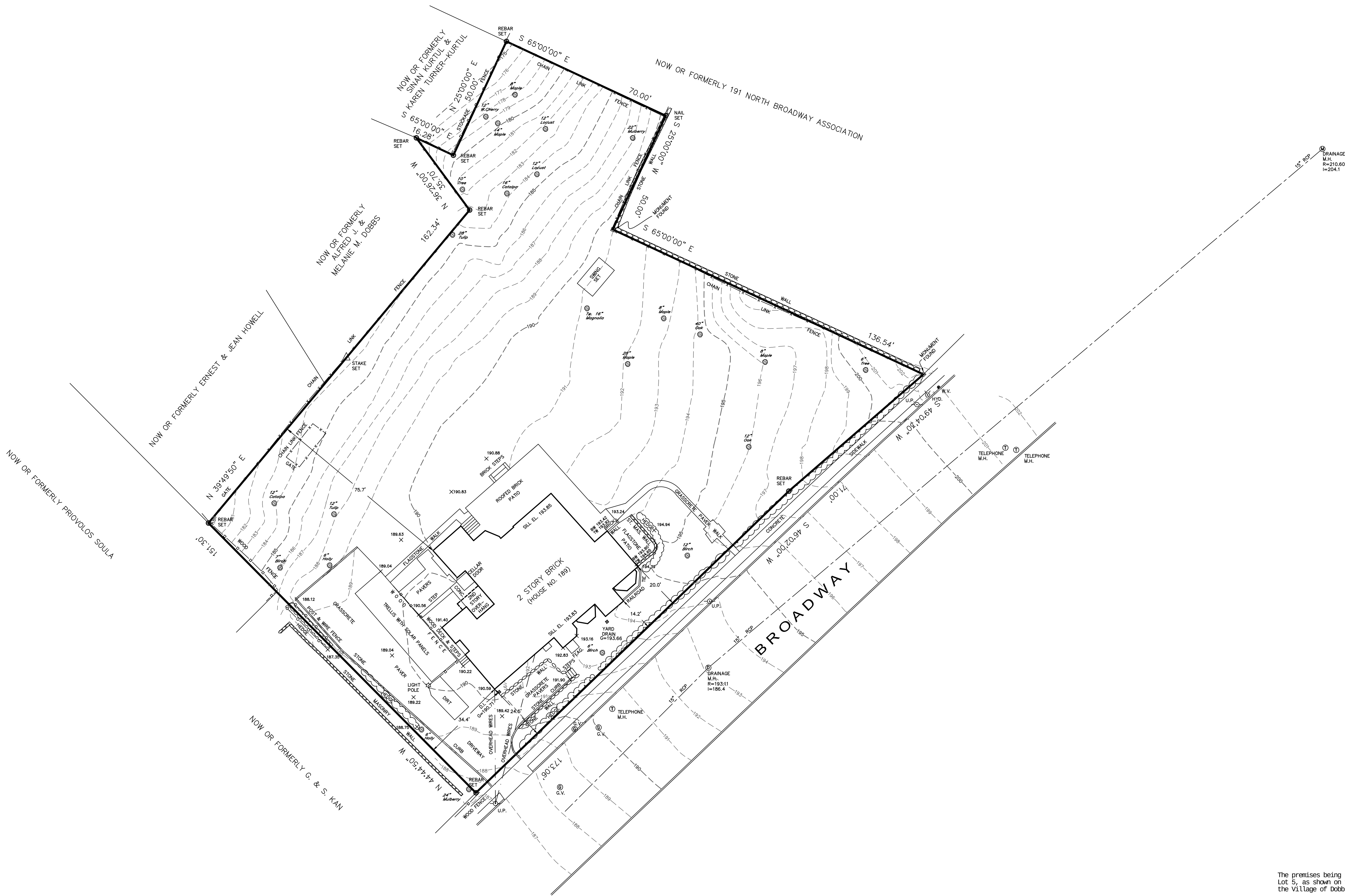
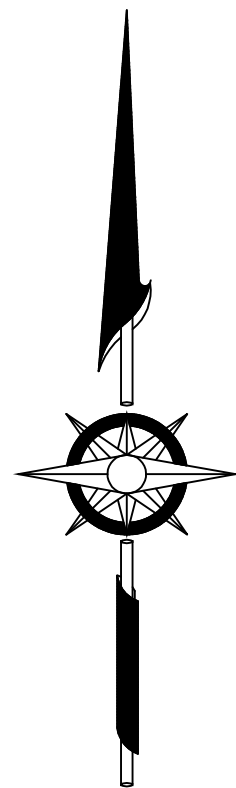




Toographic Survey
Prepared for

Ernest & Jean Howell

The premises being:
189 Broadway
Dobbs Ferry, NY

Village of Dobbs Ferry, Town of Greenburgh
Westchester County, NY

March 31, 2005
1" = 20'

APPROX. TAX LOT BOUNDARIES
ADDED DEC. 13, 2005
BROUGHT TO DATE
AUGUST 20, 2019

The premises being known as Section 3.120, Block 105, Lot 5, as shown on the official Tax Assessment Maps of the Village of Dobbs Ferry, Town of Greenburgh.

Total Parcel Area: 38,195 Sq. Ft.

Underground utilities shown in accordance with visible surface utilities. Underground features are NOT certified.

"Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law."

"Only copies of the original survey marked with the land surveyor's inked or embossed seal shall be considered a true and valid copy."

"Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run to the person for whom the survey is prepared only, and on his behalf to the Title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS."

WARD CARPENTER
ENGINEERS, INC.
76 MAMARONECK AVE.
WHITE PLAINS, NY 10601
(914) 949-6000

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Steep Slope Reduction
[Per Zoning Ordinance, Sec. 300-34.A.(2)] Preliminary August 2020

Required Area Reduction (%)		Slope		Total Reduction
		>25%	15%<25%	
Lot A	Gross Area (square feet)	0	1,927	
	Area Reduction (square feet)	0	482	482
Lot B	Gross Area (square feet)	797	4,702	
	Area Reduction (square feet)	399	1,176	1,574

NOTES

1. THERE WILL BE NO NEW BUILDING CONSTRUCTION OR NEW LANDSCAPING IN AREAS WITH EXISTING SLOPES OF 35% OR GREATER.
2. THERE WILL BE NO NEW CONSTRUCTION IN AREAS WITH EXISTING SLOPES OF 25% OR GREATER, EXCEPT WHERE INDICATED ON PLAN.
3. SEE EXISTING SITE PLAN FOR EXISTING TREES (OF GREATER THAN 8") TO BE REMOVED.

