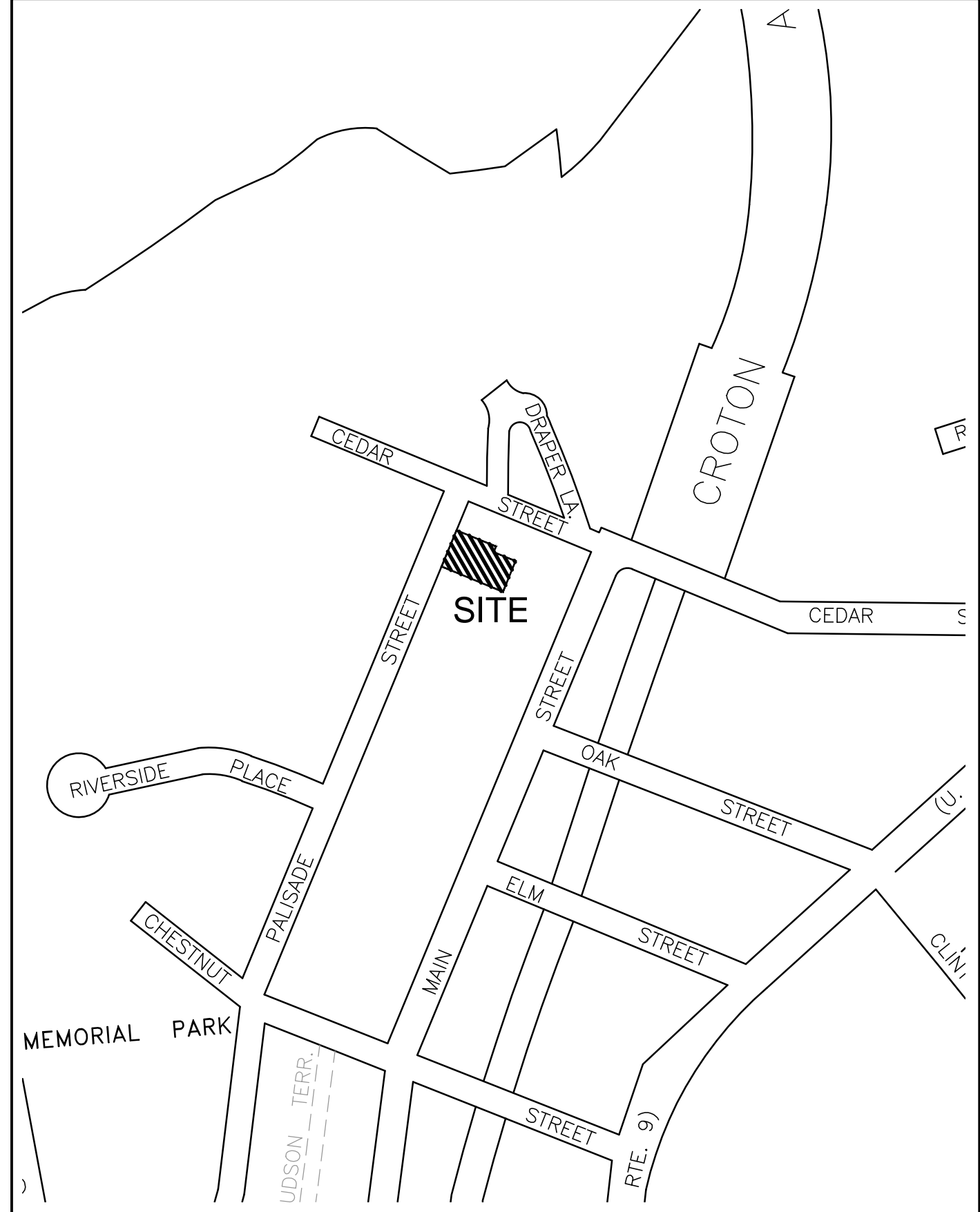
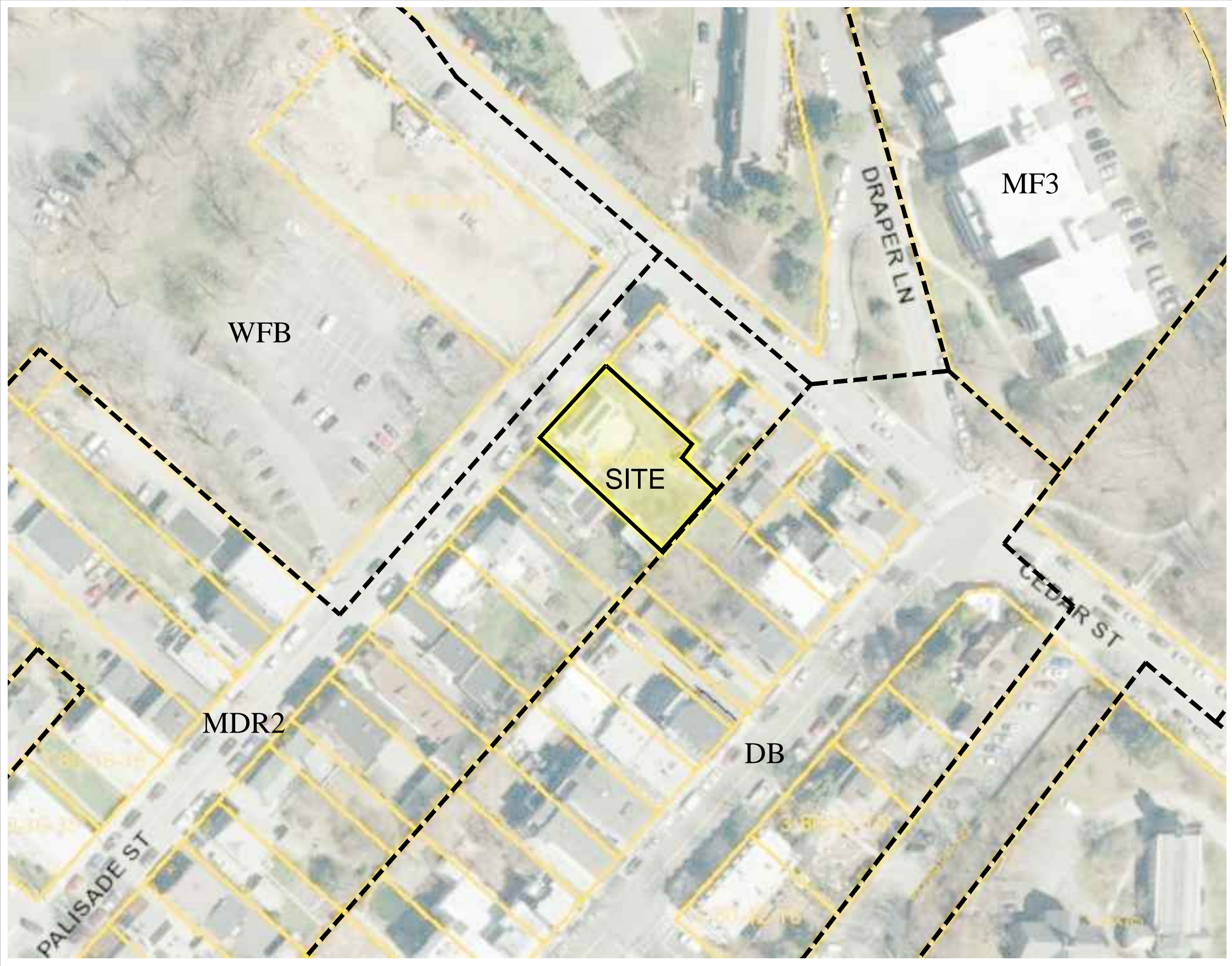


