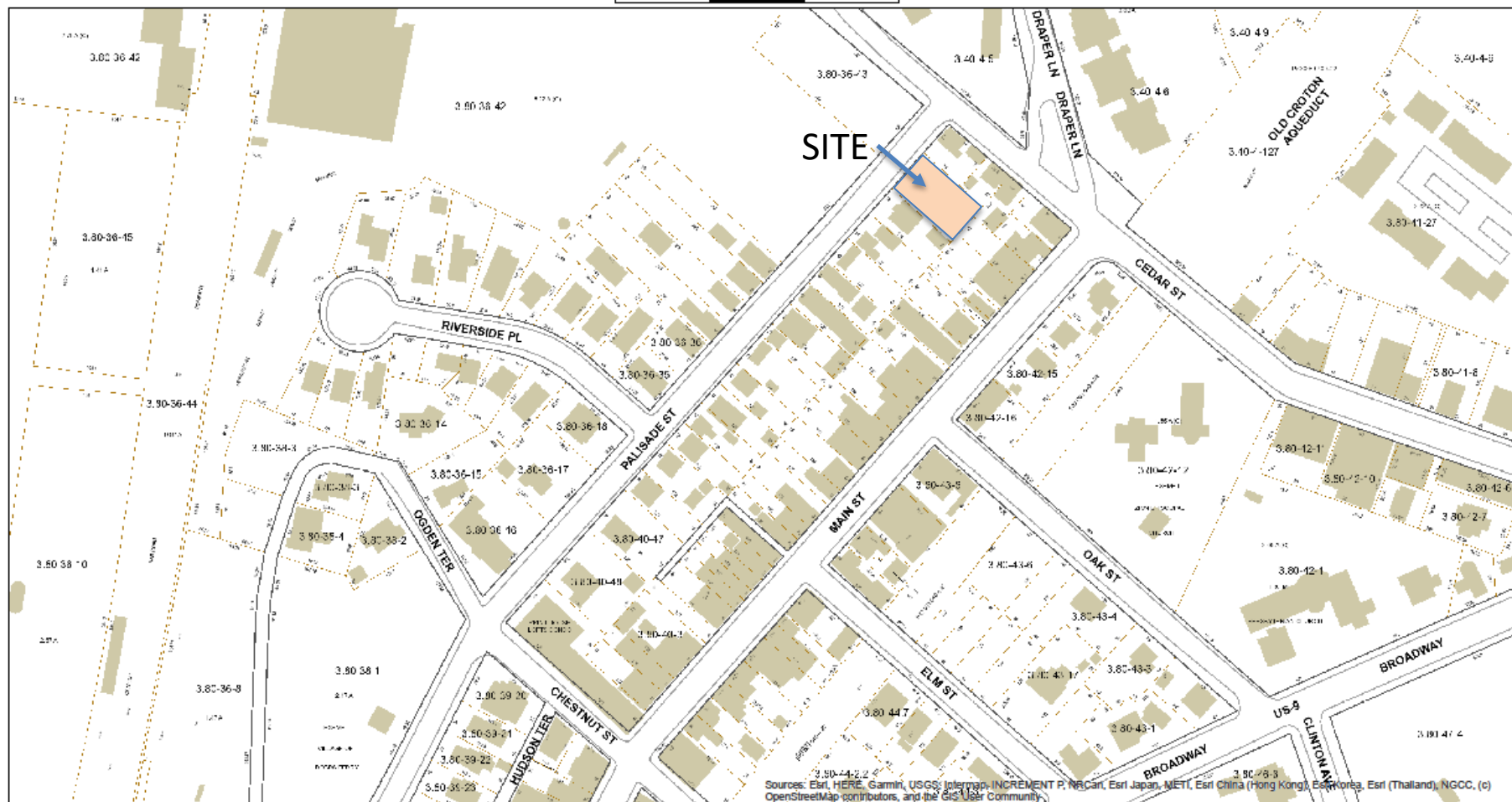


156 PALISADE STREET

Planning Board



August 6, 2020

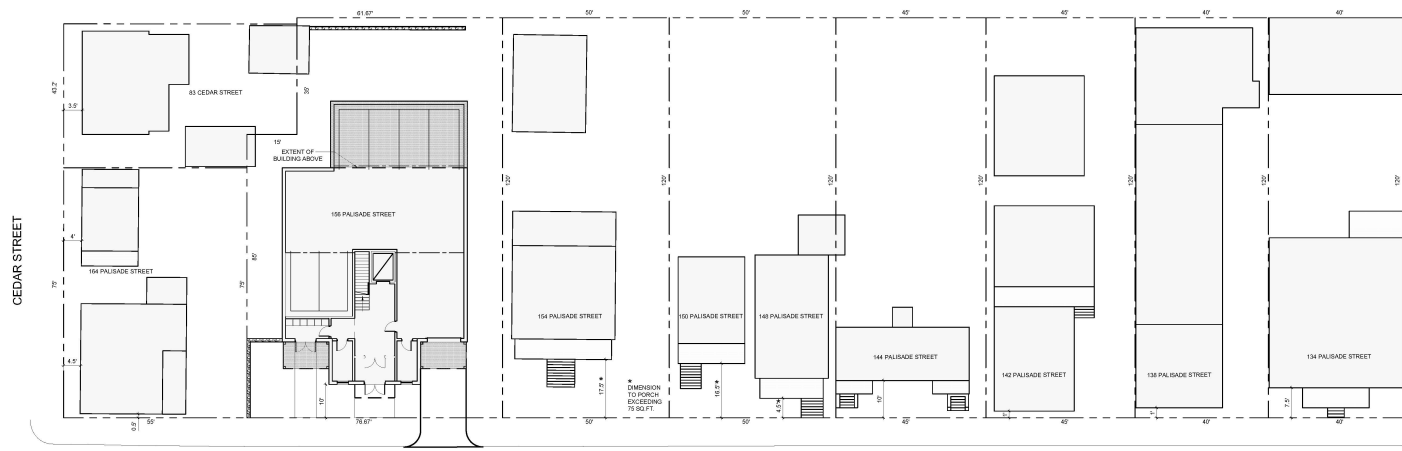


Data displayed on this map is for informational purposes only. Most layers originate from 3rd parties and cannot be verified by the Tax Assessor's office or CAI Technologies. Please consult with department or organization where data originates in order to verify accuracy. Any questions, call Town Assessor's Office: 1-914-989-1520.



STREET SCALE ELEVATION

SCALE: 1" = 16'-0"
GRAPHIC SCALE IN FEET
0 4 8 16 32



PALISADE STREET

ADDRESS	NUMBER OF BUILDINGS	NUMBER OF UNITS	LOT AREA	BUILDING AREA (SQ.FT.)	BUILDING COVERAGE	FRONT SETBACK
83 CEDAR STREET	3	2	3,485	1,395	40.03 %	N/A
154 PALISADE STREET	2	2	3,920	1,141 + 483 + 1,034	41.88 %	0.5
156 PALISADE STREET	1	8	8,675	3,469	39.99 %	5.8 10*
154 PALISADE STREET	1	4	6,098	2,072	33.98 %	17.5
150 + 148 PALISADE STREET	2	4	6,098	1,135 + 887 + 1,822	29.98 %	16.5 AND 4.5
144 PALISADE STREET	1	2	5,227	823	15.75 %	10
142 PALISADE STREET	2	4	5,227	1,880 + 810 + 2,490	47.84 %	1
138 PALISADE STREET	1	8	4,356	3,196	73.37 %	1
134 PALISADE STREET	1	5	4,792	2,968	61.94 %	7.5

THE AVERAGE BUILDING SITE COVERAGE EXISTING WITHOUT 156 PALISADE STREET IS 43.03 %. WITH 156 PALISADE STREET AS PROPOSED INCLUDED, THE AVERAGE BUILDING SITE COVERAGE WOULD BE 42.70 %

TOTAL 843/9 = 7.144
* PROPOSED BUILDING

FRONT SETBACK NOTE:
ALL THESE DIMENSIONS WERE TAKEN AT THE PROPERTIES BY MEASURING THE FRONT OF THE BUILDING TO THE STREET SIDE OF THE CURB. THE CONTROL WAS ESTABLISHED BY 154, 156 AND 154 PALISADE STREET, WHICH ARE SHOWN ON THE SURVEY. THIS RESULTED IN A DIMENSION FROM THE STREET SIDE OF THE CURB TO THE PROPERTY LINE OF 9 FEET. WE THEN SUBTRACTED 9 FEET FROM EACH MEASUREMENT TO DETERMINE THE SETBACK. OBSERVATION INDICATES THAT THE CURB IS A STRAIGHT LINE, AS ARE THE FRONT PROPERTY LINES. THE ACTUAL CALCULATION USED FOR 156 IS 5.8 FEET. ALTHOUGH THE SURVEY INDICATES AN ACTUAL SETBACK OF 5.8 FEET, WE INCLUDED THIS DEVIATION IN OUR CALCULATIONS TO HAVE ANY BROW INCREASE THE SETBACK INSTEAD DECREASE THE SETBACK TO COMPENSATE FOR ANY DEVIATION IN THE MEASUREMENTS TAKEN. THIS IS AN ERROR ALLOWANCE OF 0.2 FEET WHICH IS 2.4 INCHES. THIS ADJUSTS FOR ANY INSTANCE IN WHICH THE TAPE MEASURE WAS NOT PERFECTLY PERPENDICULAR TO THE PROPERTY LINE OR NOT PERFECTLY LEVEL.

64.2 FEET DIVIDED BY 9 PROPERTIES EQUALS A PREVAILING SETBACK OF 7.144 FEET



CONTEXT AREA SITE PLAN

SCALE: 1" = 16'-0"
GRAPHIC SCALE IN FEET
0 4 8 16 32

PROJECT TITLE

156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO. 1904

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS
PLANNING BOARD 06-25-2020
SUBMISSION

SHEET TITLE

**STREETSCAPE
ELEVATION
CONTEXT AREA
SITE PLAN
CONCEPT 02-21-2020 B**

DATE: 02-24-2020
SCALE: AS NOTED
DRAWN BY: MB
CHECKED BY: PRS

SS

Presented at August 6 2020 Planning Board

ADDRESS	NUMBER OF BUILDINGS	NUMBER OF UNITS	LOT AREA	BUILDING AREA (SQ.FT.)	BUILDING COVERAGE	FRONT SETBACK
83 CEDAR STREET	3	2	3,485	1,395	40.03 %	N / A
164 PALISADE STREET	2	2	3,920	1,141 + 493 = 1,634	41.68 %	0.5
156 PALISADE STREET	1	8	8,675	4,679	53.94 %	5.8 10 *
154 PALISADE STREET	1	4	6,098	2,072	33.98 %	17.5
150 + 148 PALISADE STREET	2	4	6,098	1,135 + 687 = 1,822	29.88 %	16.5 AND 4.5
144 PALISADE STREET	1	2	5,227	823	15.75 %	10
142 PALISADE STREET	2	4	5,227	1,680 + 810 = 2,490	47.64 %	1
138 PALISADE STREET	1	8	4,356	3,196	73.37 %	1
134 PALISADE STREET	1	5	4,792	2,968	61.94 %	7.5
THE AVERAGE BUILDING SITE COVERAGE EXISTING WITHOUT 156 PALISADE STREET IS 43.03 %, WITH 156 PALISADE STREET AS PROPOSED INCLUDED, THE AVERAGE BUILDING SITE COVERAGE WOULD BE 44.25 %					TOTAL 64.3 / 9 = 7.1444	

* PROPOSED BUILDING

FRONT SETBACK NOTE:

ALL THESE DIMENSIONS WERE TAKEN AT THE PROPERTIES BY MEASURING THE FRONT OF THE BUILDING TO THE STREET SIDE OF THE CURB. THE CONTROL WAS ESTABLISHED BY 164, 156 AND 154 PALISADE STREET, WHICH ARE SHOWN ON THE SURVEY. THIS RESULTED IN A DIMENSION FROM THE STREET SIDE OF THE CURB TO THE PROPERTY LINE OF 9 FEET. WE THEN SUBTRACTED 9 FEET FROM EACH MEASUREMENT TO DETERMINE THE SETBACK. OBSERVATION INDICATES THAT THE CURB IS A STRAIGHT LINE, AS ARE THE FRONT PROPERTY LINES. THE ACTUAL CALCULATION USED FOR 156 IS 5.8 FEET, ALTHOUGH THE SURVEY INDICATES AN ACTUAL SETBACK OF 5.6 FEET. WE INCLUDED THIS DEVIATION IN OUR CALCULATIONS TO HAVE ANY ERROR INCREASE THE SETBACK, INSTEAD DECREASE THE SETBACK TO COMPENSATE FOR ANY DEVIATION IN THE MEASUREMENTS TAKEN. THIS IS AN ERROR ALLOWANCE OF 0.2 FEET WHICH IS 2.4 INCHES. THIS ADJUSTS FOR ANY INSTANCE IN WHICH THE TAPE MEASURE WAS NOT PERFECTLY PERPENDICULAR TO THE PROPERTY LINE OR NOT PERFECTLY LEVEL.