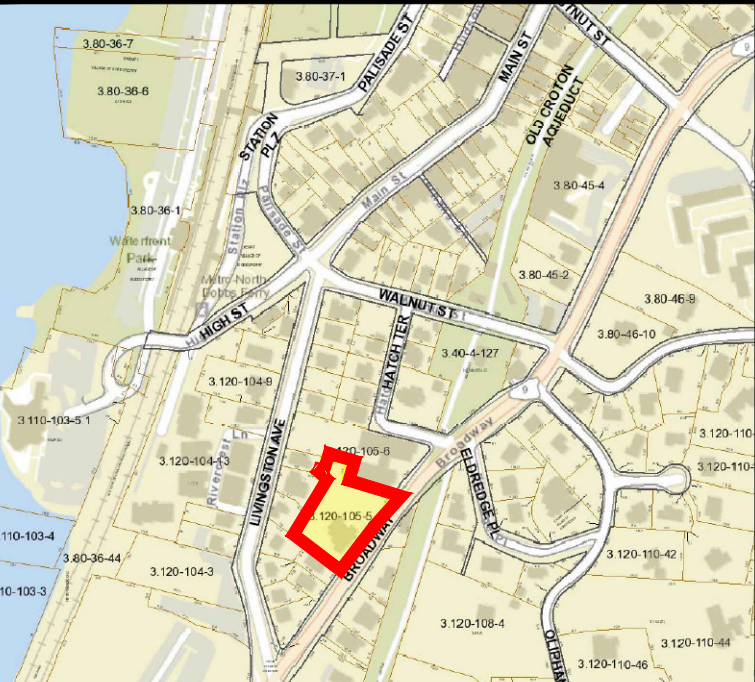
ERNEST HOWELL
OWNER
189 BROADWAY
DOBBS FERRY, NY 10522

153 MAIN STREET DOBBS FERRY, NY 10522
T: 914.274.8550 F: 914.358.0535
E: info@delagarzaarchitecture.com

PRELIMINARY
FOR REVIEW
AUG 2020

JAVIER E. DE LA GARZA, AIA NEW YORK LIC. NO. 023852

No.	Revision	Date



LOCATION PLAN

No.	Issue	Date

PROJECT
HOWELL DEVELOPMENT
189 BROADWAY (3.120-105-5)
DOBBS FERRY, NY
DRAWN BY
CHECKED BY JDG
DRAWING TITLE
HOWELL DEVELOPMENT
EXISTING SITE PLAN &
STEEP SLOPE ANALYSIS

SCALE AS INDICATED SHEET NO. 1 OF 7
JOB NO.
DATE 07/16/2020

A-01



Table B-2: MDR- I Dimensional Standards
[Amended 6-14-2011 by LL No. 6-2011]

	Req'd	Existing	Proposed Option C	
			Lot A	Lot B
Gross lot area (square feet)		38,193	18,625	19,568
Steep slope reduction (square feet)			482	1,574
Minimum net lot area (square feet)	5,000	37,508	18,143	17,994
Minimum lot area per dwelling unit (square feet)	2,500	12,503	6,048	4,499
Minimum lot width (feet)	50	243	134	65
Minimum lot depth (feet)	100	222	222	159
Street Frontage (feet)	25	245	134	121
Lot Coverage (sf)		4,558	4,558	4,845
Maximum lot coverage by buildings (%)	27%	12.2%	25.1%	26.9%
Lot coverage by impervious surfaces (sf) *		4,600	5,856	9,684
Maximum lot coverage by impervious surfaces (%)	54%	12.3%	32.3%	53.8%
Minimum front yard setback (feet)	20	15	15	24.1
Minimum rear yard setback (feet)	25	76	76	25.5
Minimum side yard setback (each) (feet)	10	34 and 89	34 and 18	14, 19 and 21
Minimum side yard setback (both) (feet)	20	123	52	42.0

Note:
* - Assumes 50% pervious Driveway.

KEY

- UNIT A
- UNIT B
- UNIT C
- UNIT D
- BUILDING ABOVE
- PERVIOUS PATIO
- PERVIOUS DRIVEWAY

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DOBBS FERRY, NY 10522

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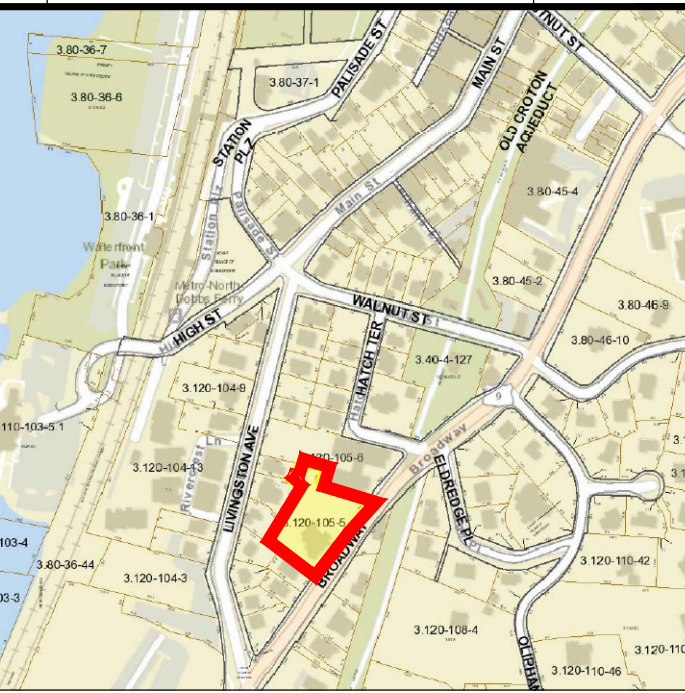
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DRAWING TITLE
HOWELL DEVELOPMENT
OPTION C
OPEN DEVELOPMENT

