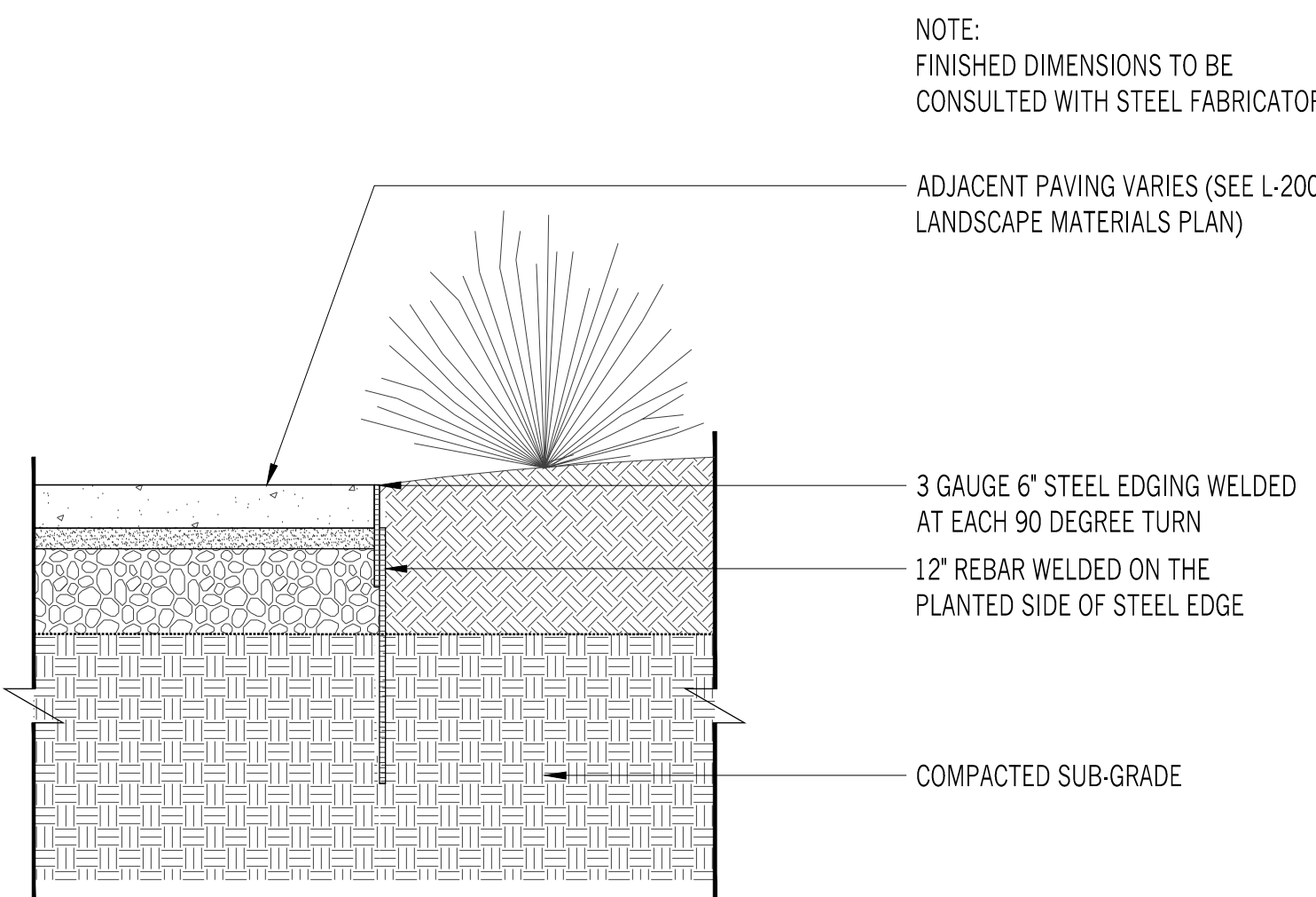


GENERAL NOTES:  
1. REFER TO PLAN FOR STEP TREAD AND RISER QUANTITY AND DIMENSIONS.  
2. SLOPE TREAD @ 1.0% MAX FOR DRAINAGE.  
3. UNLESS NOTED OTHERWISE, STAIR FINISH SHALL BE A NON-SLIP HORIZONTAL BROOM FINISH.  
4. ALL DIMENSIONS AND MATERIALS FOR STAIRS SHALL COMPLY WITH SECTIONS 504 AND 505 OF THE TEXAS ACCESSIBILITY STANDARDS (MARCH 2012).  
5. POSTS SHALL BE SURFACE MOUNTED, CORED, SLEEVED OR SET IN POST FOOTERS - REFERENCE TECHNICAL SPECIFICATIONS AND/OR PROJECT SPECIFIC DETAIL FOR MOUNTING.

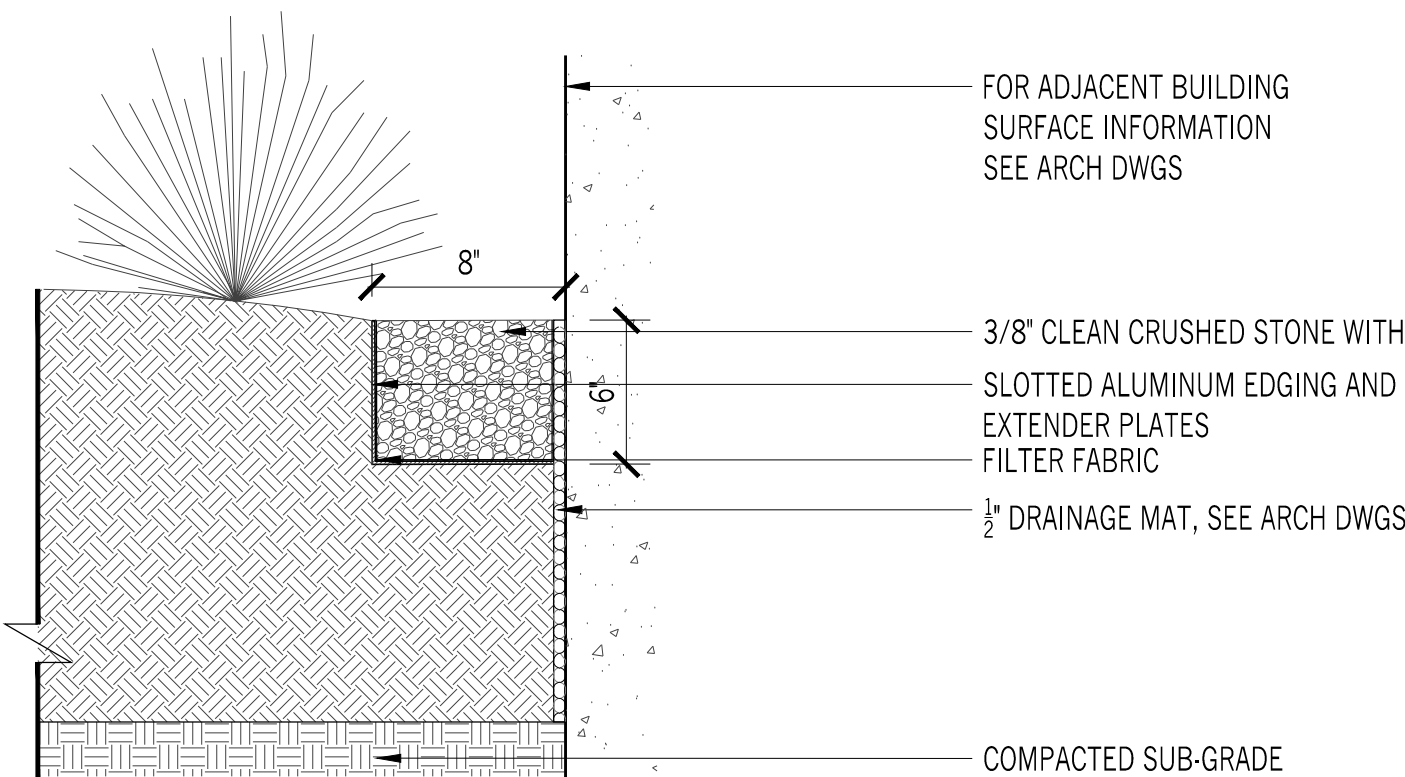
05 CONCRETE STAIR  
SCALE: 3/8" = 1'-0"



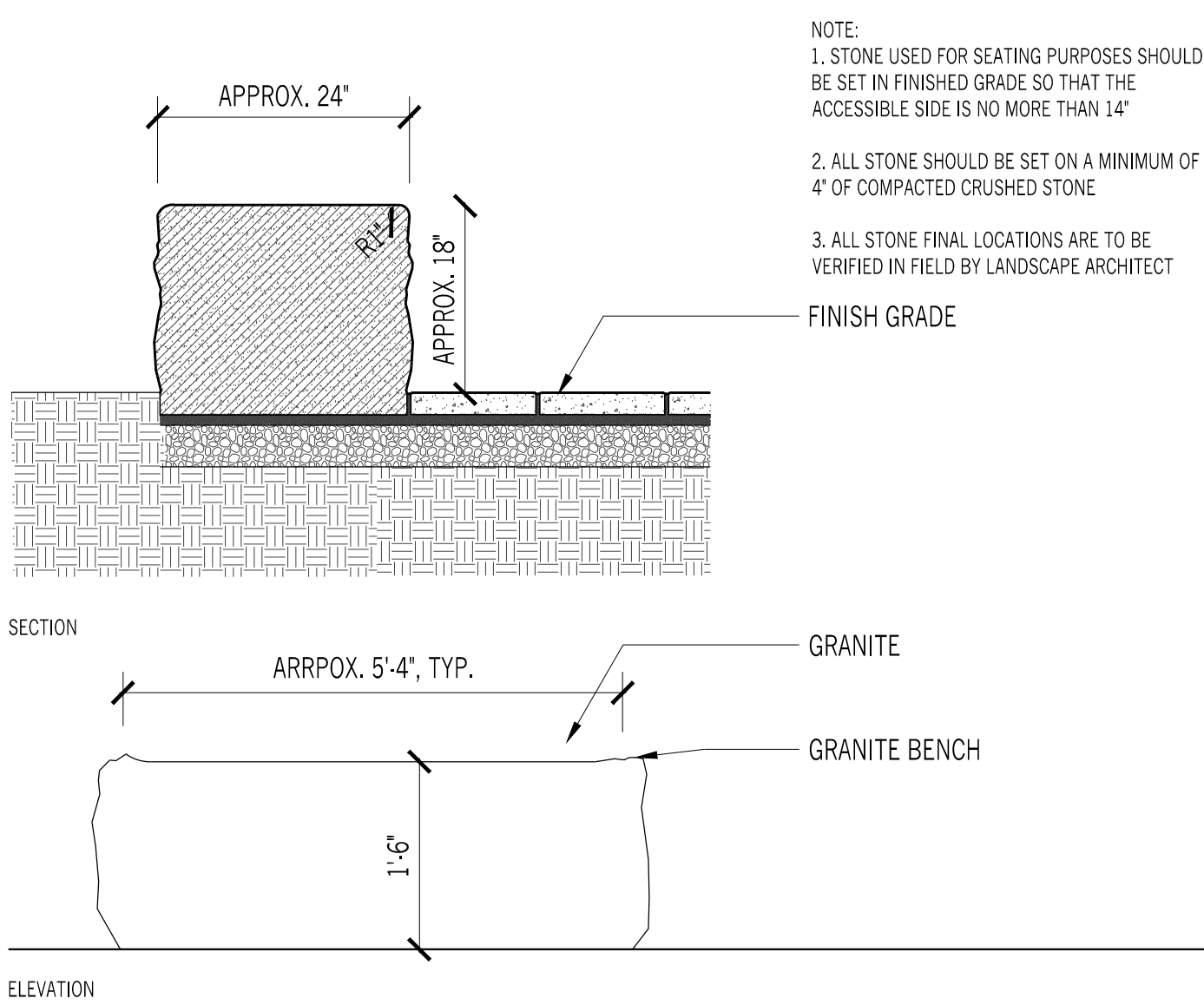
BIOSWALE BOARDWALK AXON  
SCALE: NTS



10 STEEL EDGING  
SCALE: 1-1/2" = 1'-0"



09 STONE GRAVEL COURSE  
SCALE: 1-1/2" = 1'-0"



08 STONE BENCH  
SCALE: 3/4" = 1'-0"





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PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
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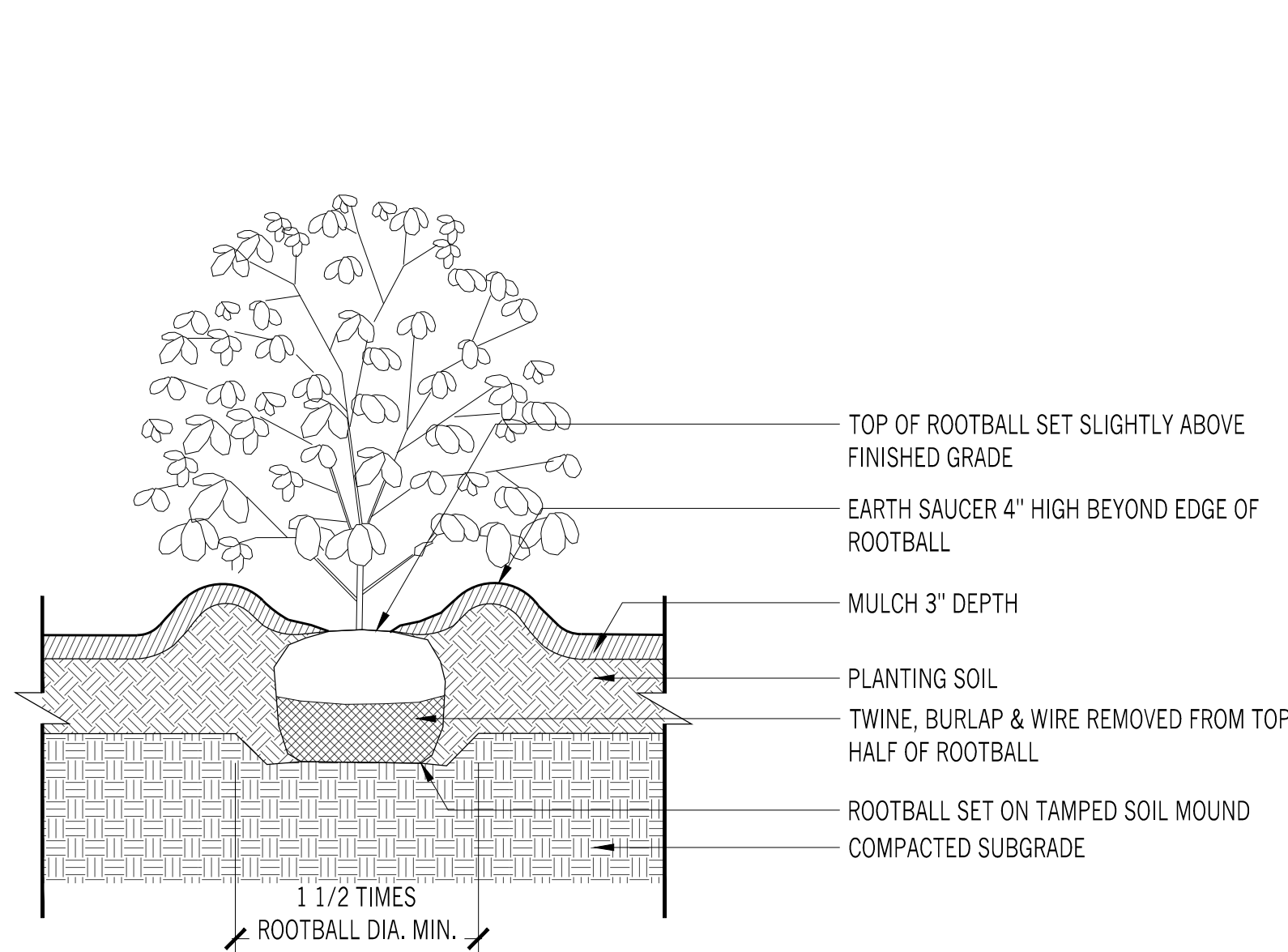
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TEL 347 788 0810

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**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
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TEL 347 809 6790