64.3 FEET DIVIDED BY 9 PROPERTIES EQUALS A PREVAILING SETBACK OF 7.1444 FEET

For 75% of the properties within the Context Area of 156 Palisade to be compliant, The building site coverage in the Code would have to be 47.64%. This would leave 134 Palisade with 61.94% building coverage and 138 Palisade with 73.37% building Coverage noncompliant. During the site walk and during previous meetings, members Of the Planning Board cited both 134 and 138 as examples of acceptable buildings in The MDR-2 zoning district.

Revised for May 7 Planning Board



Presented at February 6 Planning Board



32.5 Feet on a 40 Foot Lot

Presented at February 6 Planning Board



28.6 Feet on a 40 Foot Lot

Presented at February 6 Planning Board



Presented at February 6 Planning Board



Presented at August 6 2020 Planning Board



Presented at August 6 2020 Planning Board



Presented at August 6 2020 Planning Board



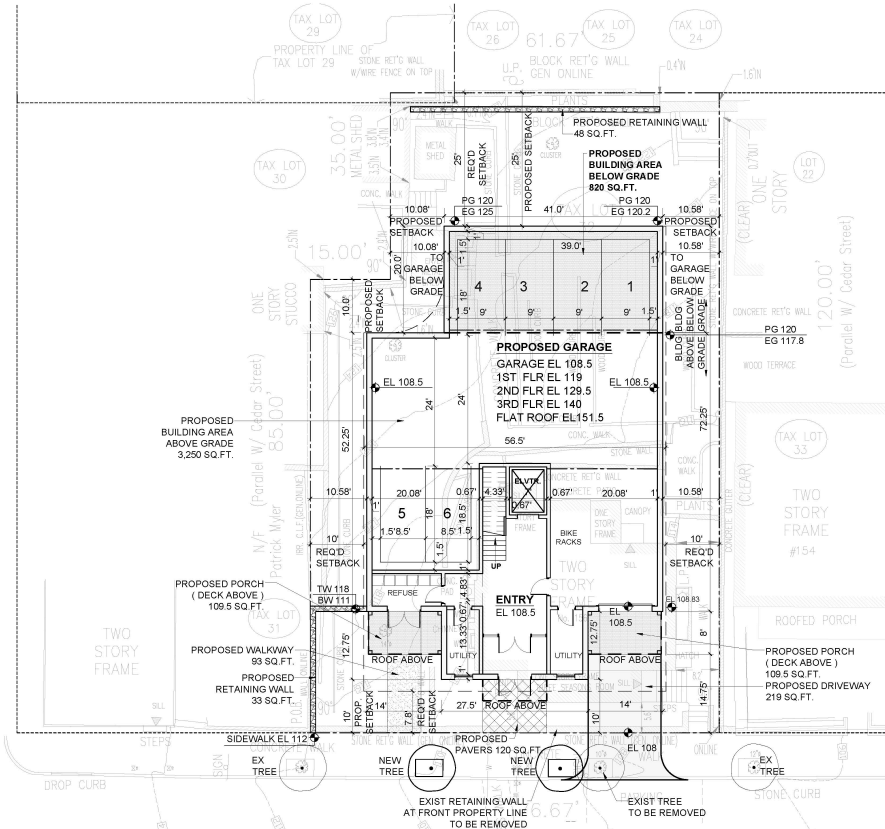
Presented at August 6 2020 Planning Board



Presented at August 6 2020 Planning Board

Building Coverage 39.99%

Six Residential Units – 2 Bedrooms Each



Six On-Site Parking Spaces

Three On-Street Parking Spaces

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4



SITE PLAN - GARAGE LEVEL
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

ALL SURVEYING INFORMATION ON THIS DRAWING
IS TAKEN FROM A SURVEY DATED MAY 04, 2019
PREPARED BY: SUMMIT LAND SURVEYING P.C.
64 VIRGINIA AVENUE
DOBBS FERRY, 10522
TEL 914 629 - 7758

ZONING TABLE					
PROPERTY LOCATION: 156 PALISADE STREET TAX ID NO. 3.82-740-32					
OWNER: 156 PALISADE STREET LLC 156 PALISADE STREET DOBBS FERRY, NY 10522					
ZONING DISTRICT	MCR-2				
REQUIREMENT	UNITS	REQUIRED ALLOWED	EXISTING	PROPOSED	VARIANCE/ VARIATION REQUESTED
MINIMUM NET LOT AREA	SQ.FT.	5,000	5,075	UNCHANGED	
MINIMUM LOT AREA PER DWELLING	SQ.FT.	800 PER UNIT	TO BE REMOVED	4 UNITS 8,075 / 800 = 10	
MINIMUM LOT WIDTH	FEET	50	75.87	UNCHANGED	
MINIMUM LOT DEPTH	FEET	100	102.3 (AVE)	UNCHANGED	
MAX. LOT COVERAGE BY BUILDINGS	%	27	16.87 (1,472)	39.99 (3,548)	YES
MAX. LOT COVERAGE BY IMPERVIOUS SURFACES	%	54	28.18 (2,445)	57.86 (5,141)	YES
MINIMUM FRONT YARD SETBACK	FEET	7.5 (PREVAILING)	5.8	10	
MINIMUM REAR YARD SETBACK	FEET	25	75.25	25	
MINIMUM SIDE YARD SETBACK ONE	FEET	10	6.1	10.09	
MINIMUM SIDE YARD SETBACK BOTH	FEET	20	38.86	20.66	
STORES	NUMBER	3	2	3	
MAXIMUM HEIGHT	PITCHED ROOF FLAT ROOF	FEET	45 30	21	T.B.D
OFF STREET PARKING	NUMBER	9	9	6	T.B.D
ON-STREET PARKING	NUMBER	9	9	3	T.B.D
T.B.D - TO BE DETERMINED					

BUILDING COVERAGE TABLE			
HOUSE	UNITS	EXISTING	PROPOSED
METAL SHEDS	SQ.FT.	1,287	
	SQ.FT.	175	
	TOTAL EXISTING	1,462	
TOTAL EXISTING BUILDING COVERAGE 1,462 / 6,875 = 21.28%			
PROPOSED THREE STORY BUILDING ABOVE GRADE	SQ.FT.		3,250
PROPOSED PORCHES / DECKS	SQ.FT.		219
	TOTAL PROPOSED		3,469
TOTAL PROPOSED BUILDING COVERAGE 3,469 / 6,875 = 50.33%			

IMPERVIOUS COVERAGE TABLE			
HOUSE	UNITS	EXISTING	PROPOSED
METAL SHEDS	SQ.FT.	1,287	
WALKS AND STEPS	SQ.FT.	500	
RETAINING WALLS	SQ.FT.	403	
	TOTAL EXISTING	2,190	
TOTAL EXISTING IMPERVIOUS COVERAGE 2,190 / 6,875 = 31.86%			
EXISTING RETAINING WALLS TO REMAIN	SQ.FT.		300
PROPOSED THREE STORY BUILDING ABOVE GRADE	SQ.FT.		3,250
PROPOSED PORCHES / DECKS	SQ.FT.		219
PROPOSED BUILDING BELOW GRADE	SQ.FT.		820
PROPOSED RETAINING WALLS	SQ.FT.		65
PROPOSED PAVERS	SQ.FT.		120
PROPOSED WALKWAY	SQ.FT.		65
PROPOSED DRIVEWAY	SQ.FT.		219
	TOTAL PROPOSED		5,014
TOTAL PROPOSED IMPERVIOUS COVERAGE 5,014 / 6,875 = 72.93%			

FLOOR AREAS TABLE				
STORY	EXISTING AREA	EXISTING HABITABLE AREA	AREA OF RENOVATION	NEW AREA
EXISTING FIRST FLOOR	1,287	± 1,197	0	
PROPOSED FIRST FLOOR				3,250
EXISTING SECOND FLOOR	1,287	± 975	0	
PROPOSED SECOND FLOOR				3,250
PROPOSED THIRD FLOOR				3,250
PROPOSED GARAGE				2,019

PROJECT TITLE
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO. 1904

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5393
Fax: (914) 693-5390
email: arch329@gmail.com

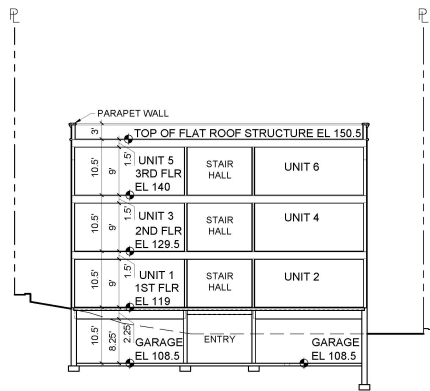
ISSUED / REVISIONS
PLANNING BOARD SUBMISSION 03-24-2020
PLANNING BOARD SUBMISSION 06-25-2020

SHEET TITLE
CONCEPT SITE PLAN 02-21-2020 B

DATE: 02-21-2020
SCALE: AS NOTED
DRAWN BY: MB
CHECKED BY: PRS

SP-1

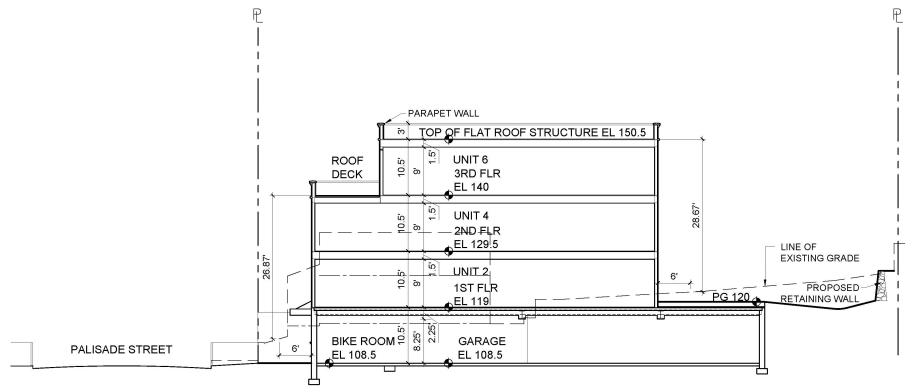
Presented at August 6 2020 Planning Board



