#### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

		WIND [	DESIGN		SEISMIC	SUBJECT	T TO DAMAGE	FROM					
GROUND SNOW LOAD	SPECIAL WIND SPEED (MPH)	TOPO EFFECTS	WIND REGION	WINDBORNE DEBRIS ZONE	DESIGN CATEGORY (RCNY ONLY)	WEATHERING	FROST LINE DEPTH	TERMITE	CLIMATE ZONE	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
30 LBS / SQ.FT.	*SPECIAL WIND REGION	NO	YES	NO	С	SEVERE	42"	MODERATE TO HEAVY	4A	YES	**FIRM COMMUNITY PANEL NUMBER 360908	2000	51.6

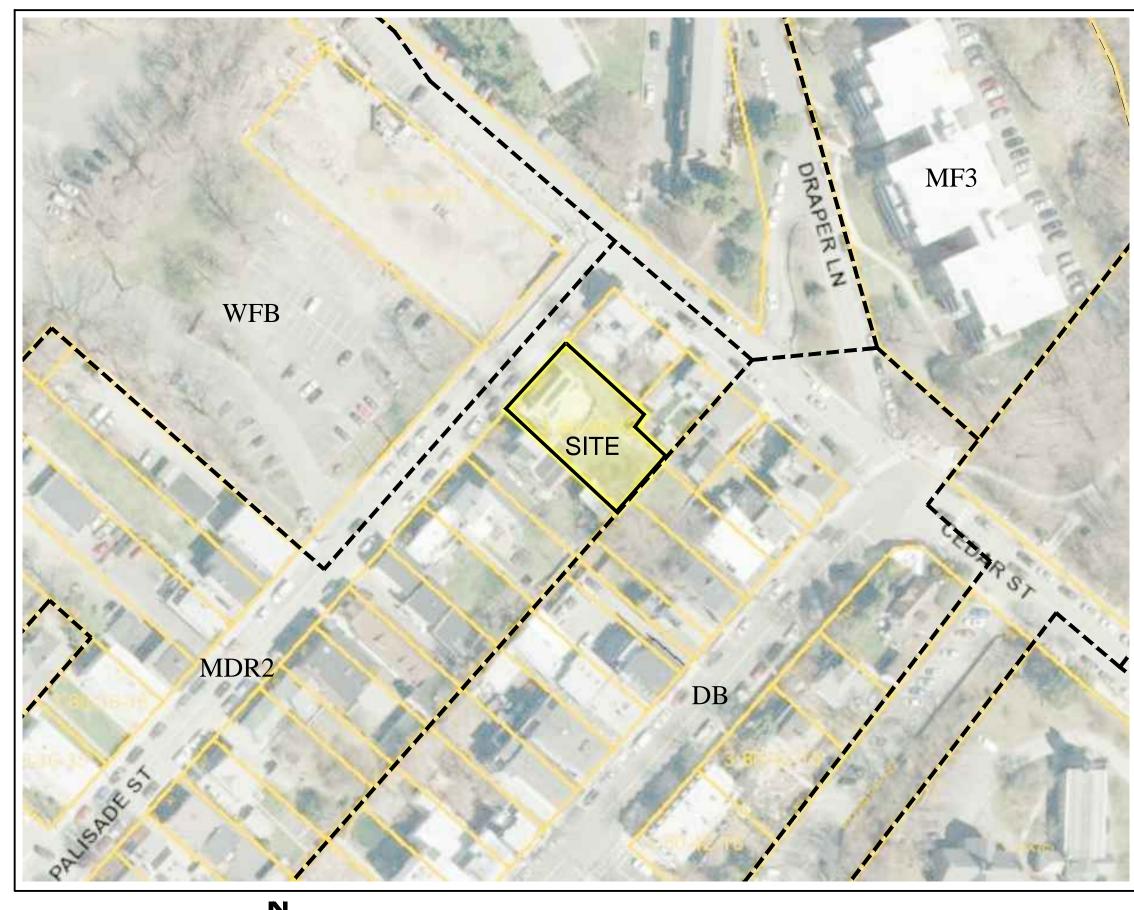
<sup>\* 115</sup> MPH to 120 MPH. the special wind region should serve as warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the dreived values taken from Section 1609 of the IBC and Figure R301.2 (4) A of the IRC are likely to occur and should be considered in the design.