156 PALISADE ST.
DOBBS FERRY, N. Y. 10522



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW/LOAD	WIND DESIGN				SUBJECT TO DAMAGE FROM				CLIMATE ZONE	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN FREEZING TEMP
	SPECIAL WIND SPEED (MPH)	TOPO EFFECTS	WIND REGION	WINDBORNE DESIGN ZONE	SEISMIC DESIGN CATEGORY (RCMY ONLY)								
					WEATHERING	FROST LINE DEPTH	TERMITES						
30 LBS / SQ. FT.	"SPECIAL WIND REGION	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	4A	YES	"FIRM COMMUNITY PANEL NUMBER 30000	2000	51.6

* 115 MPH to 120 MPH, the special wind region should serve as warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2 (4) of the IRC are likely to occur and should be considered in the design.

** State if applicable. For flood hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site <http://www.floodmap.floodsimple.com>

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
TABLE R402.1.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.35	0.55	0.4	49	20 OR 13 + 5	8 / 13	19	10 / 13	10 , 2 FT	10 / 13
TABLE R402.1.4 EQUIVALENT FACTORS										
4A	0.35	0.55	0.026	0.06	0.098	0.047	0.047	0.059	0.065	

[illegible]

PROJECT TITLE:

156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO.: 1904

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

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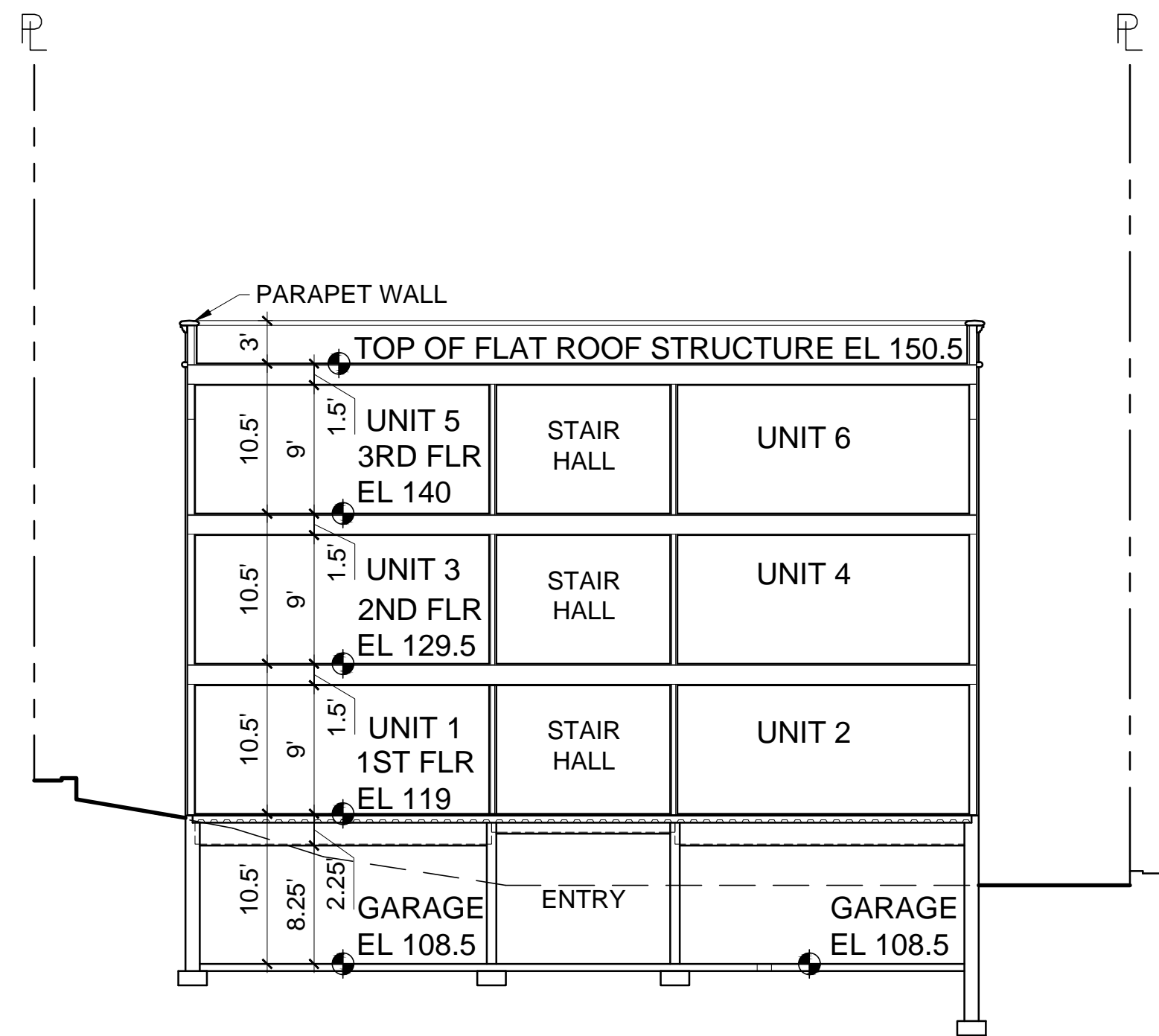
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COVER SHEET