BUILDING SECTION A-A

SCALE: 1" = 10'-0"

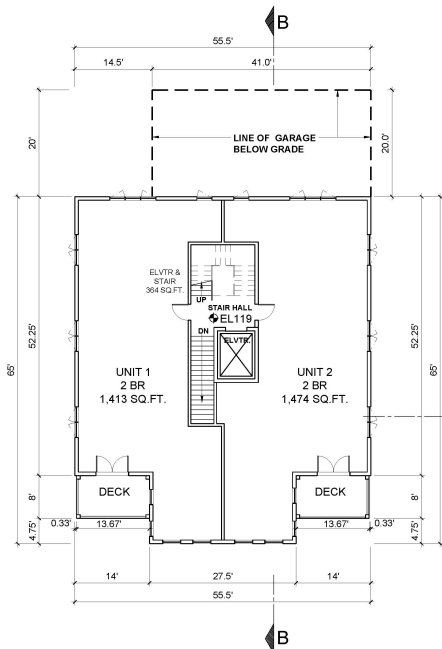
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BUILDING SECTION B-B

SCALE: 1" = 10'-0"

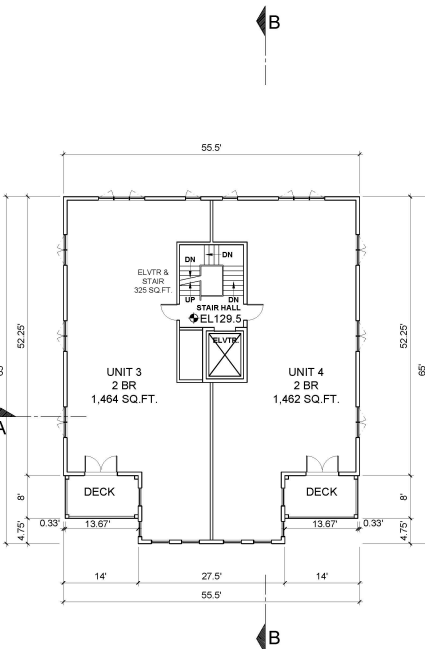
GRAPHIC SCALE IN FEET
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FIRST FLOOR PLAN

SCALE: 1" = 10'-0"

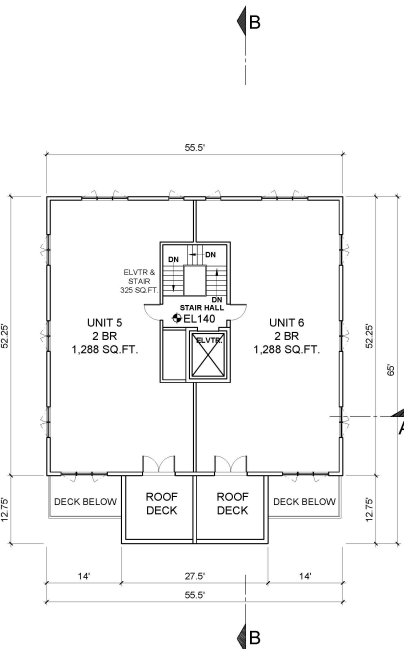
GRAPHIC SCALE IN FEET
0 5 10 20



SECOND FLOOR PLAN

SCALE: 1" = 10'-0"

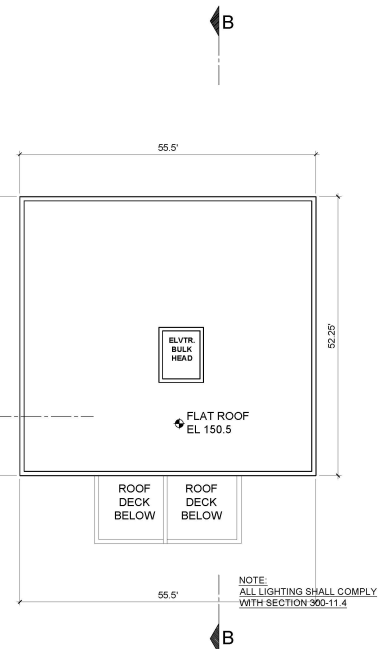
GRAPHIC SCALE IN FEET
0 5 10 20



THIRD FLOOR PLAN

SCALE: 1" = 10'-0"

GRAPHIC SCALE IN FEET
0 5 10 20



ROOF PLAN

SCALE: 1" = 10'-0"

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 900-11.4

PROJECT TITLE
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO. **1904**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS

DATE	DESCRIPTION
02-21-2020	CONCEPT PLAN
02-21-2020	MB
06-25-2020	PR

SHEET TITLE
CONCEPT PLAN
02-21-2020 B
FLOOR PLANS
BUILDING SECTIONS

DATE	DRAWN BY
02-21-2020	MB

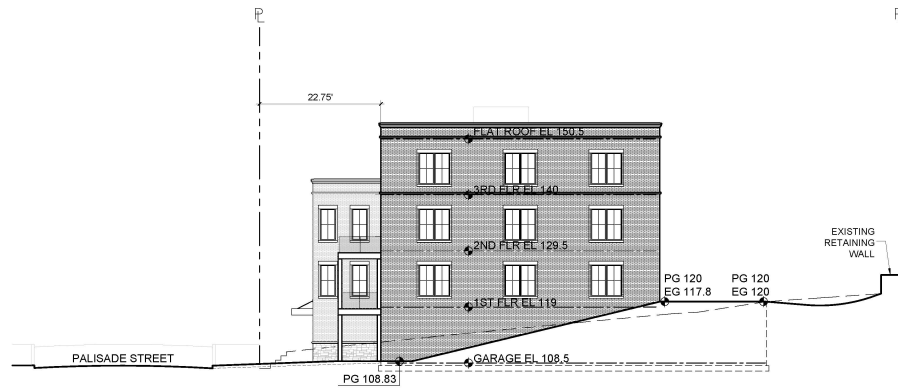
SCALE	CHECKED BY
AS NOTED	PR

SP-2

Presented at August 6 2020 Planning Board



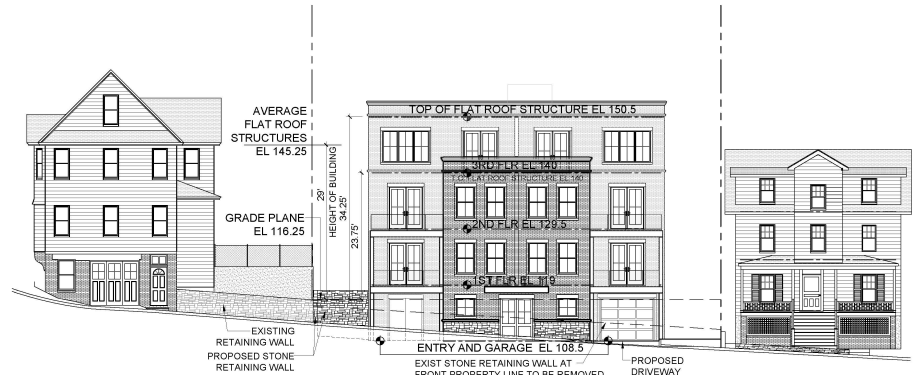
EAST ELEVATION
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



SOUTH ELEVATION
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



NORTH ELEVATION
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

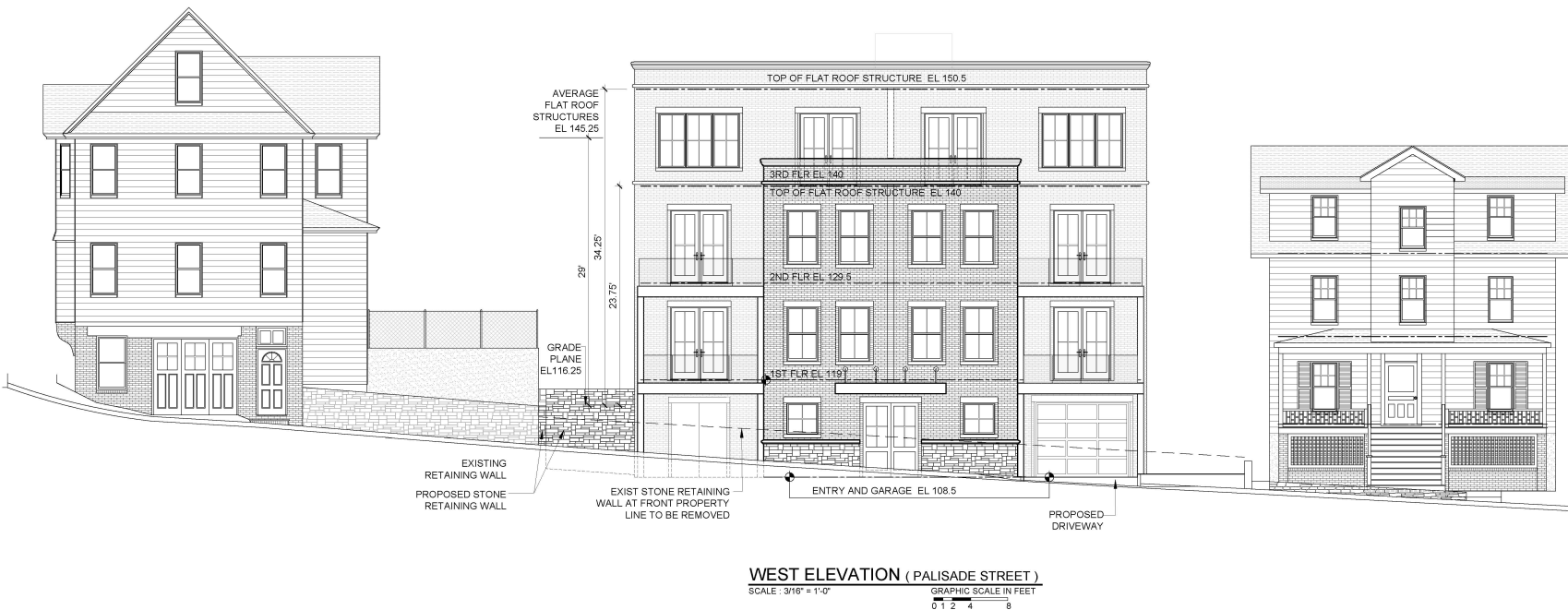


WEST ELEVATION (PALISADE STREET)
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

PROJECT TITLE	
156 PALISADE STREET	
DOBBS FERRY, NEW YORK 10522	
PROJECT NO. 1904	
GOTHAM DESIGN AND COMMUNITY DEVELOPMENT LTD.	
329 Broadway Dobbs Ferry, N.Y. 10522 Phone: (914) 693-5093 Fax: (914) 693-5390 email: arch329@gmail.com	
ISSUED / REVISIONS	
PLANNING BOARD SUBMISSION	01-23-2020
PLANNING BOARD SUBMISSION	06-25-2020
SHEET TITLE	
CONCEPT PLAN 02-20-2020 ELEVATIONS	
DATE	DRAWN BY
02-20-2020	MB
SCALE	CHECKED BY
AS NOTED	PRS
SP-3	

Presented at August 6 2020 Planning Board



PROJECT TITLE
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522
PROJECT NO. **1904**

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS
PLANNING BOARD SUBMISSION 02-24-2020
PLANNING BOARD SUBMISSION 06-25-2020

