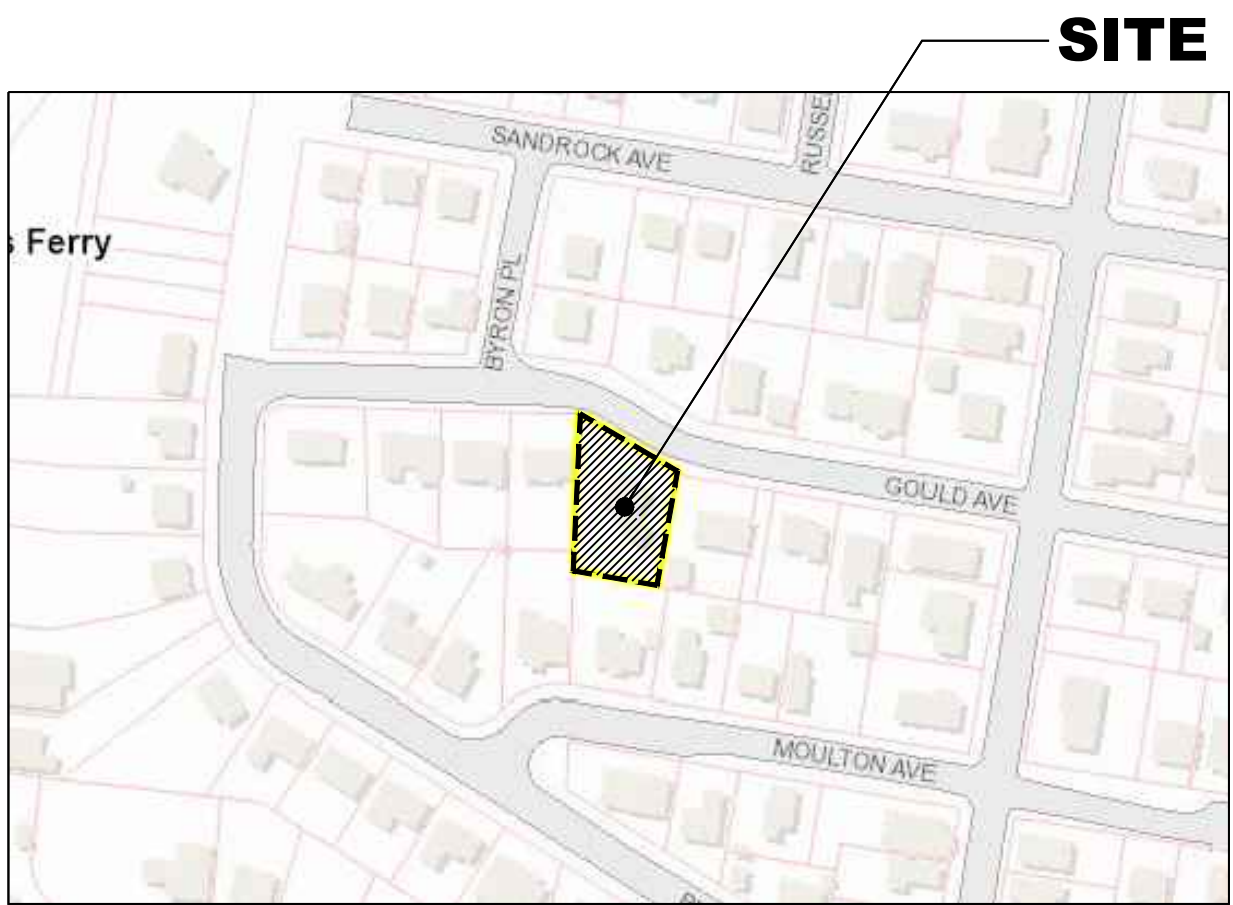
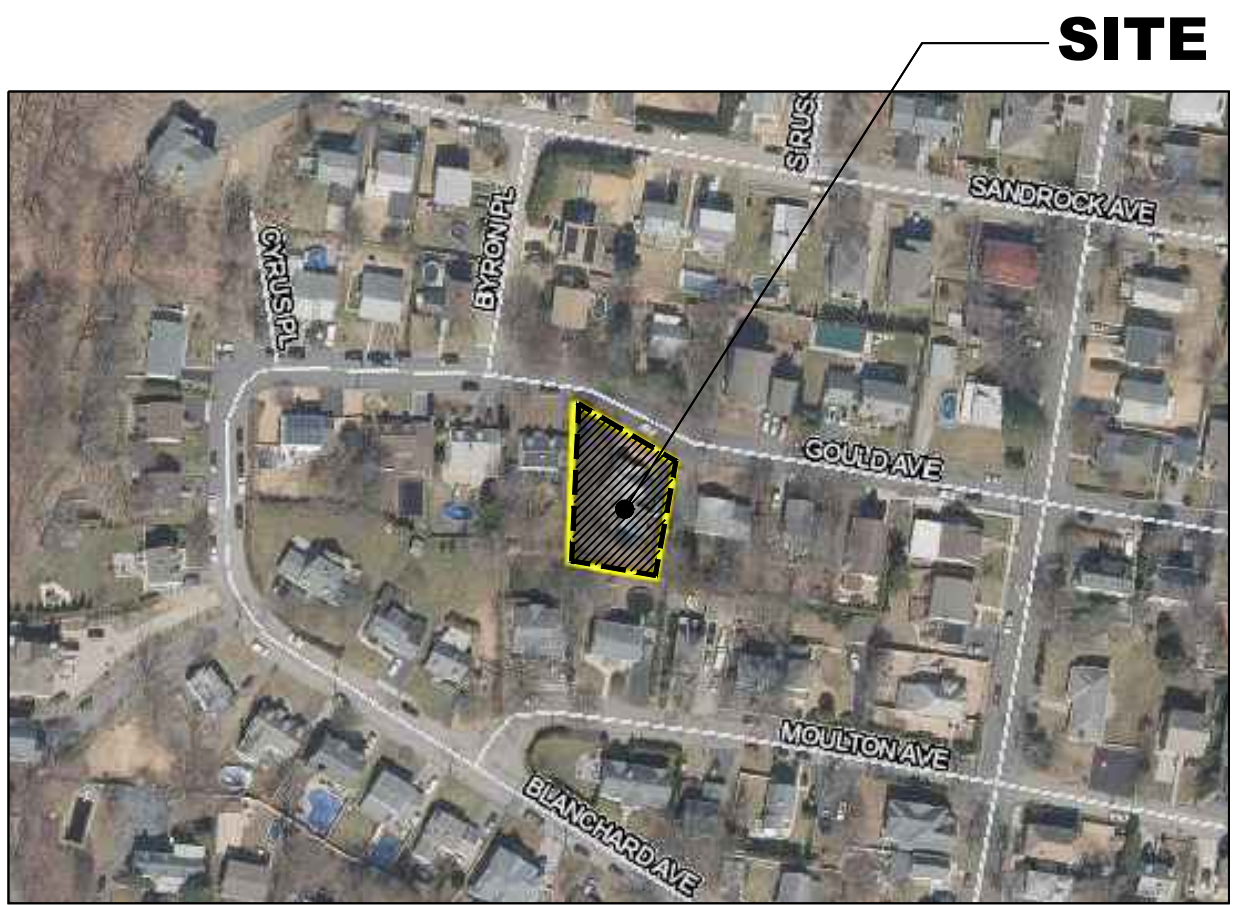


PROPOSED ADDITION AT:
45 GOULD AVE.
DOBBS FERRY, N.Y. 10522

LOCATION MAP



AERIAL MAP



EXISTING FRONT ELEVATION



DESIGN CRITERIA

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
LOCATION: VILLAGE OF DOBBS FERRY, NY										ZIP CODE: 10522			
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY (RCNY ONLY)	SUBJECT TO DAMAGE FROM			CLIMATE ZONE	ICE BARRIER UNDERLAY- MENT REQUIRE	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND- BRO DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 LBS/SQ.FT.	SPECIAL WIND REGION *	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	4A	YES	NO [x,x]	2000	516