SCALE AS INDICATED SHEET NO. 2 OF 7
JOB NO.
DATE 07/16/2020

A-02



2 FIRST LEVEL PLAN
1/16"=1'-0"



3 ROOF PLAN
1/16"=1'-0"

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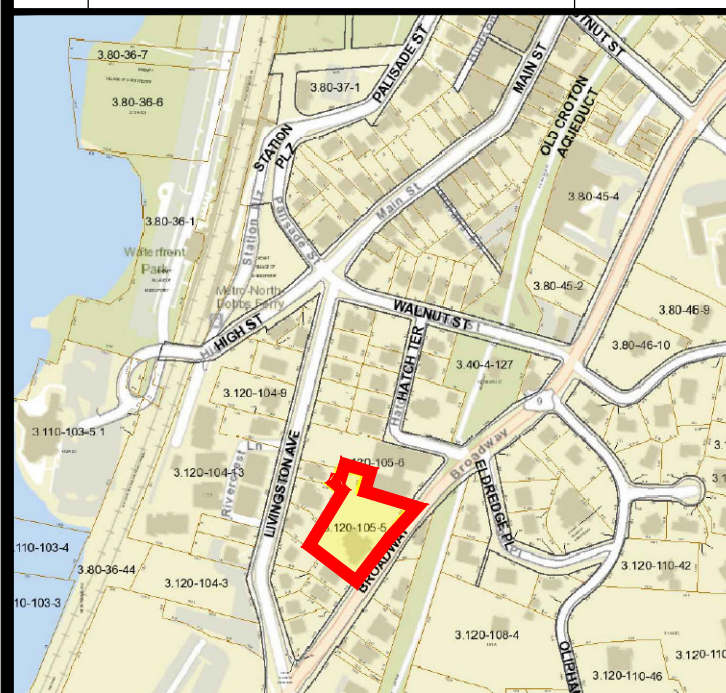
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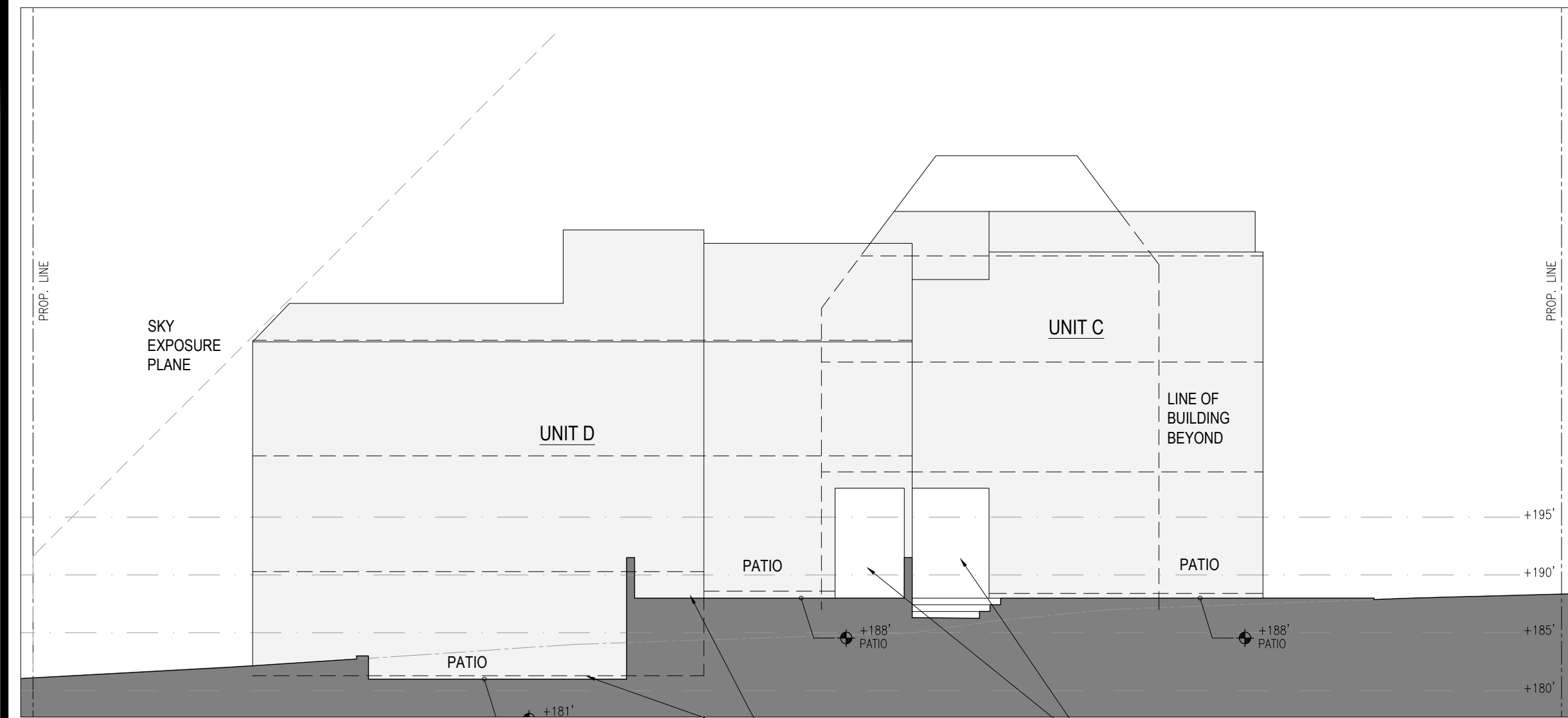
PROJECT
HOWELL DEVELOPMENT
189 BROADWAY (3.120-105-5)
DOBBS FERRY, NY

DRAWN BY _____ CHECKED BY _____ JDG

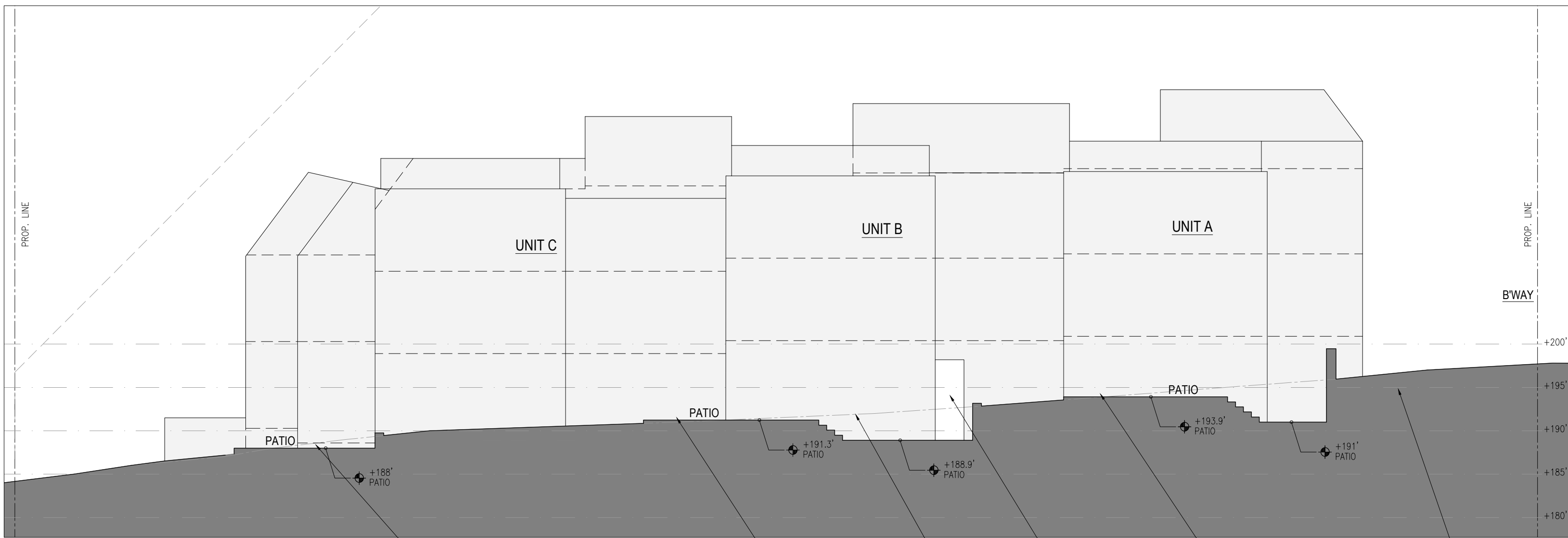
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OPTION C
OPEN DEVELOPMENT