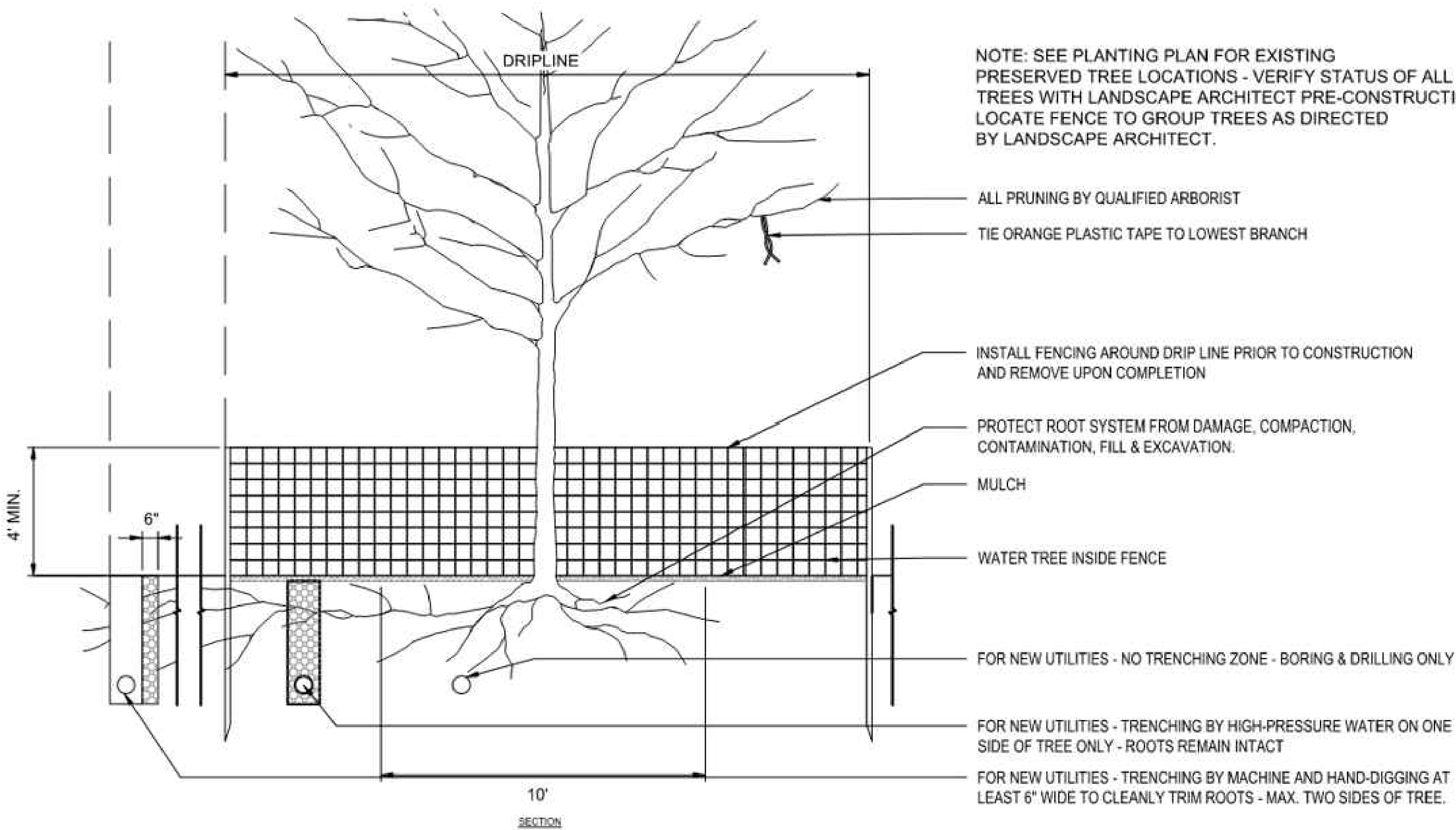
LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
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TEL 212 851 0960

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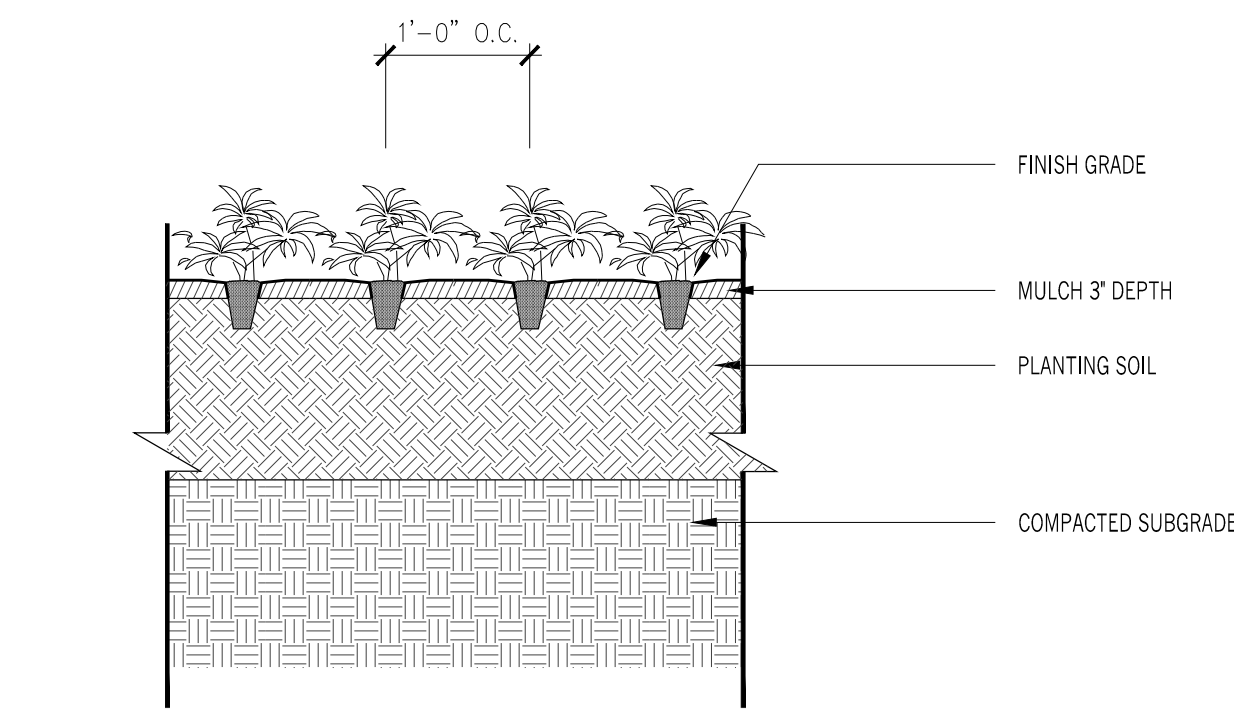
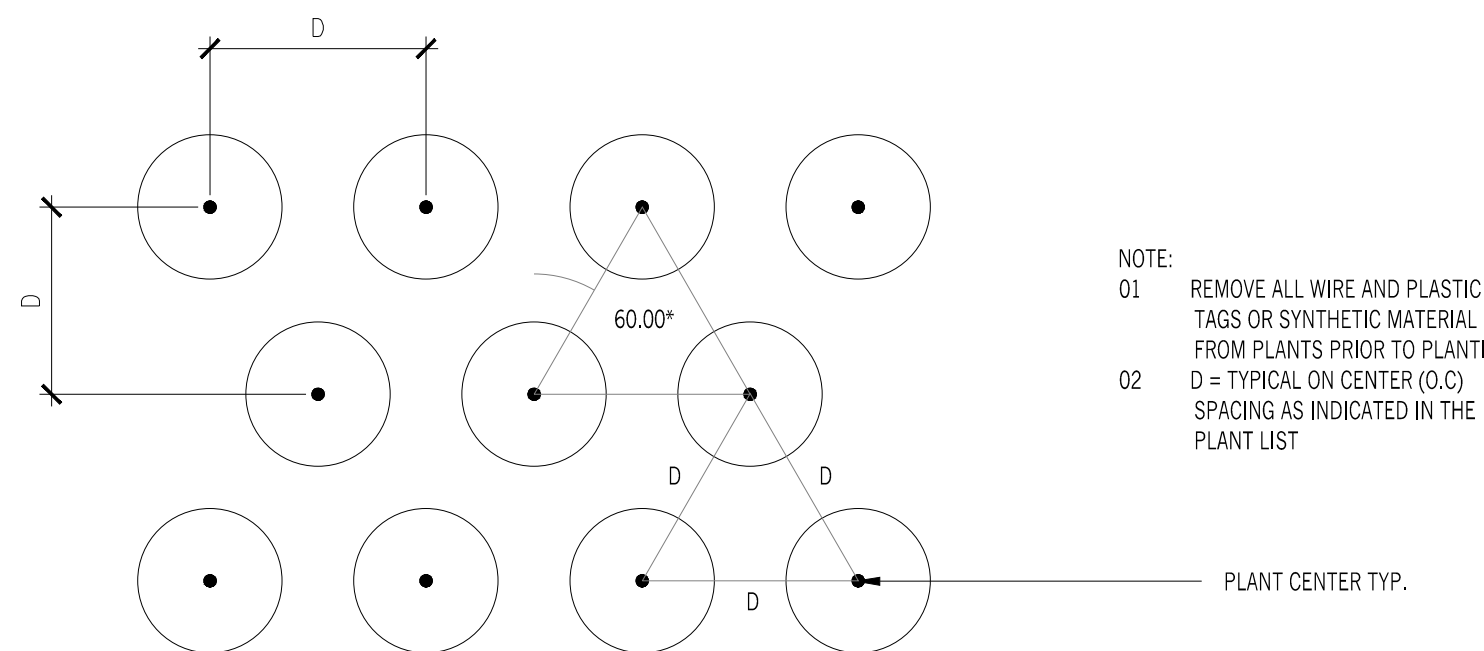
ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700



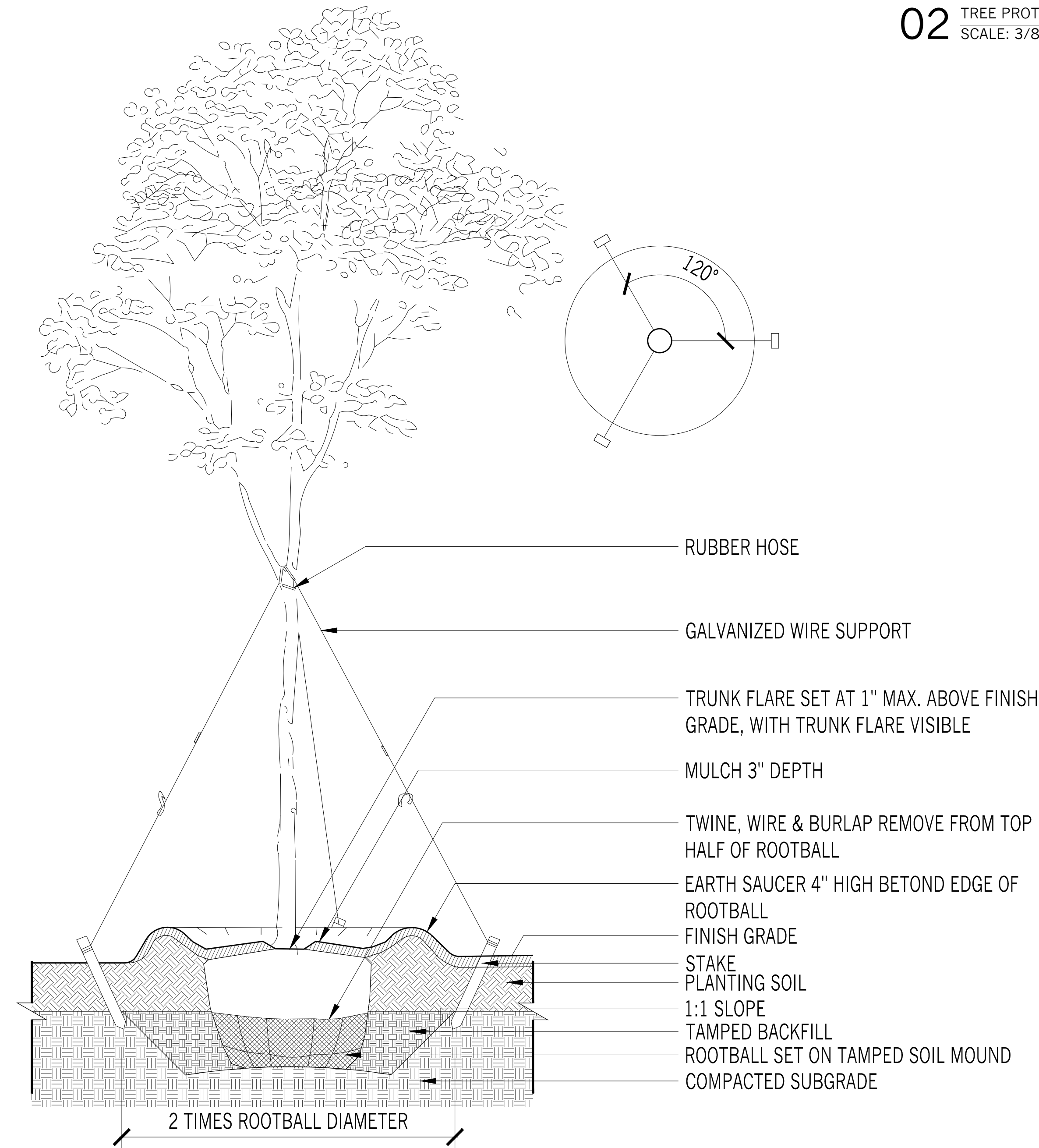
04 SHRUB PLANTING  
SCALE: 3/4" = 1'-0"



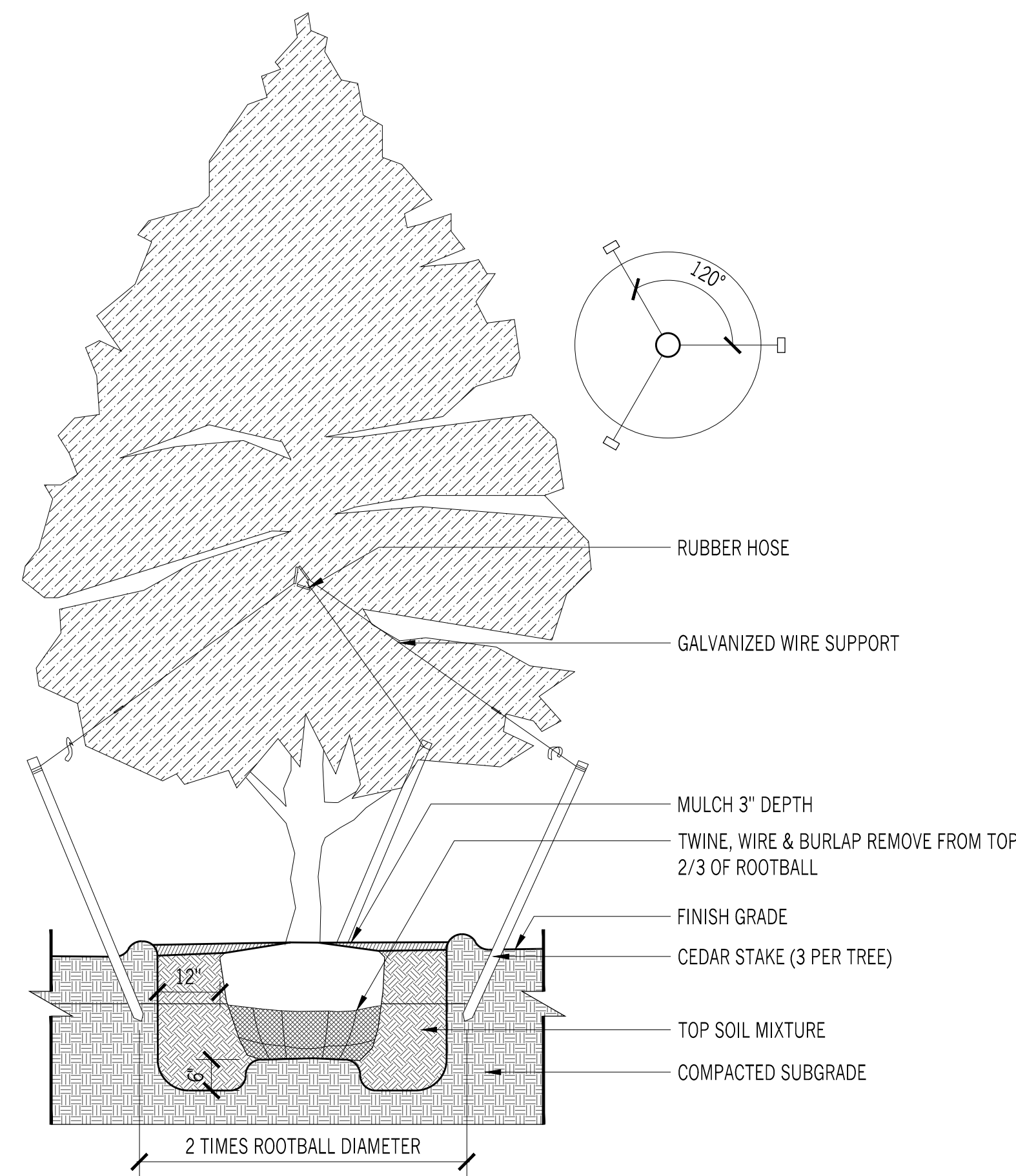
02 TREE PROTECTION  
SCALE: 3/8" = 1'-0"



05 PERENNIAL PLANTING  
SCALE: 3/4" = 1'-0"



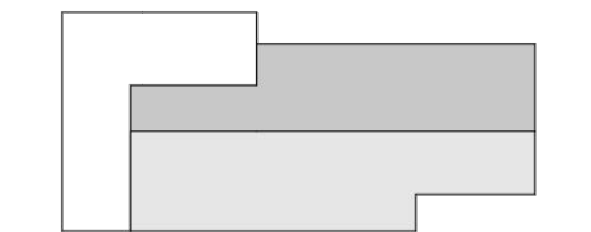
03 TREE AT GRADE  
SCALE: 3/4" = 1'-0"



01 EVERGREEN TREE PLANTING  
SCALE: 1/2" = 1'-0"

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
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3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN: NTS

2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

TYPICAL DETAILS II

SCALE: AS NOTED



DOB STAMP ZONE

DRAWING #:  
**L 710**  
10 of 10

DOB JOB: -





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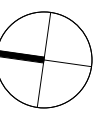
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07/22/2021