- * 115 MPH TO 120 MPH. THE SPECIAL WIND REGION SHOULD SERVE AS WARNING TO DESIGN PROFESSIONALS IN EVALUATING WIND LOADING CONDITIONS. WIND SPEEDS HIGHER THAN THE DERIVED VALUES TAKEN FROM SECTION 1609 OF THE BC AND FIGURE R3012 (4) A OF THE IRC ARE LIKELY TO OCCUR AND SHOULD BE CONSIDERED IN THE DESIGN.
- ** STATE IF APPLICABLE. FOR FLOOD HAZARDS THE DESIGN PROFESSIONAL SHALL STATE IF THEY ARE APPLICABLE. Y/N. VERIFY WITH FIRM MAPS. MAPS ARE AVAILABLE ON THE FEMA WEB SITE [HTTP://WWW.FLOODMAPFLOODSMPL.E.COM/](http://www.floodmapfloodsmple.com/)

GENERAL INFO

45 GOULD AVE.
DOBBS FERRY, NY 10522

MUNICIPALITY/BUILDING DEPARTMENT: VILLAGE OF DOBBS FERRY, NY:

TAX MAP DESIGNATION: SECT: 3100 BLOCK: 80 Lot: 7

ZONING DISTRICT: OF-6

CONTRUCTION TYPE: V-B

STORIES: 1.5 EXISTING

ALTERATION LEVEL: ALTERATION LEVEL 2

OCCUPANCY CLASSIFICATION - R-2 (1 FAMILY)

DRAWING LIST

- T-100 MAPS & GENERAL NOTES
S-100 EXIST. & PROPOSED SITE PLAN
A-001 EXIST. & DEMO. FLOOR PLANS
A-100 EXISTING & PROPOSED BASEMENT FLOOR PLAN
A-101 EXISTING & PROPOSED FIRST FLOOR PLAN
A-102 EXISTING & PROPOSED ATTIC FLOOR PLAN
A-200 EXISTING & PROPOSED ELEVATIONS
A-201 EXISTING & PROPOSED ELEVATIONS
A-300 TYPICAL DETAILS
A-400 NEIGHBORHOOD STUDY

GENERAL NOTES

CODES: ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND CODES OF AGENCIES HAVING JURISDICTION. ABSENT OTHER STANDARDS 2020 RC OF NYS, 2020 EBC OF NYS, 2020 PMC OF NYS, 2020 ECC OF NYS, 2020 PC OF NYS, 2020 MC OF NYS, 2020 FGC OF NYS, & THE 2020 FC OF NYS

VERIFICATION: VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. REPORT DIFFERENCES FROM CONSTRUCTION DOCUMENTS TO OWNER AND ARCHITECT. ARCHITECT SHALL DECIDE ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DISCREPANCIES BETWEEN ACTUAL CONDITIONS, DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING. SHALL UNFORESEEN CONDITIONS REQUIRE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO PROCEEDING. 'V.I.F.' INDICATES THAT THE CONTRACTOR SHALL VERIFY AT THE JOB SITE THE DIMENSIONS OR CONDITIONS TO WHICH THE NOTATION IS APPENDED. NO SUBSTITUTION SHALL BE MADE FOR ANY ITEM SPECIFIED ON THE DRAWING WITHOUT WRITTEN APPROVAL FROM ARCHITECT OR THE OWNER.

DRAWINGS: BY SUBMITTING A BID OR STARTING WORK, CONTRACTOR AGREES THAT HE HAS EXAMINED THE DRAWINGS AND SPECIFICATIONS AND FOUND THEM ADEQUATE FOR PROPER COMPLETION OF PROJECT. CLAIMS FOR EXTRA CHARGES BECAUSE OF ALLEGED INADEQUATE DRAWINGS OR SPECIFICATIONS WILL NOT BE ALLOWED UNLESS NOTIFICATION WAS MADE IN WRITING TO ARCHITECT PRIOR TO SUBMISSION OR BEGINNING

UTILITY STAKEOUT: PRIOR TO DEMOLITION OR EXCAVATION, CONTRACTOR SHALL REQUEST FOR A CODE 53 UNDERGROUND UTILITY STAKE-OUT, 1-800-962-7962. CONTRACTOR WILL CONTACT THE UNDERGROUND LINES LOCATION SERVICES (CODE 753) PRIOR TO COMMENCING CONSTRUCTION.

USE OF PREMISES: CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES.

PERMITS: OWNER SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND CERTIFICATES REQUIRED. ELECTRICAL AND PLUMBING CONTRACTORS SHALL APPLY FOR AND PAY FOR INDIVIDUAL PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED. KEEP APPROVED PERMIT DRAWINGS ON JOB SITE. CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.

LICENSE: CONTRACTOR MUST BE LICENSED BY WESTCHESTER COUNTY, AND PROVIDE OWNER AND BUILDING DEPARTMENT A COPY OF CERTIFICATE NUMBER.

INSURANCE: PRIOR TO STARTING WORK, CONTRACTOR SHALL SUPPLY OWNER AND BUILDING DEPARTMENT WITH CERTIFICATES OF WORKMENS COMPENSATION INSURANCE, LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN THE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER TO RENDER THE OWNER HARMLESS IN CASE OF ACCIDENT TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONSTRUCTION.

LATENT DEFECTS: NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE FOR LATENT DEFECTS IN STRUCTURE IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL PROBING OR TESTING.

SUPERVISION: ARCHITECT HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE OBSERVATION AND SUPERVISION OF CONSTRUCTION OPERATIONS AND CERTIFICATION OF PAYMENTS.

DEMOLITION: PRIOR TO DEMOLITION COORDINATE AND STAKEOUT EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES AS REQUIRED.
1. CLEAR SITE AS REQUIRED.
2. REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY.

COOPERATION: CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ADJACENT WORK AND COOPERATE WITH OTHER TRADES TO FACILITATE PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR TEMPORARY STORAGE OF THEIR TOOLS AND MATERIALS.

LANDSCAPE: ALL LAWN AREAS DAMAGED BY NEW CONSTRUCTION OR CONSTRUCTION OPERATIONS SHALL BE REPLACED AS ORIGINAL. LAWNS MAY BE SOODED OR SEEDED WITH BLUEGRASS AND/OR RYEGRASS TO ESTABLISH 98% OR BETTER COVER. REVIEW TREES AND SHRUB REMOVAL REQUIRED FOR CONSTRUCTION WITH OWNER PRIOR TO CONSTRUCTION.

ELECTRICAL: THE DESIGN AND INSTALLATION OF ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NATIONAL ELECTRIC CODE. PROVIDE OWNER/BUILDER COPY OF UNDERWRITER'S CERTIFICATE UPON COMPLETION OF WORK. ELECTRICAL CONTRACTOR MUST BE INSURE AND LICENSED IN WESTCHESTER COUNTY. SEE PLAN FOR FIXTURE TYPE. REVIEW ALL FIXTURES WITH OWNER BEFORE ORDERING.

PLUMBING: THE DESIGN AND INSTALLATION OF ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NEW YORK STATE BUILDING CODE. PLUMBING CONTRACTOR MUST BE INSURED AND LICENSED IN WESTCHESTER COUNTY, NY. INSULATE ALL HOT WATER SUPPLY PIPES LOCATED IN BASEMENT FROM BOILER TO FIRST FLOOR PENETRATIONS.

UTILITIES: COORDINATE THE LOCATION AND SIZE OF ALL NEW UTILITIES (ELECTRICAL, GAS, WATER, SEWER, TELEPHONE, CABLE) WITH EACH UTILITY COMPANY REPRESENTATIVE AND UTILITY SPECIFICATIONS.

