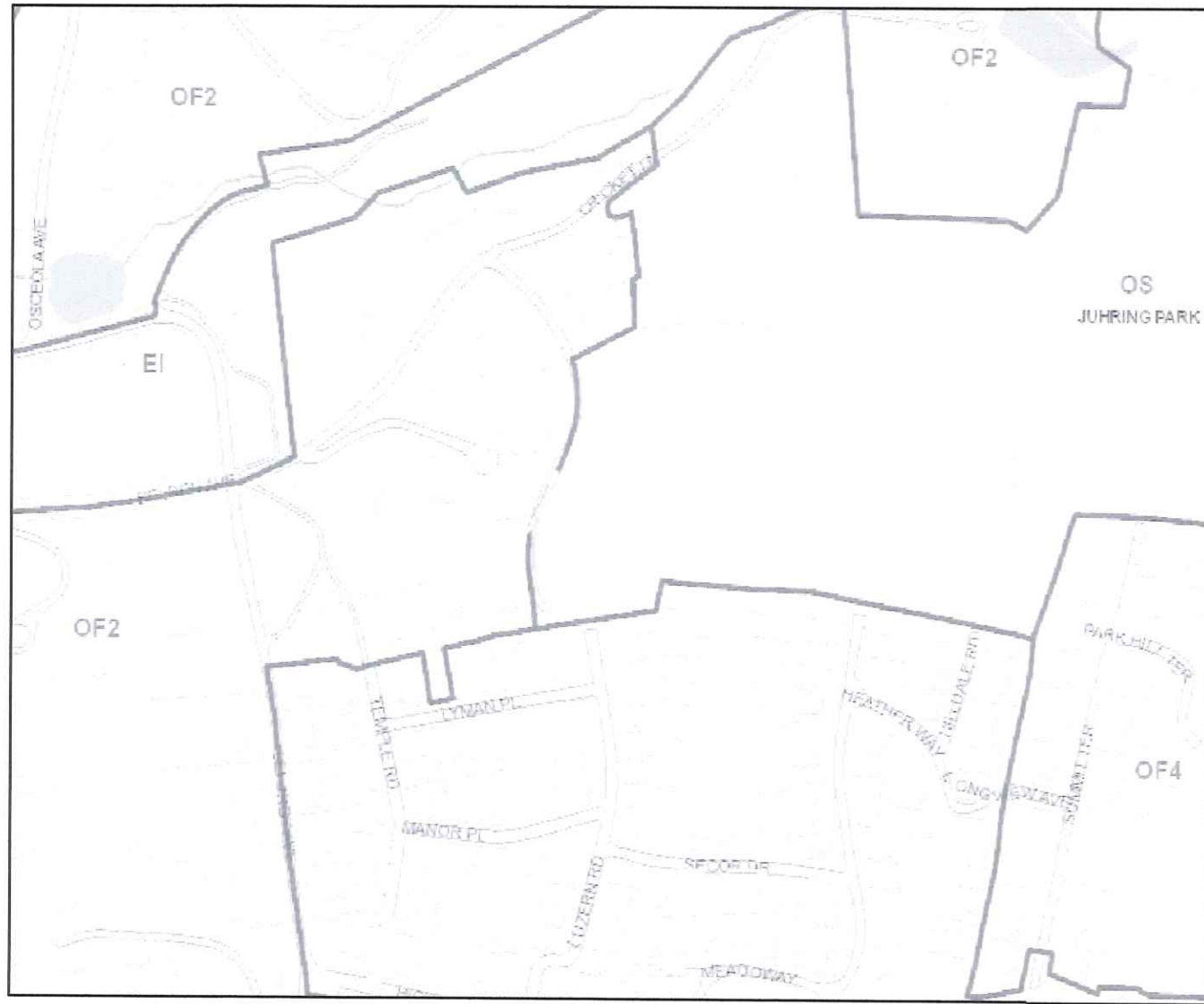


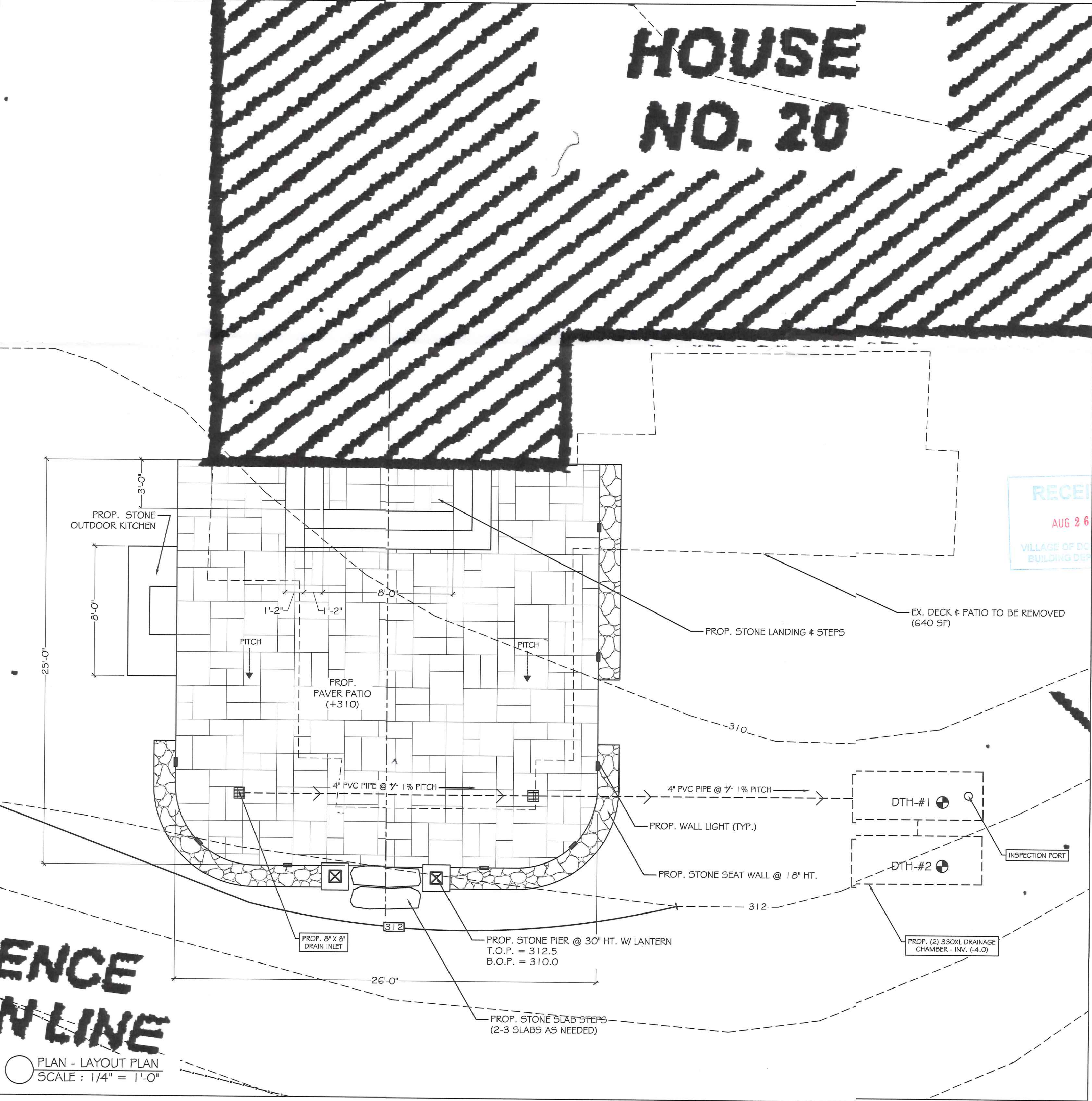