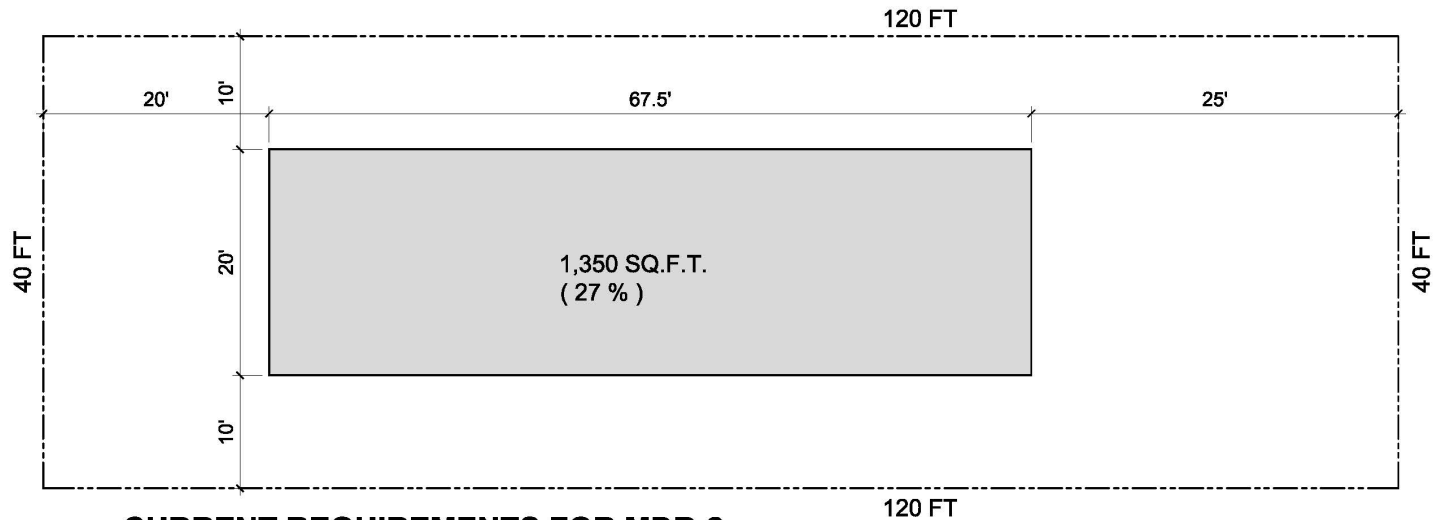
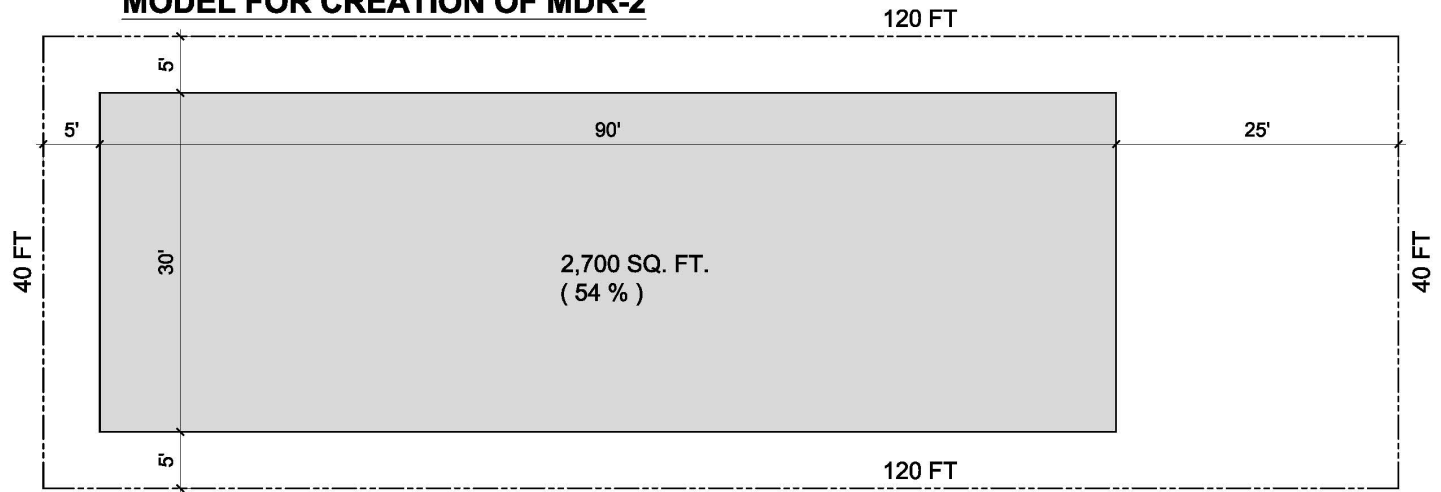
SHEET TITLE
**CONCEPT PLAN
02-21-2020 B
WEST ELEVATION**

DATE: 02-21-2020	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

SP-4

Presented at August 6 2020 Planning Board

MODEL FOR CREATION OF MDR-2



CURRENT REQUIREMENTS FOR MDR-2

Presented at August 6 2020 Planning Board

Project Fundamentals:

Fit with Neighborhood Character

- Height
- Massing
- Setbacks
- Solid Width Facing Street
- Street Life
 - Porches
 - Landscaping

Parking

- Location of Driveway
- Garage Door Facing the Street
- Enclosed or Open Parking Lot

If there is parking on this site, it will need to be at street level. Because of the terrain, on-site parking lift the building one story.

Required: 9 parking spaces.

Proposed: 6 off-street spaces, and 3 curb side spaces.

Site Conditions

This site is different from every other site on Palisade Street. The backyard of 156 ranges from el.120 to el.126, whereas the street elevation ranges from el.107 to e.111. The back of the building is at a grade 14 feet higher than the street level. Even if there was not a garage below this building, the first floor of apartments would need to be raised up one story – just like its neighbors.

Presented at August 6 2020 Planning Board

Proposed Dimensional Limits:

Height: Three stories with a flat roof that does not exceed 30 feet above the existing grade, as per the definition of Building Height in Section 300-14.

Note – We are excavating down to street level, which increases the actual height of the building, but not as defined in the Code. (TBC)

Setbacks: The front yard setback proposed is 10 feet. The Prevailing front yard setback in the Context Area is 7.8 feet.

Side Yard Setbacks: Proposed is 10.08 feet where 10 feet is required.

Rear Yard Setback: Proposed is 25 feet to the back of the parking area where 25 feet is required, if this is a covered structure. The rear yard setback to the building above grade is 45 feet.

Building Coverage: Proposed is 39.99% where the current limit is 27%. This does not include the back parking area, which can be left uncovered, if preferred.

Site Coverage: Proposed is 57.8%, where the current limit is 54%.

Presented at August 6 2020 Planning Board

Section 300-14 Definitions

BUILDING HEIGHT

Building height is measured as follows: The maximum height of a structure in feet shall be measured perpendicularly from the existing grade to an imaginary plane located the permitted number of feet above and parallel to the existing grade. For peaked roofs, height shall be measured to the midpoint of the roof. No portion of a peaked roof below the midpoint shall extend above said imaginary plane. For flat roofs, height shall be measured to the top of the roof. No portion of a flat roof shall extend above the imaginary plane. Parapets with a height of 36 inches or less are not included in determining building height.

This suggests that the permitted height is a plane that
Parallels the ground plane. When the site is not flat, it creates
An interesting situation.

Presented at August 6 2020 Planning Board



Presented at August 6 2020 Planning Board

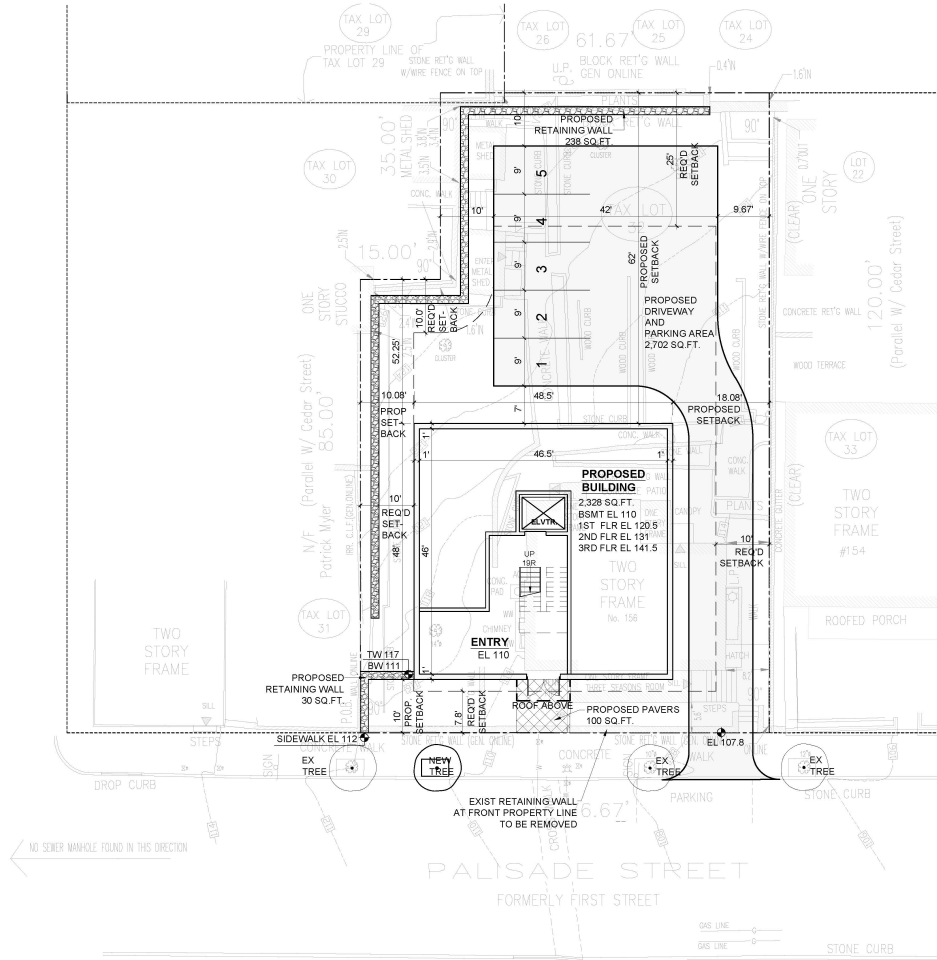


Presented at August 6 2020 Planning Board



Presented at August 6 2020 Planning Board

CEDAR STREET



NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4



SITE PLAN - GARAGE LEVEL
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

ALL SURVEYING INFORMATION ON THIS DRAWING
IS TAKEN FROM A SURVEY DATED MAY 04, 2019
PREPARED BY: SUMMIT LAND SURVEYING P.C.
64 VIRGINIA AVENUE
DOBBS FERRY, 10522
TEL 914 629 - 7758

ZONING TABLE					
PROPERTY LOCATION: 156 PALISADE STREET TAX ID NO. 3.85-40-32					
OWNER: 156 PALISADE STREET LLC 156 PALISADE STREET DOBBS FERRY, NY 10522					
ZONING DISTRICT	MCR-2				
REQUIREMENT	UNITS	REQUIRED ALLOWED	EXISTING	PROPOSED	VARIANCE/WAIVER REQUESTED
MINIMUM NET LOT AREA	SQ.FT.	5,000	5,075	UNCHANGED	
MINIMUM LOT AREA PER DWELLING	SQ.FT.	800 PER UNIT	TO BE REMOVED	4 UNITS 5,075 / 800 = 6.34	
MINIMUM LOT WIDTH	FEET	50	75.87	UNCHANGED	
MINIMUM LOT DEPTH	FEET	100	102.3 (AVG)	UNCHANGED	
MAX LOT COVERAGE BY BUILDINGS	%	27	16.87 (1,472)	26.85 (2,308)	
MAX LOT COVERAGE BY IMPERVIOUS SURFACES	%	54	28.16 (2,445)	55.85 (5,159)	YES
MINIMUM FRONT YARD SETBACK	FEET	7.5 (PREVAILING)	5.8	10	
MINIMUM REAR YARD SETBACK	FEET	25	75.25	52	
MINIMUM SIDE YARD SETBACK ONE	FEET	10	6.1	10.59	
MINIMUM SIDE YARD SETBACK BOTH	FEET	20	38.85	28.16	
STORIES	NUMBER	3	2	3	
MAXIMUM HEIGHT	PITCHED ROOF FLAT ROOF	FEET FEET	45 30	31 20	
SAVE HEIGHT	FEET	28	30	N/A	
OFF STREET PARKING	NUMBER	9	9	9	YES
ON STREET PARKING	NUMBER	9	9	9	
TBD - TO BE DETERMINED					