029  
THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER

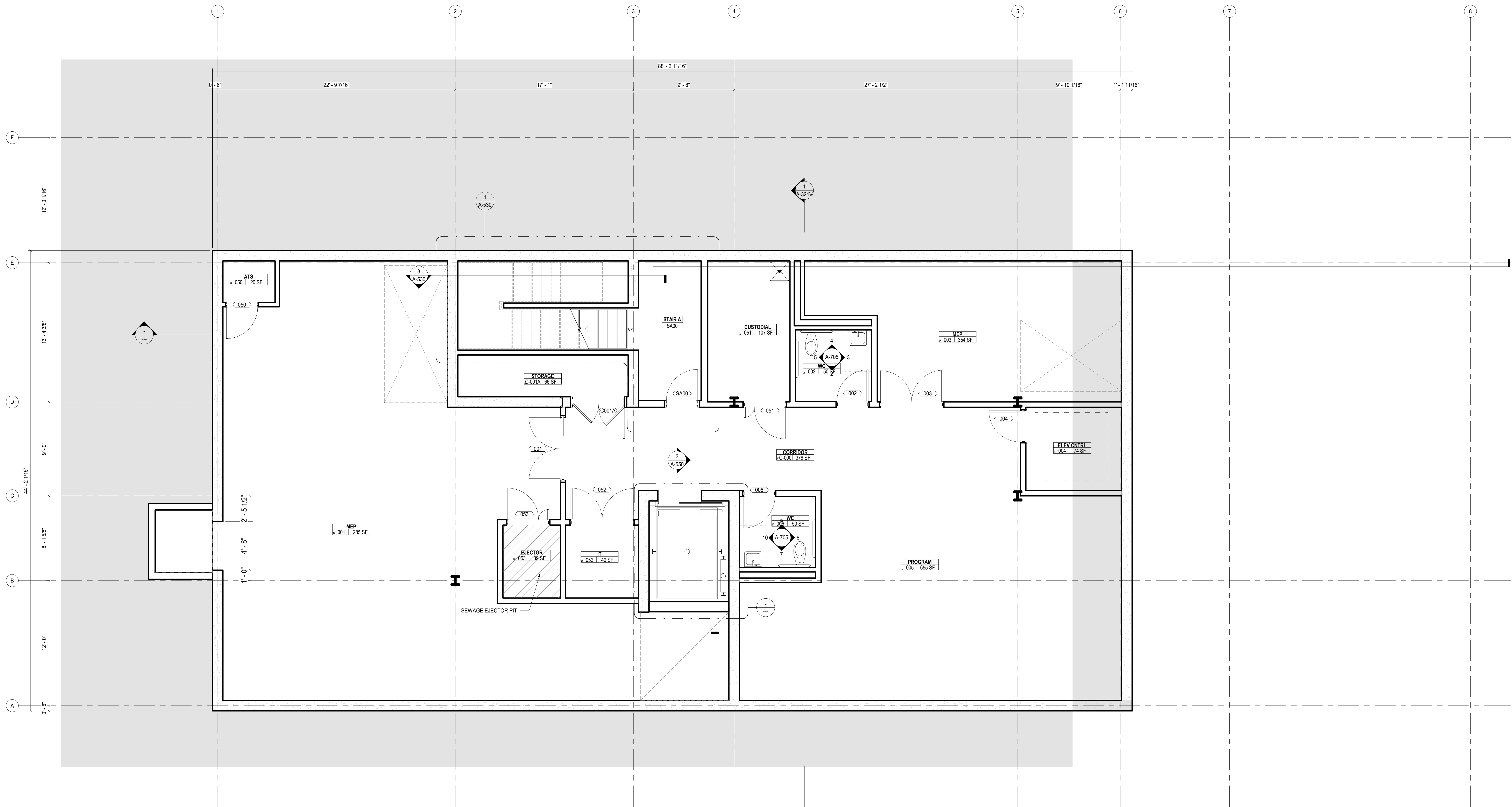
## ASSESSMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

RAWING #:  
**A-100**  
\_\_\_\_ of \_\_\_\_  
DOB JOB: -



1/20/21 10:20 AM © MARVEL ARCHITECTS, PLLC 201



# 1 CELLAR FLOOR PLAN





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ENVELOPE CONSULTANT  
**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
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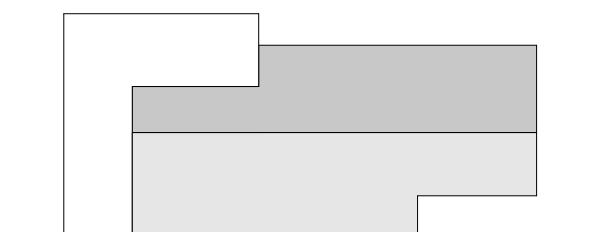
LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #6E  
NEW YORK, NEW YORK 10013  
TEL 212 951 0660

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TEL 732 970 0700

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBS FERRY
2	06/17/2021	SITE APPLICATION
3	07/22/2021	SITE APPLICATION
		RESUBMISSION

07/22/2021



KEY PLAN:NTS

2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBS FERRY, NEW YORK 10522

**FIRST FLOOR PLAN**

SCALE:As indicated

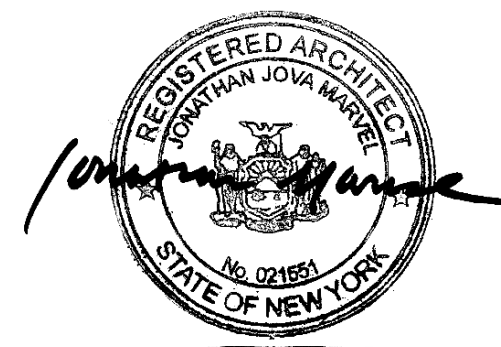
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of

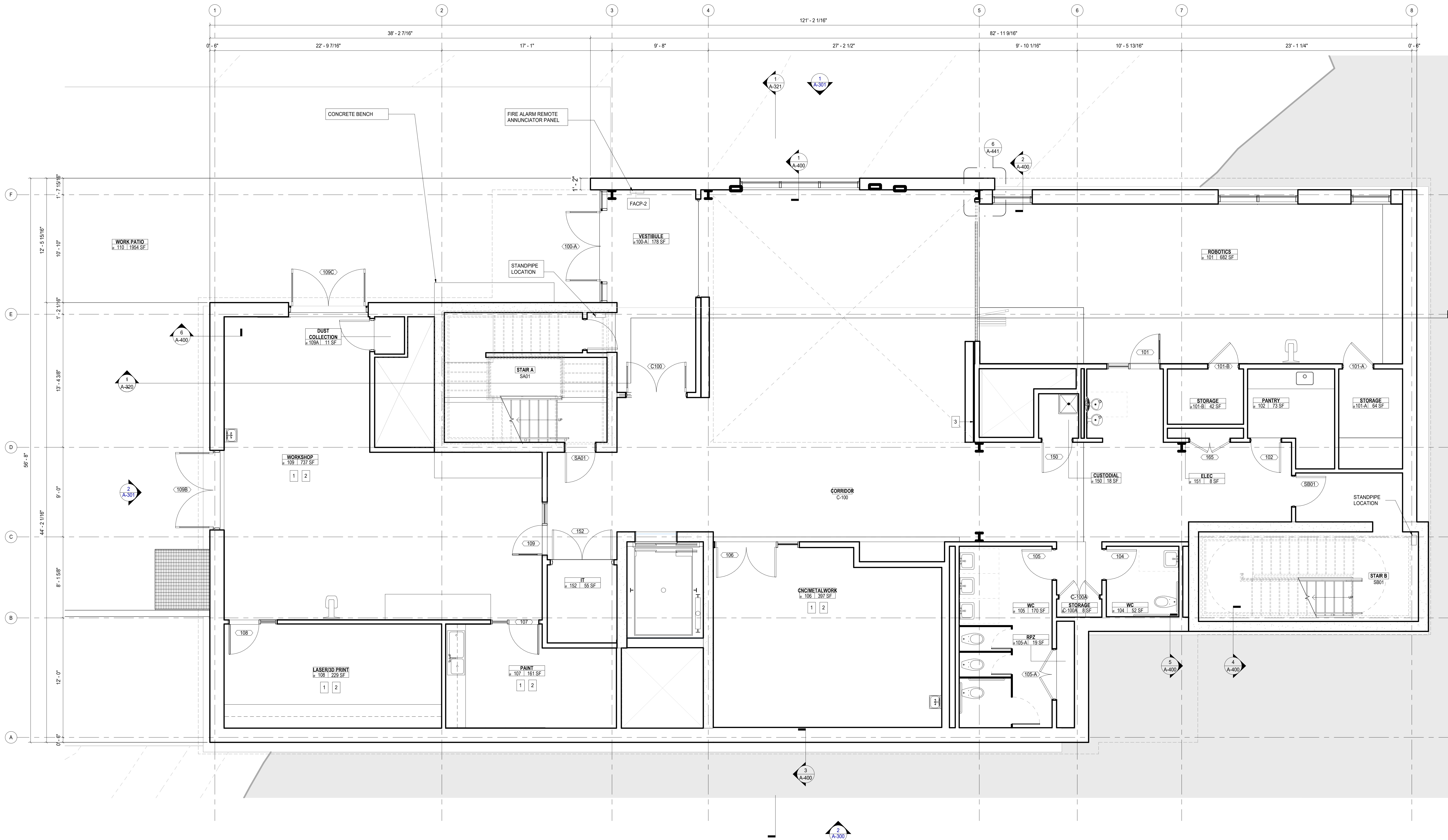
DOB JOB: -

DOB STAMP ZONE



**PLAN KEYNOTES**

- HAZARDOUS WASTE SHALL NOT BE DISPOSED OF IN TRASH CANS, DUMPSTERS, SEPTIC SYSTEMS, SANITARY SEWERS, STORM DRAINS, WASH RACK/SOIL-WATER SEPARATORS, ON LAND, BY EVAPORATION, NEUTRALIZATION, DILUTION, INCINERATION AND/OR THROUGH ANY OTHER TREATMENT PROCESS, OR IN MUNICIPAL LANDFILLS. ALL WASTE SHALL BE PROPERLY HELD AND DISPOSED OF PER THE SCHOOL'S HAZARDOUS WASTE GUIDELINES, FOLLOWING THE VILLAGE AND COUNTY'S GUIDELINES FOR PROPER OFF-SITE DISPOSAL.
- FLAMMABLE PRODUCTS AND WASTE ARE STORED WITHIN THE FLAMMABLE MATERIAL STORAGE CABINETS PROVIDED AS PART OF THE OWNER'S EQUIPMENT PACKAGE. CABINETS WILL BE LOCATED IN AREAS WHERE FLAMMABLE MATERIALS ARE USED OR WASTE IS GENERATED.
- 6'x32" VIDEO WALL POWER, DATA, AND SHEETMETAL BLOCKING WITHIN WALL REQUIRED TO RECEIVE NEW MULTI SCREEN VIDEO WALL UNIT.



**1 FIRST FLOOR PLAN**  
1/4" = 1'-0"





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**VDA**  
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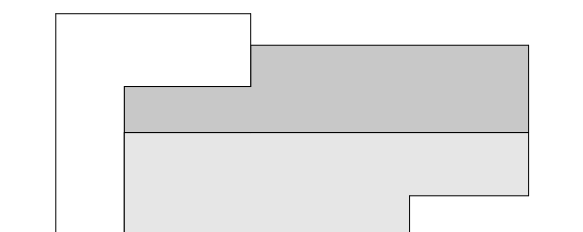
LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
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**CONSTRUCTION SPECIFICATIONS, INC**  
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MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

**2029**  
**THE MASTERS SCHOOL**  
**INNOVATION AND**  
**ENTREPRENEURSHIP**  
**CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

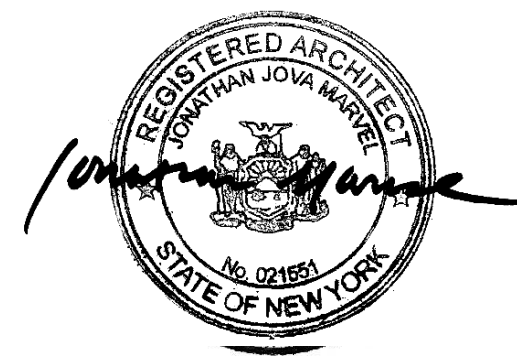
**SECOND FLOOR PLAN**

SCALE:As indicated

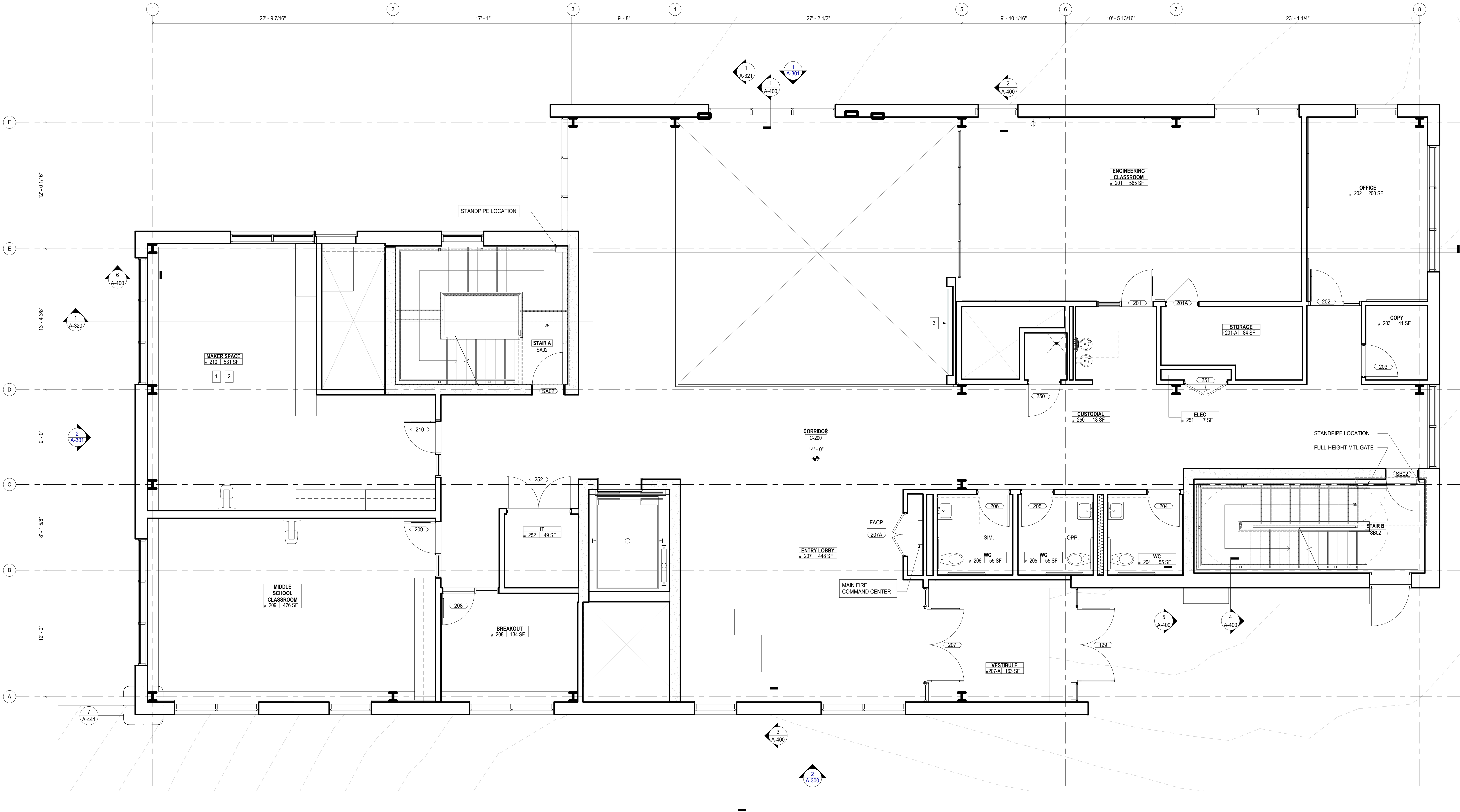
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**A-102**

of

DOB JOB: -



DOB STAMP ZONE



**1 SECOND FLOOR PLAN**  
1/4" = 1'-0"

**PLAN KEYNOTES**

- HAZARDOUS WASTE SHALL NOT BE DISPOSED OF IN TRASH CANS, DUMPSTERS, SEPTIC SYSTEMS, SANITARY SEWERS, STORM DRAINS, WASH RACKS/OIL-WATER SEPARATORS, ON LAND, BY EVAPORATION, NEUTRALIZATION, DILUTION, INCINERATION AND/OR THROUGH ANY OTHER TREATMENT PROCESS, OR IN MUNICIPAL LANDFILLS. ALL WASTE SHALL BE PROPERLY HELD AND DISPOSED OF PER THE SCHOOL'S HAZARDOUS WASTE GUIDELINES, FOLLOWING THE VILLAGE AND COUNTY'S GUIDELINES FOR PROPER OFF-SITE DISPOSAL.
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145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

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- PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
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**DOT DASH LIGHTING DESIGN**  
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07/22/2021