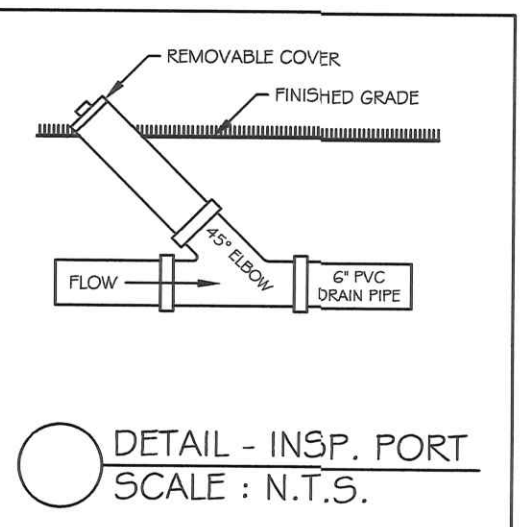
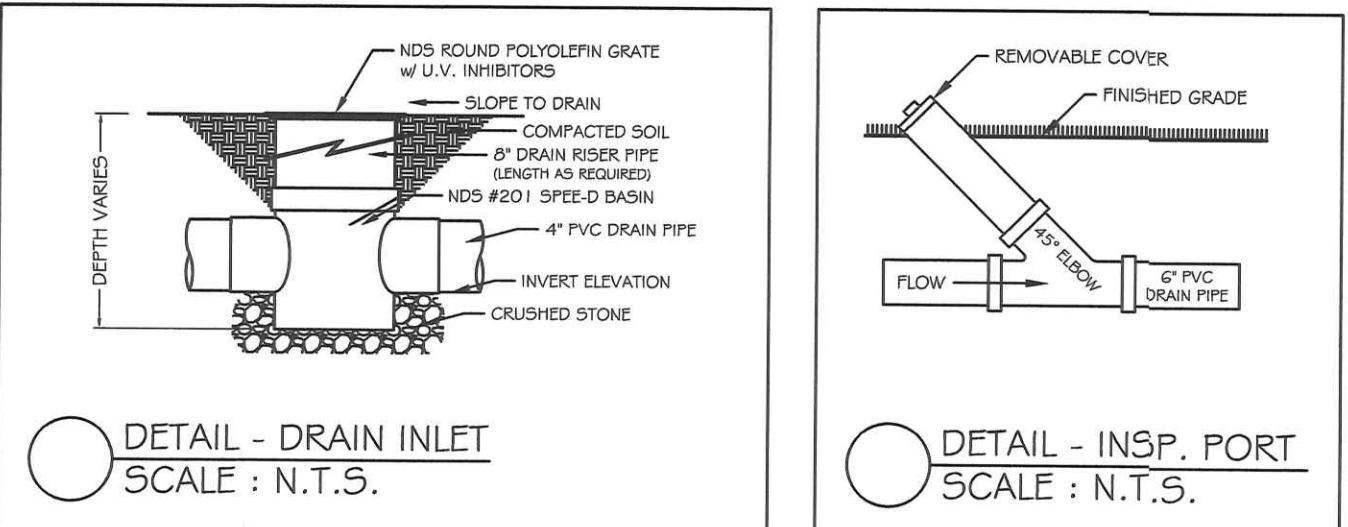
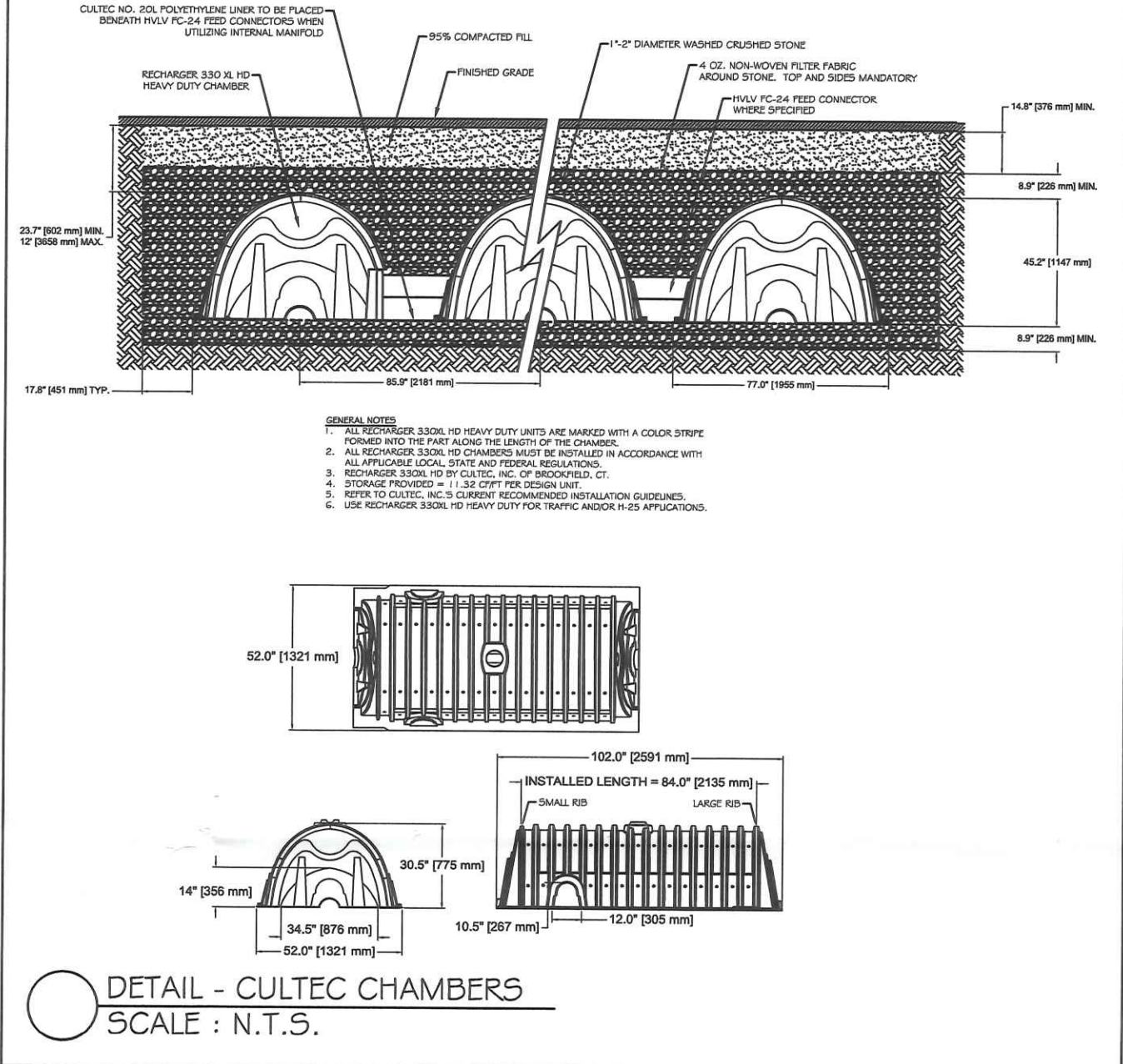