BUILDING COVERAGE TABLE			
HOUSE	UNITS	EXISTING	PROPOSED
HOUSE	SQ.FT.	1,287	
METAL SHEDS	SQ.FT.	175	
	TOTAL EXISTING	1,462	
TOTAL EXISTING BUILDING COVERAGE 1,462 / 6,875 = 21.12%			
PROPOSED THREE STORY BUILDING ABOVE GRADE	SQ.FT.		2,308
	TOTAL PROPOSED		2,308
TOTAL PROPOSED BUILDING COVERAGE 2,308 / 6,875 = 33.58%			

IMPERVIOUS COVERAGE TABLE			
HOUSE	UNITS	EXISTING	PROPOSED
HOUSE	SQ.FT.	1,287	
METAL SHEDS	SQ.FT.	175	
WALKS AND STEPS	SQ.FT.	550	
RETAINING WALLS	SQ.FT.	483	
	TOTAL EXISTING	2,495	
TOTAL EXISTING IMPERVIOUS COVERAGE 2,495 / 6,875 = 36.14%			
EXISTING RETAINING WALLS TO REMAIN	SQ.FT.		200
PROPOSED THREE STORY BUILDING ABOVE GRADE	SQ.FT.		2,308
	TOTAL PROPOSED		2,508
PROPOSED RETAINING WALLS	SQ.FT.		268
PROPOSED PAVERS	SQ.FT.		100
PROPOSED DRIVEWAY	SQ.FT.		2,702
	TOTAL PROPOSED		5,566
TOTAL PROPOSED IMPERVIOUS COVERAGE 5,566 / 6,875 = 80.98%			

FLOOR AREAS TABLE				
STORY	EXISTING AREA	EXISTING HABITABLE AREA	AREA OF RENOVATION	NEW AREA
EXISTING FIRST FLOOR	1,287	± 1,197	0	
PROPOSED FIRST FLOOR				2,308
EXISTING SECOND FLOOR	1,287	± 975	0	
PROPOSED SECOND FLOOR				2,308
PROPOSED THIRD FLOOR				2,000
PROPOSED BASEMENT				2,208

PROJECT TITLE
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO. 1904

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Doobs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

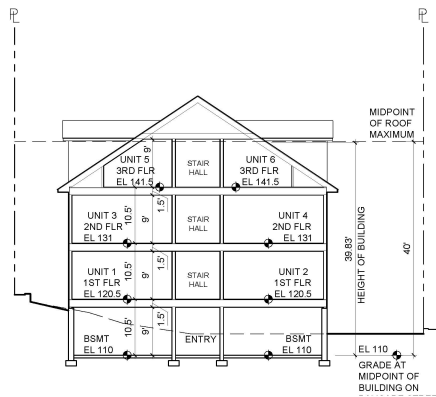
ISSUED / REVISIONS

SHEET TITLE
**AS OF RIGHT
SITE PLAN**

DATE: 07-16-2020
SCALE: AS NOTED
DRAWN BY: MB
CHECKED BY: PRS

SP-1

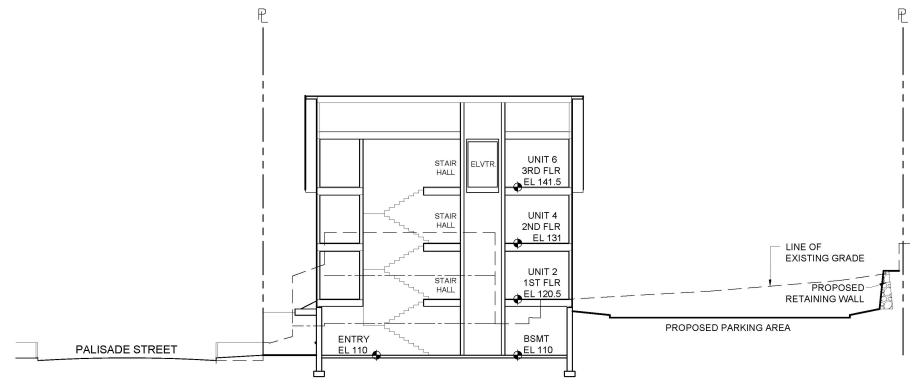
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BUILDING SECTION A-A

SCALE: 1" = 10'-0"

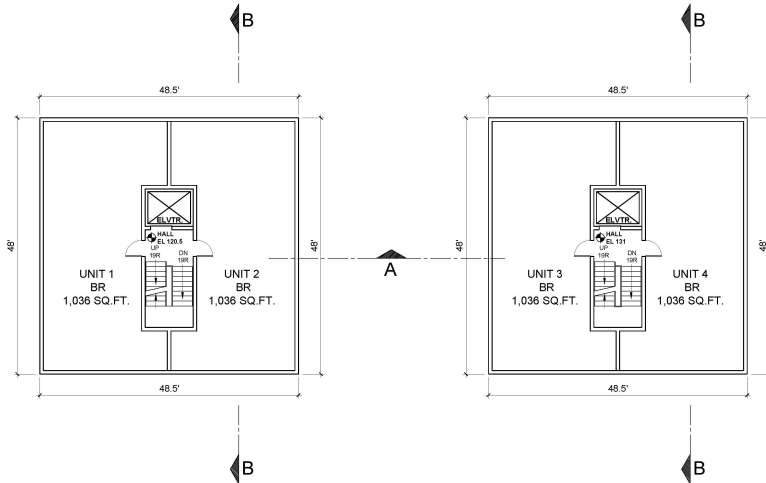
GRAPHIC SCALE IN FEET
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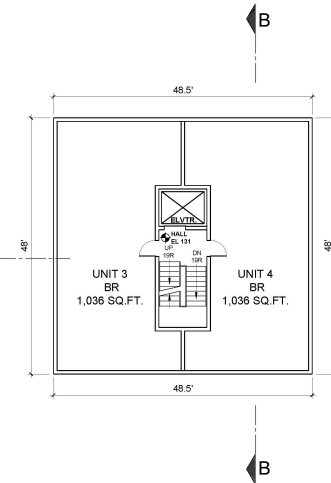
BUILDING SECTION B-B

SCALE: 1" = 10'-0"

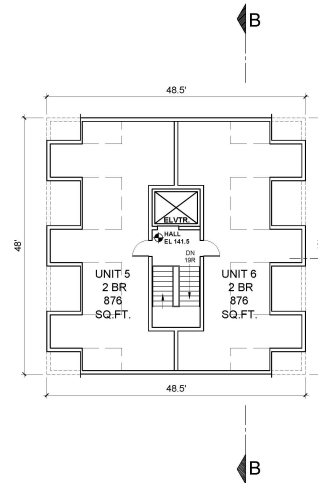
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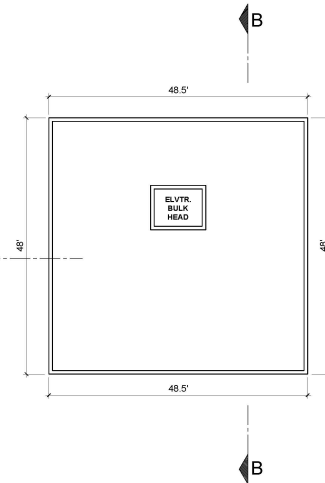
FIRST FLOOR PLAN
SCALE: 1" = 10'-0" GRAPHIC SCALE IN FEET
0 5 10 20



SECOND FLOOR PLAN
SCALE: 1" = 10'-0" GRAPHIC SCALE IN FEET
0 5 10 20



THIRD FLOOR PLAN
SCALE: 1" = 10'-0" GRAPHIC SCALE IN FEET
0 5 10 20



ROOF PLAN
SCALE: 1" = 10'-0" GRAPHIC SCALE IN FEET
0 5 10 20

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

PROJECT TITLE
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522

PROJECT NO. **1904**

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

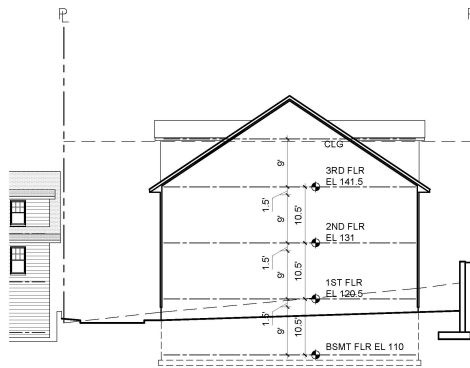
ISSUED / REVISIONS

SHEET TITLE
**AS OF RIGHT
FLOOR PLANS
BUILDING SECTIONS**

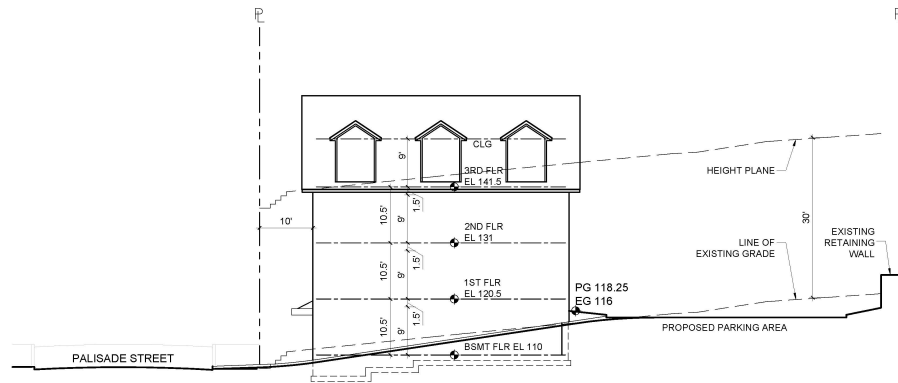
DATE 07-16-2020	DRAWN BY MB
SCALE AS NOTED	CHECKED BY PRS