SCALE AS INDICATED SHEET NO. 3 OF 7
JOB NO. _____
DATE 07/16/2020

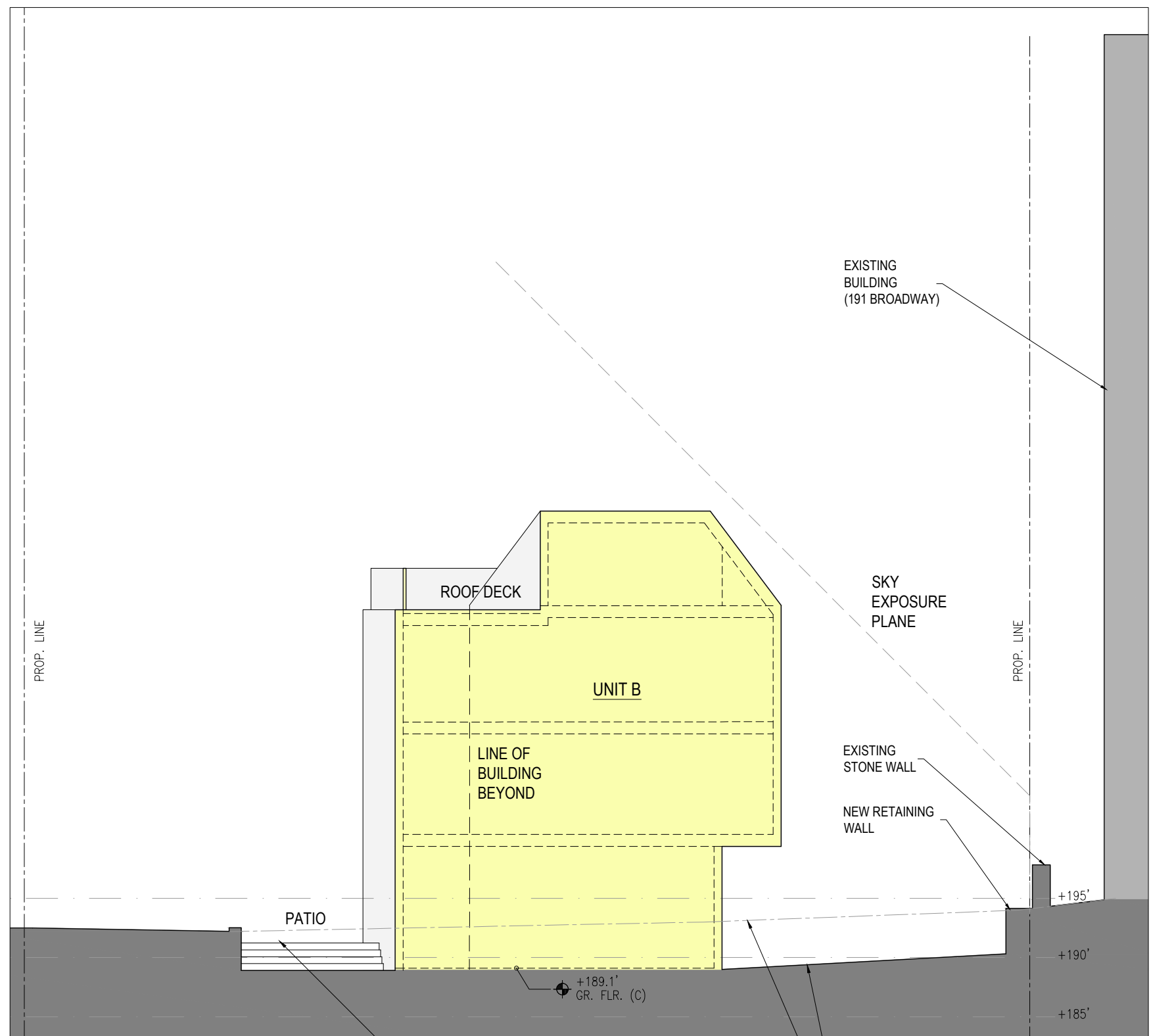
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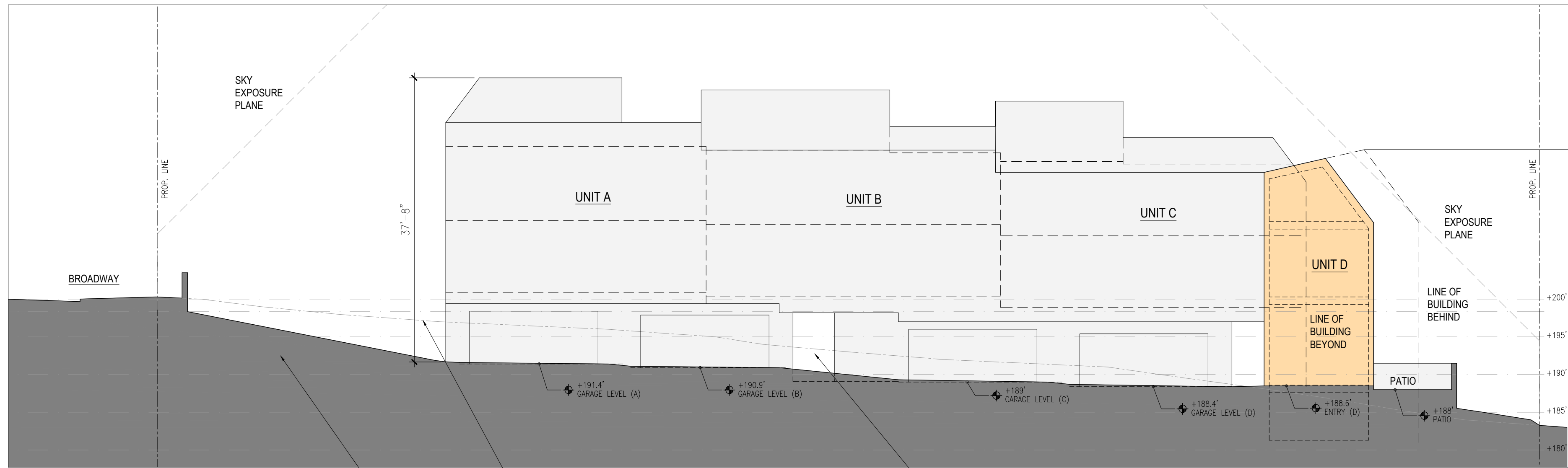
5 WEST ELEVATION
3/32" = 1'-0"