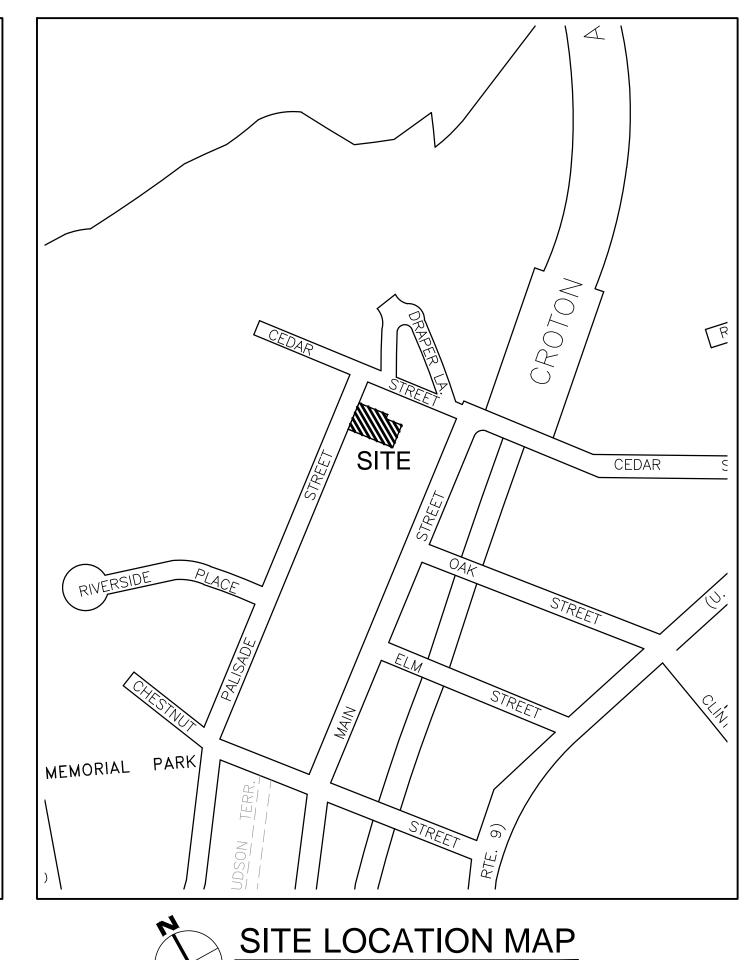
#### INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS

							· · · · · · · · · · · · · · · · · · ·			
CLIMATE ZONE	FENESTRATION U - FACTOR	SKYLIGHT U - FACTOR	GLAZED FENESTRATION SHGC	CEILING R- VALUE	WOOD FRAME WALL R - VALUE	MASS WALL R - VALUE	FLOOR R - VALUE	BASEMENT WALL R - VALUE	SLAB R - VALUE & DEPTH	CRAWL SPACE WALL R - VALUE
	TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT									
4A	0.35	0.55	0.4	49	20 OR 13 + 5	8 / 13	19	10 / 13	10, 2 FT	10 /13
	TABLE R402.1.4 EQUIVALENT FACTORS									
4A	0.35	0.55		0.026	0.06	0.098	0.047	0.047	0.059	0.065

# 156 PALISADE ST.

## D O B B S F E R R Y, N. Y. 1 0 5 2 2







LIS	Γ OF DRAWINGS	SUBMITTEI TO PLANNING BOARD AN ZONING BOARD
No	SHEET TITLE	07-16-2020
CS	LOCATION MAPS, DESIGN CRITERIA TABLE	•
SP-1	SITE PLAN	•
SP-2	PROPOSED PLANS, SECTIONS 1/8" =1'-0" SCALE	•
SP-3	PROPOSED ELEVATIONS 1/8" =1'-0" SCALE	•
SP-4	PROPOSED WEST ELEVATION 3/16" = 1'-0" SCALE	•
SS	STREETSCAPE ELEVATION AND CONTEXT AREA SITE PLAN	•