KEY PLAN:NTS

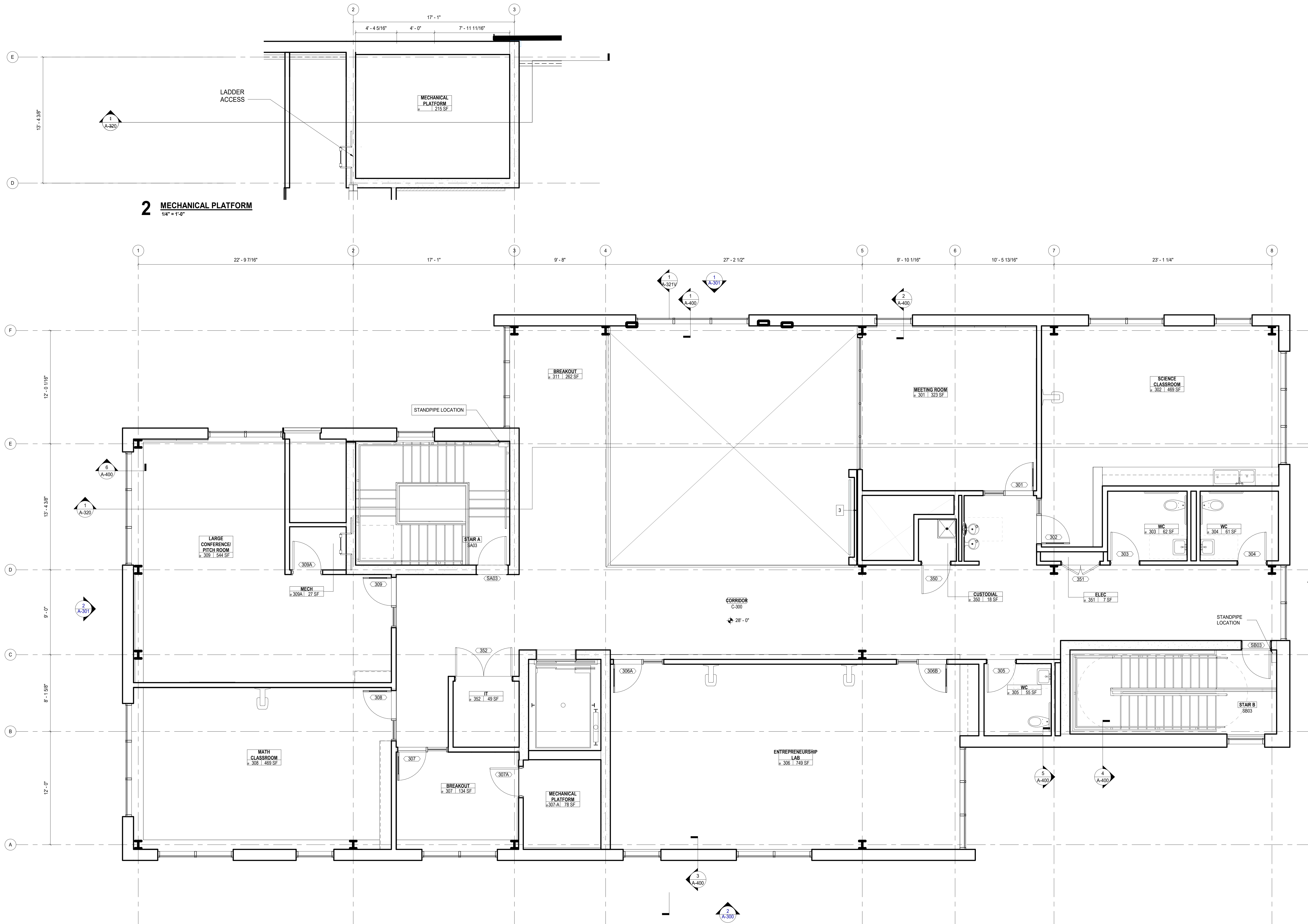
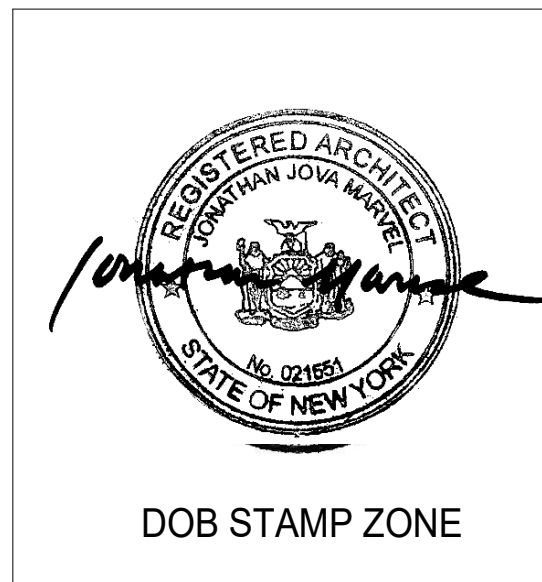
2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**THIRD FLOOR PLAN**

SCALE: 1/4" = 1'-0"

DRAWING #:  
**A-103**  
of  
DOB JOB: -



**1 THIRD FLOOR PLAN**  
1/4" = 1'-0"



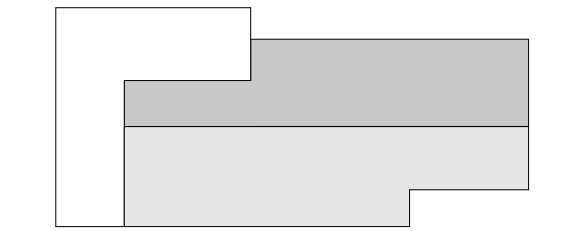


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- VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 869 9090
- AV / IT / SECURITY CONSULTANT  
**COSENTINI ASSOCIATES, INC.**  
498 SEVENTH AVENUE  
NEW YORK, NEW YORK 10018  
TEL 212 615 3500
- ACOUSTICS CONSULTANT  
**LSTN CONSULTANTS**  
76 BEAVER STREET  
NEW YORK, NEW YORK 10005  
TEL 347 788 0810
- ENVELOPE CONSULTANT  
**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
TEL 347 809 6790
- LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #6E  
NEW YORK, NEW YORK 10013  
TEL 212 951 0660
- CODE AND ACCESSIBILITY CONSULTANT  
**CODE CONSULTANTS, INC.**  
440 PARK AVENUE S.  
NEW YORK, NEW YORK 10016  
TEL 212 447 4033
- ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNETT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

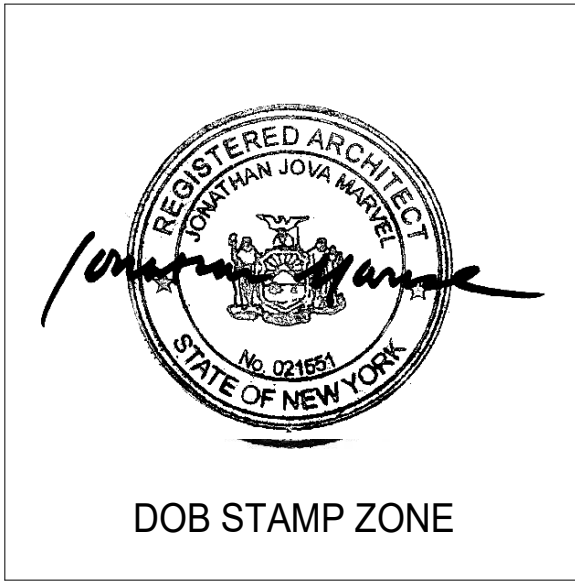
2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBS FERRY, NEW YORK 10522

**ROOF PLAN**

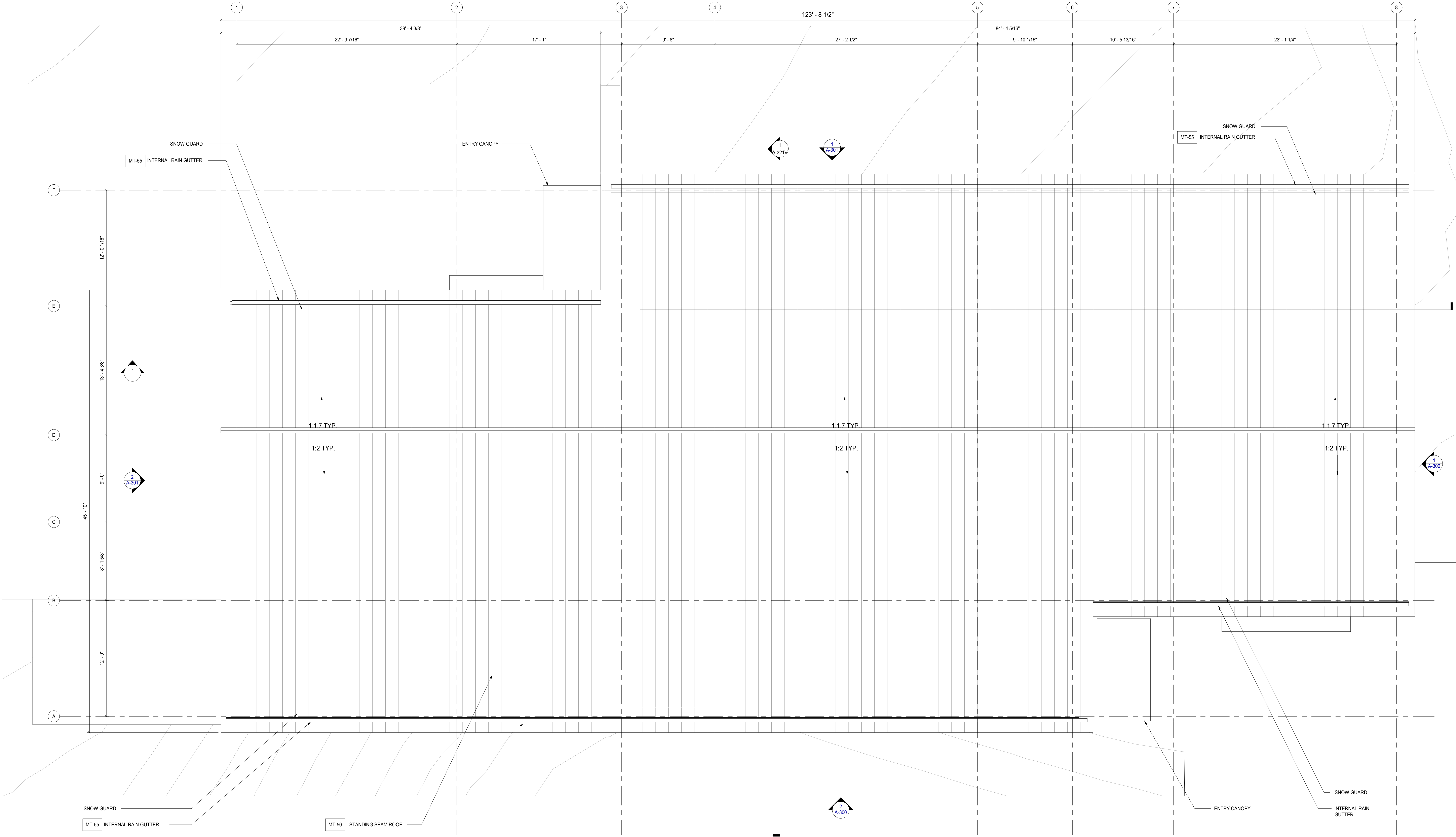
SCALE: 1/4" = 1'-0"

DRAWING #:  
**A-104**  
of  
DOB JOB: -



**MATERIALS LEGEND**

- CONC-50 ARCHITECTURAL CAST IN PLACE  
CONCRETE WITH BOARD FORMED FINISH
- CW-01 BLACK ANODIZED ALUMINUM INSULATED  
CURTAIN WALL SYSTEM
- CW-02 BLACK ANODIZED ALUMINUM INSULATED  
PUNCHED WINDOW SYSTEM
- LV-01 ANODIZED ALUMINUM ARCHITECTURAL EXHAUST  
LOUVER TO MATCH CURTAINWALL SYSTEM
- MT-50 NATURAL FINISH ZINC STANDING SEAM  
FACADE CLADDING
- MT-55 NATURAL FINISH ZINC TRIM
- MT-60 ANODIZED ALUMINUM CLADDING OVER  
TOP OF STEEL FRAME STRUCTURE WITH  
WOOD PLANK MATERIAL AT UNDERSIDE
- WD-50 SOLID WOOD PLANK MEMBERS



**1 ROOF PLAN**  
1/4" = 1'-0"





MARVEL  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

OWNER  
THE MASTERS SCHOOL  
49 CLINTON AVENUE  
DOBS FERRY, NEW YORK 10522  
TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
MARVEL  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER  
MFS ENGINEERS & SURVEYORS, DPC  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622

STRUCTURAL ENGINEER  
SILMAN  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER  
POLISE CONSULTING ENGINEERS, DPC  
133 WEST 19TH STREET  
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TEL 212 645 1002

VERTICAL TRANSPORTATION  
VDA  
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ARCHITECTURAL SPECIFICATIONS  
CONSTRUCTION SPECIFICATIONS, INC  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

MATERIALS LEGEND

CONC-50	ARCHITECTURAL CAST IN PLACE CONCRETE WITH BOARD FORMED FINISH
CW-01	BLACK ANODIZED ALUMINUM INSULATED CURTAIN WALL SYSTEM
CW-02	BLACK ANODIZED ALUMINUM INSULATED PUNCHED WINDOW SYSTEM
LV-01	ANODIZED ALUMINUM ARCHITECTURAL EXHAUST LOUVER TO MATCH CURTAINWALL SYSTEM
MT-50	NATURAL FINISH ZINC STANDING SEAM FACADE CLADDING
MT-55	NATURAL FINISH ZINC TRIM
MT-60	ANODIZED ALUMINUM CLADDING OVER TOP OF STEEL FRAME STRUCTURE WITH WOOD PLANK MATERIAL AT UNDERSIDE
WD-50	SOLID WOOD PLANK MEMBERS



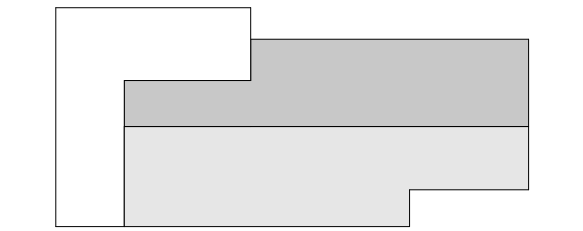
2 WEST ELEVATION  
1/8" = 1'-0"



1 SOUTH ELEVATION  
1/8" = 1'-0"

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBS FERRY
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3	07/22/2021	SITE APPLICATION

07/22/2021



KEY PLAN:NTS

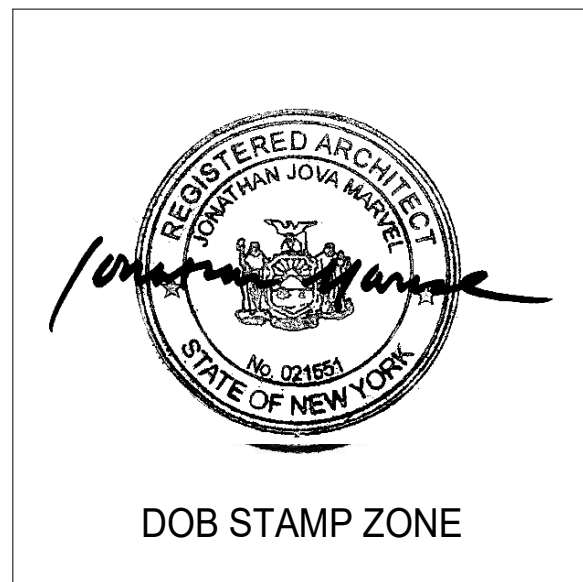
2029  
THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER

49 CLINTON AVENUE  
DOBS FERRY, NEW YORK 10522

BUILDING ELEVATIONS

SCALE:As indicated

DRAWING #:  
A-300  
of  
DOB JOB: -







**MARVEL**  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

OWNER  
**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
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**MFS ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622

STRUCTURAL ENGINEER  
**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
135 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 869 9090

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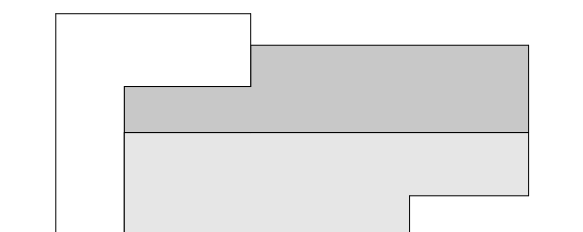
LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
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TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT  
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ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
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REV	DATE	DESCRIPTION
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		RESUBMISSION