MANUFACTURERS: LISTED ARE ONLY FOR ITEM SPECIFICATION. THE LISTING IS NOT INTENDED TO LIMIT SELECTION OF SIMILAR ITEMS FROM OTHER MANUFACTURERS.
CONTRACTOR: IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND SHALL ARRANGE FOR ALL MANDATORY INSPECTIONS, COMPLYING WITH LOCAL MUNICIPALITY OF JURISDICTION REQUIREMENTS. NO WORK SHALL BE CLOSED UNTIL INSPECTED AND APPROVED.
ALL WORK SHOULD BE PERFORMED IN THE BEST PROFESSIONAL MANNER BY MECHANICS SKILLED IN THEIR TRADE.

SAFE DIG

Before You Dig, Drill or Blast!
CALL US TOLL FREE 1-800-962-7962
NY Industrial Code Rule 753 requires no less than two working days notice, but not more than ten days notice. **UFPO**

CARPENTRY: DOUBLE JOISTS UNDER ALL INTERIOR PARTITIONS, AND AROUND ALL OPENINGS.
FRAMING LUMBER: DOUGLAS FIR #2 OR BETTER, F#875 #3.
STUDS: DOUGLAS FIR STUD GRADE, 2x4 INTERIOR WALLS, 16"OC, UNLESS NOTED OTHERWISE.
JOIST HANGERS: SIMPSON OR EQUAL, GALVANIZED STEEL TO FIT FRAMING MEMBER. INSTALL FRAMING ANCHORS AT ALL FLUSH FRAMED CONNECTIONS AND AS INDICATED ON PLANS.
TREATED WOOD: PRESSURE TREATED SOUTHERN YELLOW PINE. ABOVEGROUND .25 LBS/CU.FT. GROUND CONTACT .40 LBS/CU.FT.

INTERIOR FINISHES
WALLS: 1/2" GYPSUM DRYWALL, 5/8" TYPE 'X' AT GARAGE JOINTS TAPED AND FINISHED.
CEILING: 1/2" GYPSUM DRYWALL, 5/8" TYPE 'X' AT GARAGE
PROVIDE 5/8" TYPE-X FIRE-RATED GYPSUM DRYWALL OVER BOILER AND HW TANK.

PAINTING: BENJAMIN MOORE & CO. OR EQUAL; COLORS SELECTED BY OWNER. PRIME AND PAINT ALL NEW INTERIOR TRIM, CASINGS, MOULDINGS, DOORS, WINDOWS, ETC. PRIME AND PAINT ALL NEW DRYWALL SURFACES.

INTERIOR TRIM: PROFILES, SPECIES AND FINISH TO BE SELECTED BY OWNER.

WINDOWS: 'ANDERSEN' 400 SERIES VINYL-CLAD WOOD WINDOWS WITH HIGH-PERFORMANCE LOW-E INSULATING GLASS, AND INSECT SCREENS, STANDARD HARDWARE, AS SCHEDULED. PRIME AND APPLY TWO FINISH COATS PAINT TO INTERIOR SASH AND FRAME.

CAULK: SILICON SEALANT WITH COLOR TO MATCH ADJACENT SURFACES.

FLASHING: 16oz. COPPER, OR EQUAL.

DOORS
INTERIOR DOORS: TO BE SELECTED BY OWNER.
DOOR HARDWARE: AS MANUFACTURED BY 'SCHLAGE' OR EQUAL;

ANY LAND CLEARING, CONSTRUCTION, OR DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE APPROVED DRAWINGS, PERMIT, AND REGULATIONS OF LOCAL LAW #8 OF 2003.



100 EXECUTIVE BLVD, SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-8240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

REVISIONS	DATE	BY
△ B.D. CMNTS	9-16-2023	ARQ
△ B.D. CMNTS	11-2-2023	ARQ
△ ENG. CMNTS	12-4-2023	ARQ

DRAWING TITLE:
MAPS & GENERAL NOTES

PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

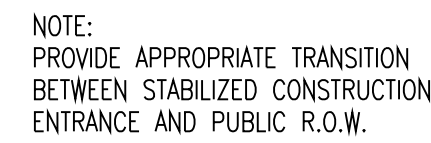
NYS EDUCATION LAW

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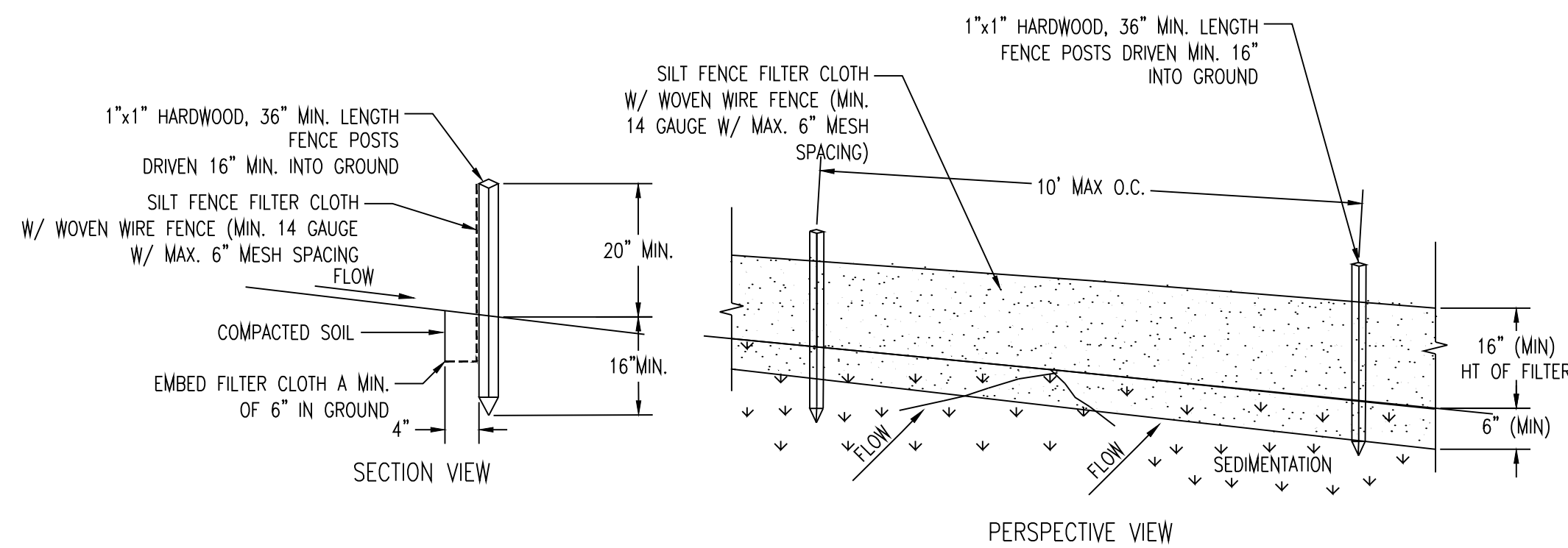
SEAL & SIGNATURE



DATE: 8/1/2023	DWG. NO.:
PROJECT NO.:	
23-078	
DRAWN BY:	T-100
ARQ	
CHECKED BY:	
JBH	



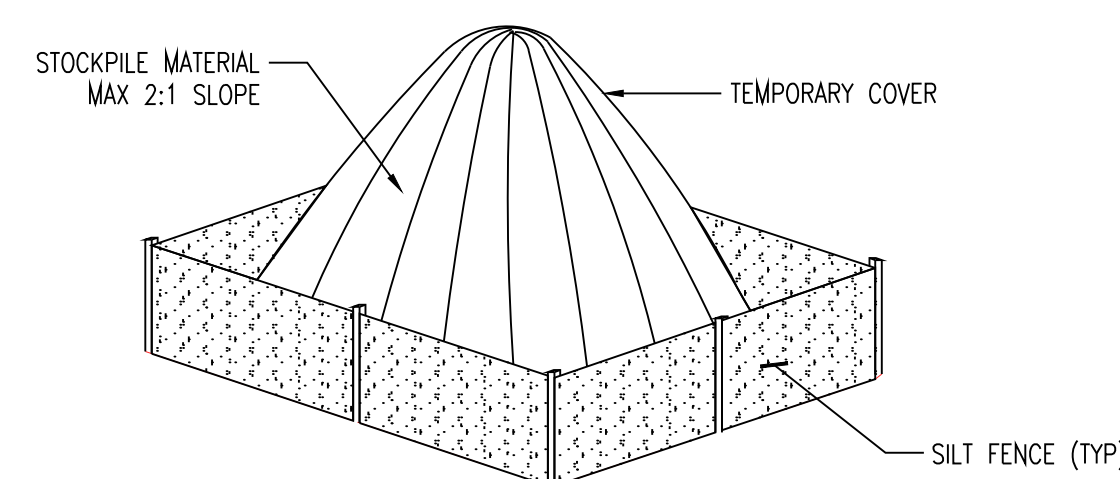
- # CONSTRUCTION SPECIFICATIONS
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SIGHT.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILISED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