GOTHAM DESIGN

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SUBMITTED TO 07-16-2020
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ZONING BOARD

SHEET TITLE:

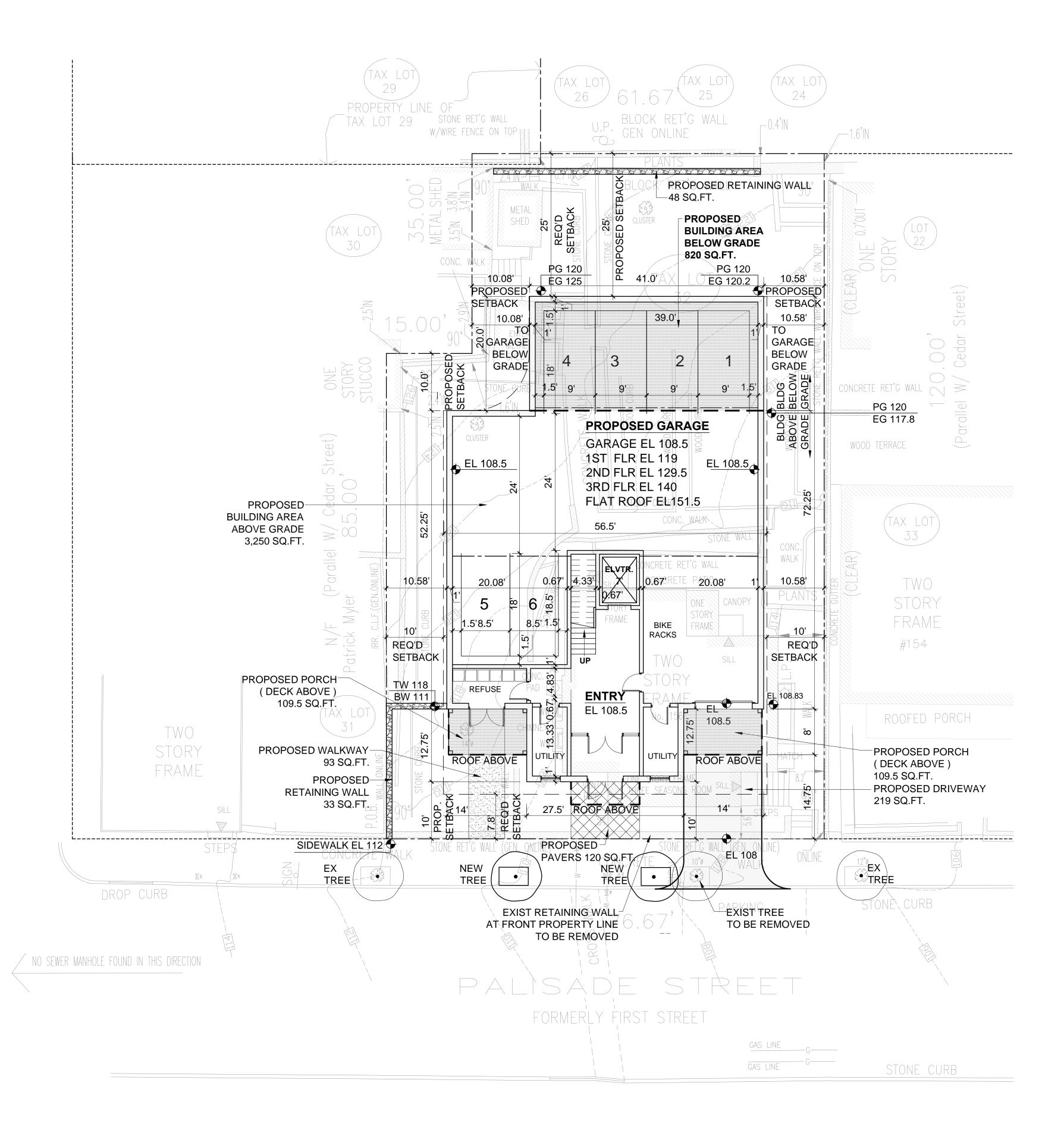
COVER SHEET

DATE: DRAWN BY:
10-17-2019 MB

SCALE: CHECKED BY:
AS NOTED PRS

CS

<sup>\*\*</sup> State if applicable. For flood hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site http://www.floodmap.floodsimple.com/