07/22/2021



KEY PLAN:NTS

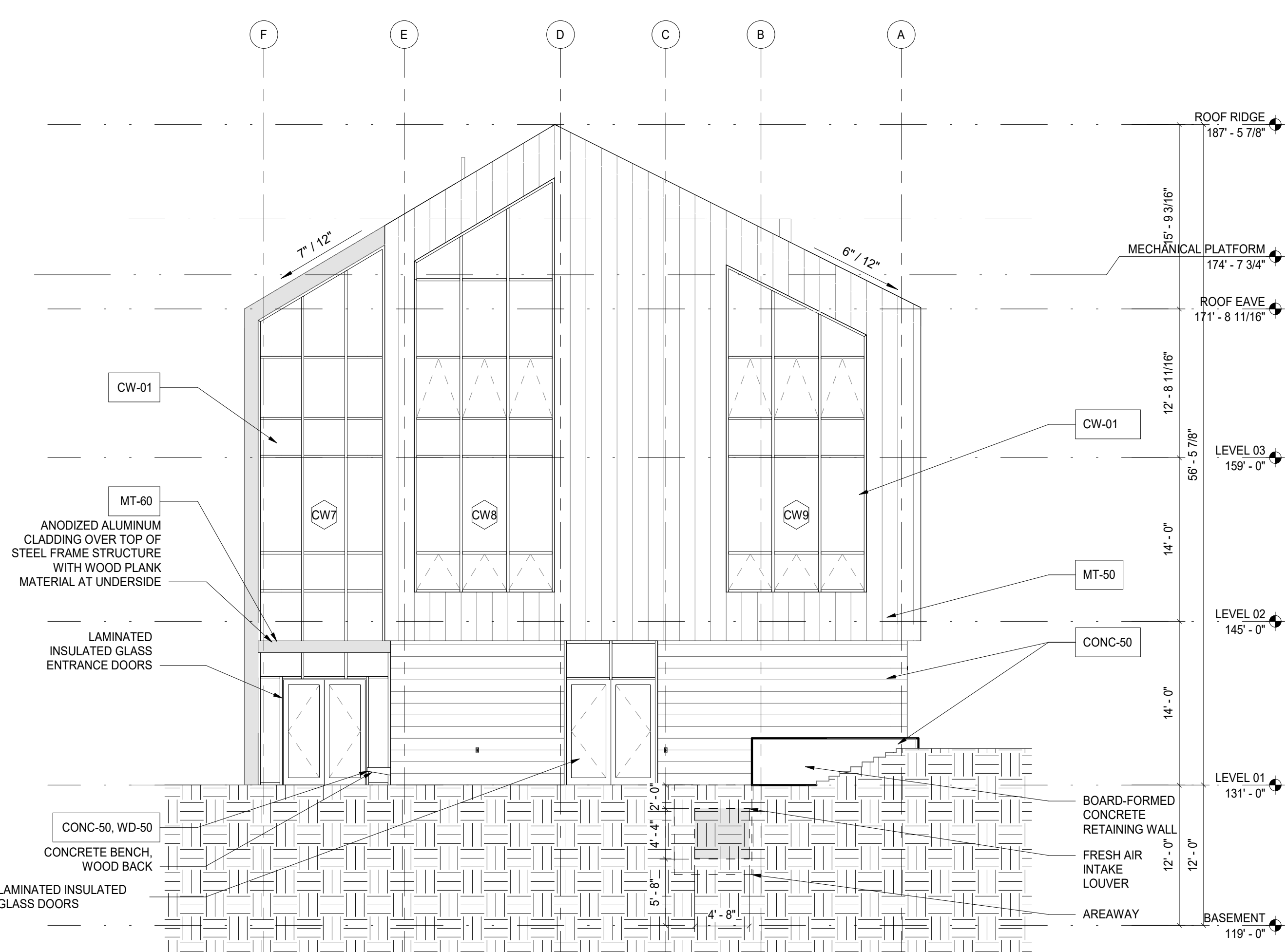
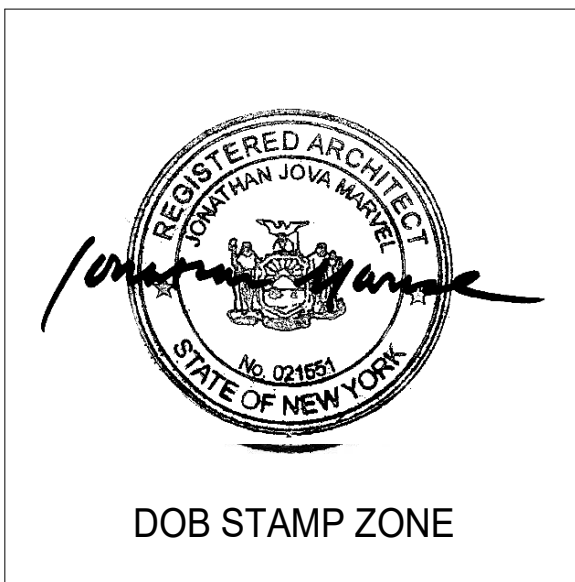
2029  
**THE MASTERS SCHOOL  
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CENTER**

49 CLINTON AVENUE  
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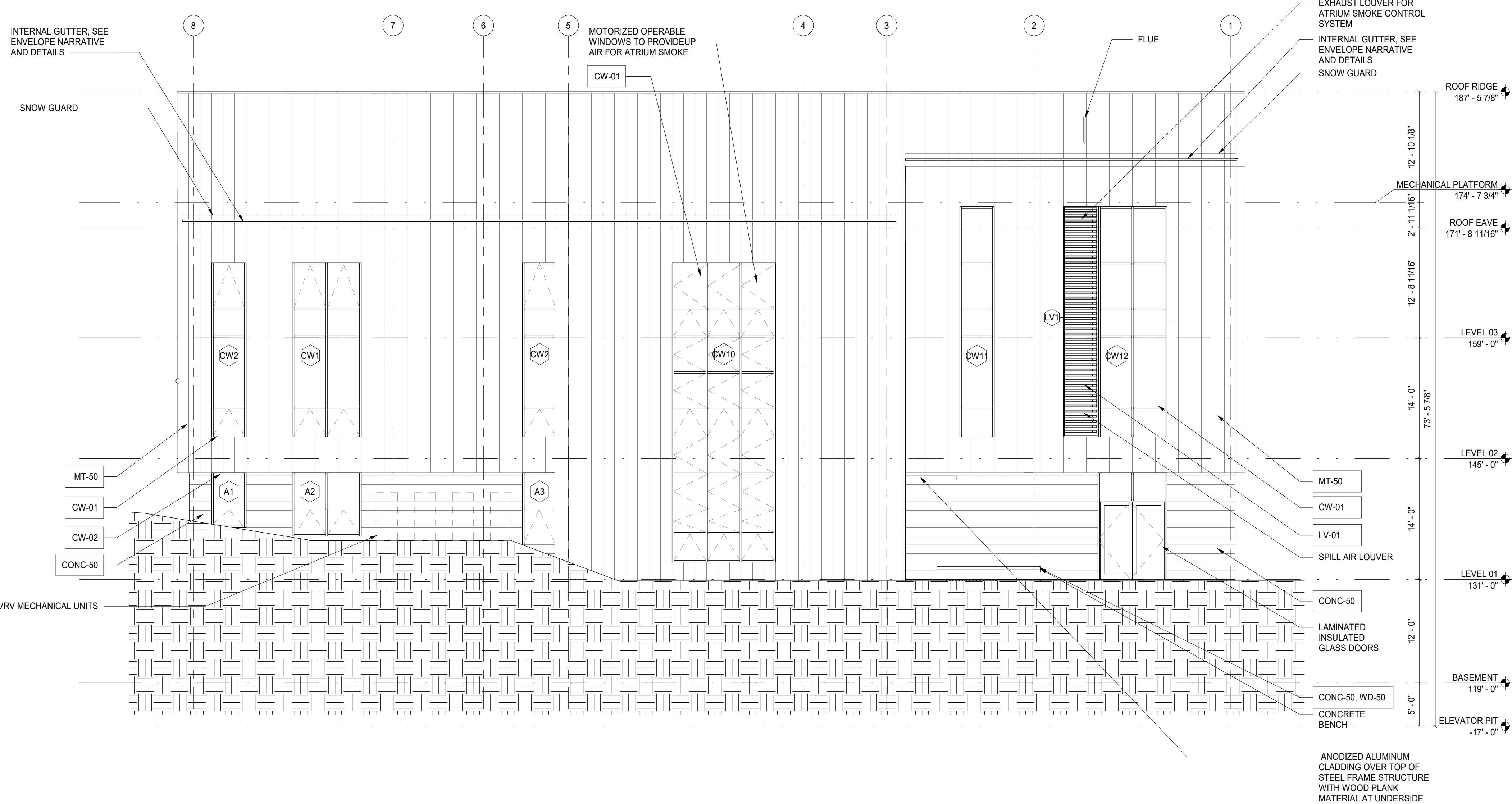
**BUILDING ELEVATIONS**

SCALE:As indicated

DRAWING #:  
**A-301**  
of  
DOB JOB: -



**2 NORTH ELEVATION**  
1/8" = 1'-0"



**1 EAST ELEVATION**  
1/8" = 1'-0"





**MARVEL**  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

OWNER  
**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER  
**MFS ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622

STRUCTURAL ENGINEER  
**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 869 5090

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**LSTN CONSULTANTS**  
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ENVELOPE CONSULTANT  
**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
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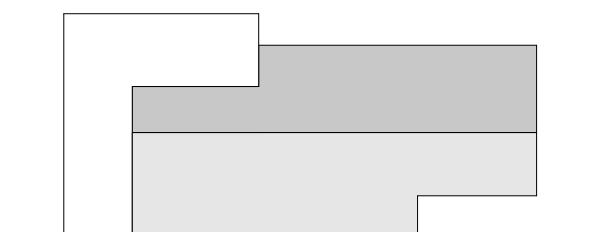
LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #6E  
NEW YORK, NEW YORK 10013  
TEL 212 951 0660

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**CODE CONSULTANTS, INC.**  
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NEW YORK, NEW YORK 10016  
TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

REV	DATE	DESCRIPTION
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3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN: NTS

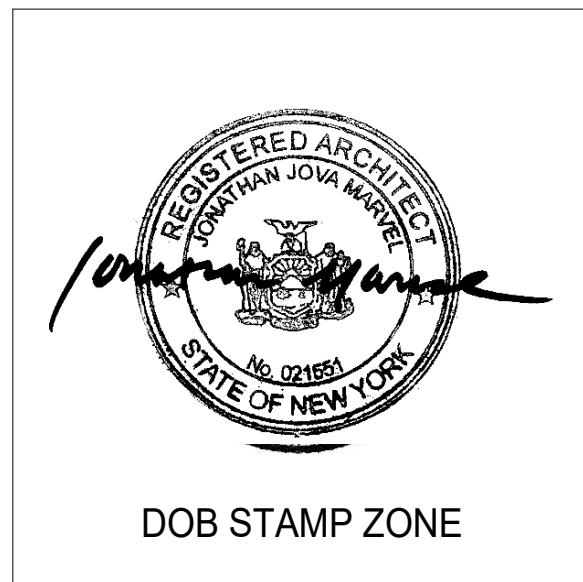
2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

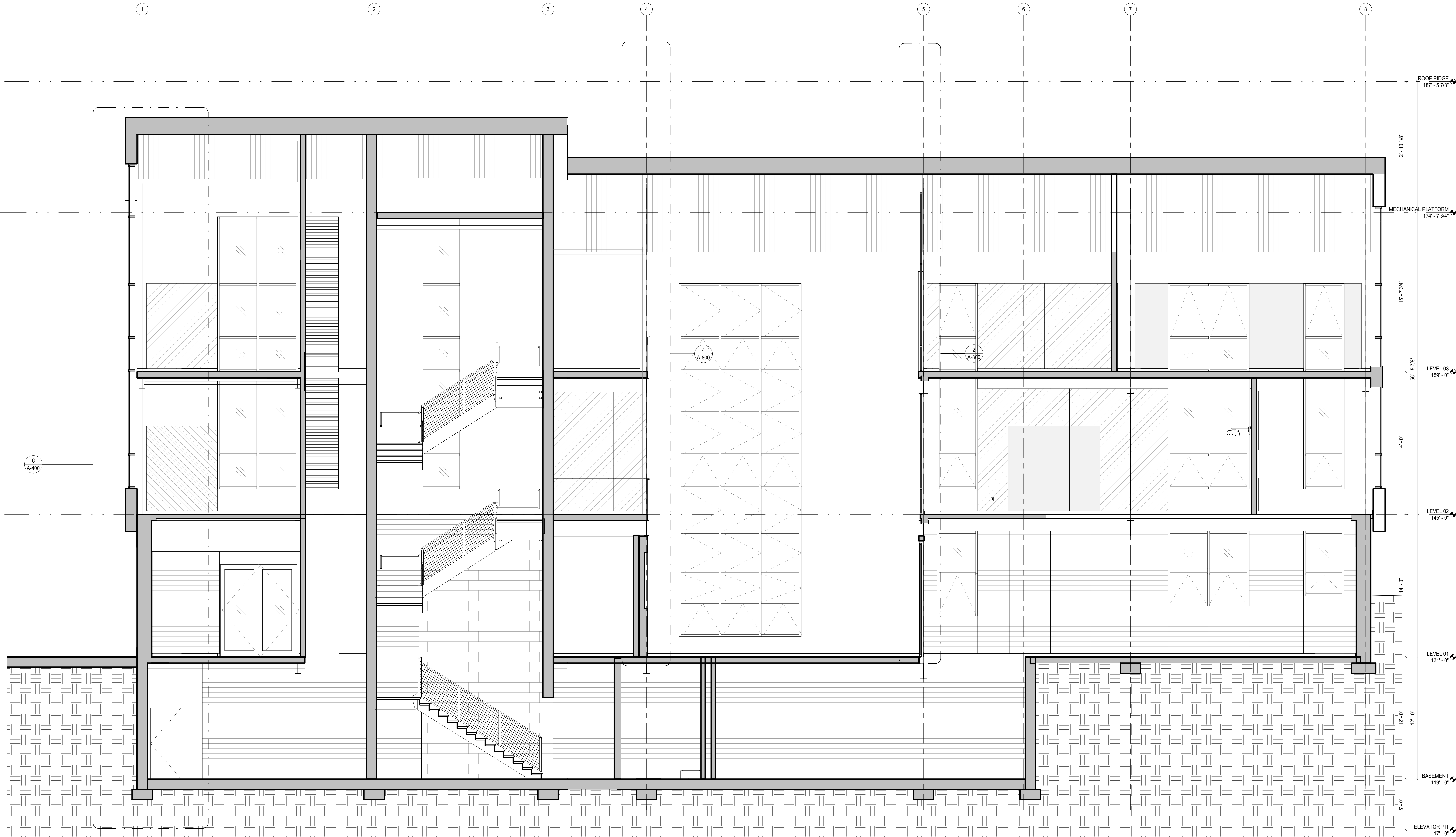
**BUILDING SECTIONS**

SCALE: 1/4" = 1'-0"

DRAWING #:  
**A-320**  
of  
DOB JOB: -



DOB STAMP ZONE



**1 BUILDING SECTION - LONGITUDINAL - EAST SIDE**  
1/4" = 1'-0"





## MARVEL

145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

### OWNER

**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

### PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS

**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420

**GEOTECHNICAL / CIVIL ENGINEER**  
**MFS ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622

### STRUCTURAL ENGINEER

**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

### BUILDING SYSTEMS ENGINEER

**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

### VERTICAL TRANSPORTATION

**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 869 9090

### AV / IT / SECURITY CONSULTANT

**COSENTINI ASSOCIATES, INC.**  
498 SEVENTH AVENUE  
NEW YORK, NEW YORK 10018  
TEL 212 615 3600

### ACOUSTICS CONSULTANT

**LSTN CONSULTANTS**  
76 BEAVER STREET  
NEW YORK, NEW YORK 10005  
TEL 347 788 0810

### ENVELOPE CONSULTANT

**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
TEL 347 809 6790

### LIGHTING DESIGNER

**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #6E  
NEW YORK, NEW YORK 10013  
TEL 212 951 0660

### CODE AND ACCESSIBILITY CONSULTANT

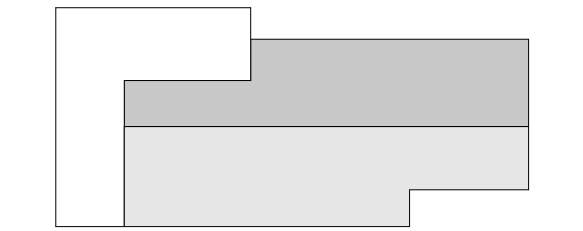
**CODE CONSULTANTS, INC.**  
440 PARK AVENUE S.  
NEW YORK, NEW YORK 10016  
TEL 212 447 4033

### ARCHITECTURAL SPECIFICATIONS

**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNETT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

REV	DATE	DESCRIPTION
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07/22/2021



### KEY PLAN:NTS

2029

## THE MASTERS SCHOOL INNOVATION AND ENTREPRENEURSHIP CENTER

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

### BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

DRAWING #:

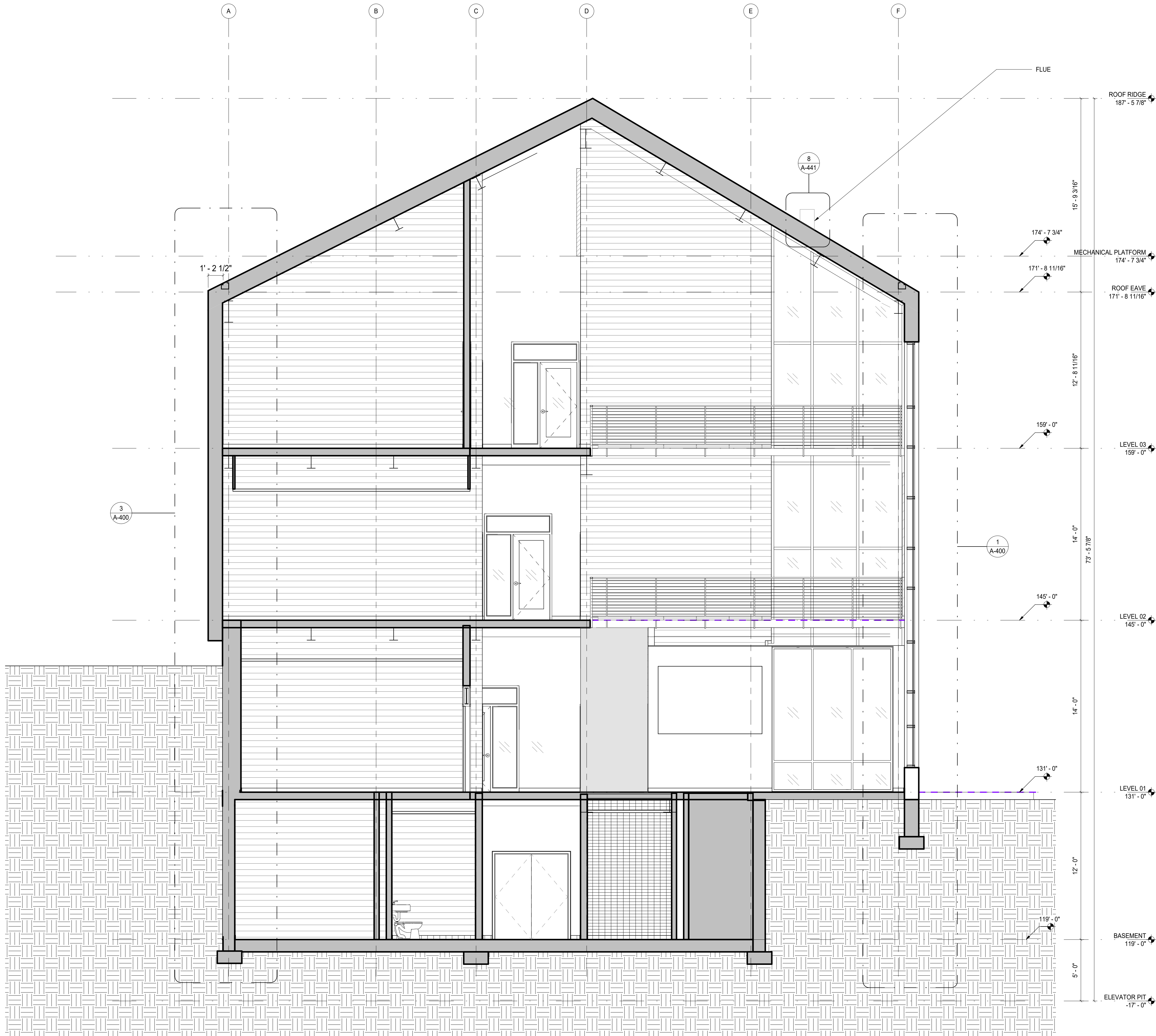
**A-321**

of

DOB JOB: -



DOB STAMP ZONE



### 1 BUILDING SECTION - CROSS

1/4" = 1'-0"