SP-2

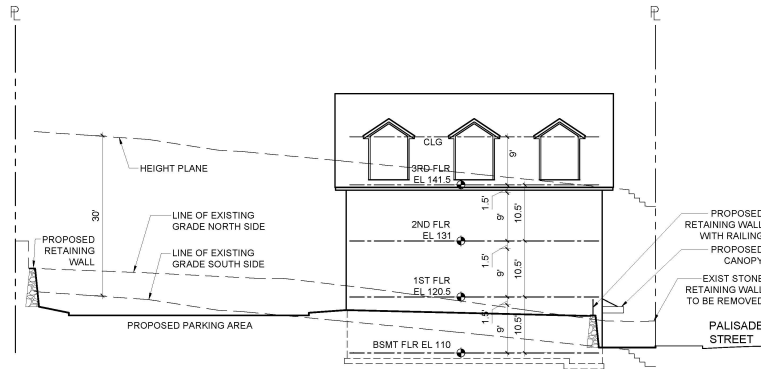
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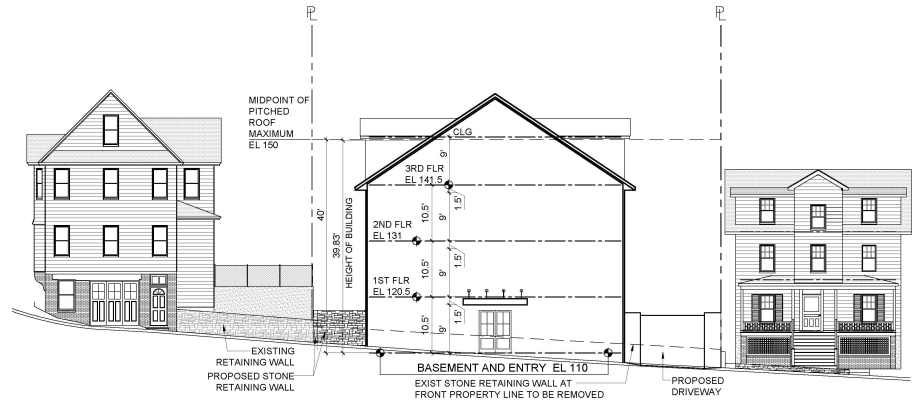
EAST ELEVATION
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



SOUTH ELEVATION
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20



NORTH ELEVATION
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

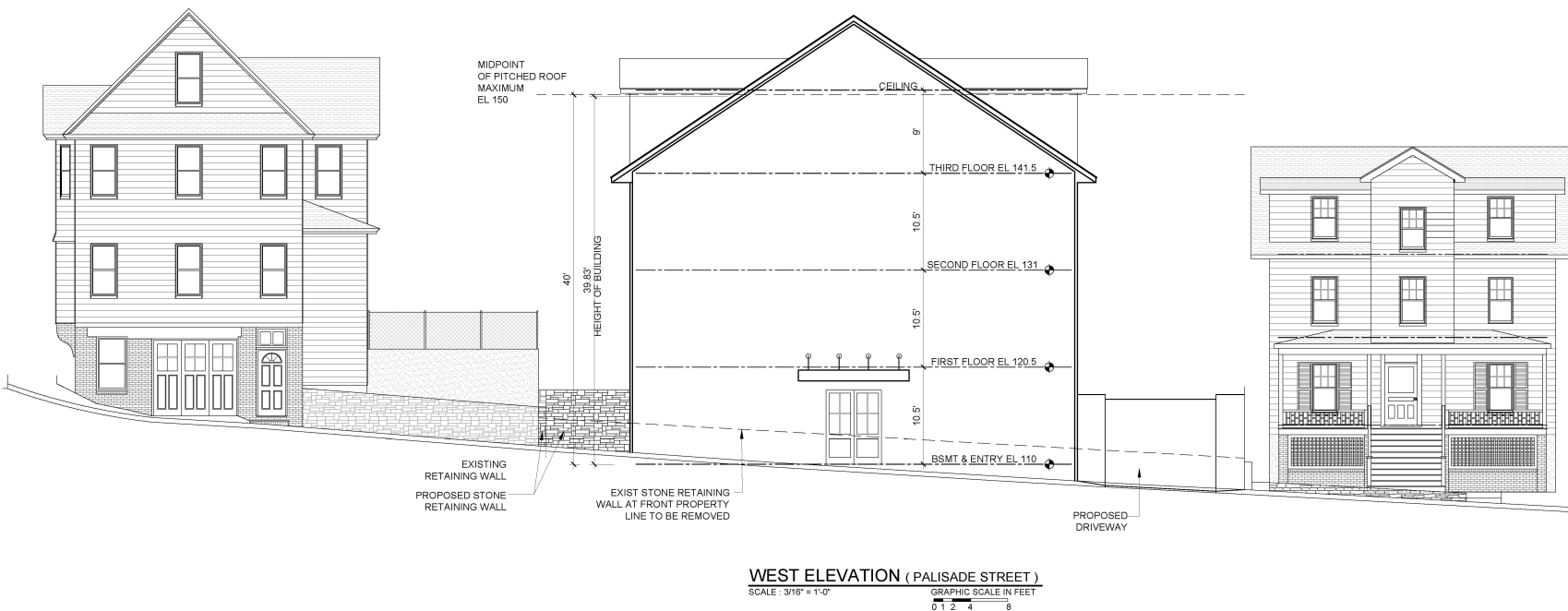


WEST ELEVATION (PALISADE STREET)
SCALE: 1" = 10'-0"
GRAPHIC SCALE IN FEET
0 5 10 20

NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

PROJECT TITLE 156 PALISADE STREET	
DOBBS FERRY, NEW YORK 10522	
PROJECT NO. 1904	
GOTHAM DESIGN AND COMMUNITY DEVELOPMENT LTD. 329 Broadway Dobbs Ferry, N.Y. 10522 Phone: (914) 693-5093 Fax: (914) 693-5390 email: arch329@gmail.com	
ISSUED / REVISIONS	
SHEET TITLE AS OF RIGHT ELEVATIONS	
DATE 07-16-2020	DRAWN BY MB
SCALE AS NOTED	CHECKED BY PRS
SP-3	

Presented at August 6 2020 Planning Board



NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

PROJECT TITLE
156 PALISADE STREET

DOBBS FERRY, NEW YORK 10522
PROJECT NO. **1904**

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

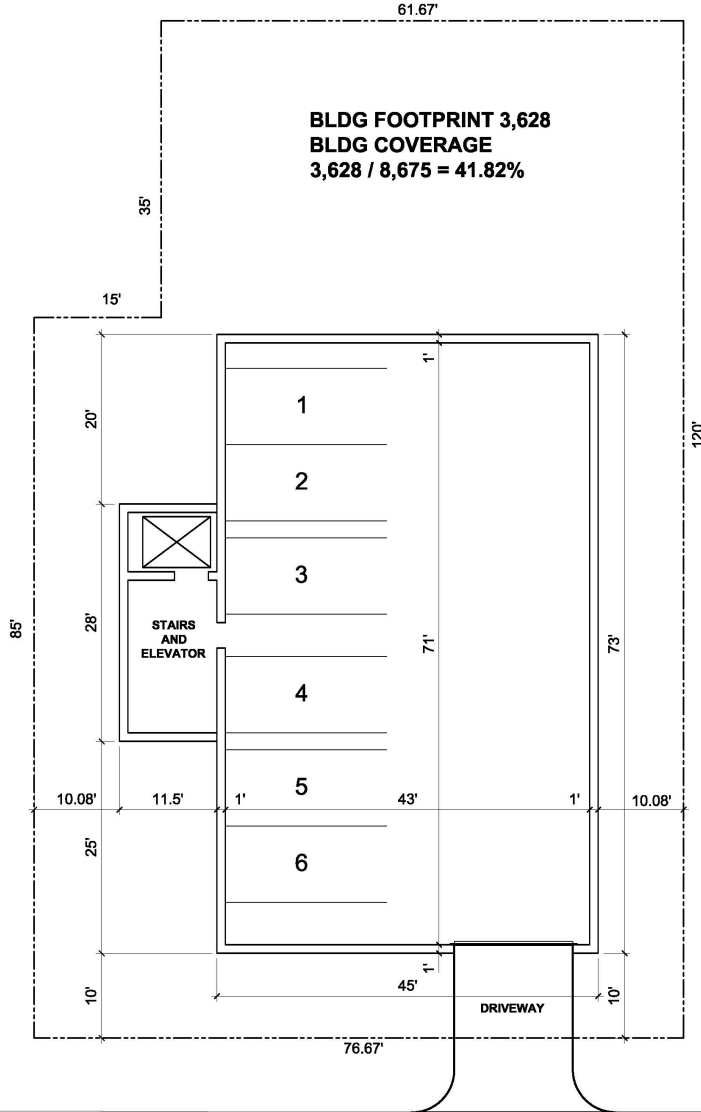
ISSUED / REVISIONS

SHEET TITLE
**AS OF RIGHT
WEST ELEVATION**

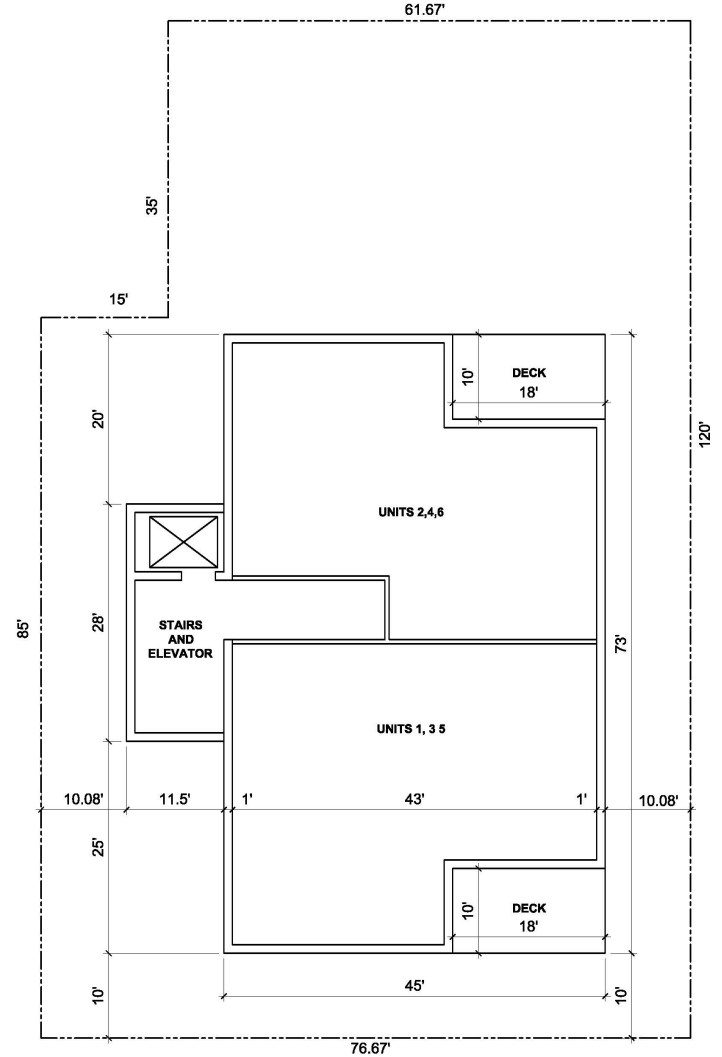
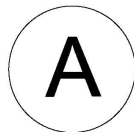
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SCALE: AS NOTED	CHECKED BY: PRS