NOTE: ALL LIGHTING SHALL COMPLY WITH SECTION 300-11.4



ALL SURVEYING INFORMATION ON THIS DRAWING IS TAKEN FROM A SURVEY DATED MAY 04, 2019 PREPARED BY: SUMMIT LAND SURVEYING P.C. 64 VIRGINIA AVENUE DOBBS FERRY 10522 TEL 914 629 - 7758 Z O N I N G T A B L E

PROPERTY LOCATION: 156 PALISADE STREET TAX ID No 3.80 - 40 - 32

OWNER: 156 PALISADE STREET LLC 156 PALISADE STREET DOBBS FERRY, NY 10522

ZONING DISTRICT MDR - 2					
REQUIREMENT	UNITS	REQUIRED/ ALLOWED	EXISTING	PROPOSED	VARIANCE / WAIVER REQUESTED
MINIMUM NET LOT AREA	SQ.FT.	5,000	8,675	UNCHANGED	
MINIMUM LOT AREA PER DWELLING	SQ.FT.	800 PER UNIT	TO BE REMOVED	6 UNITS 8,675 / 800 =10	
MINIMUM LOT WIDTH	FEET	50	76.67	UNCHANGED	
MINIMUM LOT DEPTH	FEET	100	102.5 ( AVG )	UNCHANGED	
MAX. LOT COVERAGE BY BUILDINGS	%	27	16.97 ( 1,472 )	39.99 (3,469)	YES
MAX. LOT COVERAGE BY IMPERVIOUS SURFACES	%	54	28.18 ( 2,445 )	57.80 ( 5,014 )	YES
MINIMUM FRONT YARD SETBACK	FEET	7.8 ( PREVAILING )	5.6	10	
MINIMUM REAR YARD SETBACK	FEET	25	76.25	25	
MINIMUM SIDE YARD SETBACK ONE	FEET	10	8.1	10.08	
MINIMUM SIDE YARD SETBACK BOTH	FEET	20	38.95	20.66	
STORIES	NUMBER	3	2	3	
MAXIMUM HEIGHT PITCHED ROOF FLAT ROOF	FEET FEET	40 30	21	TBD	TBD
EAVE HEIGHT	FEET	28	20	N/A	
OFF STREET PARKING	NUMBER	9	0	6	TBD
ON - STREET PARKING	INUIVIDER	J 3	3	3	ופט

T B D - TO BE DETERMINED

	UNITS	EXISTING	PROPOSED		
HOUSE	SQ.FT.	1,297			
METAL SHEDS	SQ.FT.	175			
	TOTAL	EXISTING 1,472			
TOTAL EXISTING I	BUILDING CO\	/ERAGE 1,472 / 8,675 = 16.97 %			
PROPOSED THREE STORY BUILDING ABOVE GRADE	SQ.FT.	Т. 3,250			
PROPOSED PORCHES / DECKS	SQ.FT.		219		
	'	TOTAL PROPO	OSED 3,469		

	UNITS	EXISTING	PROPOSED
HOUSE	SQ.FT.	1,297	
METAL SHEDS	SQ.FT.	175	
WALKS AND STEPS	SQ.FT.	520	
RETAINING WALLS	SQ.FT.	453	
	TOTAL E	XISTING 2,445	
TOTAL EXISTING IMPERVIOUS COVERAG	E 2,445	5 / 8,675 = 28.18 %	
EXISTING RETAINING WALLS TO REMAIN	SQ.FT.		200
PROPOSED THREE STORY BUILDING ABOVE GRADE	SQ.FT.		3,250
PROPOSED PORCHES / DECKS	SQ.FT.		219
PROPOSED BUILDING BELOW GRADE	SQ.FT.		820
PROPOSED RETAINING WALLS	SQ.FT.		93
PROPOSED PAVERS	SQ.FT.		120
PROPOSED WALKWAY	SQ.FT.		93
PROPOSED DRIVEWAY	SQ.FT.		219
			TOTAL PROPOSED 5,014