6 SOUTH ELEVATION
3/32" = 1'-0"



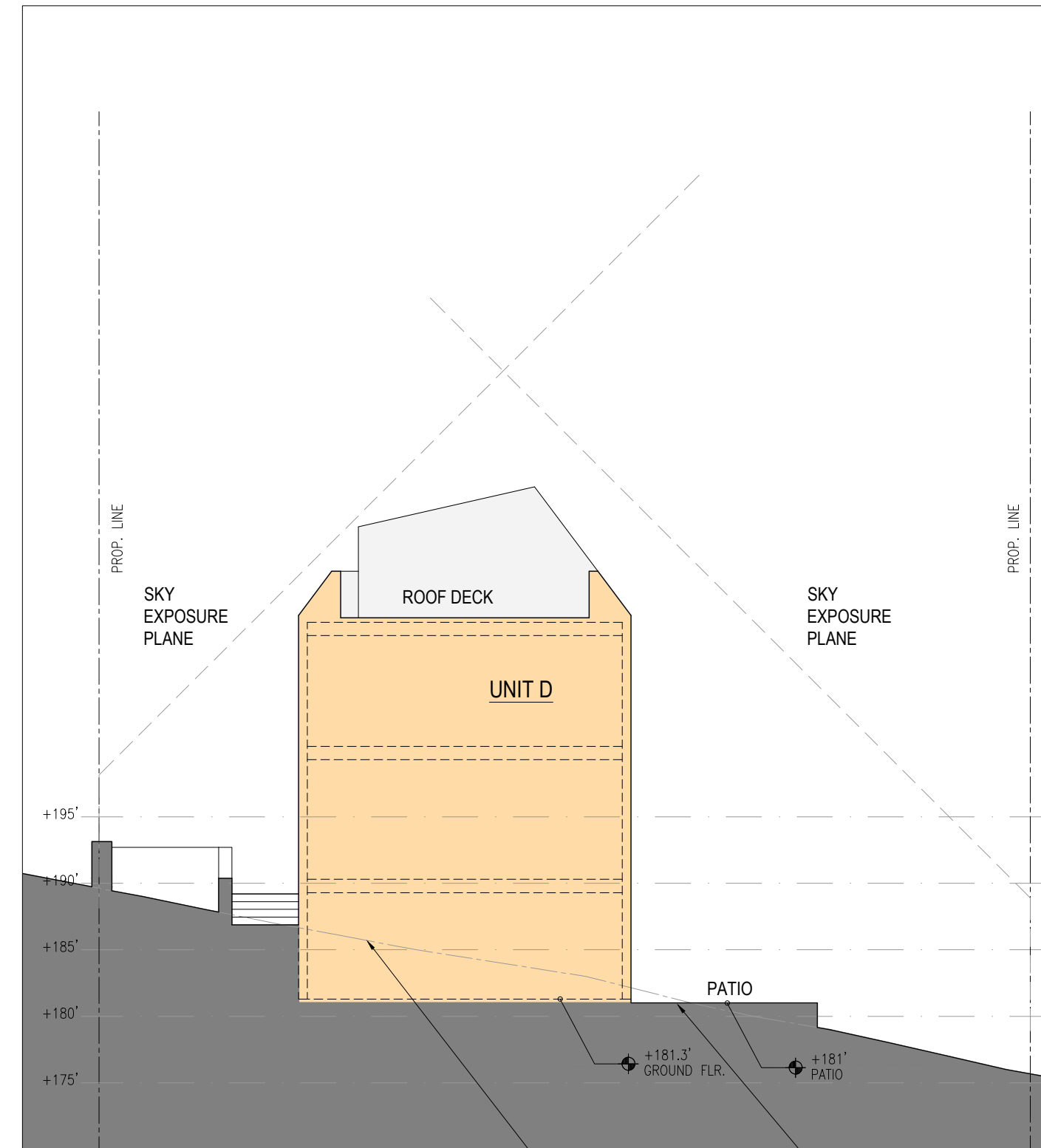
3 SECTION AT UNIT 'B'
3/32" = 1'-0"



4 NORTH ELEVATION
3/32" = 1'-0"



1 EAST (BROADWAY) ELEVATION
3/32" = 1'-0"



2 SECTION AT UNIT 'D'
3/32" = 1'-0"

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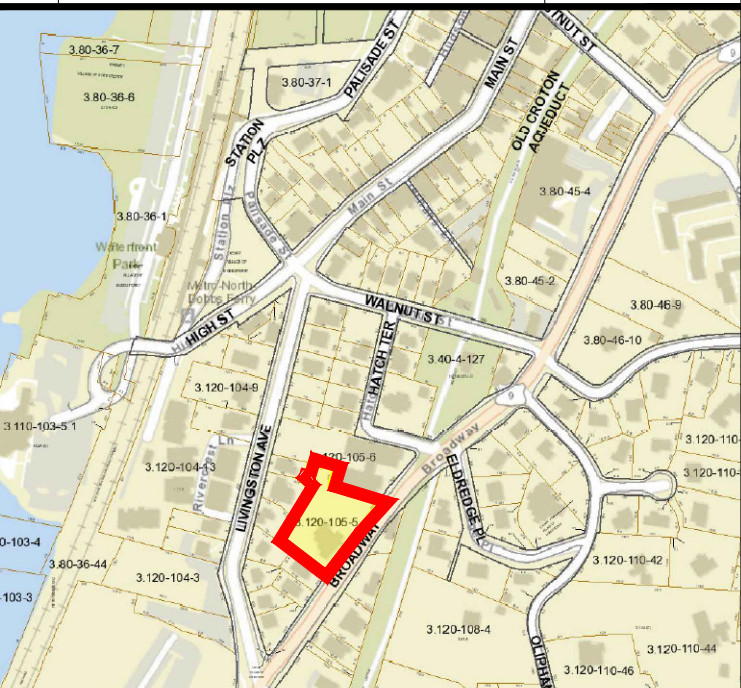
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189 BROADWAY (3.120-105-5)
DOBBS FERRY, NY

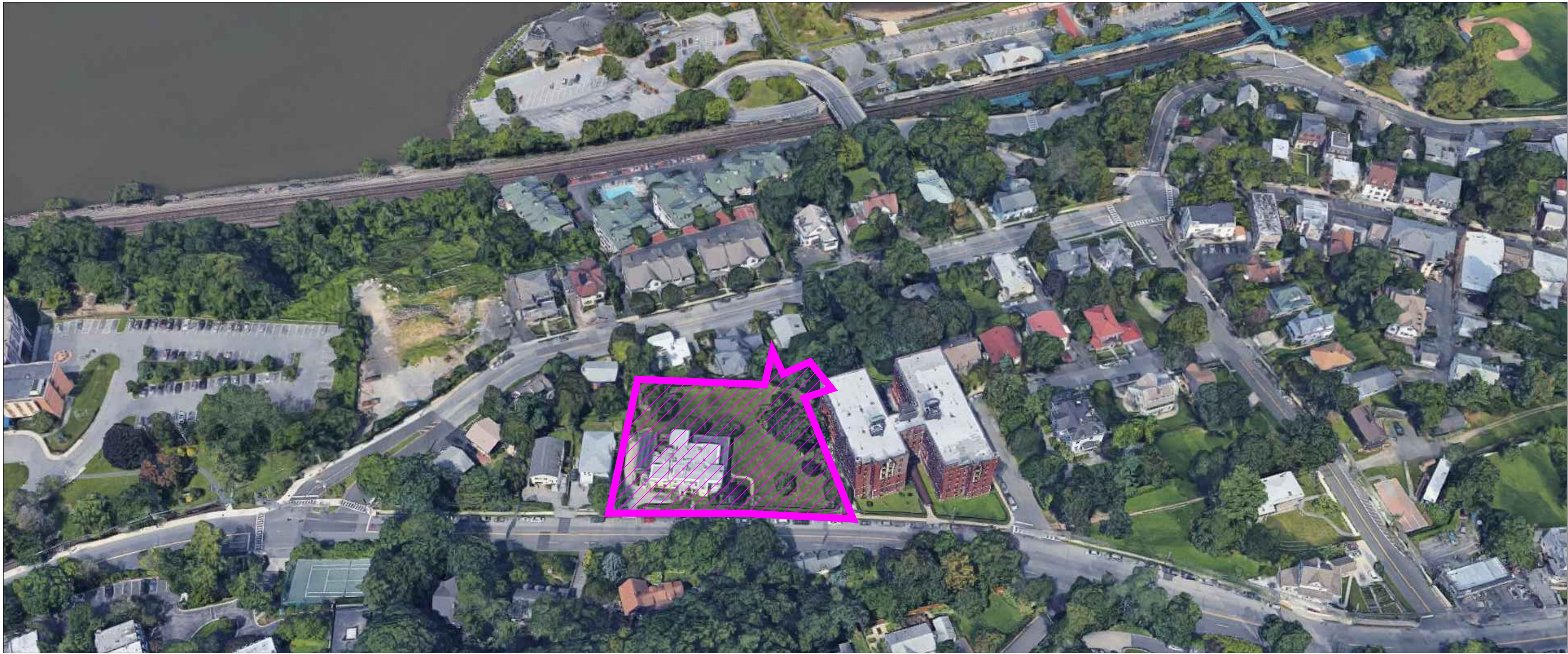
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DRAWING TITLE
HOWELL DEVELOPMENT
SITE ELEVATIONS AND
SECTIONS