CONSTRUCTION SPECIFICATIONS:

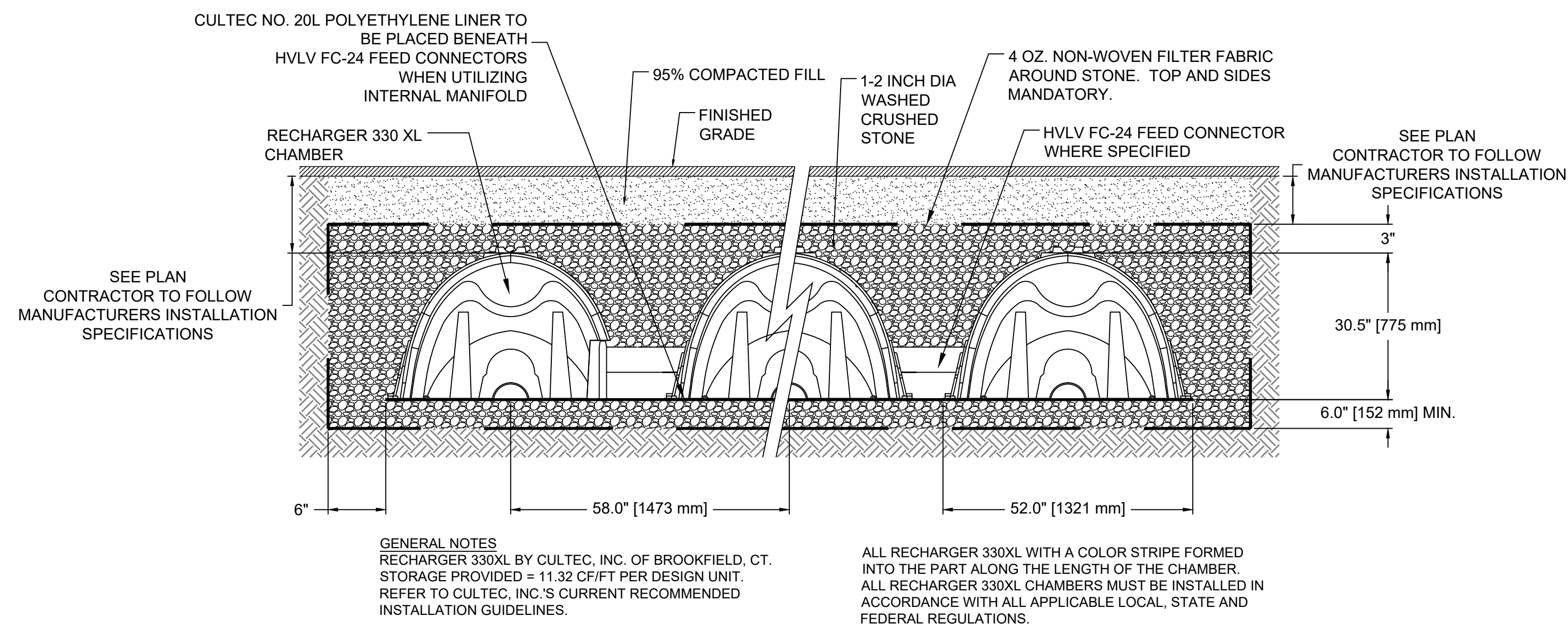
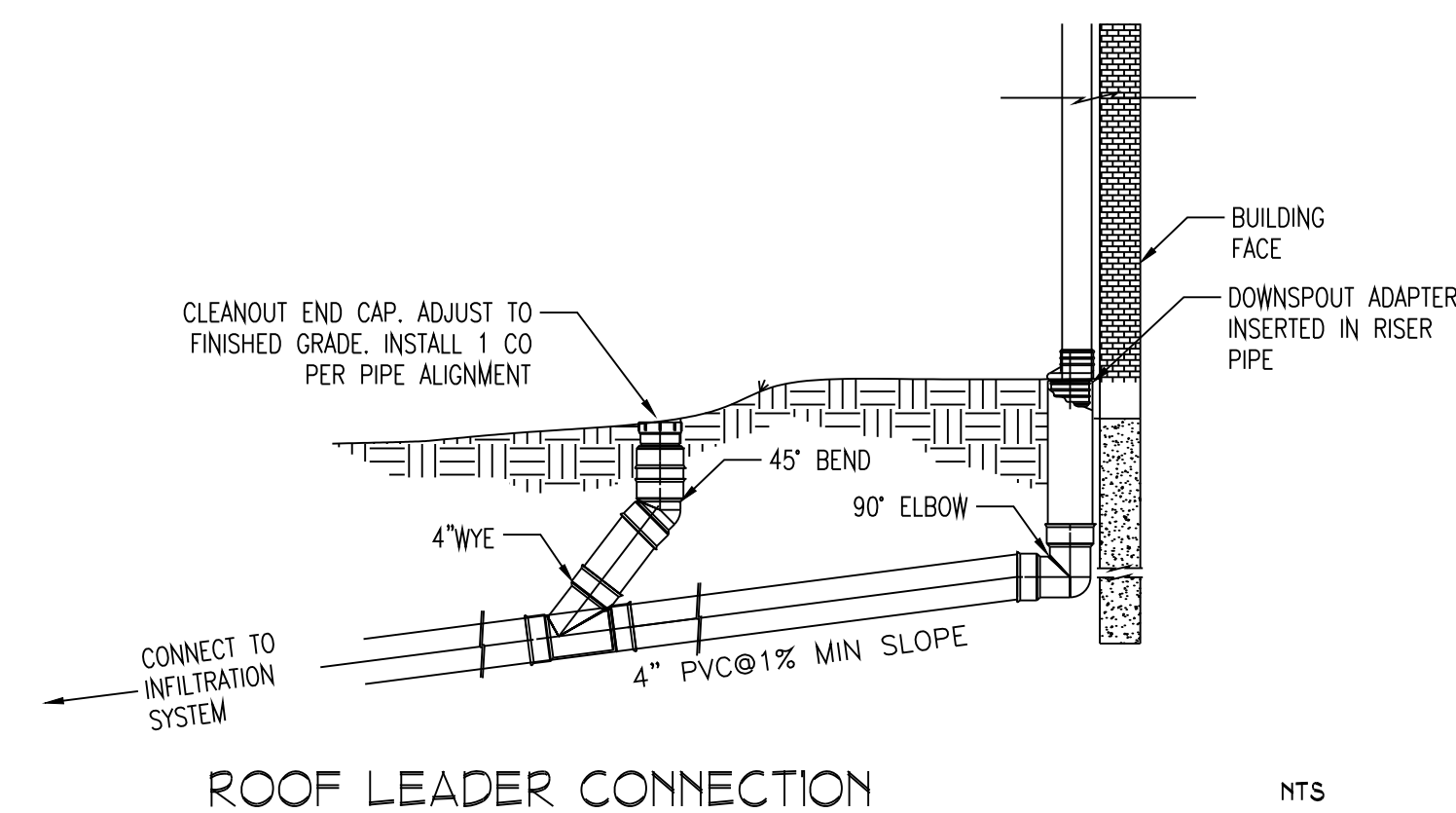
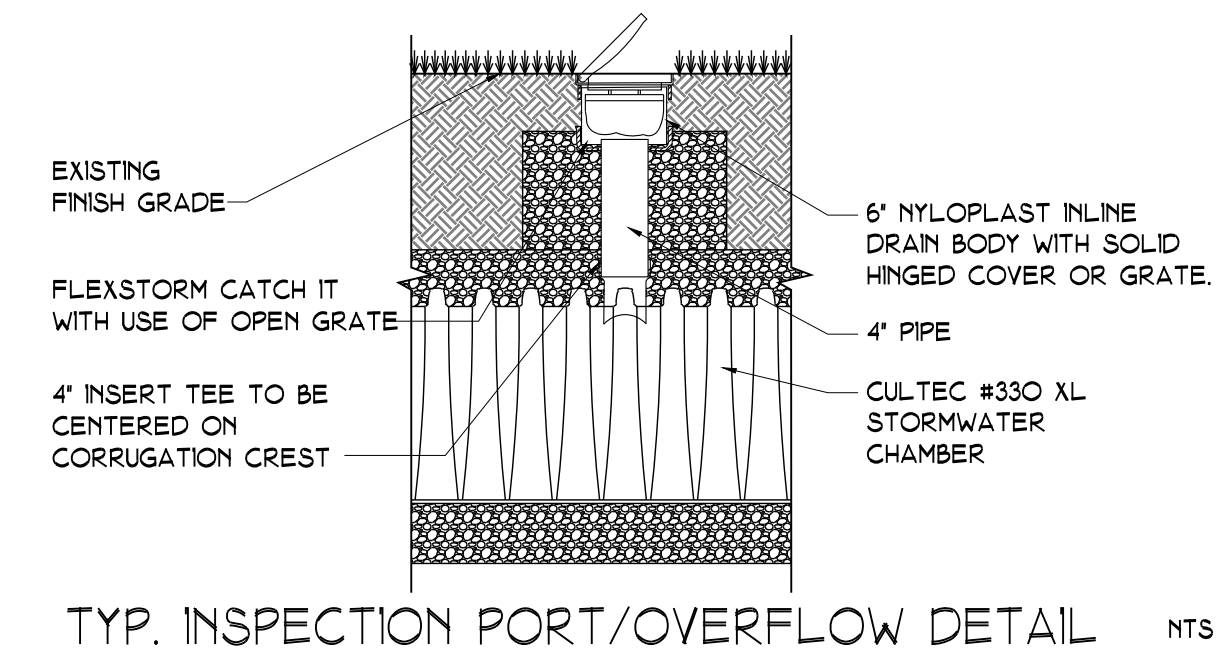