FLOOR AREAS TABLE								
STORY	EXISTING AREA	EXISTING HABITABLE AREA	AREA OF RENOVATION	NEW AREA				
EXISTING FIRST FLOOR	1,297	± 1,197	0					
PROPOSED FIRST FLOOR				3,250				
EXISTING SECOND FLOOR	1,070	± 970	0					
PROPOSED SECOND FLOOR				3,250				
PROPOSED THIRD FLOOR				2,900				
PROPOSED GARAGE				2,976				

ISADE STREET

10522

YORK

NEW

156 P.

#### GOTHAM DESIGN

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PLANNING BOARD 02-24-2020
SUBMISSION
SUBMITTED TO 07-16-2020
PLANNING BOARD AND
ZONING BOARD

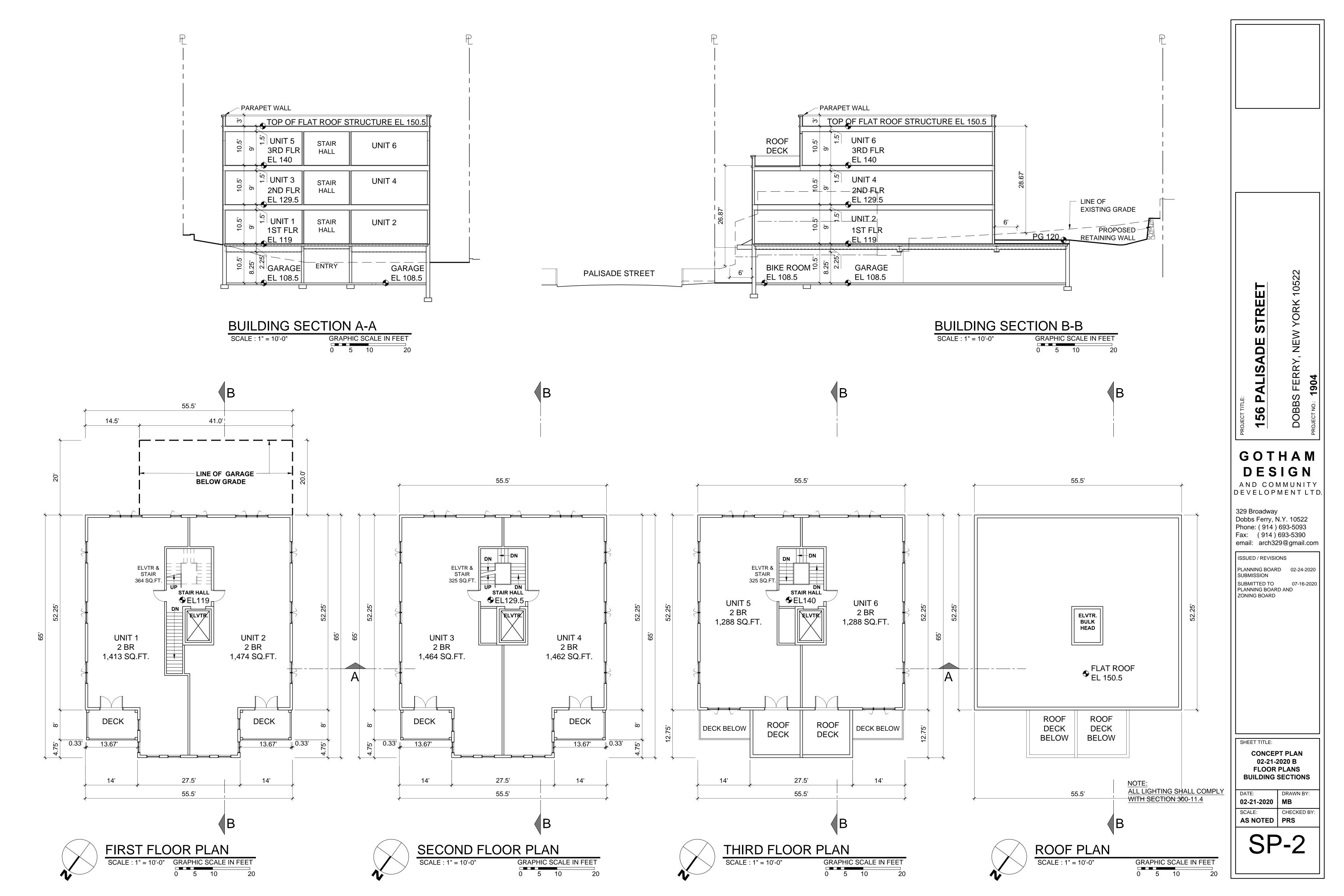
SHEET TITLE:

CONCEPT SITE PLAN 02-21-2020 B

DATE: DRAWN BY:
02-21-2020 MB

SCALE: CHECKED BY:
AS NOTED PRS

SP-1





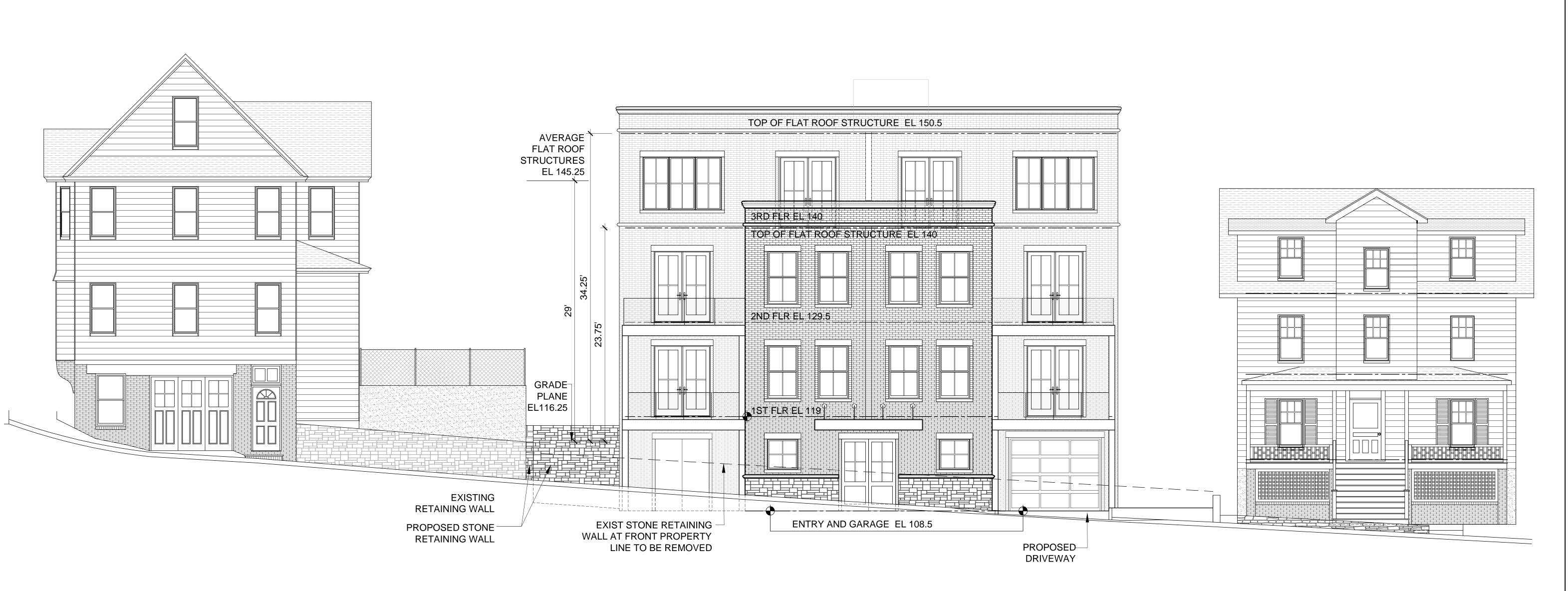
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email: arch329@gmail.com ISSUED / REVISIONS PLANNING BOARD 01-23-2020 SUBMISSION