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212.616.0420

OWNER  
**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 6400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
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**MFS ENGINEERS & SURVEYORS, DPC**  
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SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4822

STRUCTURAL ENGINEER  
**SILMAN**  
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NEW YORK, NEW YORK 10005  
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
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NEW YORK, NEW YORK 10011  
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VERTICAL TRANSPORTATION  
**VDA**  
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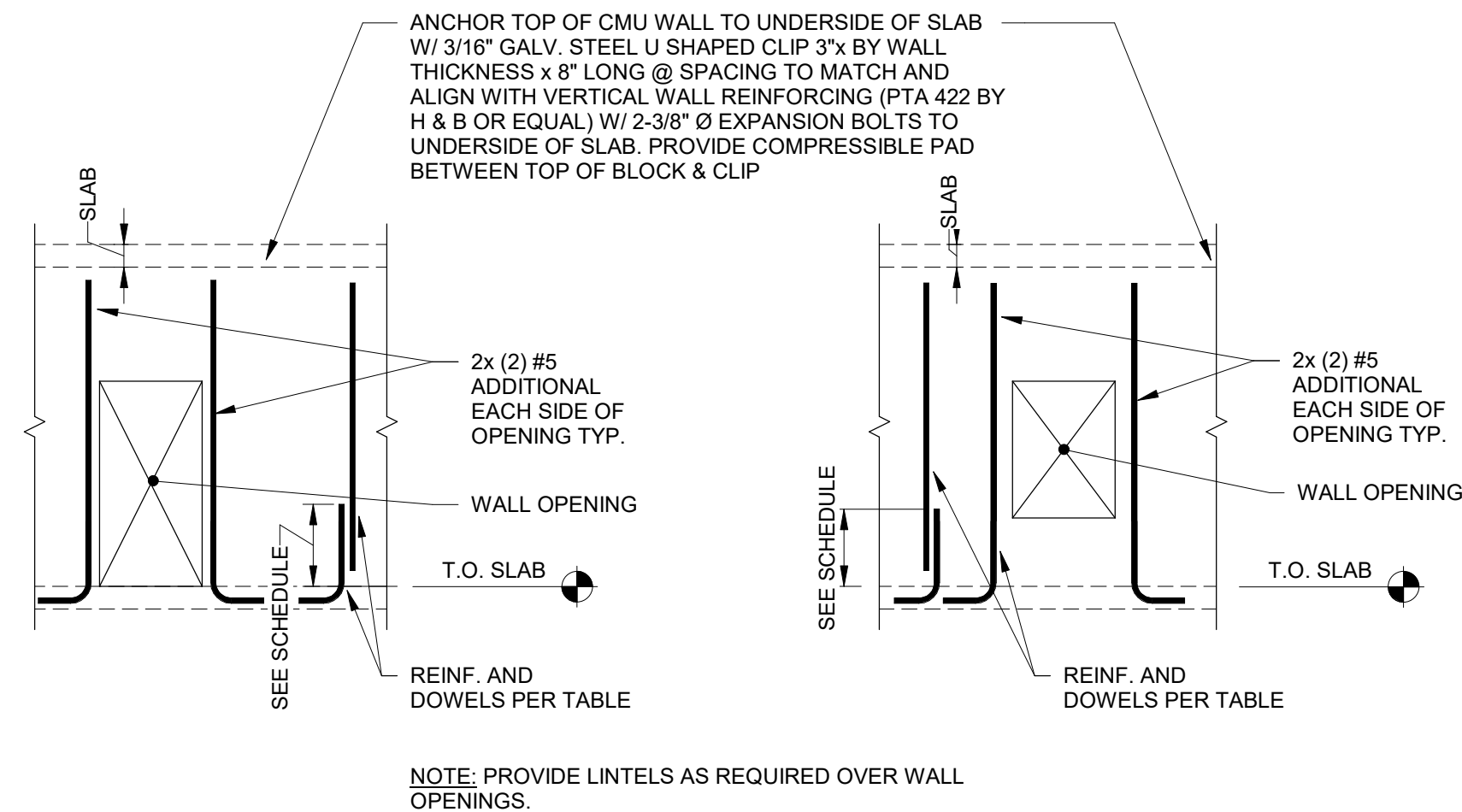
ENVELOPE CONSULTANT  
**MW-SKINS**  
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**CONSTRUCTION SPECIFICATIONS, INC**  
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MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

GEOTHERMAL ENGINEER



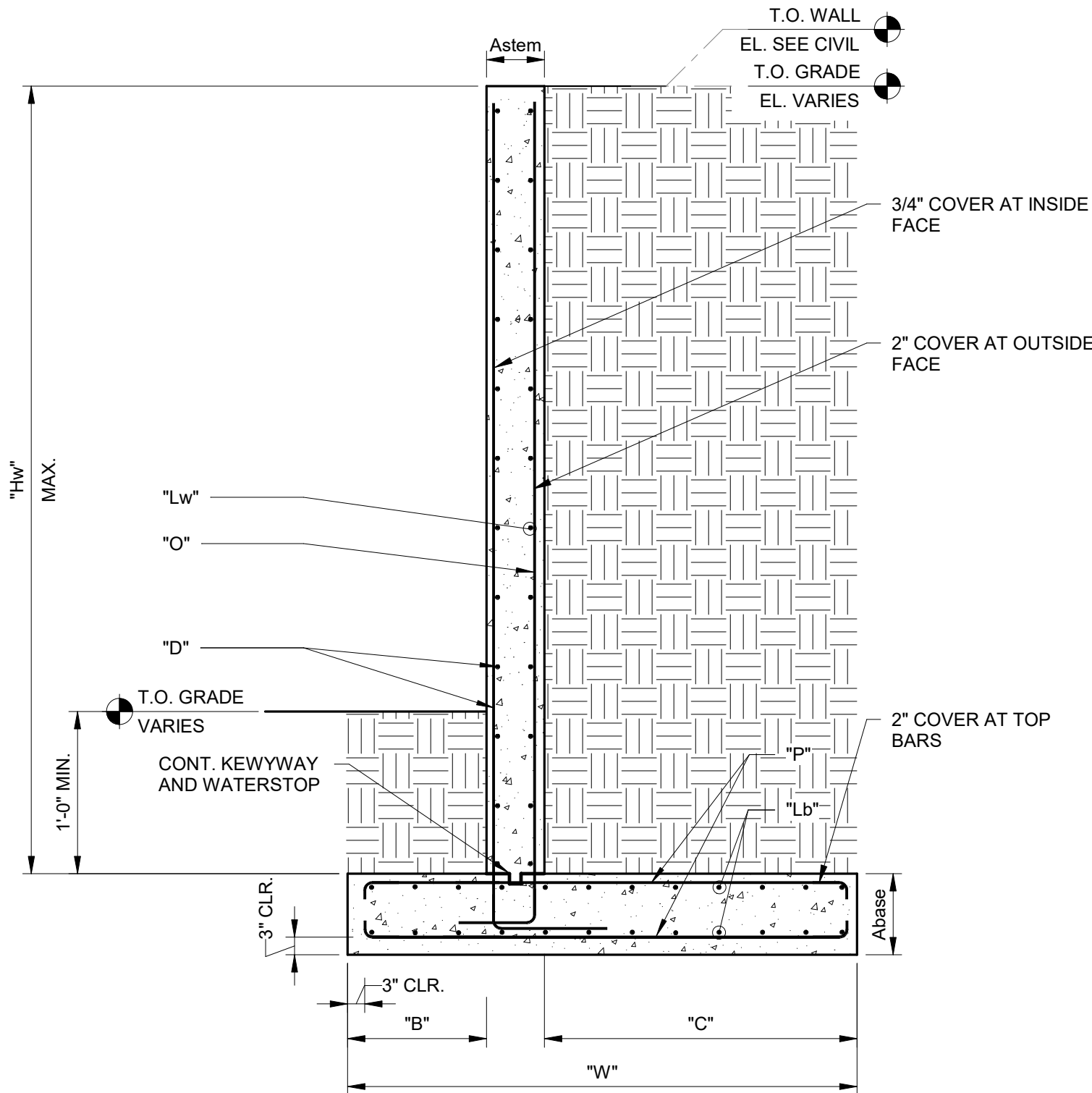
NOTE: PROVIDE LINTELS AS REQUIRED OVER WALL OPENINGS.

INTERIOR WALLS				
NOMINAL CMU THICKNESS	VERTICAL REBAR	HORIZONTAL REBAR	MAXIMUM HEIGHT (FT)	DOWELS
6"	#4 @ 48"	9 GAGE LADDER REINFORCING @ 16" O.C.	23'-6"	SAME AS VERTICAL BARS
8"	#4 @ 48"	9 GAGE LADDER REINFORCING @ 16" O.C.	27'-7"	SAME AS VERTICAL BARS

EXTERIOR WALLS				
NOMINAL CMU THICKNESS	VERTICAL REBAR	HORIZONTAL REBAR	MAXIMUM HEIGHT (FT)	DOWELS
6"	#5 @ 24"	9 GAGE LADDER REINFORCING @ 16" O.C.	14'-6"	SAME AS VERTICAL BARS
8"	#5 @ 24"	9 GAGE LADDER REINFORCING @ 16" O.C.	18'-8"	SAME AS VERTICAL BARS

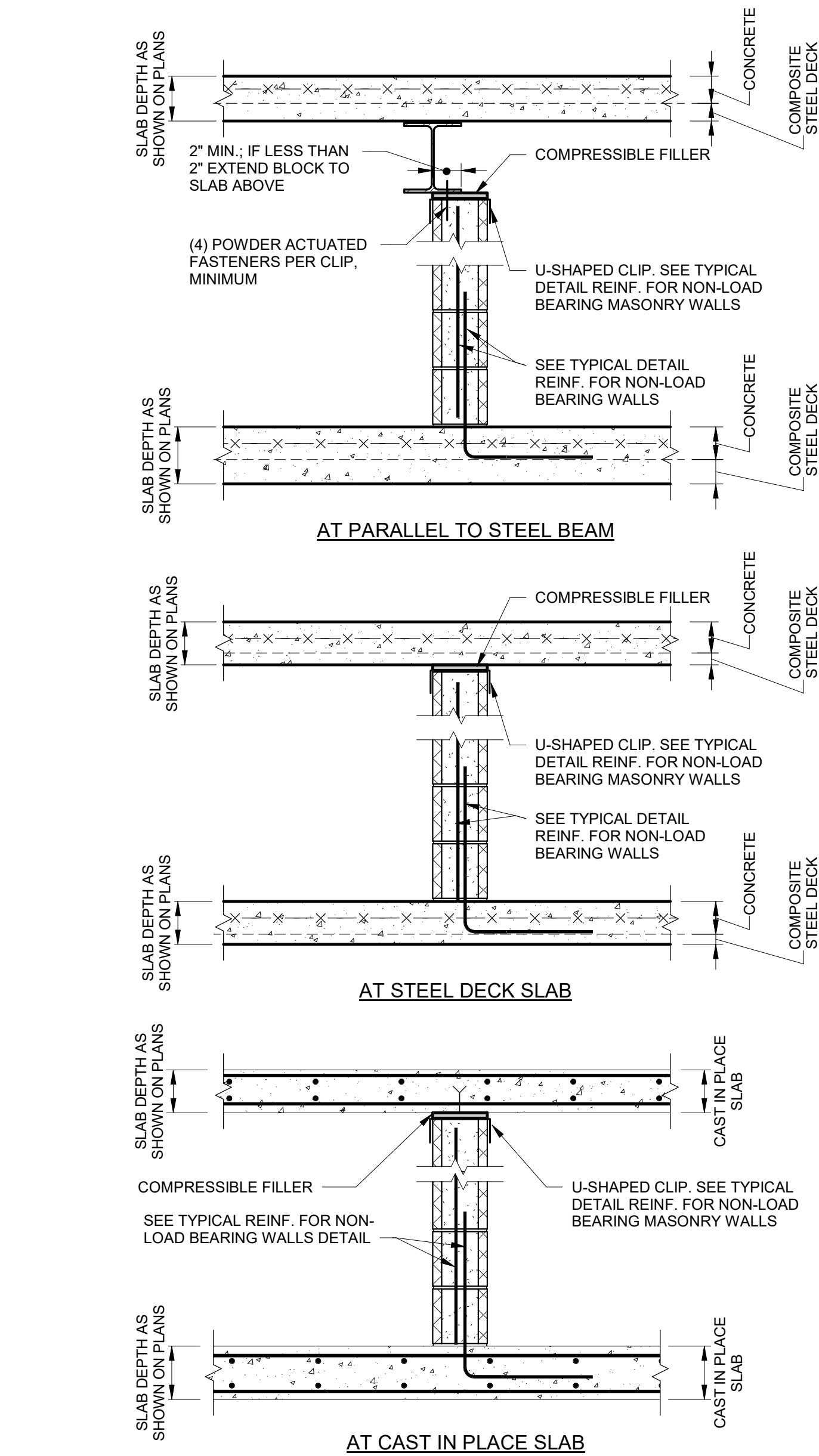
**TYPICAL REINFORCING FOR NON-BEARING MASONRY WALLS (PLAN)**  
N.T.S.

WALL TYPE	HEIGHT ABOVE BASE (Hw)	STEM THICKNESS (Astem)	HEEL (C)	WITH OF BASE (W)	BASE DEPTH (Abase)	"O" BARS	"D" BARS	"Lw" BARS	"P" BARS	"Lb" BARS
	ft.	in.	ft-in.	ft-in.	ft-in.	SIZE @ in.	SIZE @ in.	SIZE @ in.	SIZE @ in.	SIZE @ in.
W101	0'-6"	12"	2'-6"	4'-6"	1'-0"	#4 @ 12	#4 @ 12	#4 @ 12	#5 @ 12	#4 @ 12
W102	6'-12"	12"	4'-6"	7'-0"	1'-0"	#7 @ 12	#4 @ 12	#4 @ 12	#7 @ 12	#4 @ 12

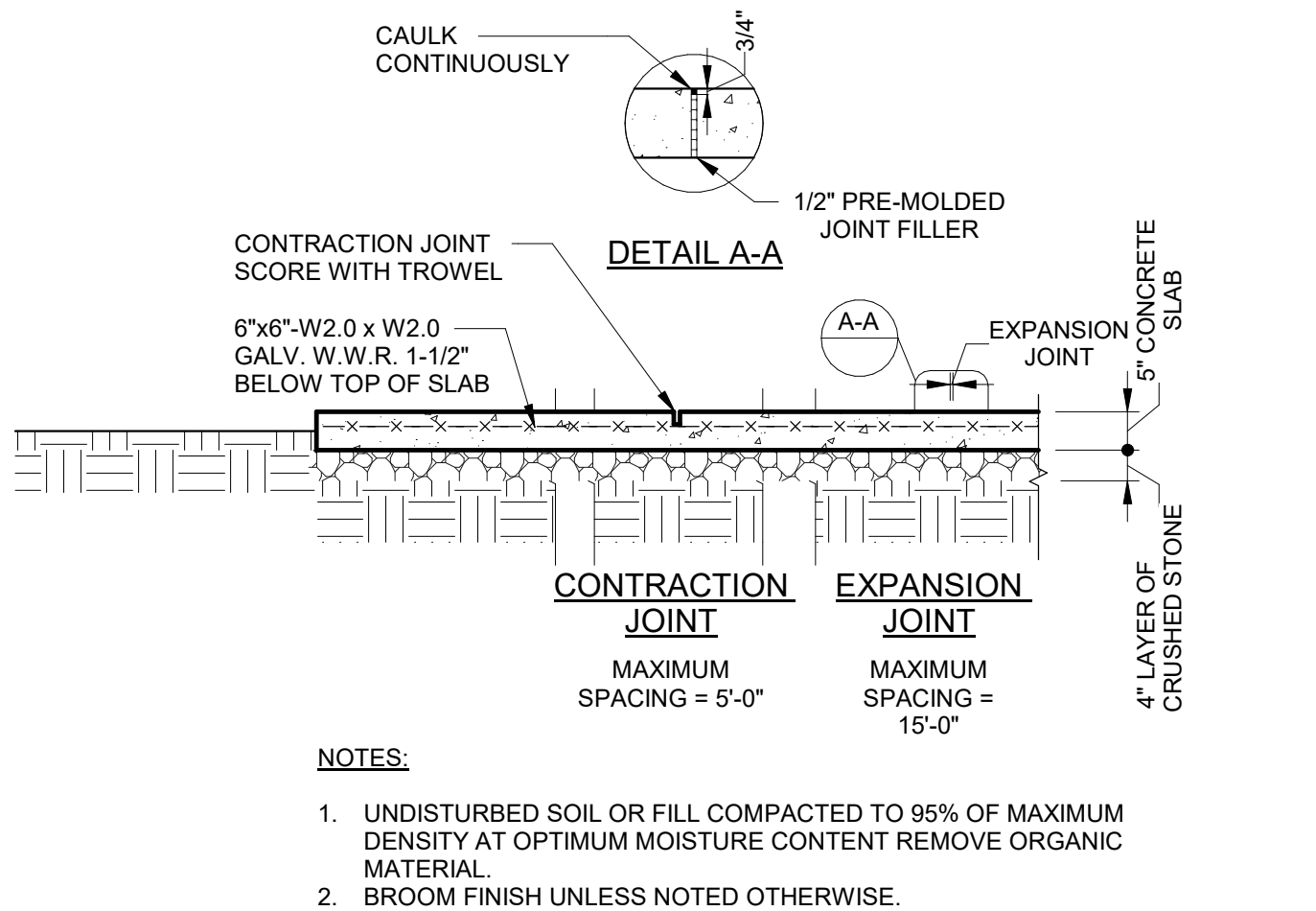


- FOR TOP OF WALL, GRADE ELEVATION AND LOCATION, SEE CIVIL, LANDSCAPE AND ARCH. DWGS.
- REFER TO TYPICAL DETAILS FOR CONTROL JOINT & EXPANSION JOINT DETAILS, AND REQUIRED JOINT SPACINGS. RETAINING WALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR CONTROLLED COMPACTED BACKFILL HAVING A MINIMUM SAFE BEARING CAPACITY OF TWO TONS PER SQ.FT.
- REFER TO CIVIL DRAWINGS FOR LENGTH AND LOCATION OF RETAINING WALLS.