SCALE AS INDICATED SHEET NO. 4 OF 7
JOB NO. A-04
DATE 07/16/2020



1 VIEW FROM SOUTH-EAST



2 VIEW FROM SOUTH-EAST

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DOBBS FERRY, NY 10522

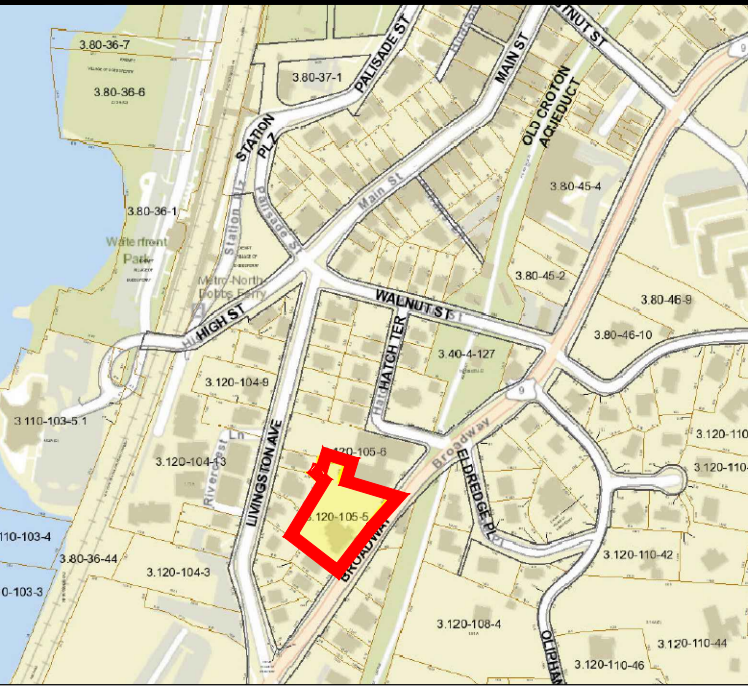
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LOCATION PLAN

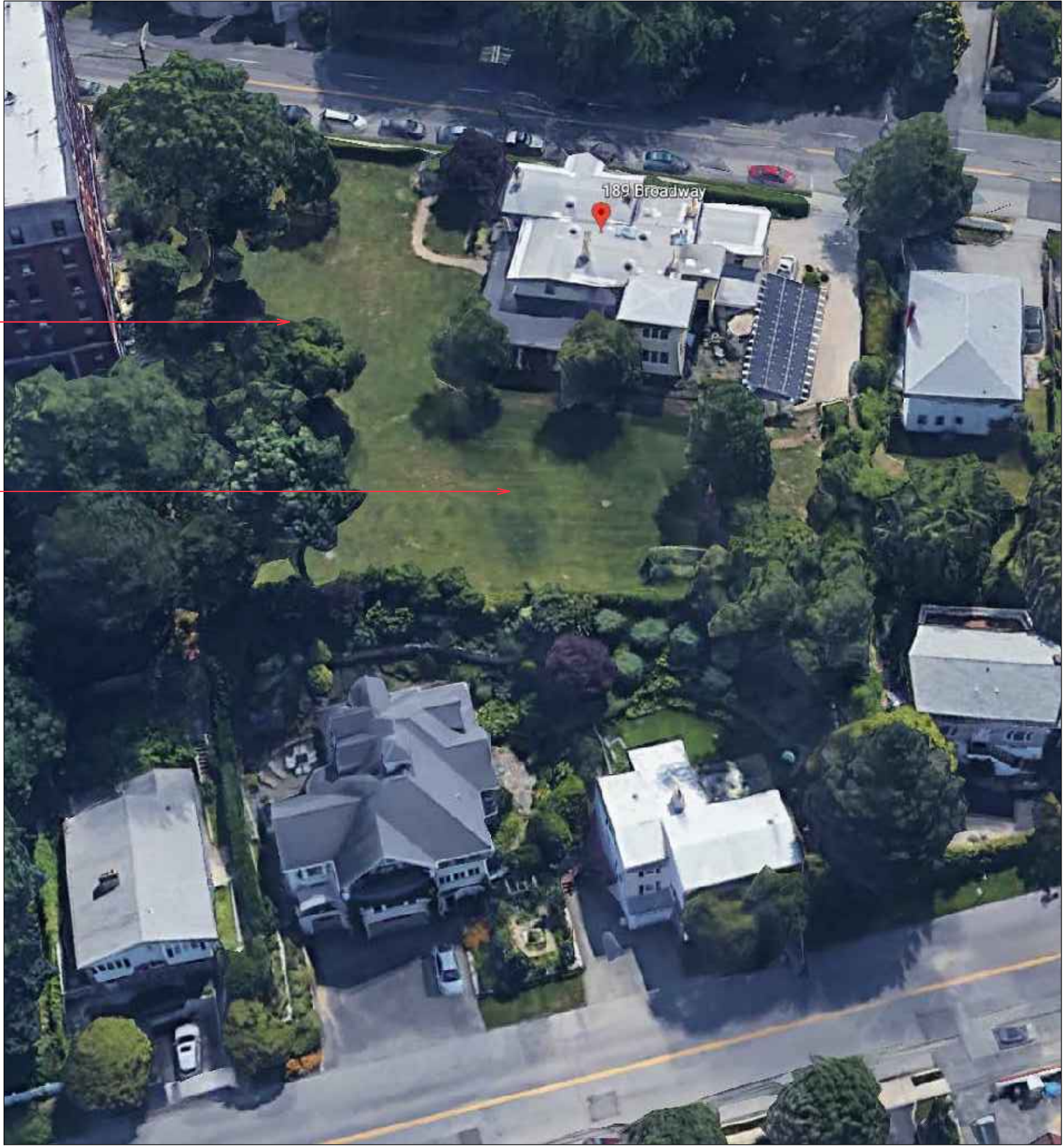
PROJECT
HOWELL DEVELOPMENT
189 BROADWAY (3.120-105-5)
DOBBS FERRY, NY