SP-4

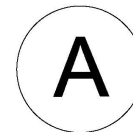
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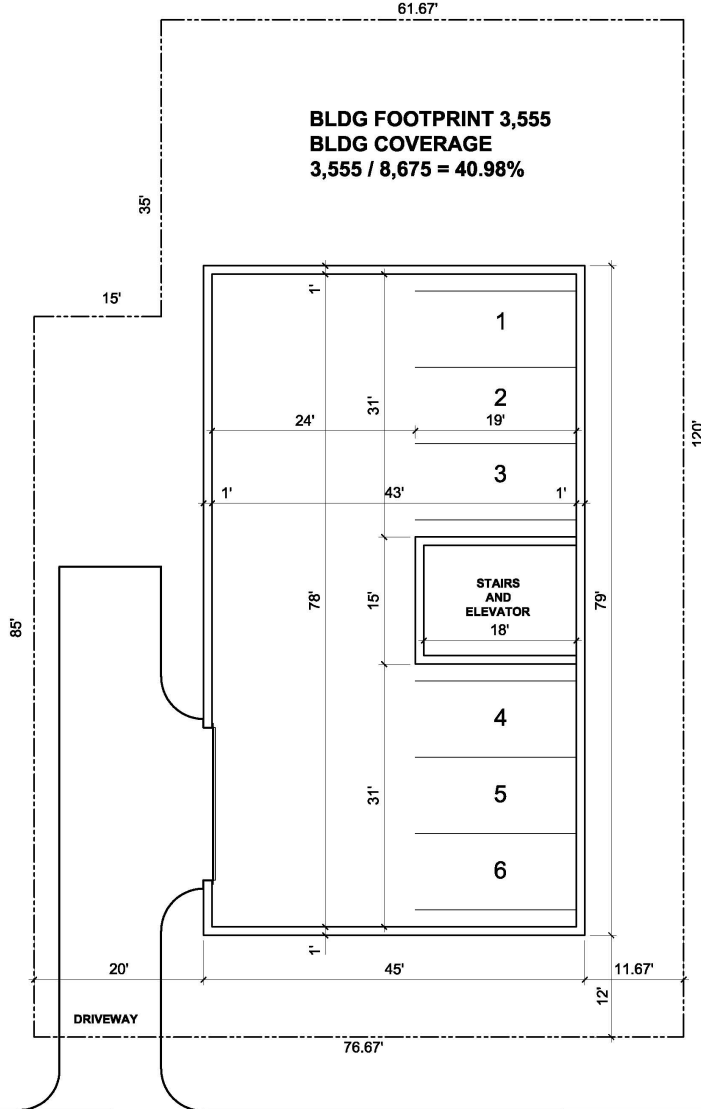
PALISADE STREET



PALISADE STREET

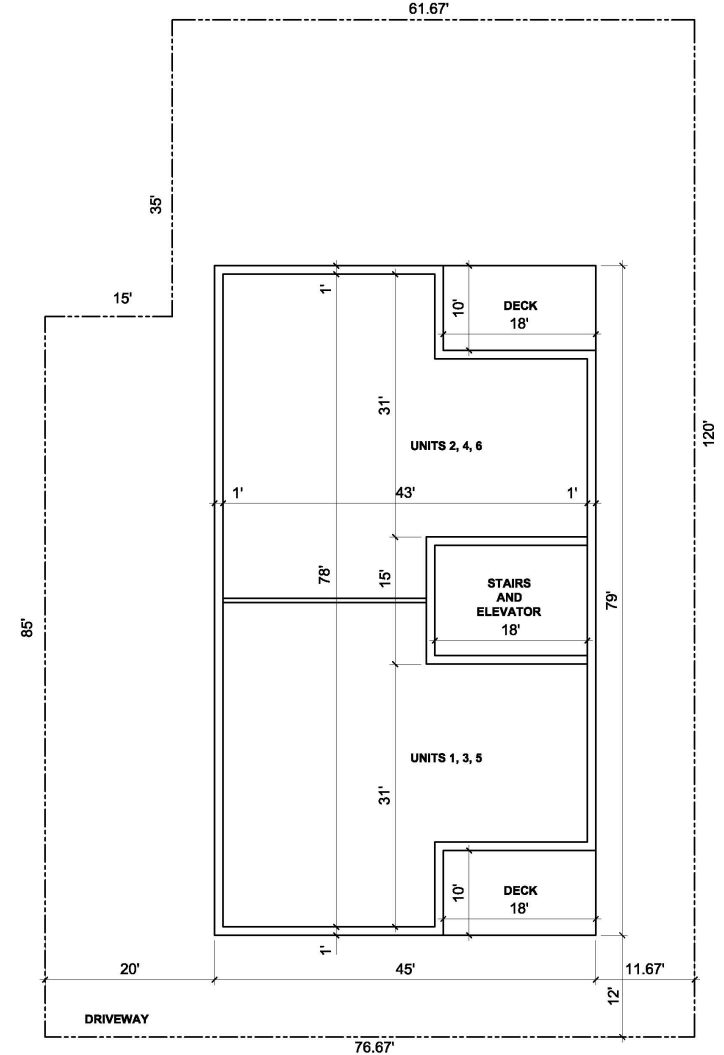


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PALISADE STREET

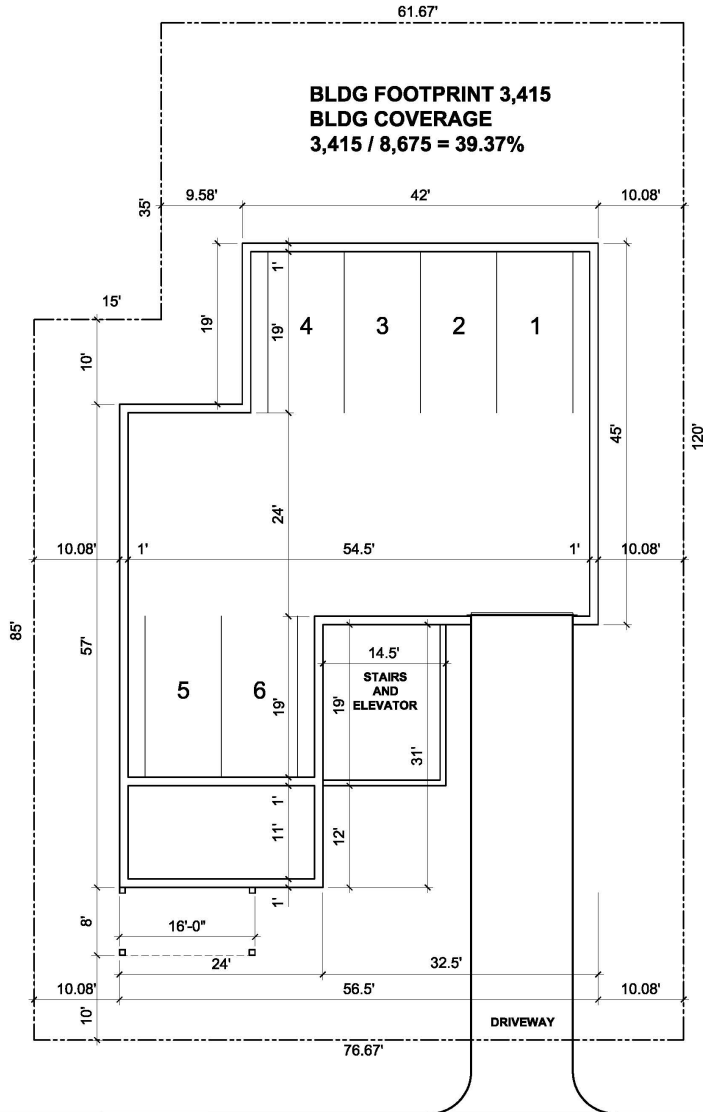
B



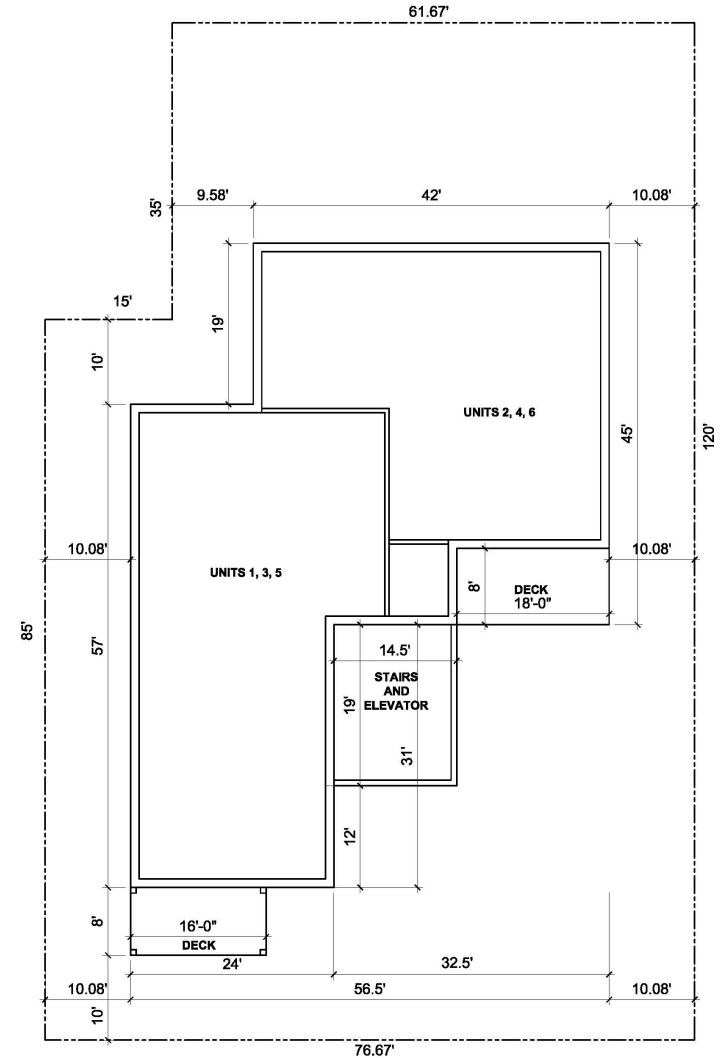
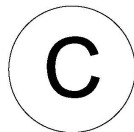
PALISADE STREET

B

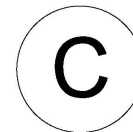
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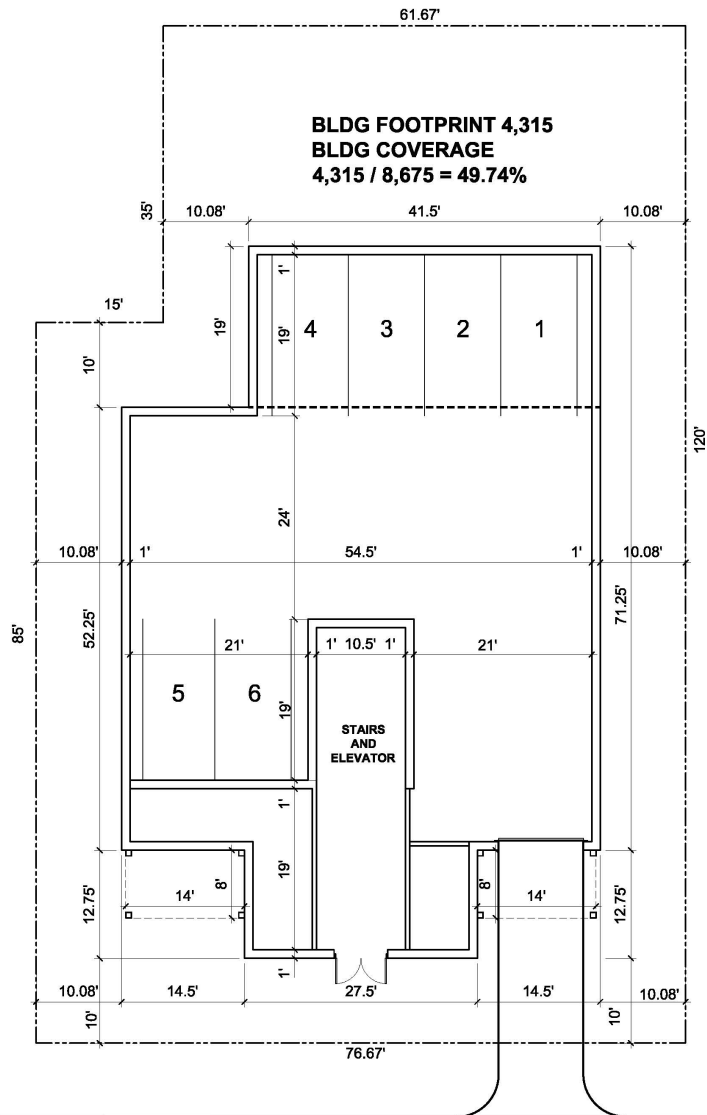
PALISADE STREET