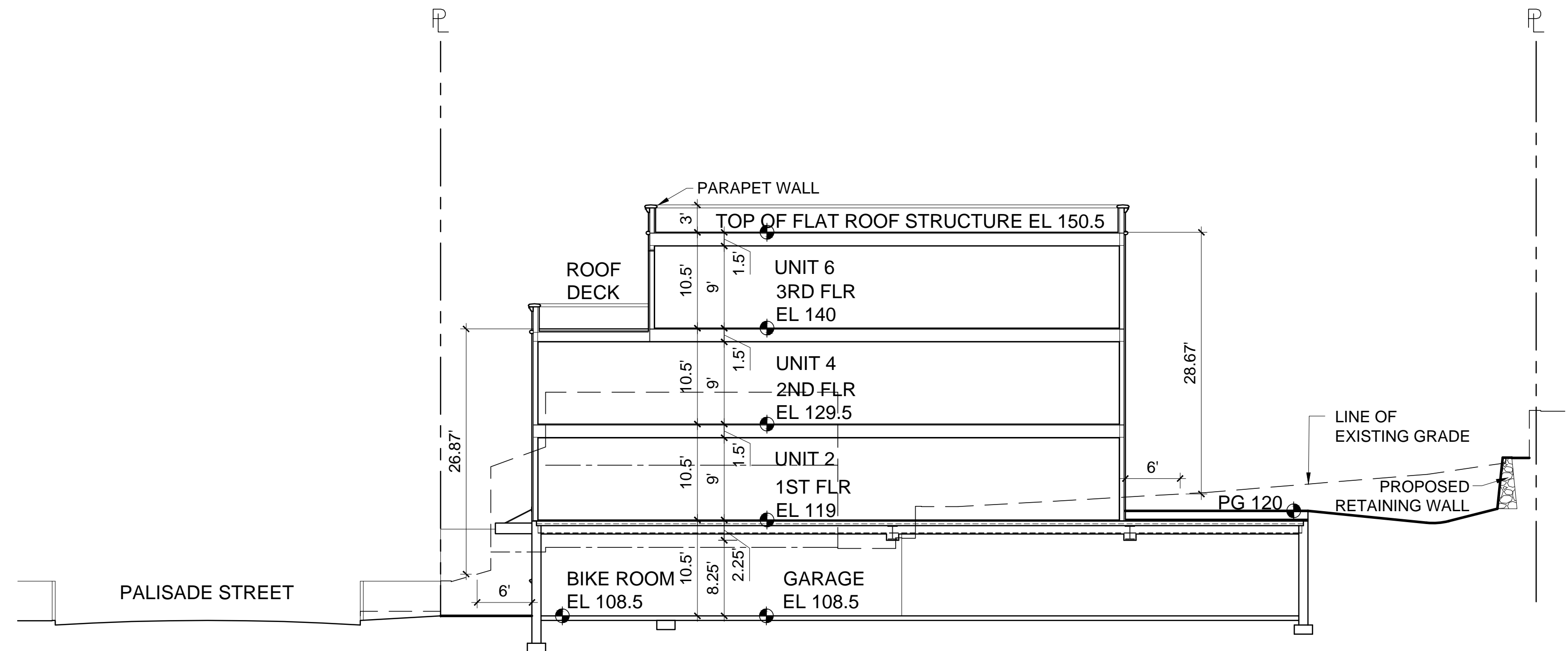
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CS