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DRAWING TITLE
HOWELL DEVELOPMENT
AERIAL VIEWS
OF SITE

SCALE N/A SHEET NO. 5 OF 7
JOB NO.
DATE 07/16/2020

A-05



1 VIEW FROM NORTH-WEST



2 VIEW FROM SOUTH-WEST



4 VIEW FROM EAST



5 TOP VIEW FROM SOUTH

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DOBBS FERRY, NY 10522

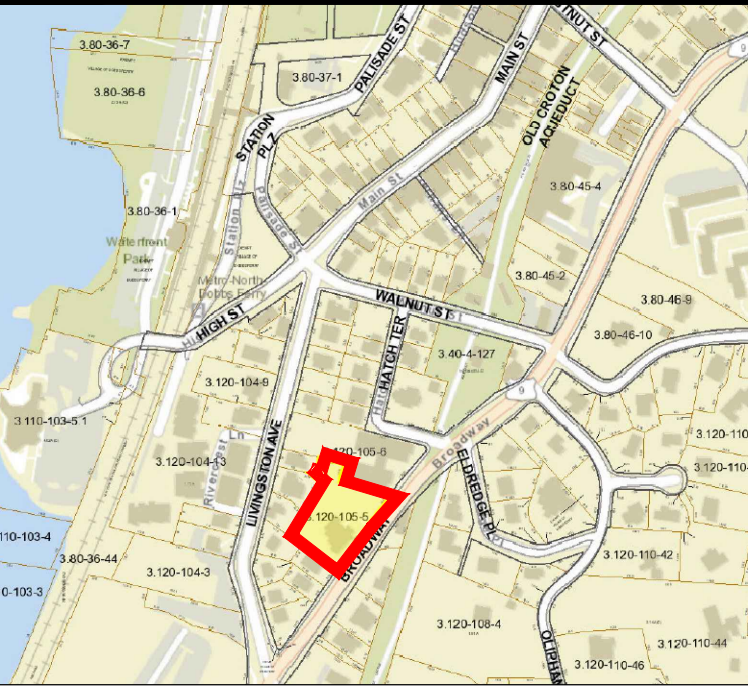
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LOCATION PLAN

No.	Issued	Date

PROJECT
HOWELL DEVELOPMENT
189 BROADWAY (3.120-105-5)
DOBBS FERRY, NY

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DRAWING TITLE
HOWELL DEVELOPMENT
IMAGES OF
EXISTING CONDITIONS

SCALE N/A SHEET NO. 6 OF 7
JOB NO.
DATE 07/16/2020

A-06



1 PHOTOGRAPH



2 PHOTOGRAPH



3 PHOTOGRAPH



4 PHOTOGRAPH



5 PHOTOGRAPH



6 PHOTOGRAPH



7 PHOTOGRAPH



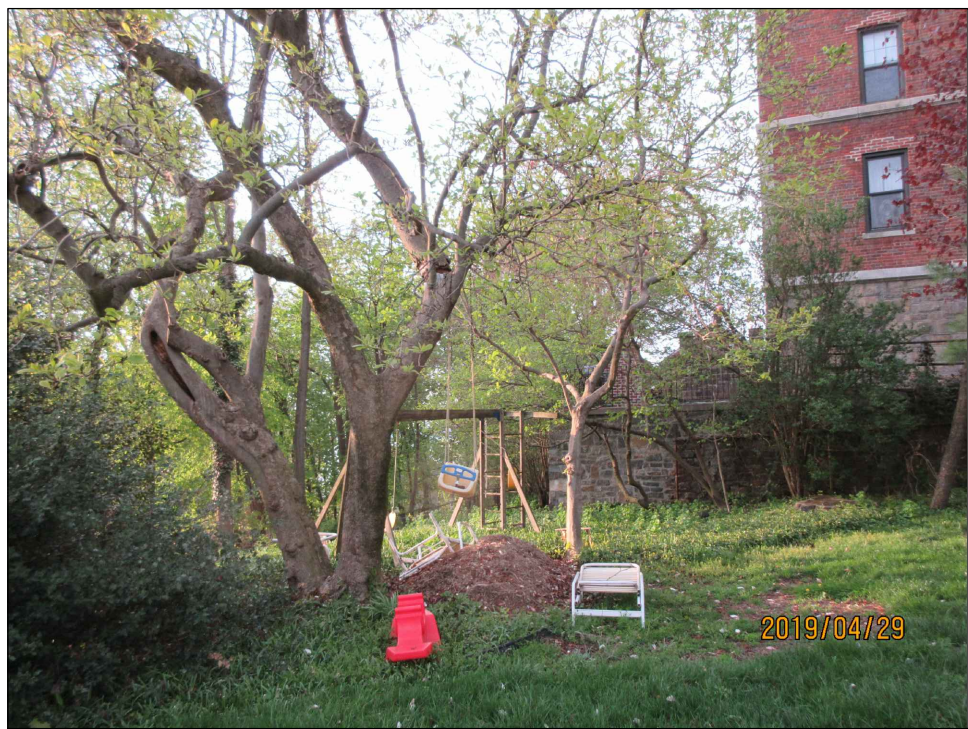
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9 PHOTOGRAPH