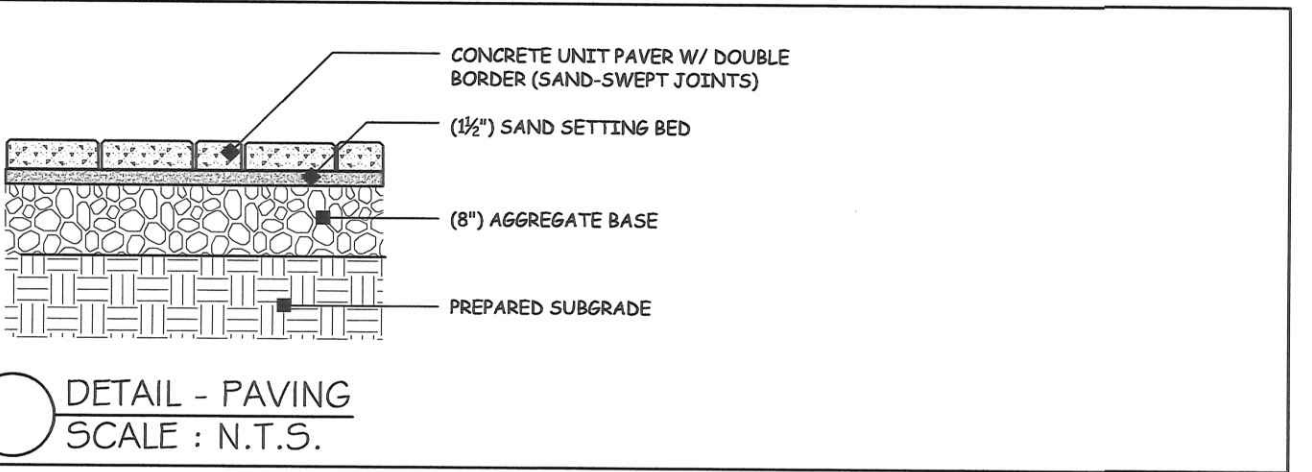
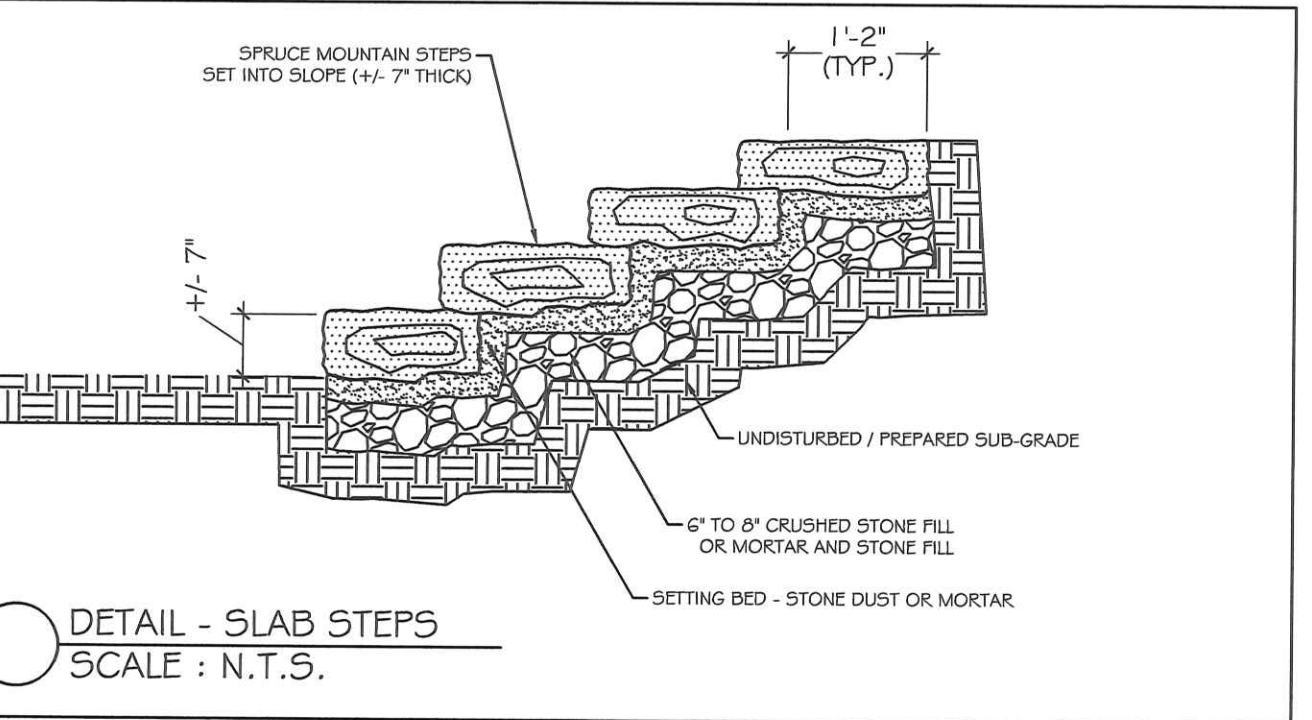