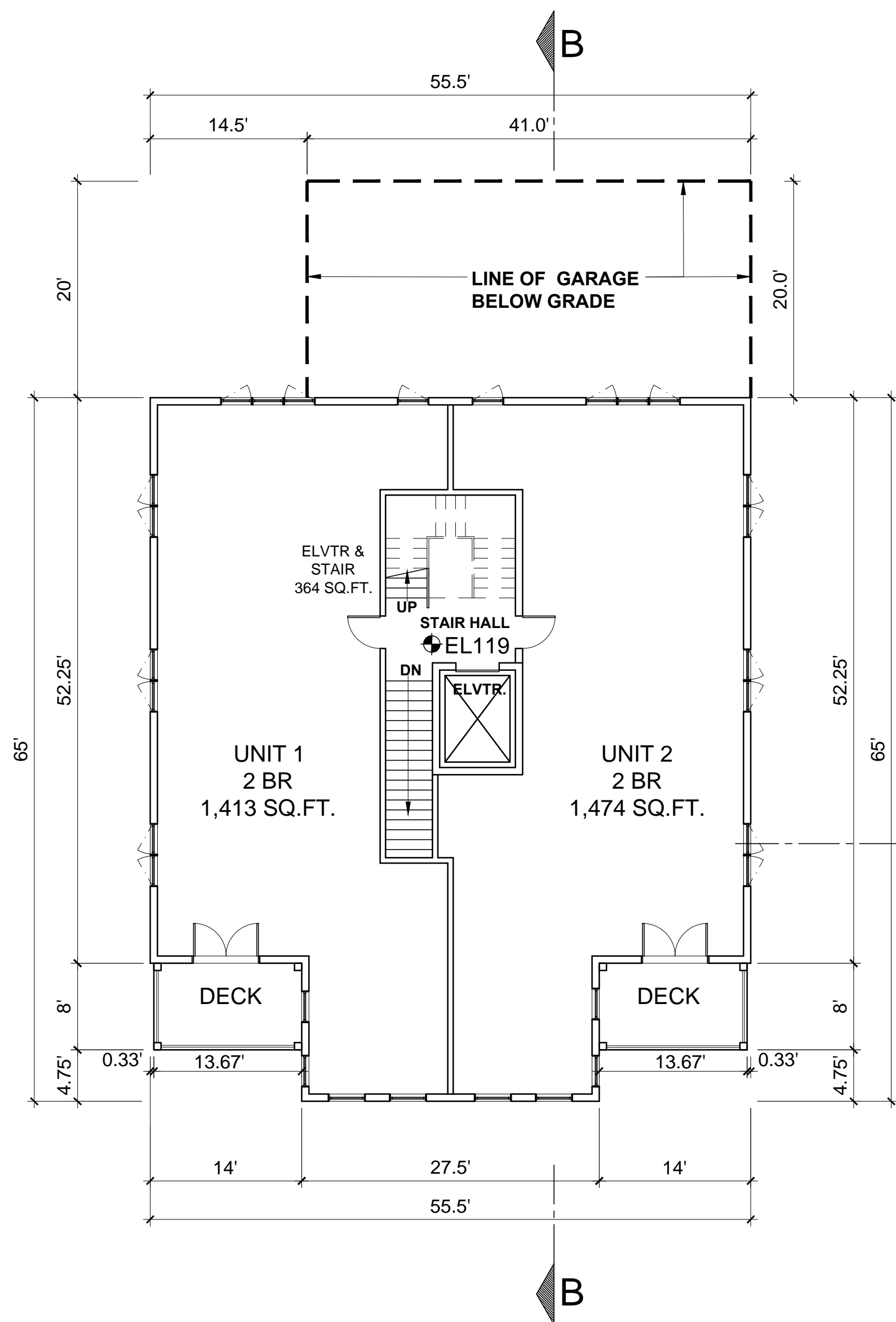
SP-1



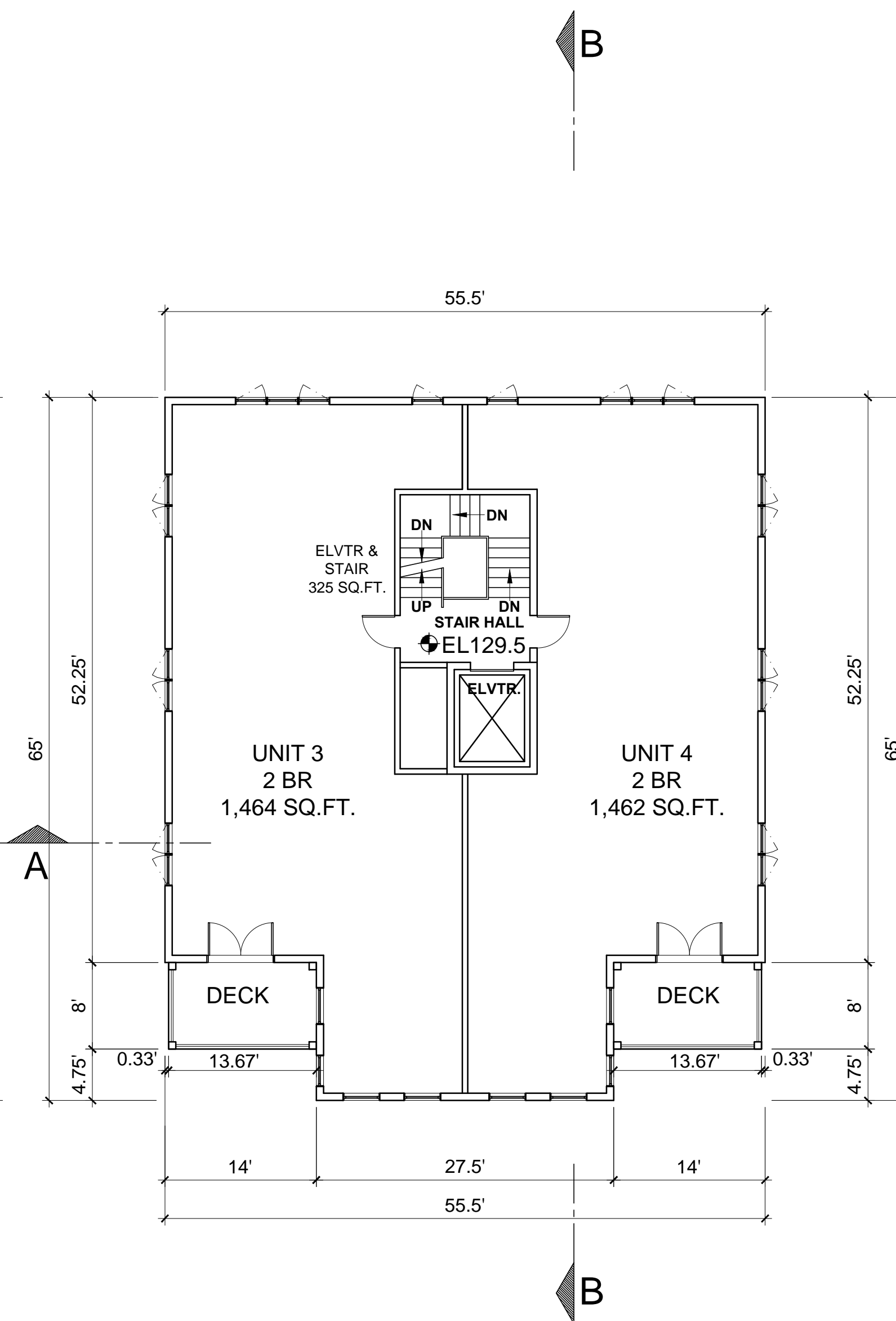
BUILDING SECTION A-A
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