10 PHOTOGRAPH



11 PHOTOGRAPH



12 PHOTOGRAPH



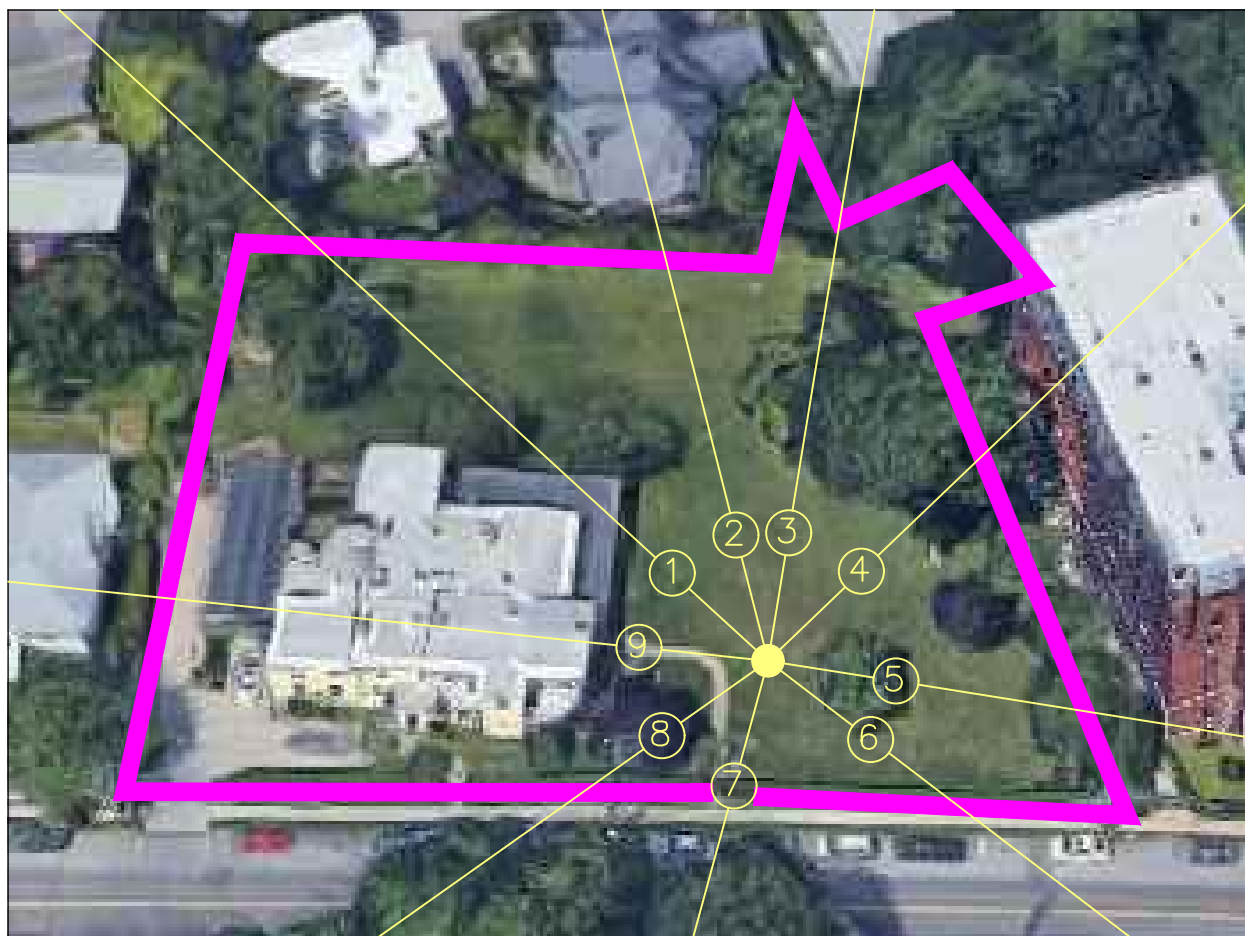
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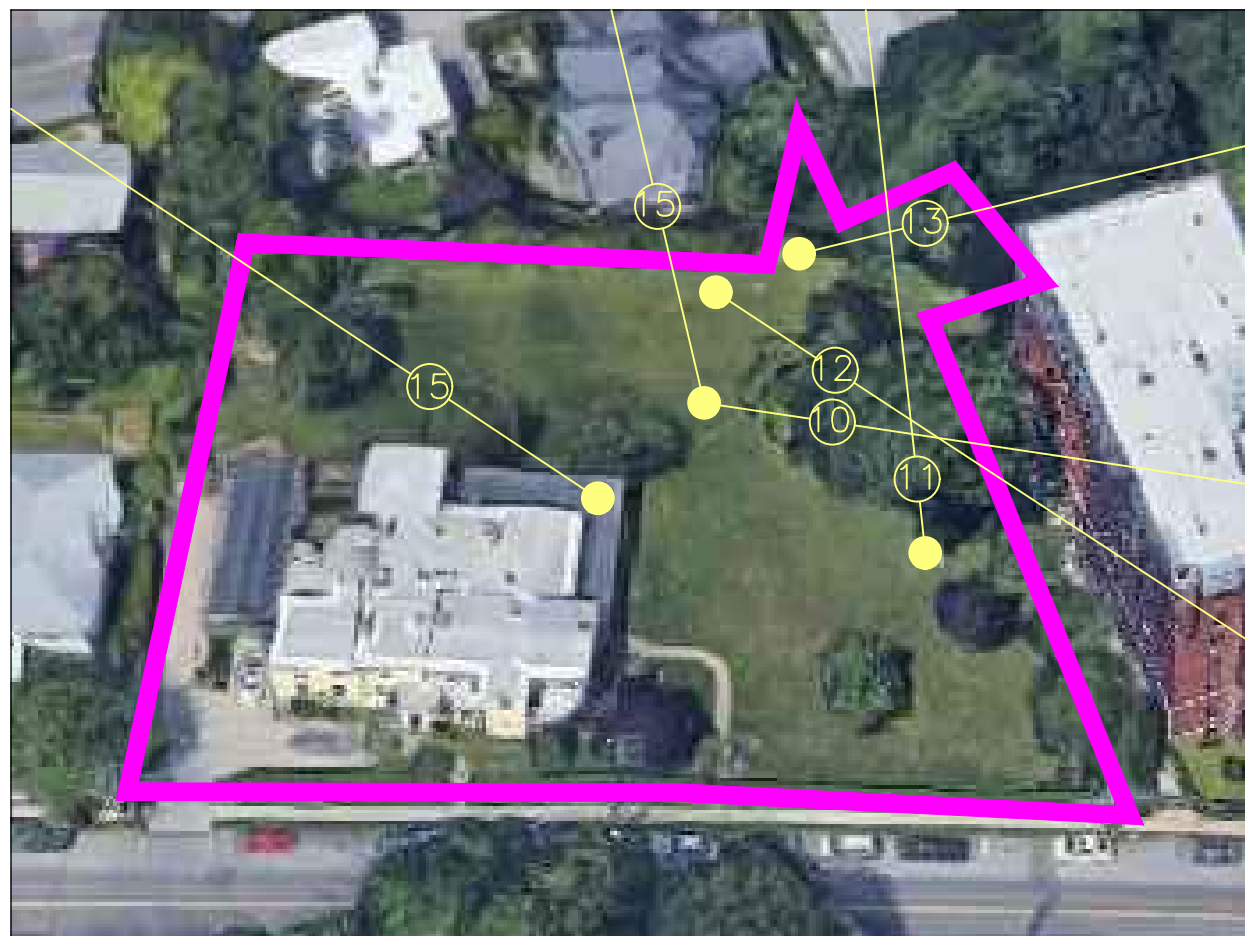
14 PHOTOGRAPH



15 PHOTOGRAPH



16 REFERENCE PLAN FOR VIEWS



17 REFERENCE PLAN FOR VIEWS

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DOBBS FERRY, NY 10522

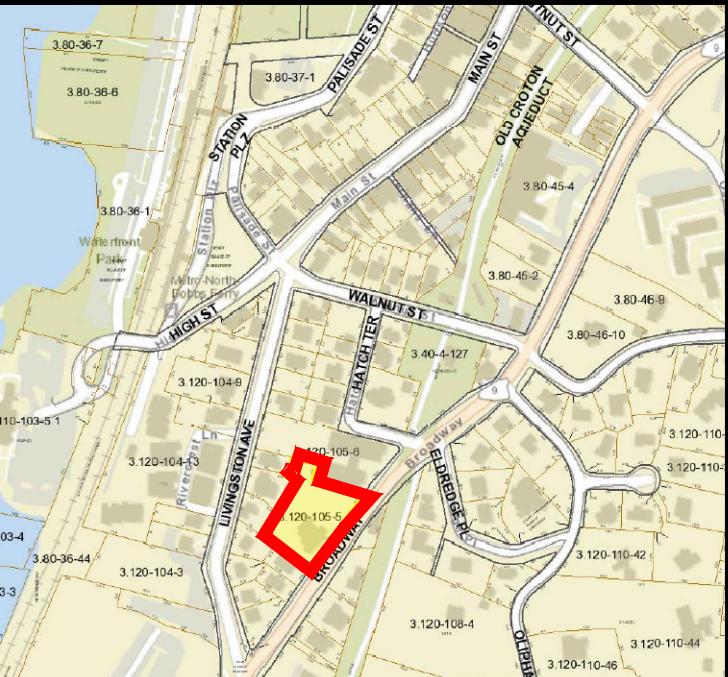
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HOWELL DEVELOPMENT
IMAGES OF
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SCALE N/A SHEET NO. 7 OF 7
JOB NO.
DATE 07/16/2020

A-07