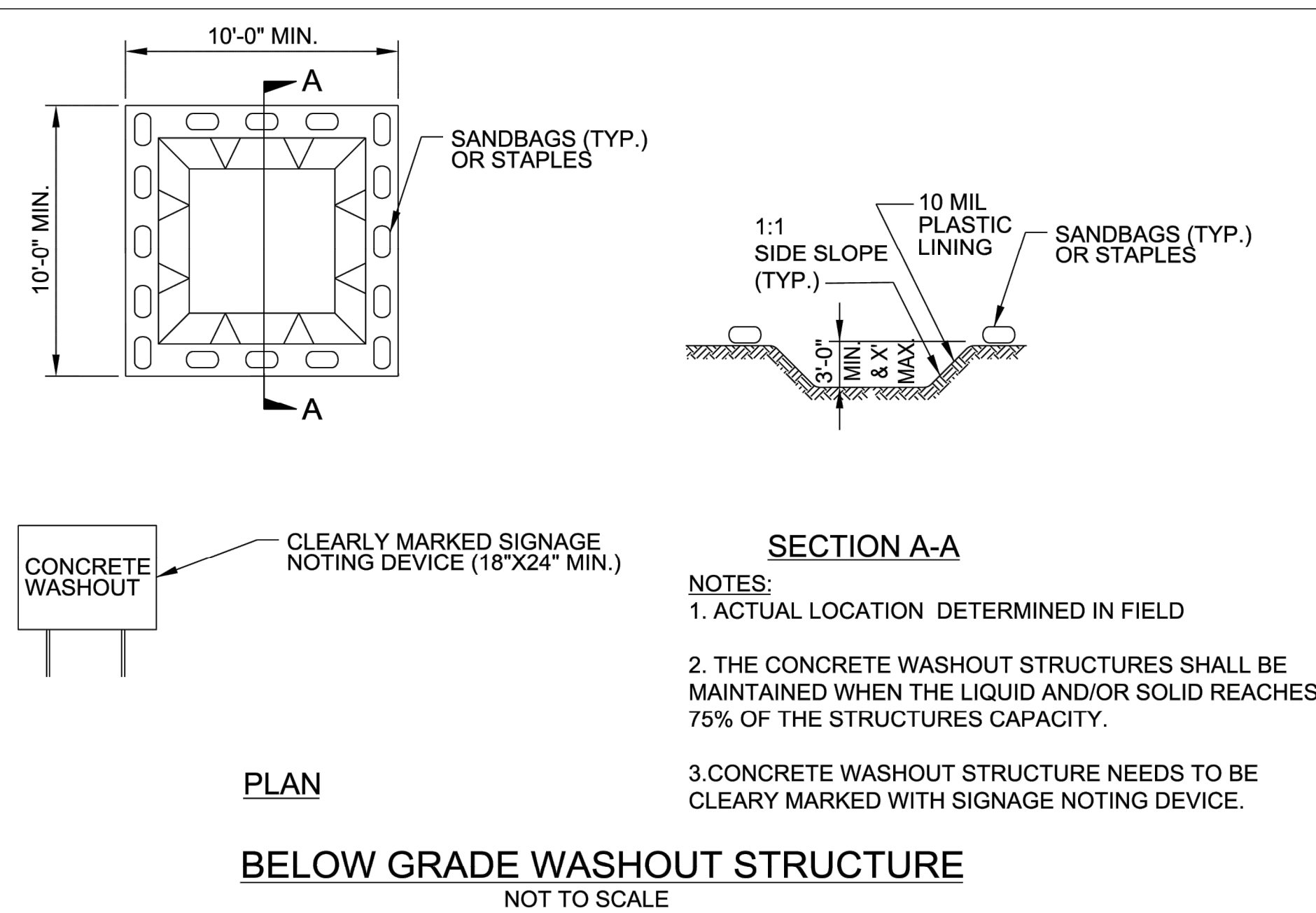
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVENLY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE INSTALLATION DETAIL
N.T.S.