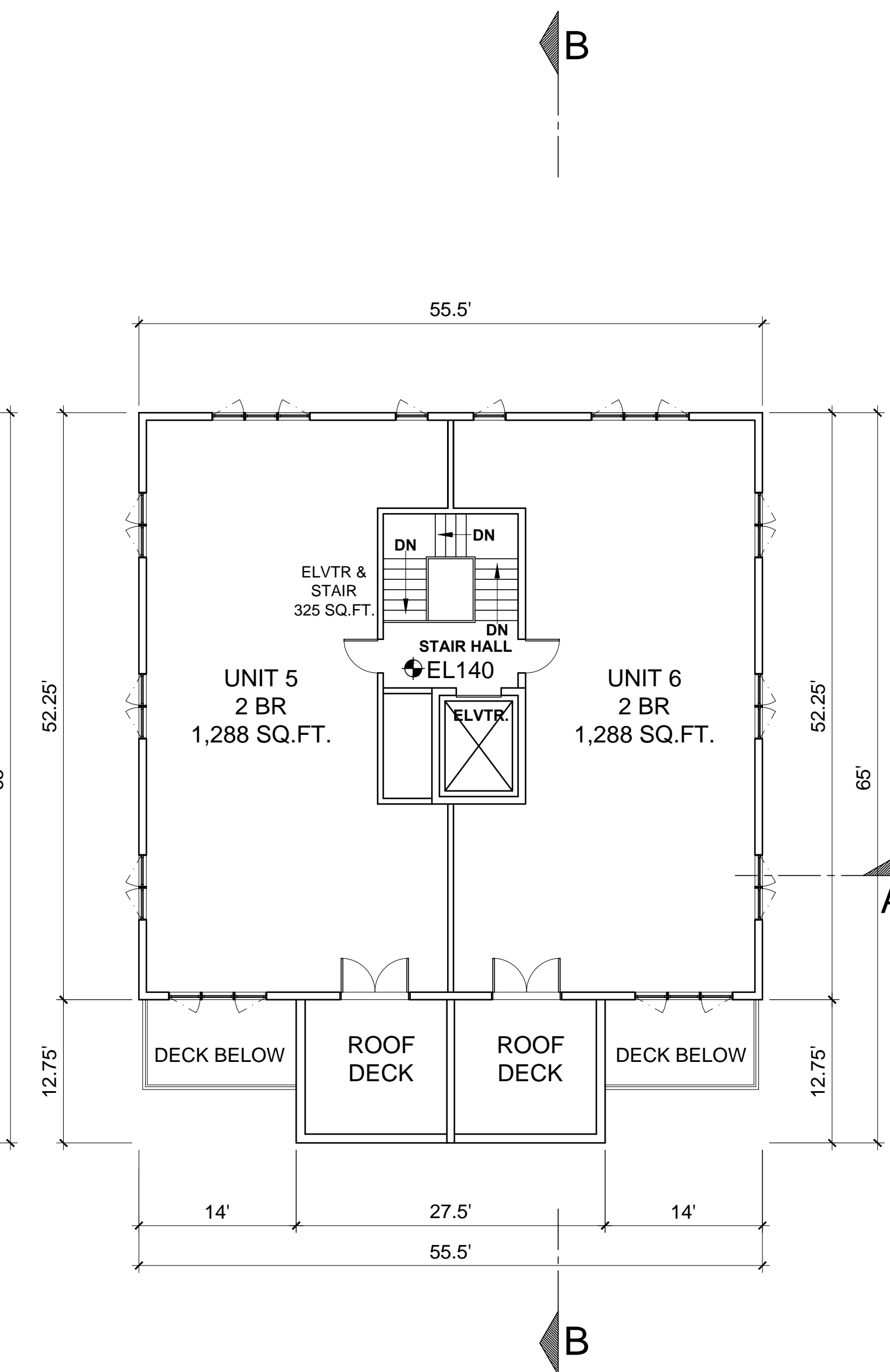
BUILDING SECTION B-B
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



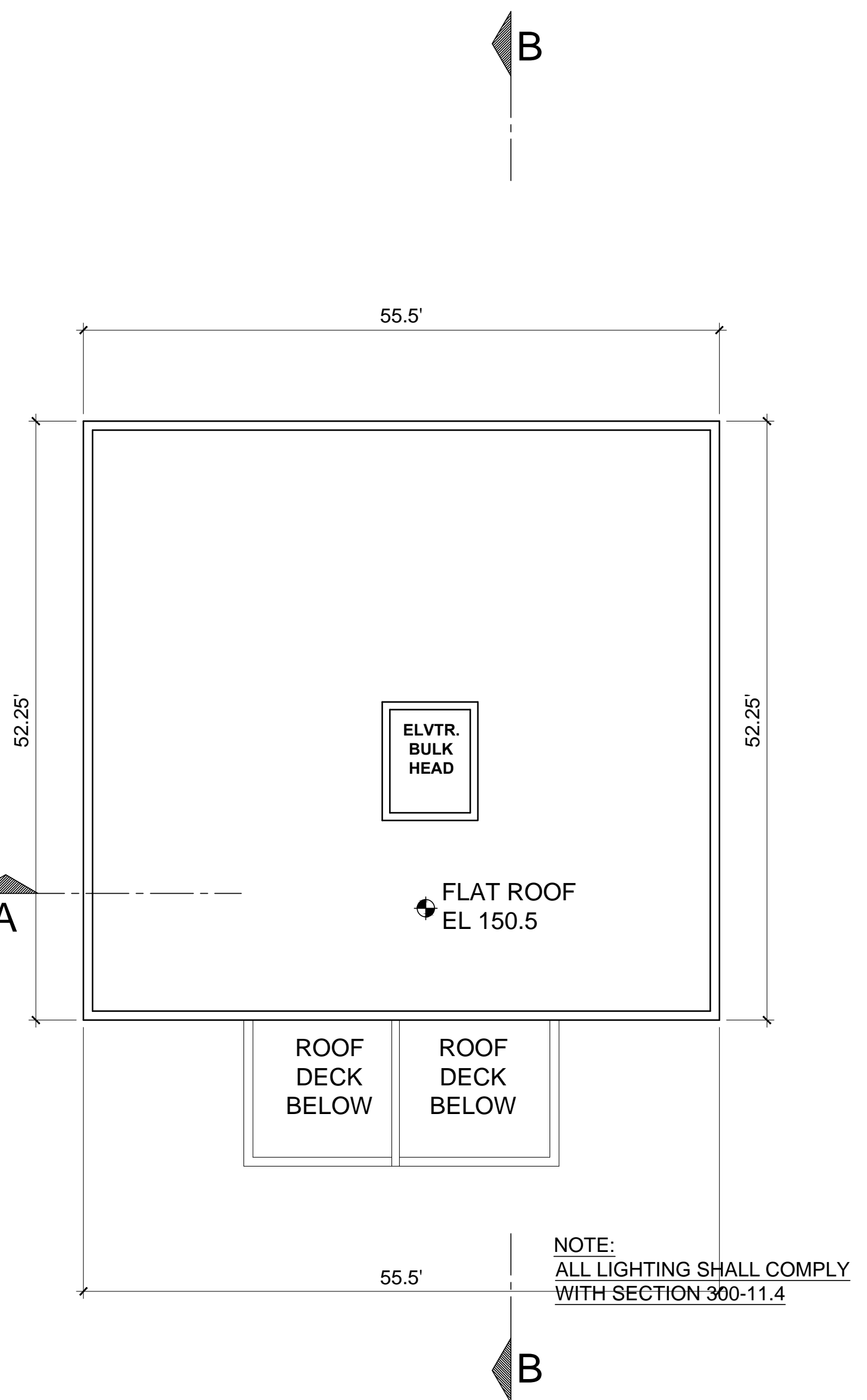
FIRST FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