SUBMITTED TO 07 PLANNING BOARD AND ZONING BOARD

> **CONCEPT PLAN** 02-20-2020

DRAWN BY: 02-20-2020 MB CHECKED BY: AS NOTED | PRS



WEST ELEVATION (PALISADE STREET)

SCALE: 3/16" = 1'-0"

GRAPHIC SCALE IN FEET

0 1 2 4 8

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

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SUBMISSION

SUBMITTED TO 07-16-2020
PLANNING BOARD AND
ZONING BOARD

SHEET TITLE:

CONCEPT PLAN
02-21-2020 B
WEST ELEVATION

DATE: DRAWN BY: 02-21-2020 MB

O2-21-2020 MB

SCALE: CHECKED BY:

AS NOTED PRS

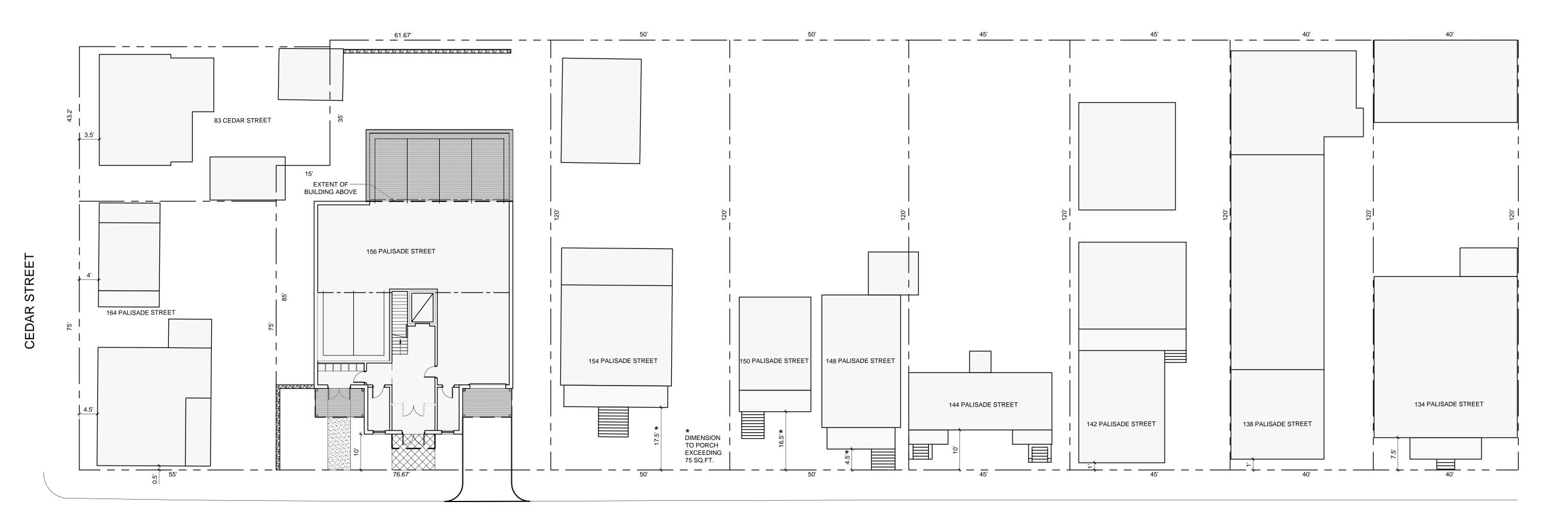
SP-4



### STREET SCAPE ELEVATION

SCALE : 1" = 16'-0" GRAPHIC SCALE IN FEET

0 4 8 16 32



## CONTEXT AREA SITE PLAN SCALE: 1" = 16'-0" GRAPHIC SCALE IN FEE

0 4 8 16

	BUILDINGS	OF UNITS	AREA	AREA (SQ.FT.)	COVERAGE	SETBACK
83 CEDAR STREET	3	2	3,485	1,395	40.03 %	N / A
164 PALISADE STREET	2	2	3,920	1,141 + 493 = 1,634	41.68 %	0.5
156 PALISADE STREET	1	8	8,675	3,469	39.99 %	5.8 10 *
154 PALISADE STREET	1	4	6,098	2,072	33.98 %	17.5
150 + 148 PALISADE STREET	2	4	6,098	1,135 + 687 = 1,822	29.88 %	16.5 AND 4.5
144 PALISADE STREET	1	2	5,227	823	15.75 %	10

LOT

BUILDING

BUILDING

 130 + 140 PALISADE STREET
 2
 4
 6,096
 1,133 + 667 - 1,822
 29.86 %
 16.3 AND 4.3

 144 PALISADE STREET
 1
 2
 5,227
 823
 15.75 %
 10

 142 PALISADE STREET
 2
 4
 5,227
 1,680 + 810 = 2,490
 47.64 %
 1

 138 PALISADE STREET
 1
 8
 4,356
 3,196
 73.37 %
 1

 134 PALISADE STREET
 1
 5
 4,792
 2,968
 61.94 %
 7.5