NOTE:
STOCKPILE SHALL BE COVERED ENTIRELY BY ANCHORED
PLASTIC COVER OR SEEDED

STOCKPILE CONTROL DETAIL
N.T.S.



TYP. CULTEC 330XL CHAMBER DETAIL NTS



**100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-6240**

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
DETAILS

PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

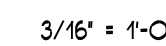
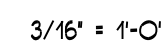
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SEAL & SIGNATURE



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8/1/2023	
PROJECT NO.:	
23-078	
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ARQ	S-101
CHECKED BY:	
JBH	



NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED. ALL WOOD IN CONTACT WITH CONCRETE TO BE P.T.
ALL PLUMBING WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.



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DRAWING TITLE:
EXIST. & DEMO.
FLOOR PLANS

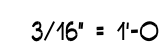
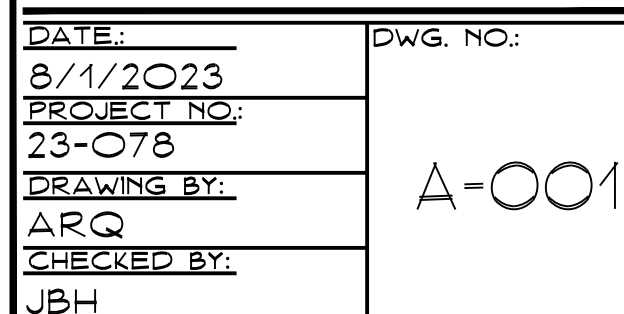
PROJECT:
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DOBBS FERRY
NY, 10522

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SEAL & SIGNATURE





DECKING
NEW 1/2" MIN. NOMINAL THICKNESS DECKING
FASTENED TO EACH FLOOR JOIST W/ (2) #8
SCREWS & TO RM JOISTS & LEDGER W/
10D OR #10X3" WOOD SCREWS @ 6" O.C.

NEW STAIRS / RAILS: (2020 RC OF NYS R311.7)
TREADS: 9" MIN.
NOSING: 1/2" MIN & 1/2" MAX.
RISERS: 8 1/4" MAX.
WIDTH: 36" MIN.
LANDINGS: SAME AS WIDTH OF STAIR (R311.7.6)
HANDRAIL: 34"-38" HIGH CONTINUOUS AT ALL
INTERIOR AND EXTERIOR STAIRWAYS WITH 4 OR
MORE RISERS (R311.7.8)
GUARDRAIL: 36" HIGH (R312.1)

GENERAL NOTES:

- ALL EXTERIOR WOOD TO BE P.T.
- ALL SCREWS, BOLTS NUTS & NAILS FOR USE WITH PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. ALL CONNECTORS (JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED OR SHALL BE STAINLESS STEEL.
- ALL JOIST HANGERS SHALL BE FACE MOUNT BY SIMPSON AND FASTENED W/ SIMPSON SDS SCREW CONNECTORS. REFER TO MANUF. FOR MORE INFO.

EXTERIOR WALL CONSTRUCTION:

- SIDING (MATCH EXISTING)
- TYVEK HOUSE WRAP
- 1/2" CDX PLYWOOD SHEATHING
- SHEATHING SHALL BE STRUCTURAL EXTERIOR GRADE PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. PANELS SHALL BE CONTINUOUS OVER TWO SUPPORTS MINIMUM.
- NAILING - 10D NAILS @ 4" O.C. AT PANEL EDGES & 10D NAILS @ 12" O.C. @ INTERIOR SUPPORTS
- 2X6 STUDS @ 16" O.C. ON 2X6 P.T. PLATE (SEE LEGEND)
- INSULATION (R21)
- PROVIDE HOLD-DOWNS AT ALL ENDS OF SHEER WALLS, EDGES OF OPENINGS, & WOOD POSTS.
- 3/8" DIAM. ANCHOR BOLTS AT 4'-0" O.C. W/ 1/2"X3/4" PLATE WASHER. EMBED 12" MIN.
- 1/2" GYPSUM BOARD (I.O.N.)

BATHROOM EXHAUST & DUCT

2020 RC OF NYS M503 & M504.4
CONTRACTOR TO INSTALL BATHROOM EXHAUST. DUCT TO BE VENTED TO OUTSIDE WITH BACK DRAFT DAMPER. VENT SHALL NOT TERMINATE LESS THAN 3'-0" FROM PROPERTY LINE OR OPENINGS.
50 CFM INTERMITTENT OR 20 CFM CONTINUOUS.

PLUMBING FIXTURES

ALL PLUMBING FIXTURES TO BE INSTALLED AS PER 2020 RC OF NYS CH 27. P2705.
SHOWER COMPARTMENTS SHALL HAVE NOT LESS THAN 900 SQUARE INCHES (10.6 M2) OF INTERIOR CROSS-SECTIONAL AREA. SHOWER COMPARTMENTS SHALL BE NOT LESS THAN 30 INCHES (762 MM) IN MINIMUM DIMENSION MEASURED FROM THE FINISHED INTERIOR DIMENSION OF THE SHOWER COMPARTMENT.

PIPE FREEZING

2020 RC OF NYS P2603.5
WATER, OIL OR WASTE PIPE SHALL NOT BE INSTALLED OUTSIDE OF BUILDING IN EXTERIOR WALLS, IN ATTICS OR CRAWL SPACES, OR IN ANY OTHER PLACE SUBJECTED TO FREEZING TEMPERATURE UNLESS ADEQUATE PROVISION IS MADE TO PROTECT IT FROM FREEZING BY INSULATION OR HEAT OR BOTH.

GLAZING AND WET SURFACES

(2020 BC OF NYS 2406.4.5)
GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

CONSTRUCTION LEGEND:

SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	NEW FOUNDATION WALL CONCRETE FOUNDATION WALL ON CONCRETE FOOTING. SEE PLANS.
	NEW EXTERIOR WALL (SEE PLANS) 2X6 WOOD STUDS @ 16" O.C. ON 2X6 PLATE. R-21 INSULATION. (SEE EXTERIOR WALL NOTES)
	NEW INTERIOR WALL 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD EACH SIDE
	NEW DOOR INDICATES DOOR SIZE
	NEW WINDOW INDICATES WINDOW SIZE
	REMOVE EXISTING CONSTRUCTION FROM STRUCTURAL SLAB TO UNDERSIDE OF FLOOR DECKING ABOVE 2. REMOVE / RELOCATE EXISTING ELECTRICAL OUTLETS, SWITCHES ETC. AS REQUIRED. REWORK WIRING AS NECESSARY FOR CONTINUED POWER TO REMAINING OUTLETS, SWITCHES OR IF OUTLETS NOT REQUIRED REMOVE WIRING BACK TO NEAREST JUNCTION BOX TO REMAIN. 3. REMOVE / RELOCATE EXISTING PLUMBING AS REQUIRED. REWORK PLUMBING AS NECESSARY TO MAINTAIN INTEGRITY OF EXISTING SYSTEM TO REMAIN. CAP ALL UNUSED PIPING IN WALLS, FLOOR OR CEILINGS TO REMAIN. NOTIFY ARCHITECT IF ANY OBSTACLES APPEAR DURING DEMOLITION.

NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED. ALL WOOD IN CONTACT WITH CONCRETE TO BE P.T.
ALL PLUMBING WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.

ELECTRICAL LEGEND:

SYMBOL	DESCRIPTION
	NEW HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTOR. NOTE: EXCEPTION (R314.4) INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS ARE NOT REQD WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES. (#1403.2.1) SMOKE ALARMS ARE PERMITTED TO BE BATTERY OPERATED WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES.
	NEW HARDWIRED INTERCONNECTED HEAT DETECTOR
	BATHROOM EXHAUST FAN DUCTED TO EXTERIOR W/ CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS
	KITCHEN EXHAUST HOODS SHALL BE DUCTED TO EXTERIOR WITH SHEET METAL DUCTS CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER. DUCTS SHALL BE AIR TIGHT AND EQUIPPED WITH A BACK DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS. KITCHEN EXHAUST SHALL BE 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS.
NOTE: ALL OUTLETS IN BATHROOMS ABOVE COUNTERS IN KITCHENS, & WITHIN 6'-0" OF A SINK SHALL BE GFCI VERIFY & REPLACE OUTLETS AS REQD.	
ALL ELECTRICAL WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.	
MIN. INSULATION REQUIREMENTS BY 2020 RC OF NYS TABLE N102.12 (R402.1.2) FOR CLIMATE ZONE 4A (WESTCHESTER COUNTY, NY)	
FLOOR	R-19
EXTERIOR WALL	R-21
ROOF/CEILING	R-49
BASEMENT EXTERIOR WALL	R-13
SLAB R-VALUE @ DEPTH	R-10 (2' AT PERIMETER)
PMC NYS SECTION 4014.4 BEDROOM REQUIREMENTS BEDROOM/1 OCCUPANT = 70 S.F. BEDROOM/2 OCCUPANT = 70 S.F. + 50 S.F. = 120 S.F.	