SECOND FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



THIRD FLOOR PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



ROOF PLAN
SCALE : 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

PROJECT TITLE:
156 PALISADE STREET
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1904**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

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SUBMITTED TO 07-16-2020
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SHEET TITLE:
**CONCEPT PLAN
02-21-2020 B
FLOOR PLANS
BUILDING SECTIONS**

DATE: 02-21-2020
SCALE: AS NOTED
DRAWN BY: MB
CHECKED BY: PRS

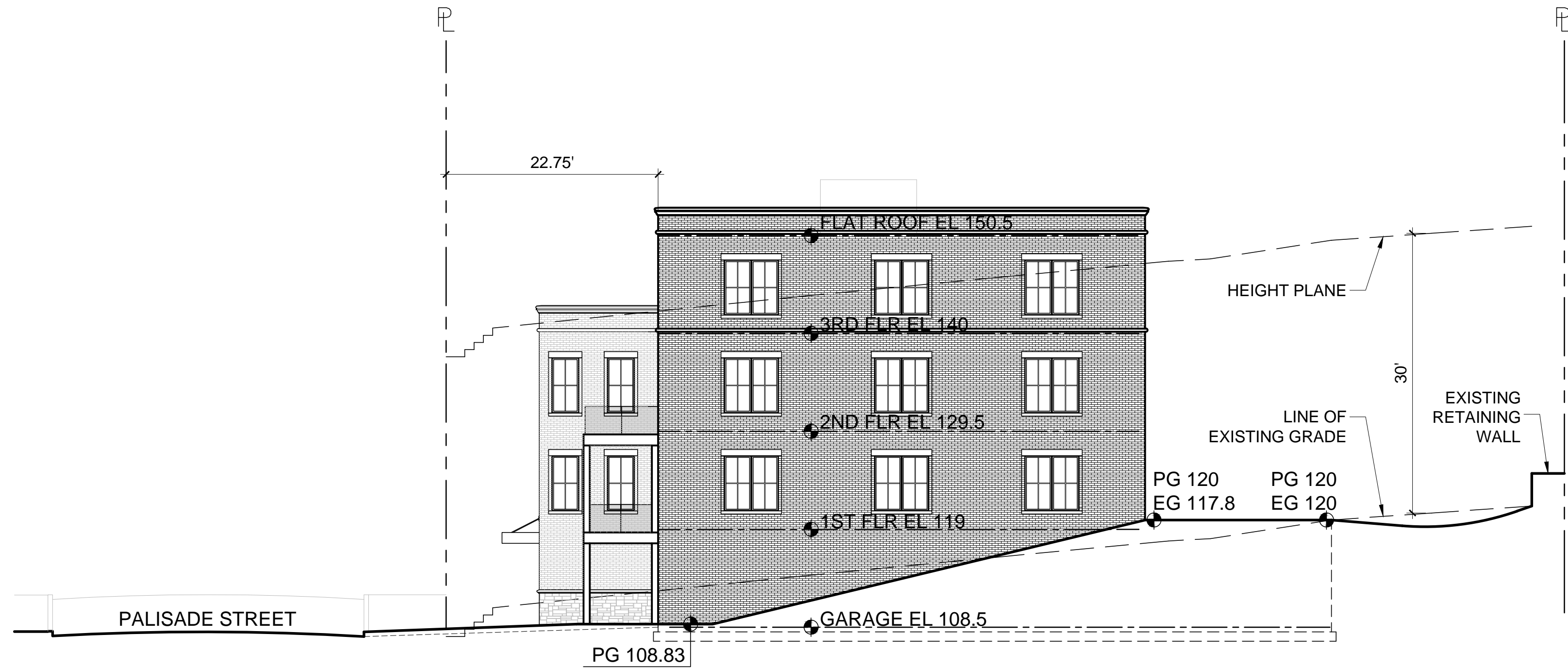
SP-2

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4



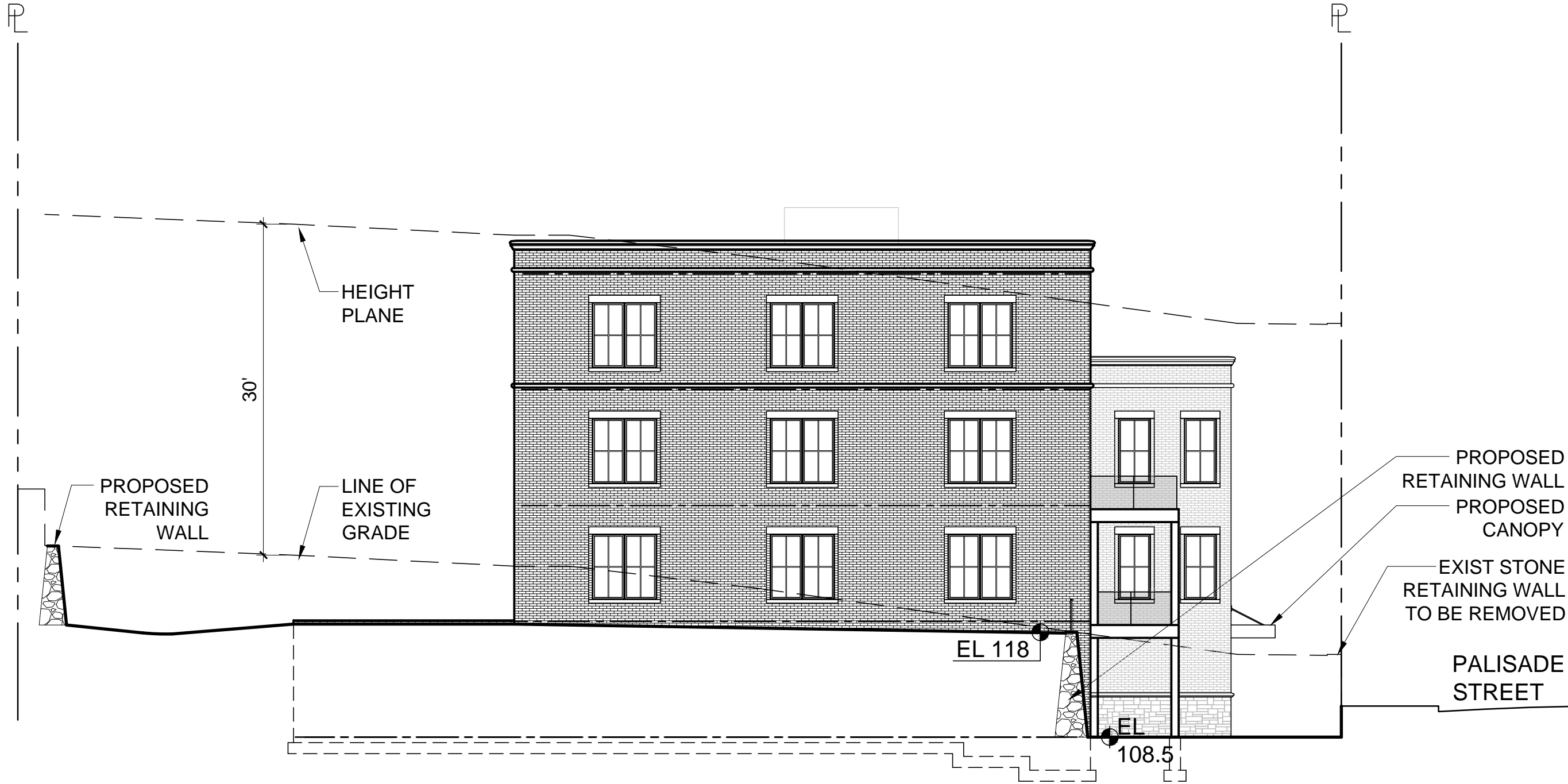
EAST ELEVATION

SCALE : 1" = 10'-0" GRAPHIC SCALE IN FEET
0 5 10 20



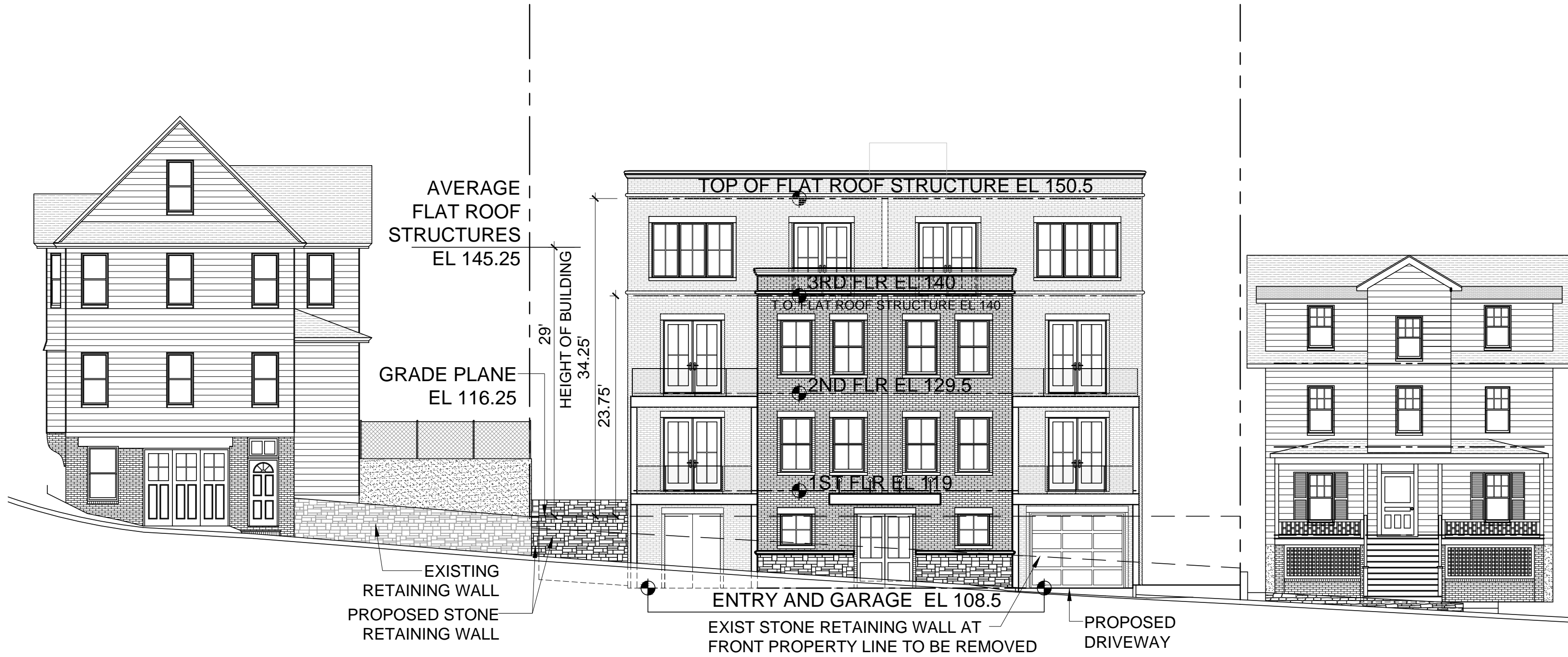
SOUTH ELEVATION

SCALE : 1" = 10'-0" GRAPHIC SCALE IN FEET
0 5 10 20



NORTH ELEVATION

SCALE : 1" = 10'-0" GRAPHIC SCALE IN FEET
0 5 10 20



WEST ELEVATION (PALISADE STREET)