**TYPICAL CONCRETE SITE RETAINING WALL DETAIL**  
N.T.S.

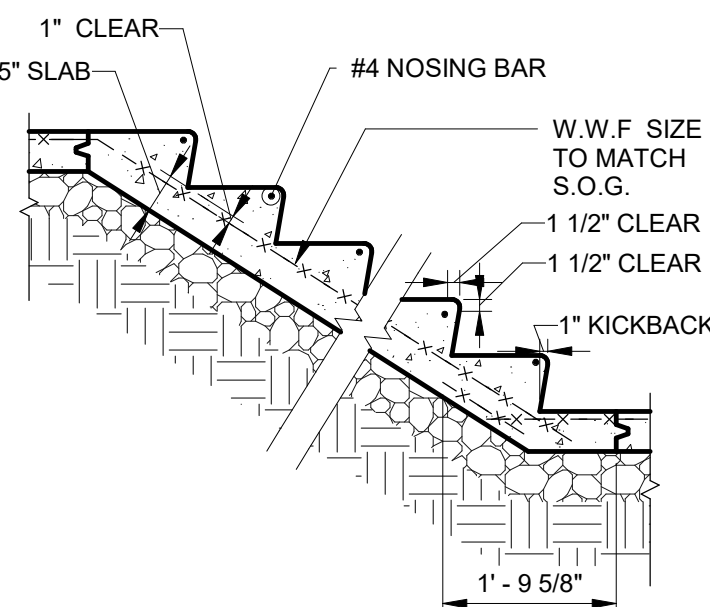


**TYPICAL SUPPORT FOR MASONRY PARTITIONS AT CONCRETE SLAB**  
N.T.S.

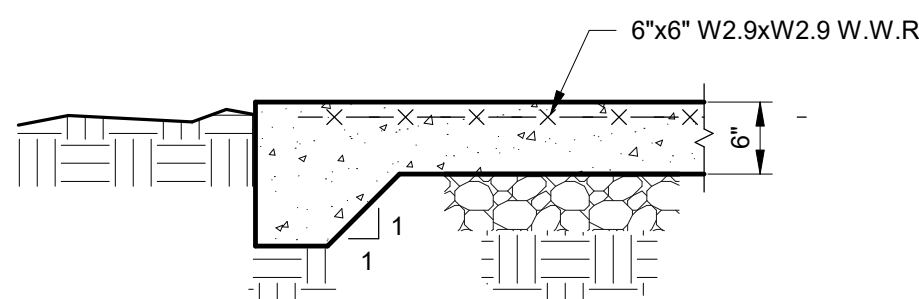


- NOTES:
- UNDISTURBED SOIL OR FILL COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT REMOVE ORGANIC MATERIAL.
  - BROOM FINISH UNLESS NOTED OTHERWISE.

**TYPICAL EXTERIOR PAVING**  
N.T.S.



**TYPICAL STAIR ON GRADE**  
N.T.S.

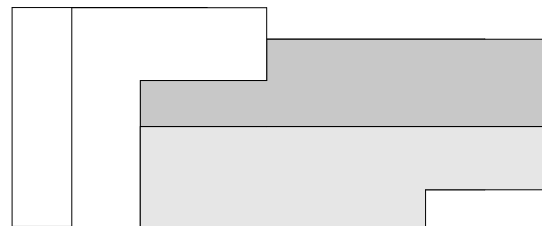


- NOTES:
- FOR SIZE AND LOCATION SEE ARCHITECTURAL AND MECHANICAL DRAWINGS.
  - CONCRETE FOR PADS SHALL BE NORMAL WEIGHT WITH  $f_c = 4000$  PSI
  - THREADED RODS TO BE 3/8" Ø A-36 STEEL IN EXPANSION INSERTS @ 18" O.C. HY-200 ADHESIVE OR APPROVED EQUAL.

**TYPICAL EQUIPMENT PAD ON GRADE (EXTERIOR)**  
N.T.S.

REV	DATE	DESCRIPTION
1	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN: NTS  
19856  
**THE MASTERS SCHOOL**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

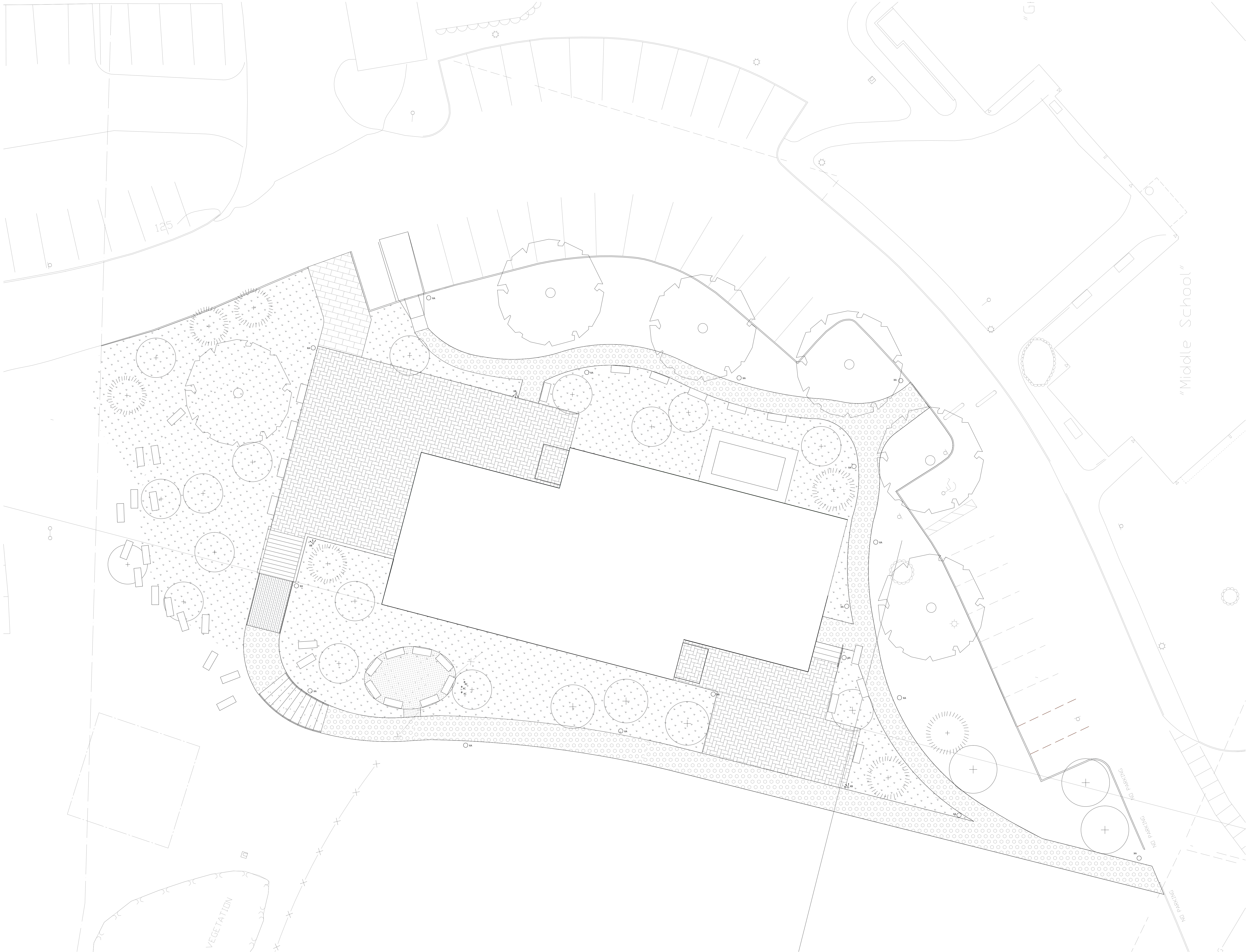
**TYPICAL DETAILS**

SCALE: As indicated

DRAWING #:  
**S-505**  
of  
DOB JOB: -

DOB STAMP ZONE





**MARVEL**  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

OWNER  
**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 8400

PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420

GEOTECHNICAL / CIVIL ENGINEER  
**MFS ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622

STRUCTURAL ENGINEER  
**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970

BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002

VERTICAL TRANSPORTATION  
**VDA**  
145 WEST 30TH STREET, FLOOR 4  
NEW YORK, NEW YORK 10001  
TEL 212 869 9090

AV / IT / SECURITY CONSULTANT  
**COSENTINI ASSOCIATES, INC.**  
498 SEVENTH AVENUE  
NEW YORK, NEW YORK 10018  
TEL 212 615 3600

ACOUSTICS CONSULTANT  
**LSTN CONSULTANTS**  
76 BEAVER STREET  
NEW YORK, NEW YORK 10005  
TEL 347 788 0810

ENVELOPE CONSULTANT  
**MW-SKINS**  
1 WHITEHALL STREET, FLOOR 14  
NEW YORK, NEW YORK 10004  
TEL 347 809 6790

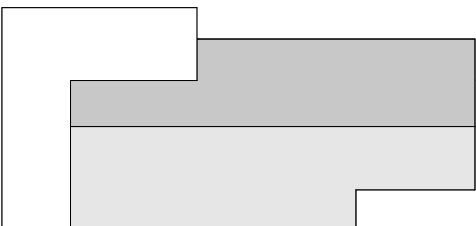
LIGHTING DESIGNER  
**DOT DASH LIGHTING DESIGN**  
120 WALKER STREET, SUITE #6E  
NEW YORK, NEW YORK 10013  
TEL 212 951 0660

CODE AND ACCESSIBILITY CONSULTANT  
**CODE CONSULTANTS, INC.**  
440 PARK AVENUE S.  
NEW YORK, NEW YORK 10016  
TEL 212 447 4033

ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNET ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN:NTS

2029  
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**LANDSCAPE LIGHTING  
PLAN**

SCALE: 3/32" = 1'-0"

DRAWING #:  
**LC-010**  
of  
DOB JOB: -



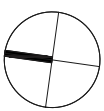
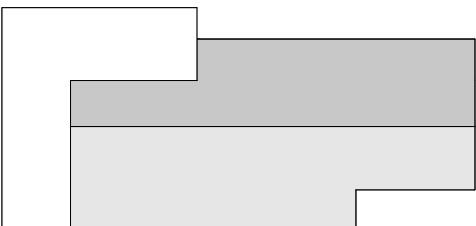


**MARVEL**  
145 HUDSON STREET, FLR 3 NEW YORK, NY 10013  
212.616.0420

- OWNER  
**THE MASTERS SCHOOL**  
49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522  
TEL 914 479 8400
- PROJECT ARCHITECTS + LANDSCAPE ARCHITECTS  
**MARVEL**  
145 HUDSON STREET, FLOOR 3  
NEW YORK, NEW YORK 10013  
TEL 212 616 0420
- GEOTECHNICAL / CIVIL ENGINEER  
**MFS ENGINEERS & SURVEYORS, DPC**  
2780 HAMILTON BOULEVARD  
SOUTH PLAINFIELD, NEW JERSEY 07080  
TEL 908 922 4622
- STRUCTURAL ENGINEER  
**SILMAN**  
32 OLD SLIP, FLOOR 10  
NEW YORK, NEW YORK 10005  
TEL 212 620 7970
- BUILDING SYSTEMS ENGINEER  
**POLISE CONSULTING ENGINEERS, DPC**  
133 WEST 19TH STREET  
NEW YORK, NEW YORK 10011  
TEL 212 645 1002
- VERTICAL TRANSPORTATION  
**VDA**  
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- ARCHITECTURAL SPECIFICATIONS  
**CONSTRUCTION SPECIFICATIONS, INC**  
22 TENNENT ROAD  
MORGANVILLE, NEW JERSEY 07751  
TEL 732 970 0700

REV	DATE	DESCRIPTION
1	02/17/2021	VILLAGE OF DOBBS FERRY SITE APPLICATION
2	06/17/2021	SITE APPLICATION RESUBMISSION
3	07/22/2021	SITE APPLICATION RESUBMISSION