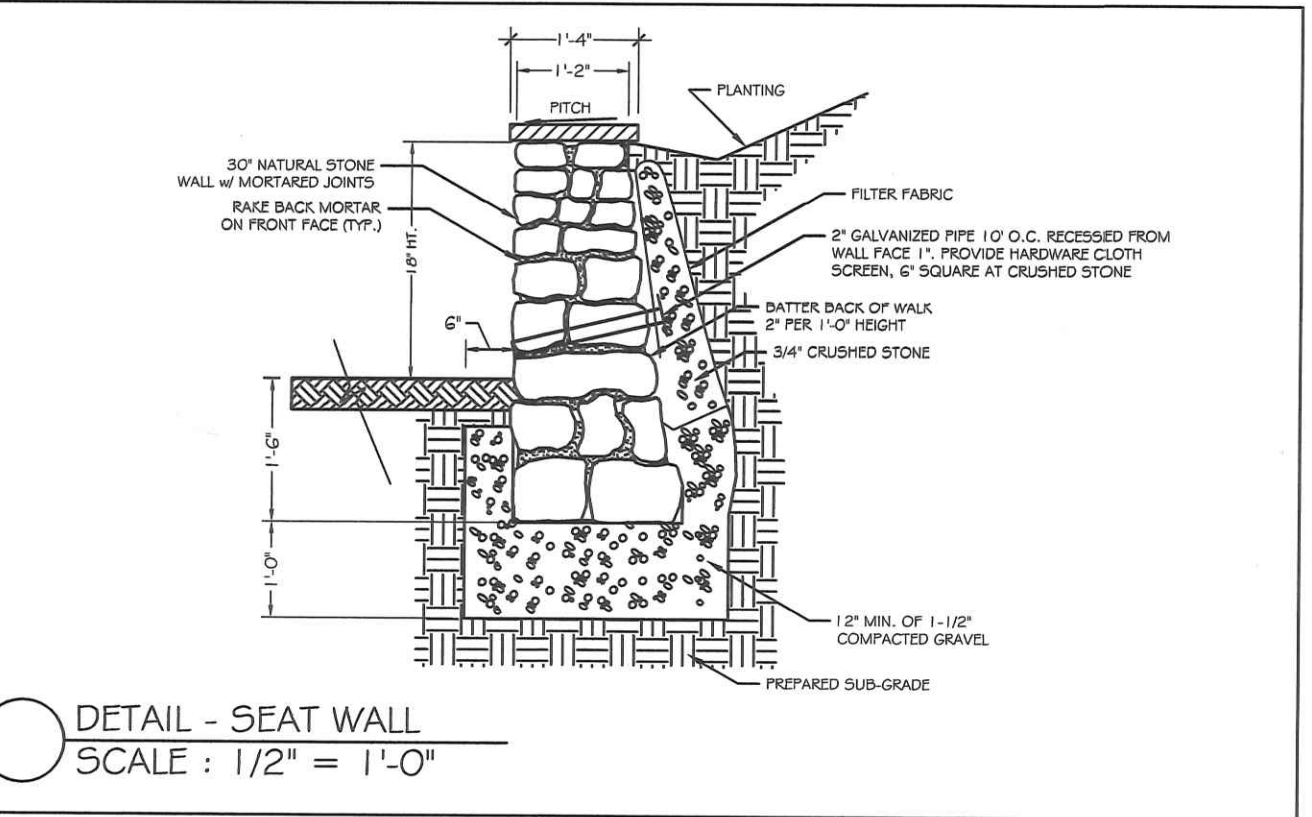
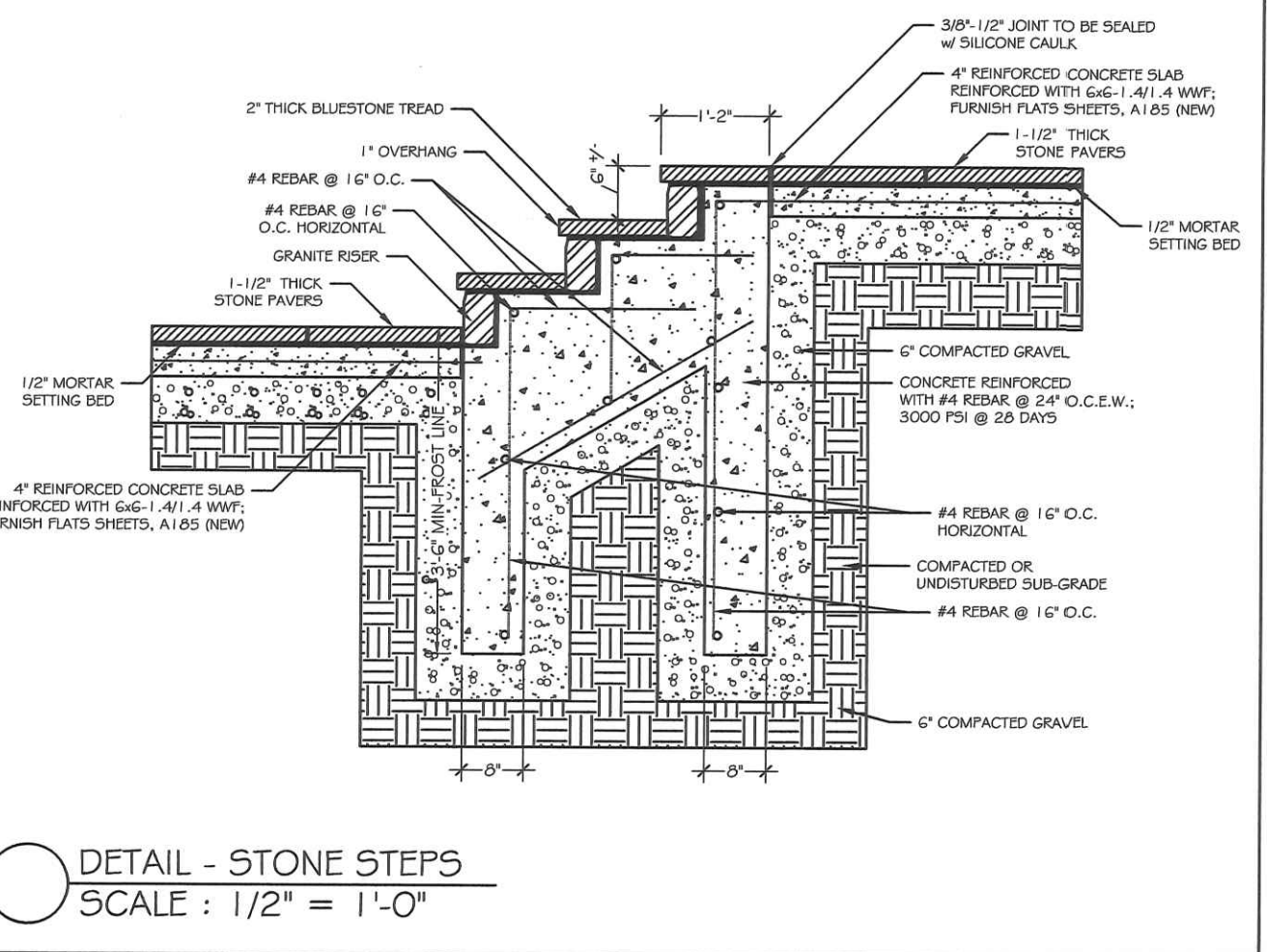
GENERAL NOTES