THE AVERAGE BUILDING SITE COVERAGE EXISTING WITHOUT 156 PALISADE STREET IS 43.03 %, WITH 156 PALISADE STREET AS PROPOSED INCLUDED, THE AVERAGE BUILDING SITE COVERAGE WOULD BE 42.70 %

NUMBER OF | NUMBER

PALISADE STREET

ADDRESS

\* PROPOSED BUILDING

FRONT

FRONT SETBACK NOTE:
ALL THESE DIMENSIONS WERE TAKEN AT THE PROPERTIES BY MEASURING THE FRONT OF THE BUILDING TO THE STREET SIDE OF THE CURB. THE CONTROL WAS ESTABLISHED BY 164, 156 AND 154 PALISADE STREET, WHICH ARE SHOWN ON THE SURVEY. THIS RESULTED IN A DIMENSION FROM THE STREET SIDE OF THE CURB TO THE PROPERTY LINE OF 9 FEET.WE THEN SUBTRACTED 9 FEET FROM EACH MEASUREMENT TO DETERMINE THE SETBACK. OBSERVATION INDICATES THAT THE CURB IS A STRAIGHT LINE, AS ARE THE FRONT PROPERTY LINES. THE ACTUAL CALCULATION USED FOR 156 IS 5.8 FEET, ALTHOUGH THE SURVEY INDICATES AN ACTUAL SETBACK OF 5.6 FEET. WE INCLUDED THIS DEVIATION IN OUR CALCULATIONS TO HAVE ANY ERROR INCREASE THE SETBACK, INSTEAD DECREASE THE SETBACK TO COMPENSATE FOR ANY DEVIATION IN THE MEASUREMENTS TAKEN. THIS IS AN ERROR ALLOWANCE OF 0.2 FEET WHICH IS 2.4 INCHES.THIS ADJUSTS FOR ANY INSTANCE IN WHICH THE TAPE MEASURE WAS NOT PERFECTLY PERPENDICULAR TO THE

64.3 FEET DIVIDED BY 9 PROPERTIES EQUALS A PREVAILING SETBACK OF 7.1444 FEET

PROPERTY LINE OR NOT PERFECTLY LEVEL.

156 PALISADE STREET
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SHEET TITLE:

STREETSCAPE

ELEVATION

CONTEXT AREA

SITE PLAN

CONCEPT 02-21-2020 B

DATE: DRAWN BY:

O2-24-2020 MB

SCALE: CHECKED BY:
AS NOTED PRS

SS