SCALE : 1" = 10'-0" GRAPHIC SCALE IN FEET
0 5 10 20

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4



PROJECT TITLE:
156 PALISADE STREET
DOBBS FERRY, NEW YORK 10522
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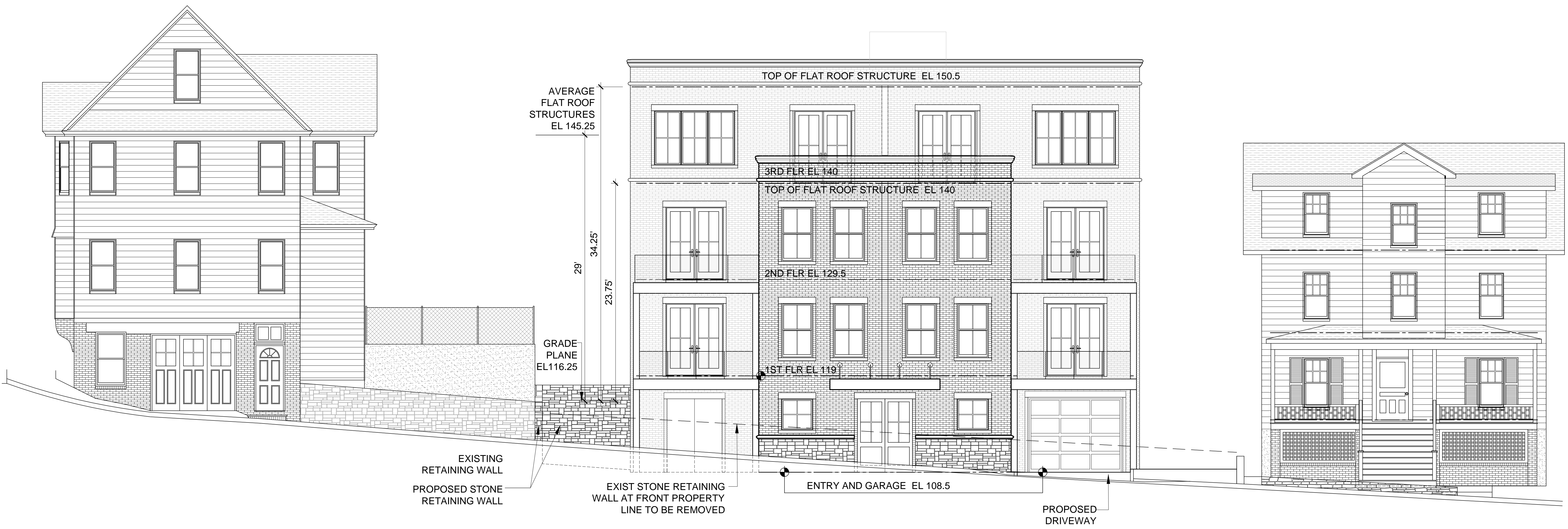
329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

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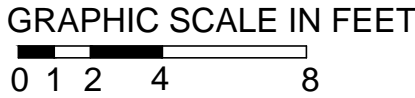
SHEET TITLE:
**CONCEPT PLAN
02-20-2020
ELEVATIONS**

DATE: **02-20-2020** DRAWN BY: **MB**
SCALE: **AS NOTED** CHECKED BY: **PRS**

SP-3



WEST ELEVATION (PALISADE STREET)
SCALE : 3/16" = 1'-0"



NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

PROJECT TITLE:
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1904**

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DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
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SUBMITTED TO PLANNING BOARD AND ZONING BOARD	07-16-2020

SHEET TITLE:
**CONCEPT PLAN
02-21-2020 B
WEST ELEVATION**

DATE: 02-21-2020	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

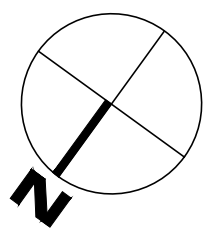
SP-4



STREET SCAPE ELEVATION

SCALE : 1" = 16'-0"

GRAPHIC SCALE IN FEET



CONTEXT AREA SITE PLAN

SCALE : 1" = 16'-0"

GRAPHIC SCALE IN FEET

PALISADE STREET

ADDRESS	NUMBER OF BUILDINGS	NUMBER OF UNITS	LOT AREA	BUILDING AREA (SQ.FT.)	BUILDING COVERAGE	FRONT SETBACK
83 CEDAR STREET	3	2	3,485	1,395	40.03 %	N / A
164 PALISADE STREET	2	2	3,920	1,141 + 493 = 1,634	41.68 %	0.5
156 PALISADE STREET	1	8	8,675	3,469	39.99 %	5.8 10 *
154 PALISADE STREET	1	4	6,098	2,072	33.98 %	17.5
150 + 148 PALISADE STREET	2	4	6,098	1,135 + 687 = 1,822	29.88 %	16.5 AND 4.5
144 PALISADE STREET	1	2	5,227	823	15.75 %	10
142 PALISADE STREET	2	4	5,227	1,680 + 810 = 2,490	47.64 %	1
138 PALISADE STREET	1	8	4,356	3,196	73.37 %	1
134 PALISADE STREET	1	5	4,792	2,968	61.94 %	7.5

THE AVERAGE BUILDING SITE COVERAGE EXISTING WITHOUT 156 PALISADE STREET IS 43.03 %. WITH 156 PALISADE STREET AS PROPOSED INCLUDED, THE AVERAGE BUILDING SITE COVERAGE WOULD BE 42.70 %

TOTAL 64.3 / 9 = 7.1444

* PROPOSED BUILDING

FRONT SETBACK NOTE:
ALL THESE DIMENSIONS WERE TAKEN AT THE PROPERTIES BY MEASURING THE FRONT OF THE BUILDING TO THE STREET SIDE OF THE CURB. THE CONTROL WAS ESTABLISHED BY 164, 156 AND 154 PALISADE STREET, WHICH ARE SHOWN ON THE SURVEY. THIS RESULTED IN A DIMENSION FROM THE STREET SIDE OF THE CURB TO THE PROPERTY LINE OF 9 FEET. WE THEN SUBTRACTED 9 FEET FROM EACH MEASUREMENT TO DETERMINE THE SETBACK. OBSERVATION INDICATES THAT THE CURB IS A STRAIGHT LINE, AS ARE THE FRONT PROPERTY LINES. THE ACTUAL CALCULATION USED FOR 156 IS 5.8 FEET, ALTHOUGH THE SURVEY INDICATES AN ACTUAL SETBACK OF 5.6 FEET. WE INCLUDED THIS DEVIATION IN OUR CALCULATIONS TO HAVE ANY ERROR INCREASE THE SETBACK, INSTEAD DECREASE THE SETBACK TO COMPENSATE FOR ANY DEVIATION IN THE MEASUREMENTS TAKEN. THIS IS AN ERROR ALLOWANCE OF 0.2 FEET WHICH IS 2.4 INCHES. THIS ADJUSTS FOR ANY INSTANCE IN WHICH THE TAPE MEASURE WAS NOT PERFECTLY PERPENDICULAR TO THE PROPERTY LINE OR NOT PERFECTLY LEVEL.

64.3 FEET DIVIDED BY 9 PROPERTIES EQUALS A PREVAILING SETBACK OF 7.1444 FEET

PROJECT TITLE:

156 PALISADE STREET

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SHEET TITLE:
STREETSCAPE
ELEVATION
CONTEXT AREA
SITE PLAN
CONCEPT 02-21-2020 B

DATE: 02-24-2020
DRAWN BY: MB
SCALE: AS NOTED
CHECKED BY: PRS

SS