PALISADE STREET

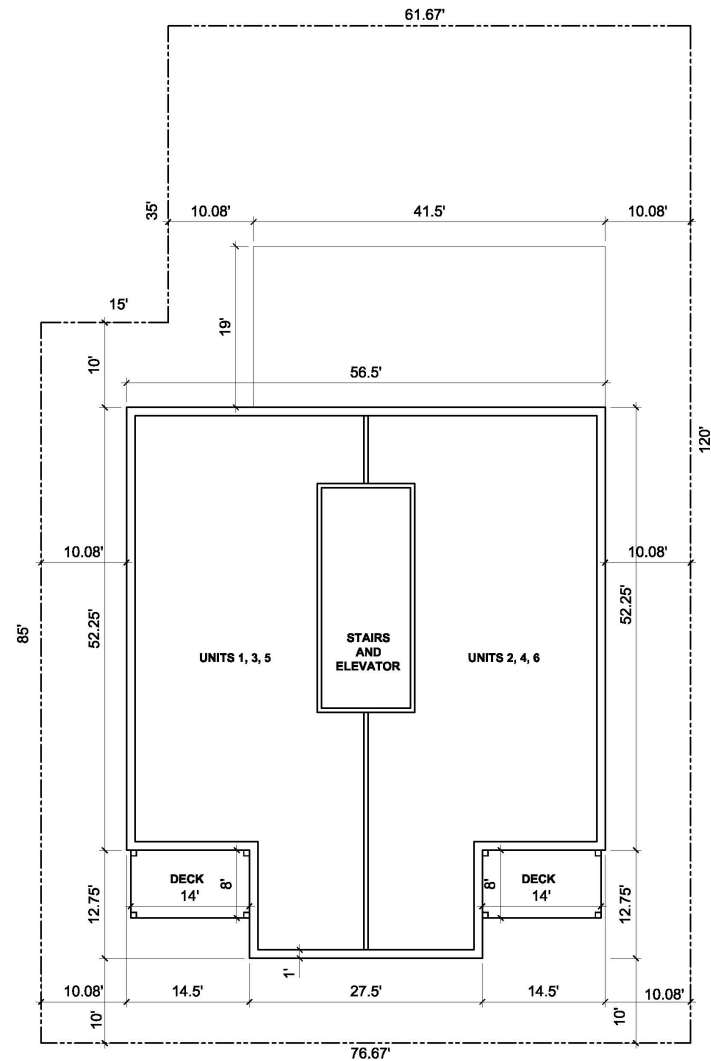


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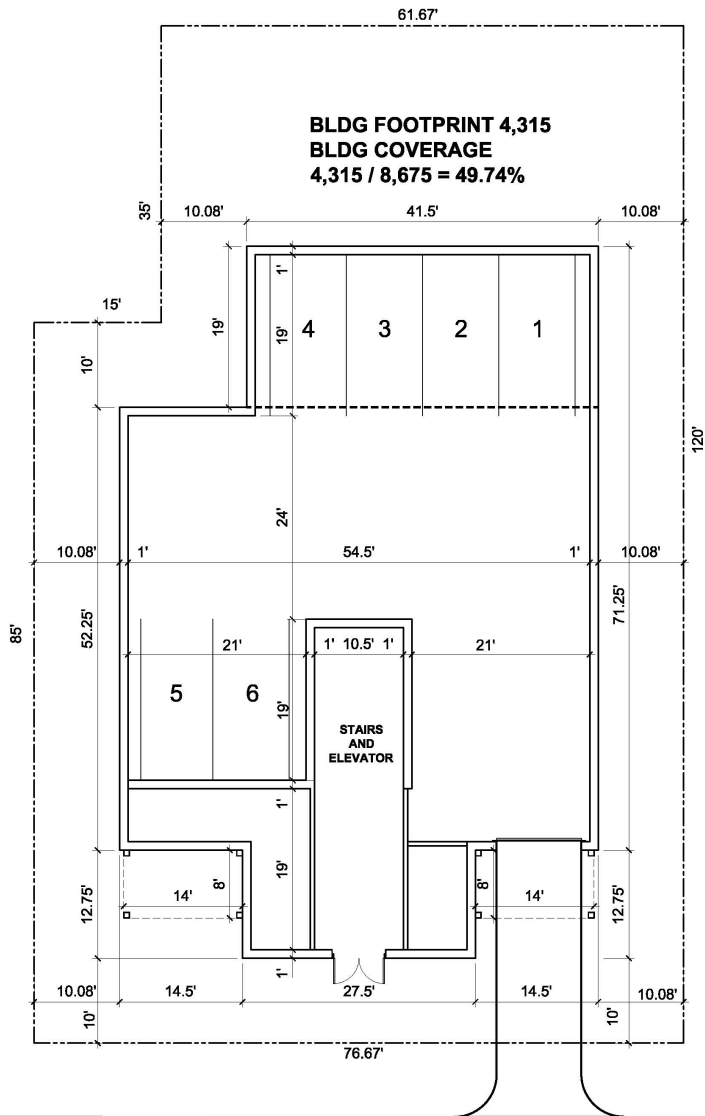
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PALISADE STREET

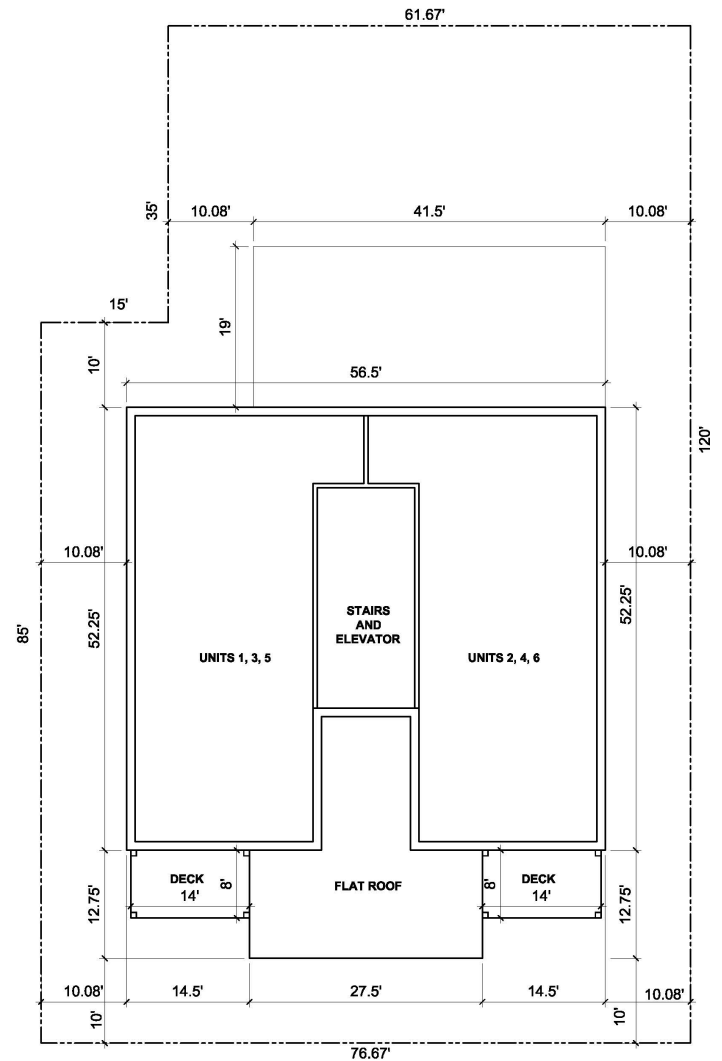
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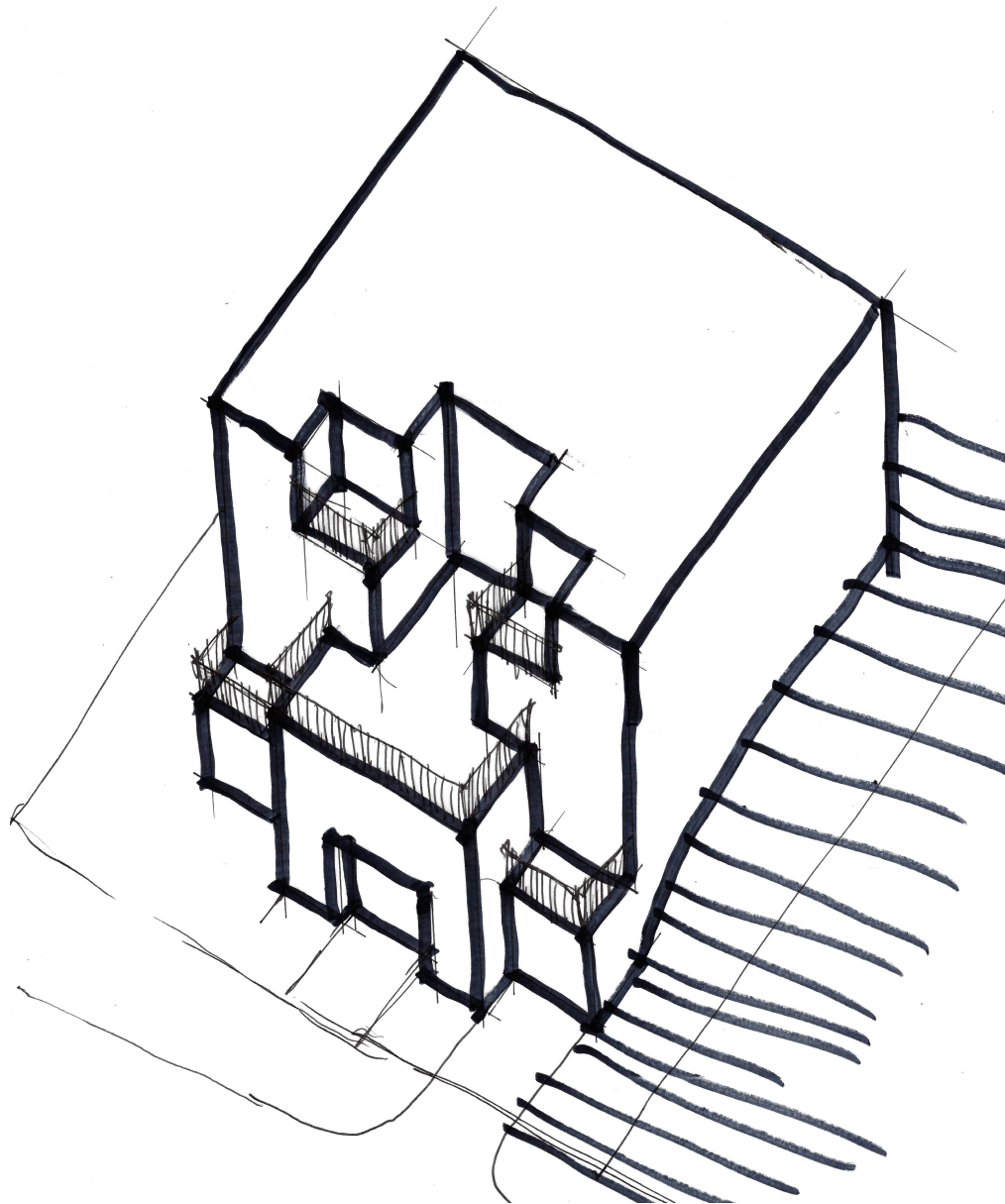
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PALISADE STREET

D²

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