- CONTRACTOR IS TO VISIT SITE AND VERIFY ALL EXISTING CONDITIONS (INCLUDING UNDERGROUND UTILITIES) AND LIMITATIONS AFFECTING THE PROPOSED WORK.
- ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL LOCAL, STATE, AND APPLICABLE BUILDING CODE REGULATIONS.
- CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE IS REQUIREMENT CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY REPRESENTATIVES HARMLESS FROM AND ALL LIABILITY, REAL AND/OR A CONJUNCTION WITH THE PERFORMANCE OF THIS PROJECT.
- CONTRACTOR SHALL VERIFY LOCATIONS, LEVELS, DISTANCES, AND FEATURES THAT MAY AFFECT THE WORK. IF EXISTING CONDITIONS DIFFER FROM THESE PLANS, STANDARD SPECIFICATIONS, AND SPECIAL PROVISIONS, CONTRACTOR SHALL ADEQUATELY DETAIL THE WORK TO BE DONE, CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO ANY RELATED WORK. NO ALLOWANCE WILL BE MADE IN HIS BEHALF FOR ANY EXTRA EXPENSE RESULTING FROM FAILURE OR NEGLECT IN DETERMINING THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. NOTED DETAILS TAKE PRECEDENCE OVER SCALE.
- A SET OF SIGNED BLUEPRINTS AND A SET OF SPECIFICATIONS SHALL BE KEPT ON SITE AT ALL TIMES. CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY COMPANIES (48) HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO EXISTING UTILITY LINES UNLESS ENCROACHMENT PERMIT SPECIFIES OTHERWISE.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT BARRICADES TO PROVIDE FOR THE SAFETY OF THE PUBLIC TO THE SATISFACTION OF THE MUNICIPAL BUILDING DEPARTMENT.
- ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.