100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-8240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

REVISIONS	DATE	BY
△ B.D. CMNTS	9-16-2023	ARQ
△ B.D. CMNTS	11-2-2023	ARQ
△ ENG. CMNTS	12-4-2023	ARQ

DRAWING TITLE:
EXIST. & PROPOSED
FIRST FLOOR PLAN

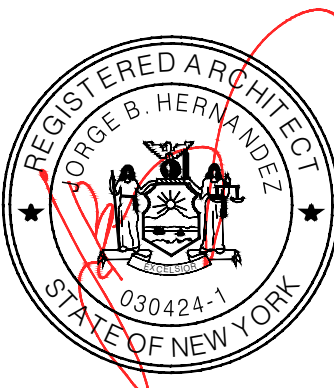
PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

NYS EDUCATION LAW

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SEAL & SIGNATURE



DATE:

8/11/2023

PROJECT NO.:

23-078

DRAWING BY:

ARQ

CHECKED BY:

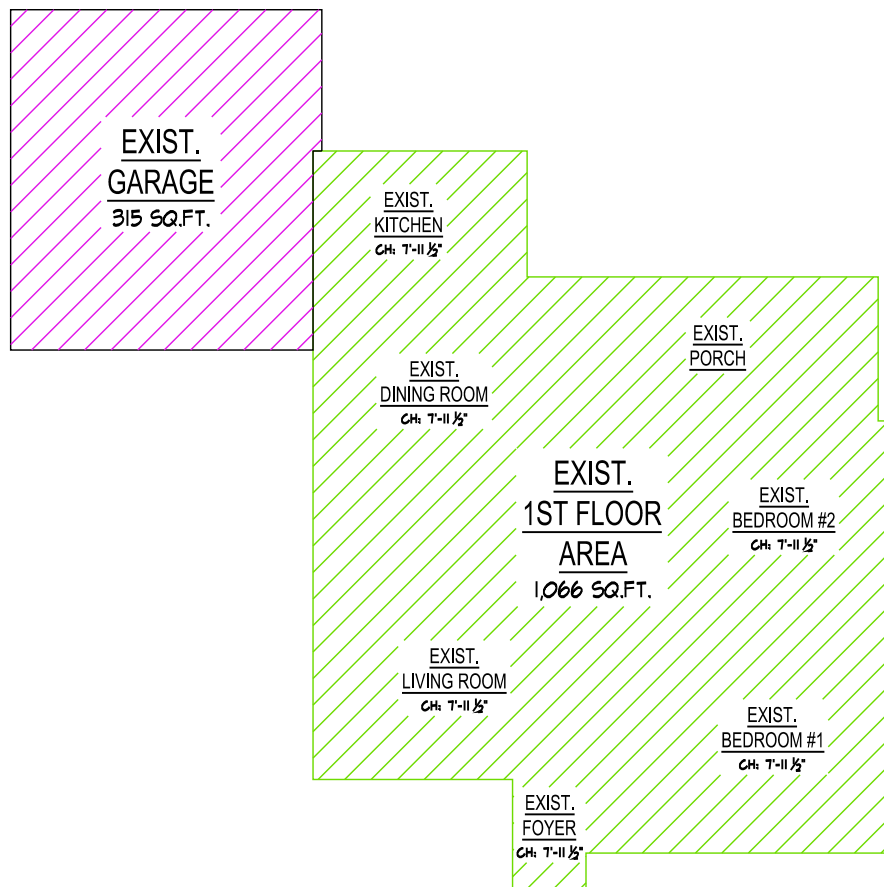
JBH

DWG. NO.:

A-101

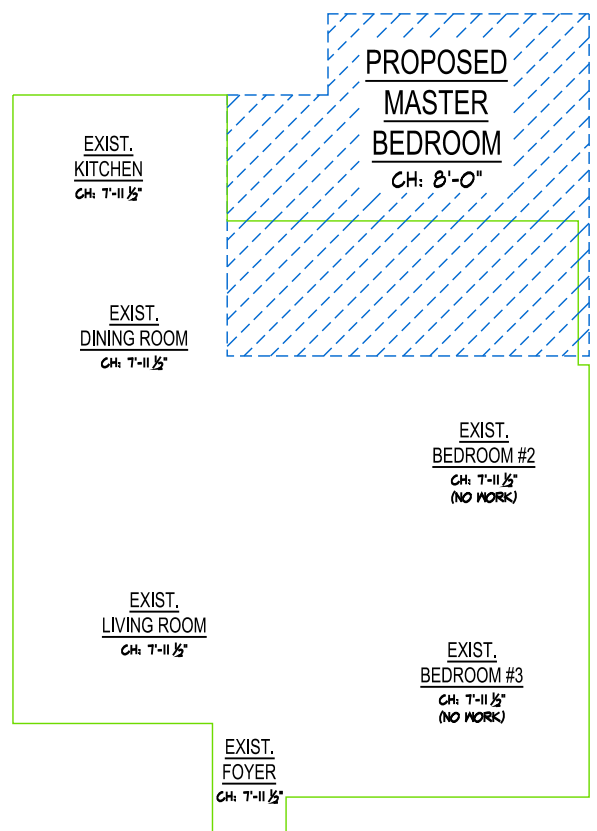
EXIST. & PROPOSED
FIRST FLOOR PLAN

1/4" = 1'-0"



EXIST. KEY PLAN - AREA

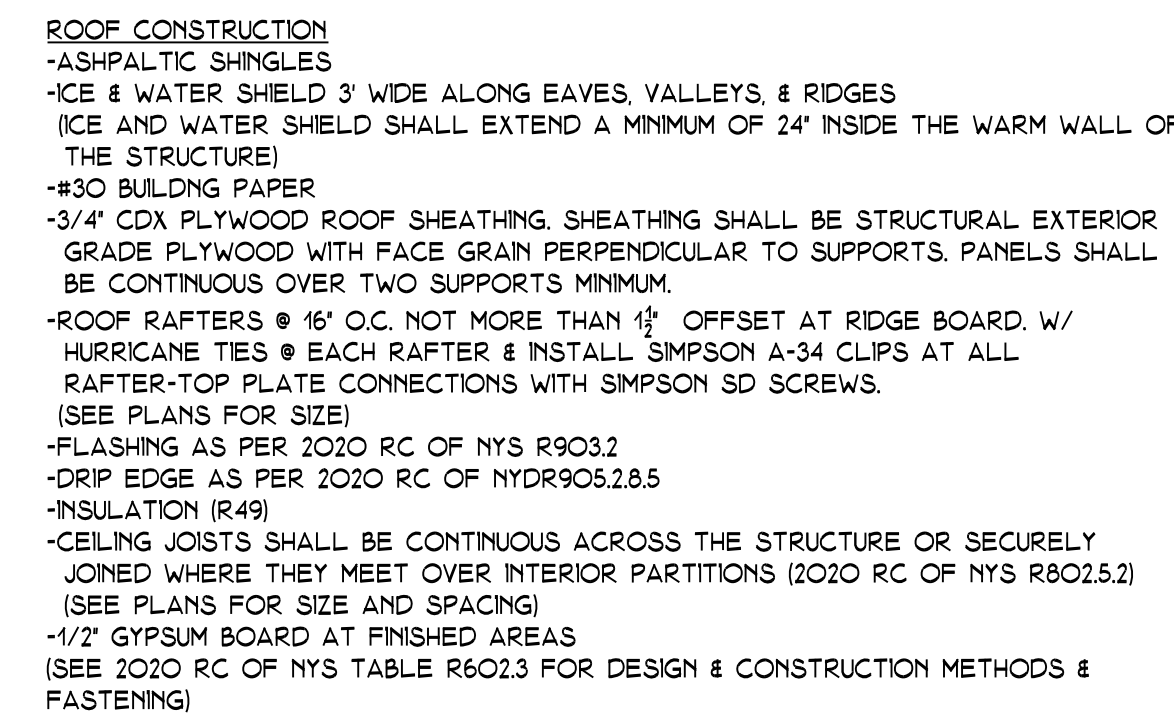
3/32" = 1'-0"