07/22/2021



KEY PLAN: NTS

2029

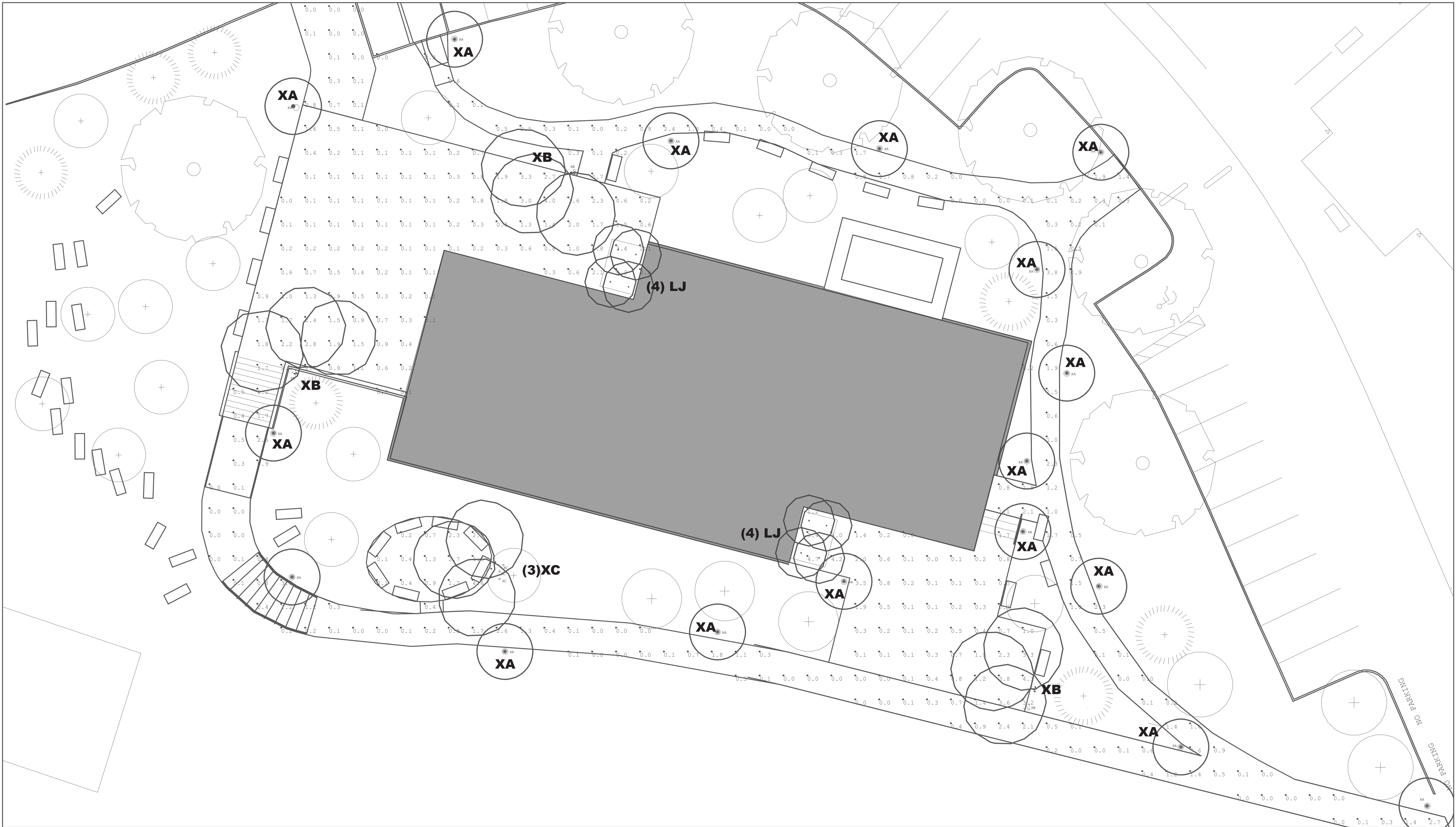
**THE MASTERS SCHOOL  
INNOVATION AND  
ENTREPRENEURSHIP  
CENTER**

49 CLINTON AVENUE  
DOBBS FERRY, NEW YORK 10522

**LANDSCAPE LIGHTING  
PHOTOMETRIC PLAN**

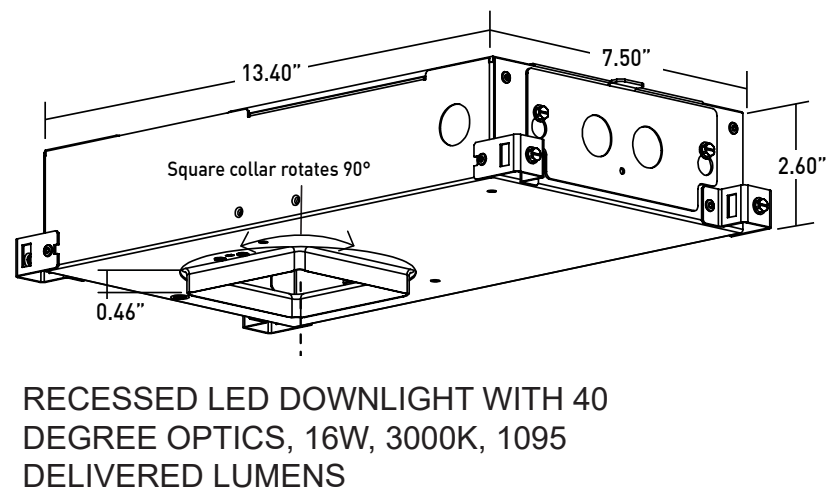
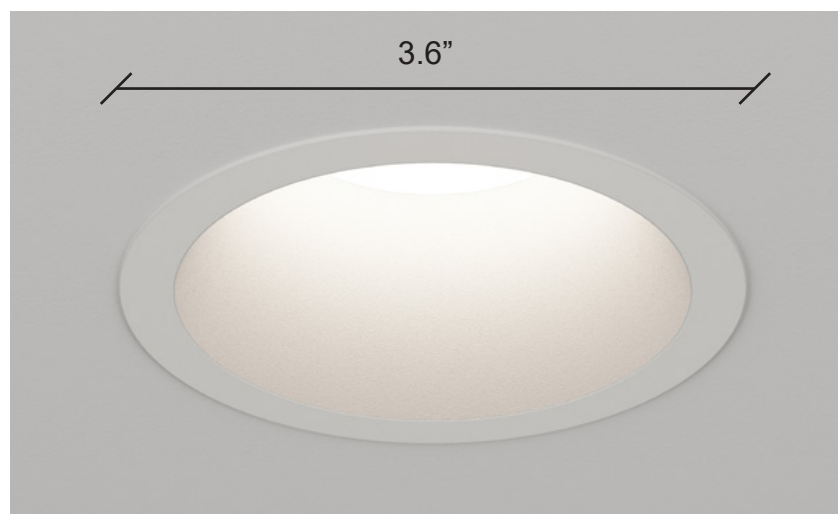
SCALE: NTS

DRAWING #:  
**LC-011**  
of  
DOB JOB: -

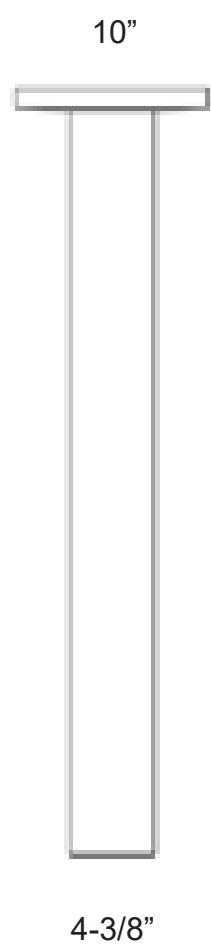


## EXTERIOR LIGHTING PLAN (NTS)

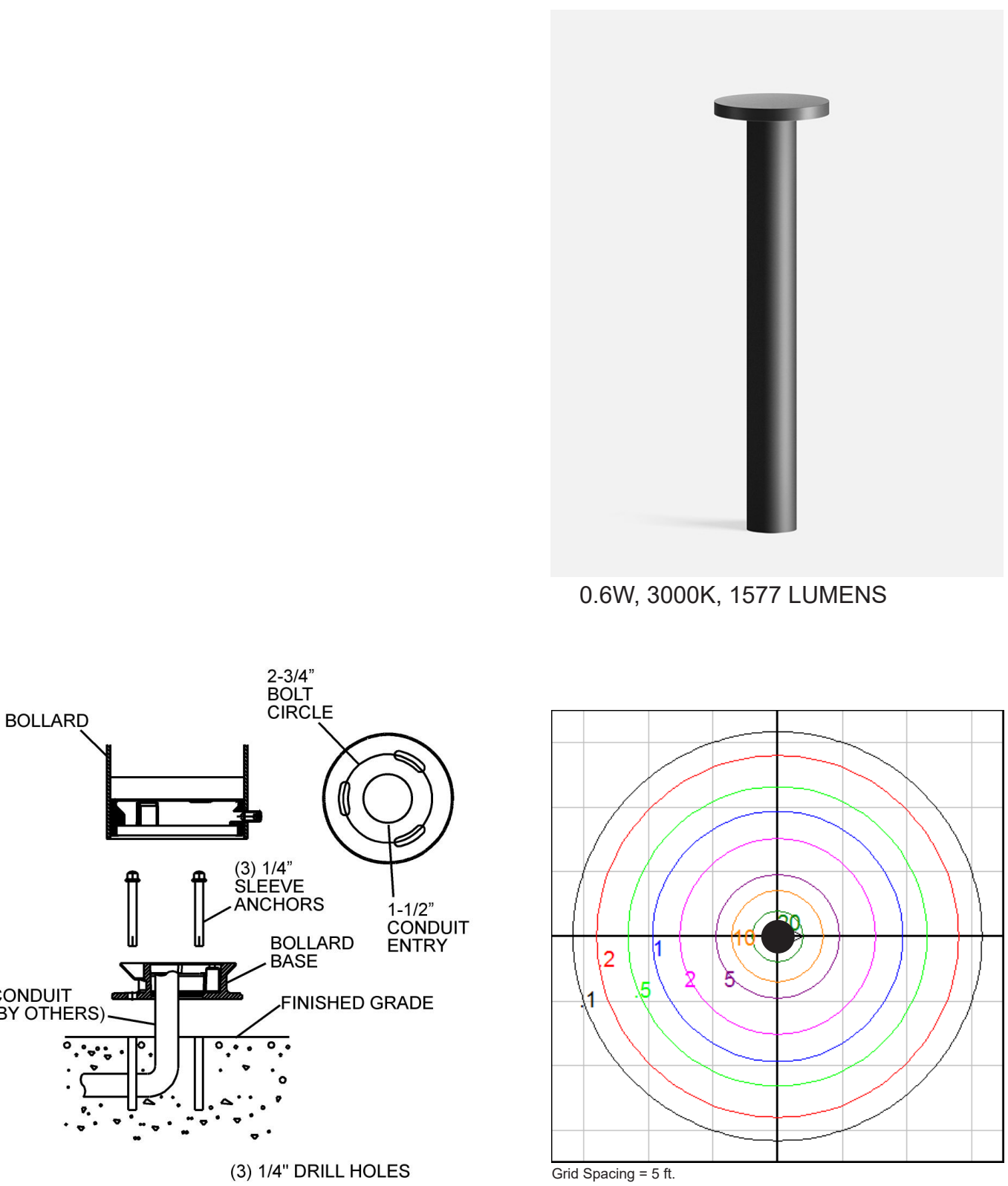
ALL EXTERIOR LIGHTING SHALL COMPLY WITH THE GENERAL STANDARDS AND MAXIMUM LIGHT LEVELS PER SECTION 300-41 OF THE ZONING CODE



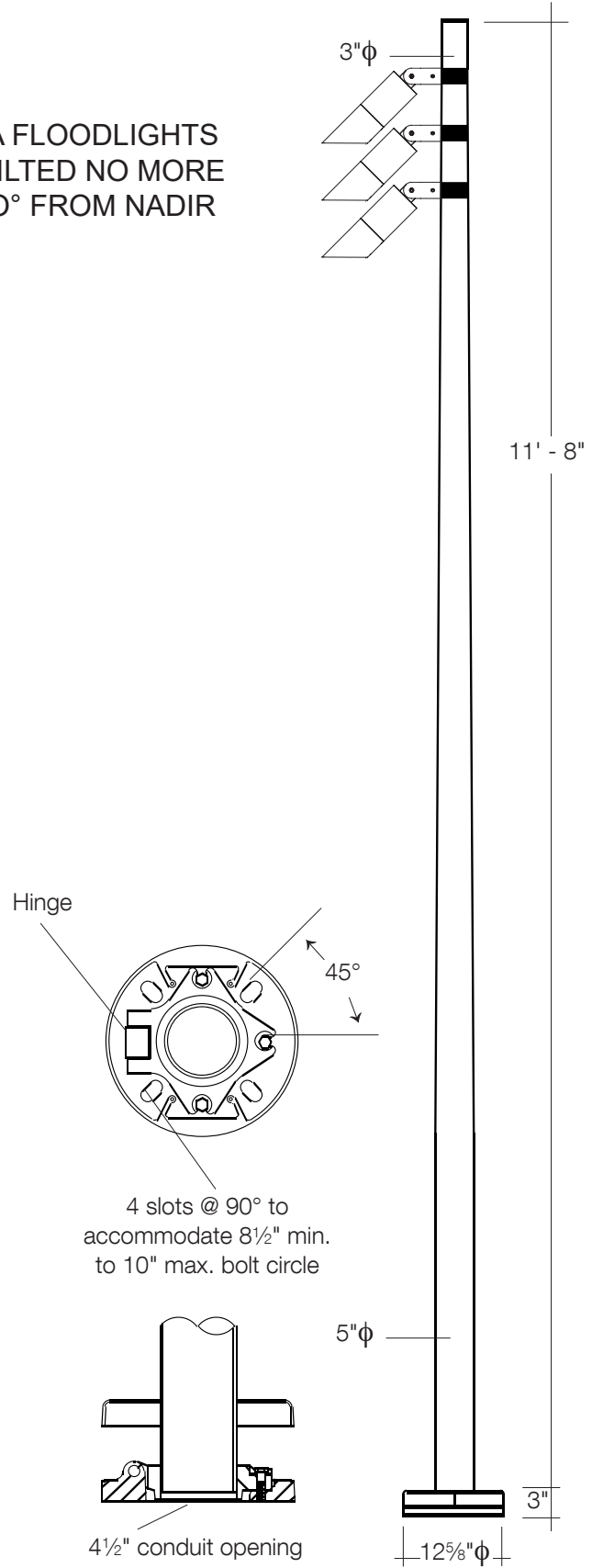
TYPE LJ CANOPY DOWNLIGHT



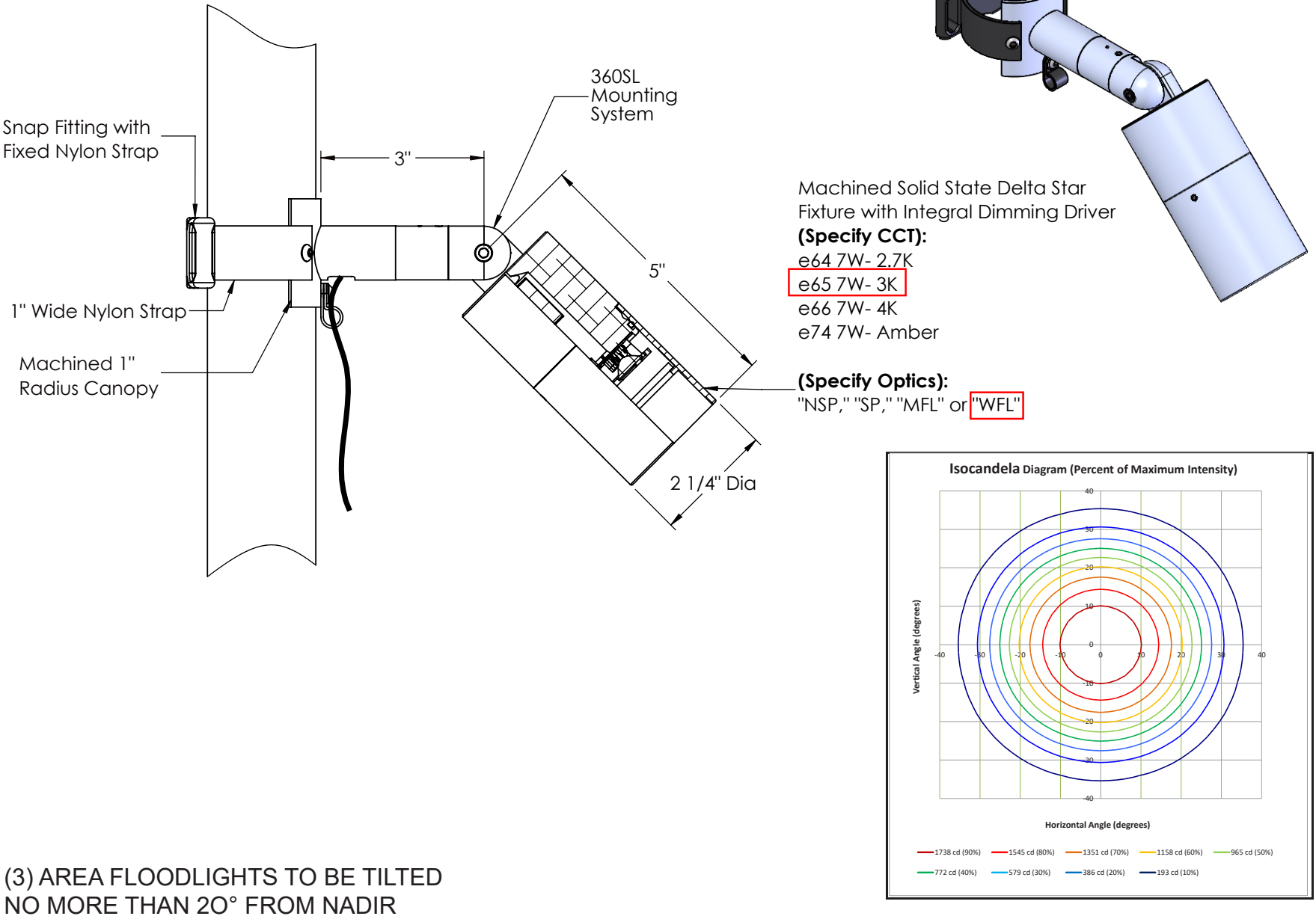
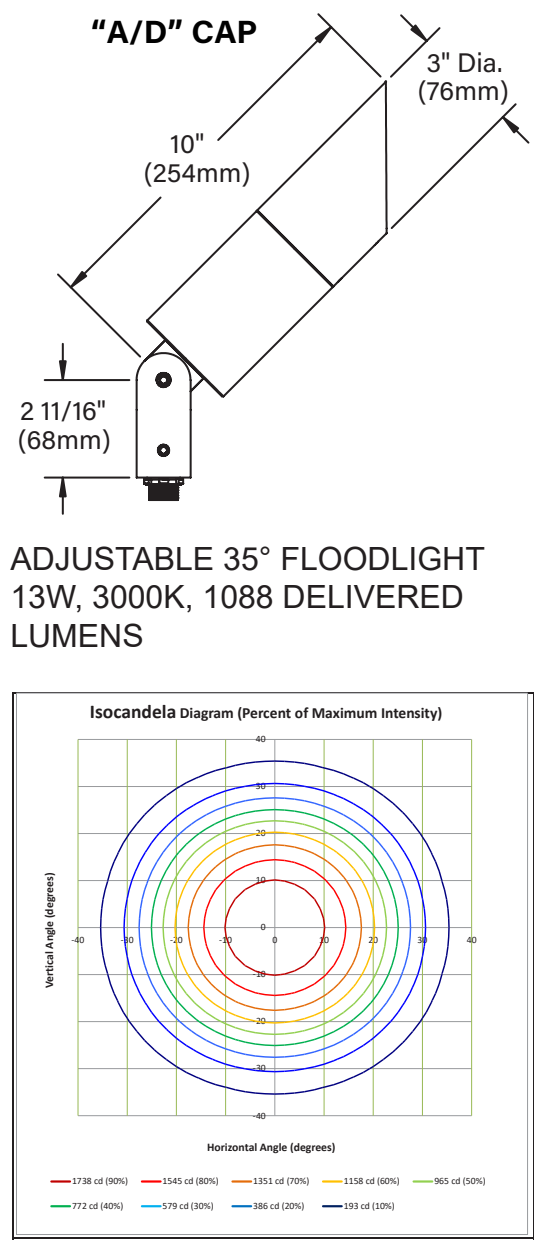
TYPE XA BOLLARD



(3) AREA FLOODLIGHTS  
TO BE TILTED NO MORE  
THAN 20° FROM NADIR



TYPE XB AREA LIGHT



TYPE XC TREE STRAP MOONLIGHT