ZONING DATA:		
ZONE: OF-2		
TAX MAP: SHEET: 3.60, BLOCK: 21, LOT: 1		
FIRE DISTRICT: DOBBS FERRY		
SCHOOL DISTRICT: DOBBS FERRY		
GROSS LOT AREA = 20,450 SF		
MIN. LOT AREA	PERMITTED	EXISTING
	20,000 SF	20,450 SF
DEPTH	125 FT.	221.8'
	125 FT.	146.64'
WIDTH	30 FT.	30.3'
	25 FT.	30.6'
SIDE L	20 FT.	20.1'
	50 FT.	50.1'
BUILDING COVERAGE		1.8 %
DEVELOPMENT COVERAGE		4.0 %
		21.2 %
		21.3 %

IMPERVIOUS SURFACES SUMMARY	
EX. PRINCIPAL BUILDING	2,653 SF
TOTAL BUILDINGS	2,653 SF
EX. DRIVEWAY	833 SF
TOTAL DRIVEWAY	833 SF
EX. FRONT WALK	216 SF
EX. DECK & PATIO (TBR)	640 SF
TOTAL PATIO & WALKWAY	856 SF
TOTAL EX. IMPERVIOUS SURFACE = 4342 SF	
PROP. PATIO, STEPS, & BBQ	665 SF
EX. DECK & PATIO (TBR)	(-640) SF
TOTAL NEW IMPERVIOUS	25 SF
TOTAL PROP. IMPERVIOUS = 4367 SF	



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TOPOGRAPHY RETRIEVED FROM WESTCHESTER COUNTY GIS ON AUGUST 25, 2022

REVISION DATE

REV. 1 08/25/22

20 LAUREL HILL ROAD

20 LAUREL HILL RD
DOBBS FERRY, NY 10522

SITE PLAN
(REAR PATIO)

ANGELA LOFFA
LANDSCAPE ARCHITECT
77 GROVE STREET
MOUNT KISCO, NY 10549
PHONE: (914) 621-8496

aloffa13@gmail.com



DATE: MAR. 2, 2022

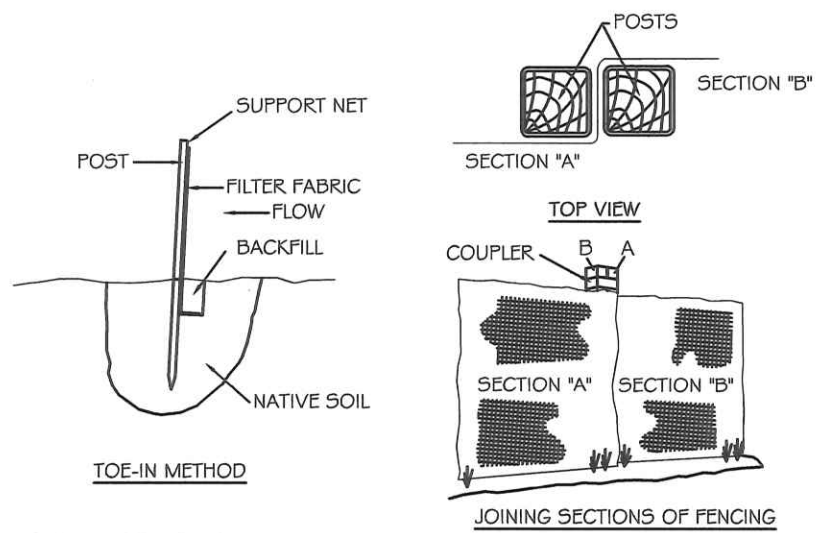
SCALE: AS NOTED

DRAWN BY: AL

DRAWING #: L - 1

Erosion Control

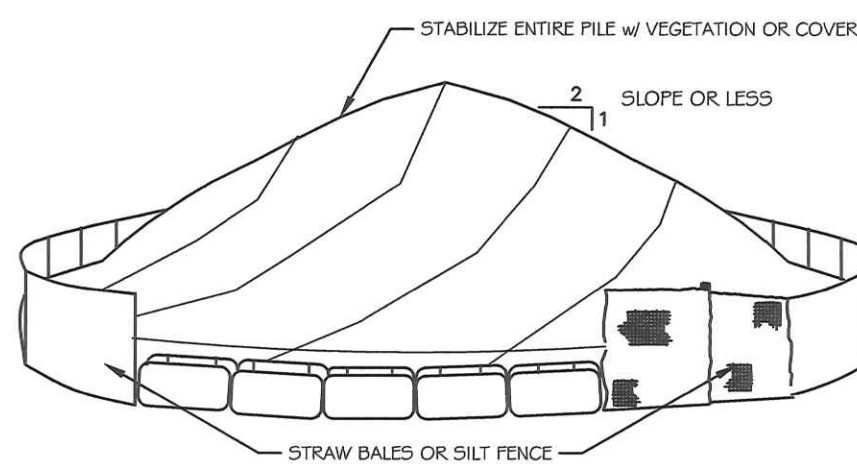
1. Erosion control measures shall be installed as the first phase of work, and be maintained throughout the duration of the project
2. Maintenance and installation shall be in accordance with NYSDEC "Standards and Specifications for Erosion and Sediment Control".
3. The City can require additional measures be implemented at their discretion,
4. The plans indicate locations of erosion control measures however the contractor must use best management practices as necessary to assure proper controls.
5. The final subgrade shall receive no less than 4" of topsoil and be seeded and mulched.



INSTALLATION NOTES:

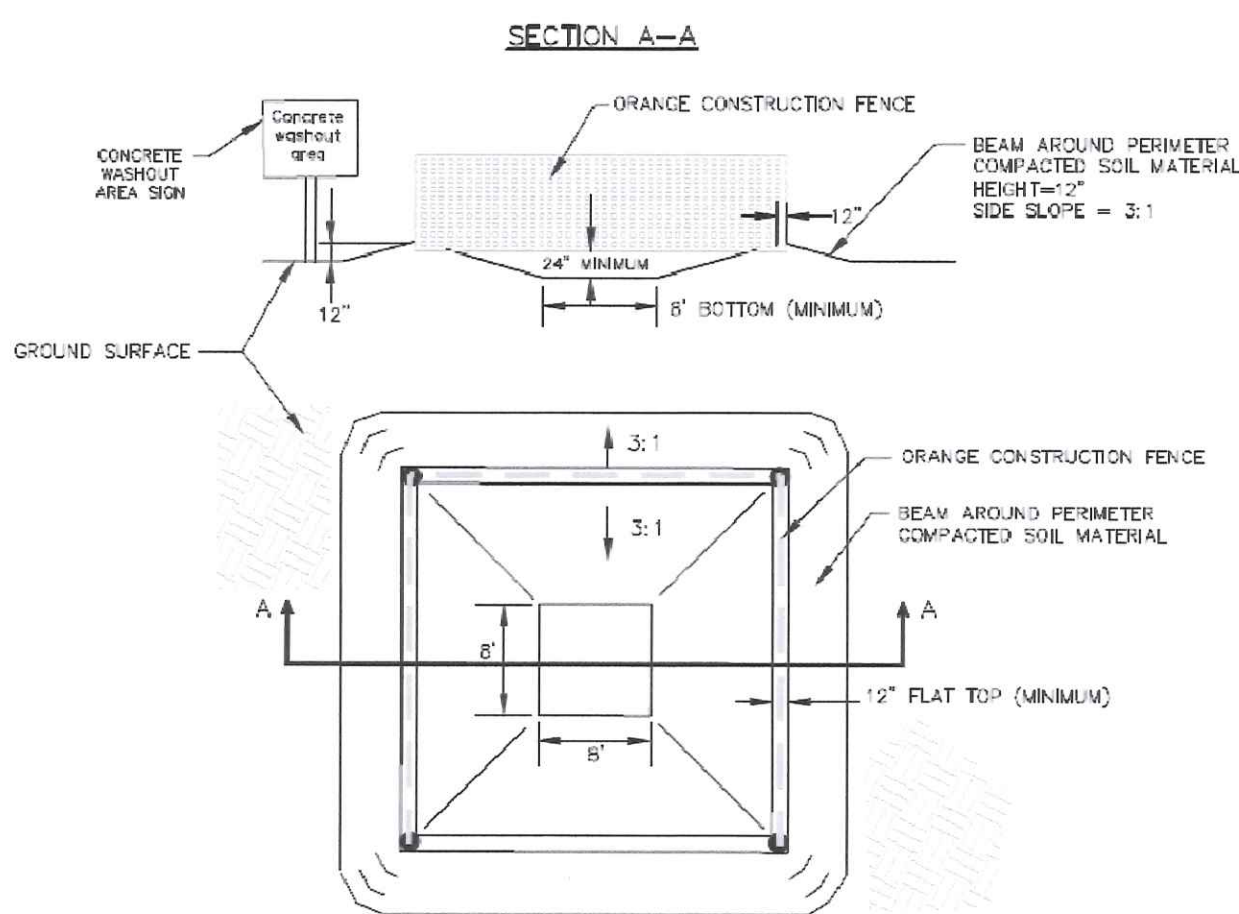
1. EXCAVATE A 4'X4' TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROX. 2' FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.

DETAIL - SILT FENCE
SCALE : N.T.S.



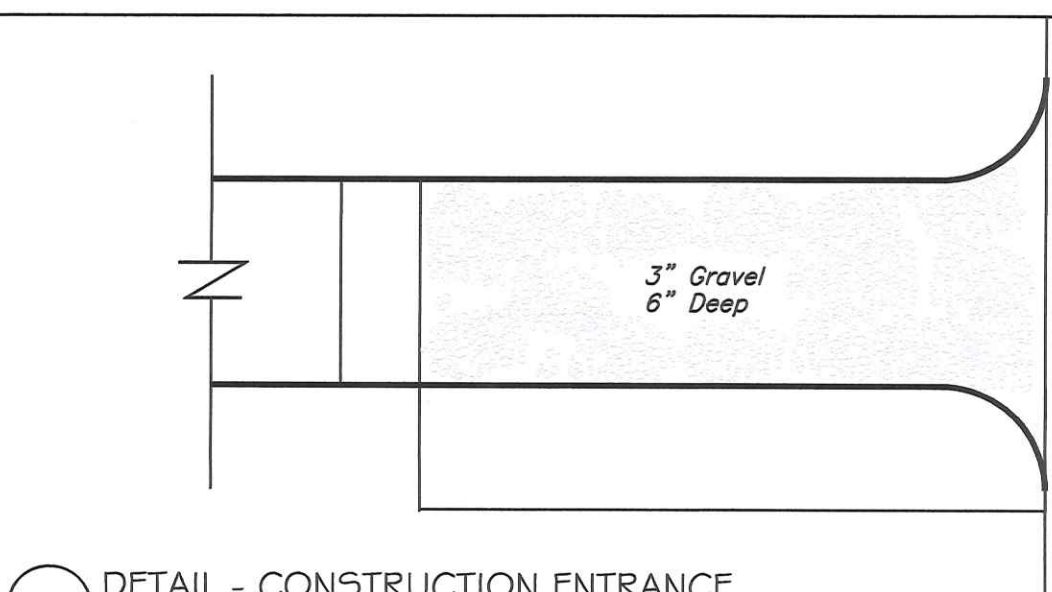
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES, THEN STABILIZED BY COVERING.
4. SEE SPECIFICATIONS (EROSION CONTROL) FOR INSTALL OF SILT FENCE.

DETAIL - SOIL STOCKPILE
SCALE : N.T.S.



THE CONCRETE WASHOUT STRUCTURE SHALL BE MAINTAINED WHEN THE LIQUID AND/OR SOLID REACHES 75% OF THE STRUCTURE'S CAPACITY.

CONCRETE WASHOUT DETAIL
N.T.S.

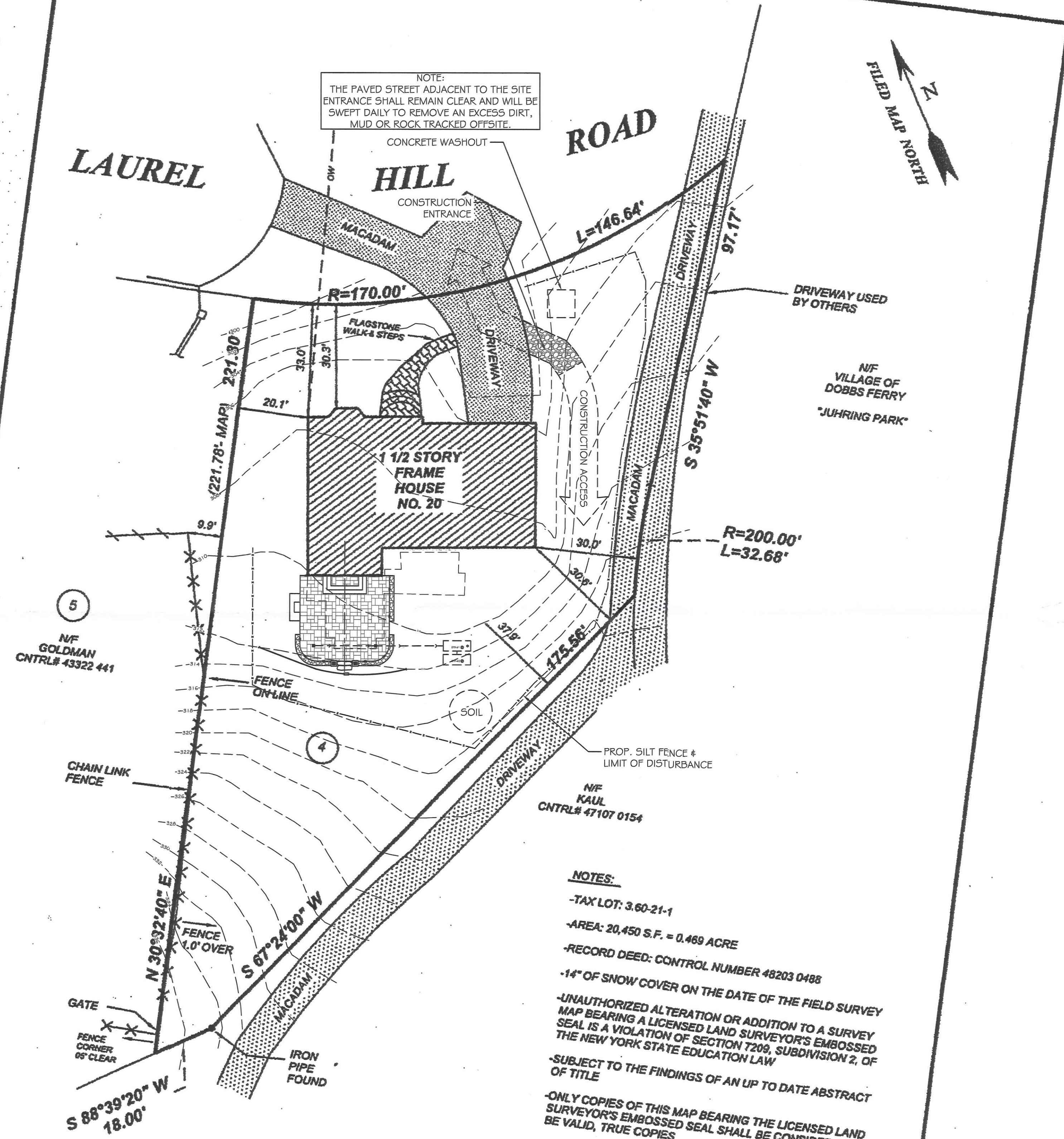


DETAIL - CONSTRUCTION ENTRANCE
SCALE : N.T.S.

PLAN - SEDIMENT & EROSION CONTROL PLAN
SCALE : 1" = 20'-0"

I HEREBY CERTIFY TO THE PARTIES LISTED BELOW THAT THIS MAP IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON FEBRUARY 25, 2015 AND WAS PREPARED IN ACCORDANCE WITH THE CURRENT EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS, INC.

-DOUGLAS J. SCHNEIDER
-SARA G. SCHNEIDER
-STEWART AGENCY, INC.



NOTES:

- TAX LOT: 3.60-21-1
- AREA: 20,450 S.F. = 0.469 ACRE
- RECORD DEED: CONTROL NUMBER 48203 0488
- 14" OF SNOW COVER ON THE DATE OF THE FIELD SURVEY
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW
- SUBJECT TO THE FINDINGS OF AN UP TO DATE ABSTRACT OF TITLE
- ONLY COPIES OF THIS MAP BEARING THE LICENSED LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID, TRUE COPIES
- UNDERGROUND UTILITIES SUCH AS SEWERAGE DISPOSAL SYSTEMS, WATER LINES, GAS LINES, ETC., OR ANY GROUND FEATURES NOT VISIBLE DUE TO SNOW COVER ARE NOT SHOWN AND ARE NOT CERTIFIED TO

REFERENCES:

- BEING LOT 4 AS SHOWN ON A MAP ENTITLED "SUBDIVISION MAP, MAR-VERA CORP." FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE ON JANUARY 14, 1965 AS MAP NO. 14188
- DEEDS AS NOTED

SURVEY OF PROPERTY PREPARED FOR
DOUGLAS J. & SARA G.

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DATE: SCALE:

MAR. 2, 2022 AS NOTED

DRAWN BY: DRAWING #

AL L - 2