PROPOSED KEY PLAN - AREA

3/32" = 1'-0"

EXISTING 1ST FLOOR 1,066 SQ.FT. 100%
PROPOSED ADDITION 356 SQ.FT. 33.39%
TOTAL AREA OF WORK 1,422 SQ.FT. 33.39%
EXISTING KITCHEN TO REMAIN (NO WORK)


$$1/4' = 1'-O'$$

ELECTRICAL LEGEND:	
SYMBOL	DESCRIPTION
	<p>NEW HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTOR.</p> <p>NOTE: EXCEPTION (RC #R314.4)</p> <p>INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS ARE NOT REQUIRED WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES. (14U403.2.1)</p> <p>SMOKE ALARMS ARE PERMITTED TO BE BATTERY OPERATED WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES.</p>
	<p>NEW HARDWIRED INTERCONNECTED HEAT DETECTOR</p>
	<p>BATHROOM EXHAUST FAN DUCTED TO EXTERIOR W/ KITCHEN OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS</p>
	<p>KITCHEN EXHAUST HOODS SHALL BE DUCTED TO EXTERIOR WITH SHEET METAL DUCTS CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER. DUCTS SHALL BE AIR TIGHT AND EQUIPPED WITH A BACK DRAFT DAMPER AND SHALL BE NO LESS THAN 1/2" WALL THICK EXHAUST SYSTEMS. KITCHEN EXHAUST SHALL BE 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS .</p>
	<p>NOTE: ALL OUTLETS IN BATHROOMS, ABOVE COUNTERS IN KITCHENS, & WITHIN 6'-0" OF A SINK SHALL BE GFCI VERIFY & REPLACE OUTLETS AS REQD.</p> <p>ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR. CONTRACTOR UNDER A SEPARATE PERMIT NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.</p>

MIN. INSULATION REQUIREMENTS BY 2020 RC OF NYS TABLE NY02.1.2 (R402.12) FOR CLIMATE ZONE 4A (WESTCHESTER COUNTY, NY)	
FLOOR	= R-19
EXTERIOR WALL	= R-21
ROOF/CEILING	= R-49
BASEMENT EXTERIOR WALL	= R-13
SLAB R-VALUE & DEPTH	= R-10 (2' AT PERIMETER)
<u>PMC NYS SECTION 404.4 BEDROOM REQUIREMENTS</u>	
BEDROOM/1 OCCUPANT = 70 S.F.	
BEDROOM/2 OCCUPANT = 70 S.F. + 50 S.F. = 120 S.F.	

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
EXIST. & PROPOSED
ATTIC FLOOR PLAN

PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

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IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED BY ANY OTHER LICENSED PROFESSIONAL, SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF THE ALTERATION. A SPECIFIC DESCRIPTION OF THE ALTERATION

SEAL & SIGNATURE



DATE:	DWG. NO.:
8/1/2023	
PROJECT NO.:	
23-078	
DRAWING BY:	
ARQ	A-102
CHECKED BY:	
JBH	



JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
EXIST. & PROPOSED
ELEVATIONS

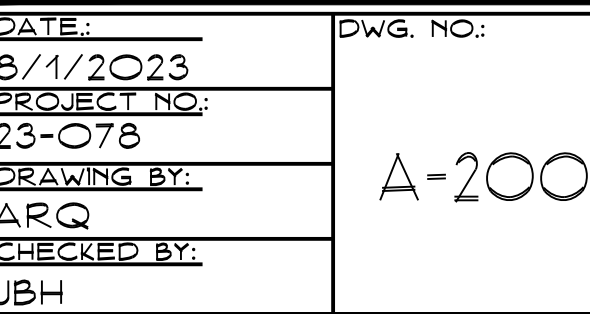
PROJECT:
PROPOSED
ADDITION






PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

NYS EDUCATION LAW

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SEAL & SIGNATURE



FINISHES LEGEND		
WINDOWS	ANDERSEN 400 SERIES COLOR: MATCH EX. WHITE	
SIDING	VINYL COLOR: MATCH EX. WHITE	
TRIM	VINYL TRIM COLOR: MATCH EX. WHITE	
RAIL	PVC COLOR: WHITE	
ROOF	ROOF SHINGLES COLOR: MATCH EX. CHARCOAL	



JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
EXIST. & PROPOSED
ELEVATIONS

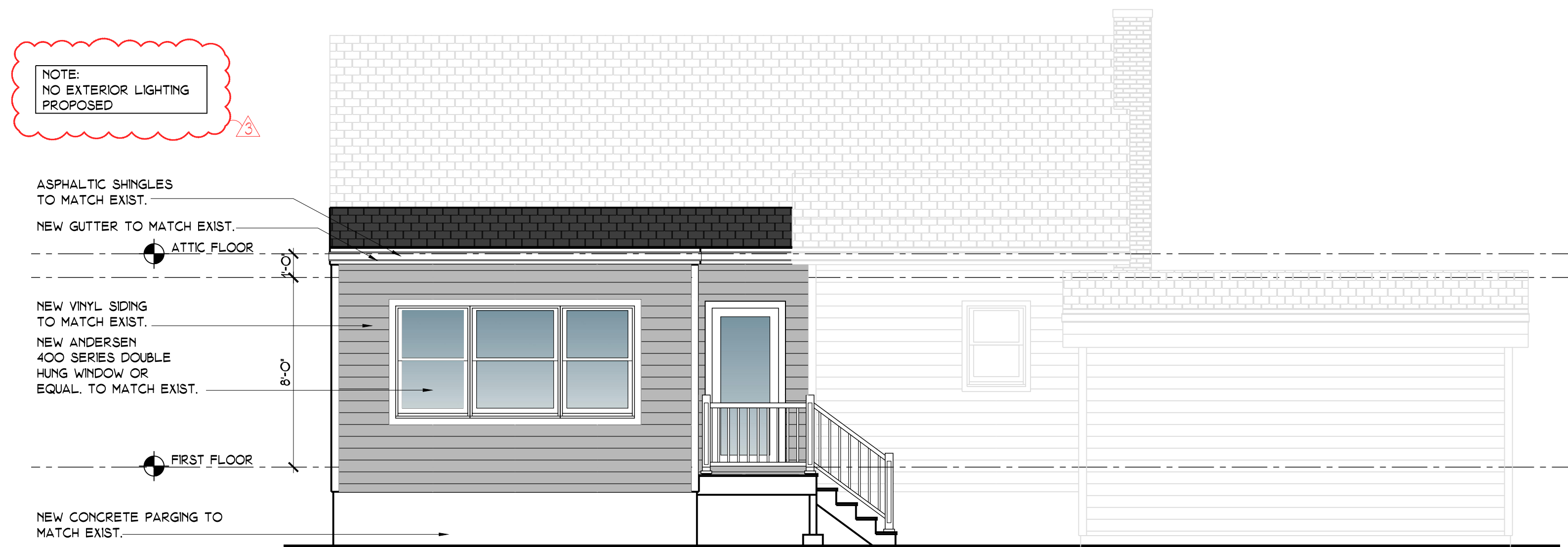
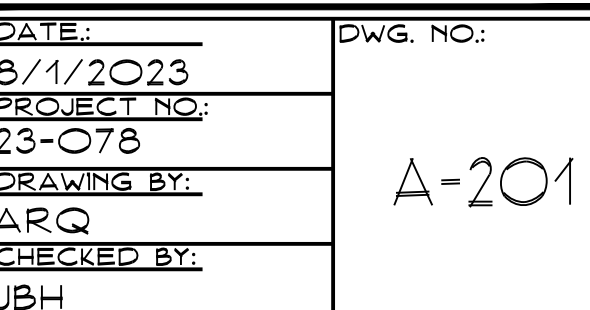
PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

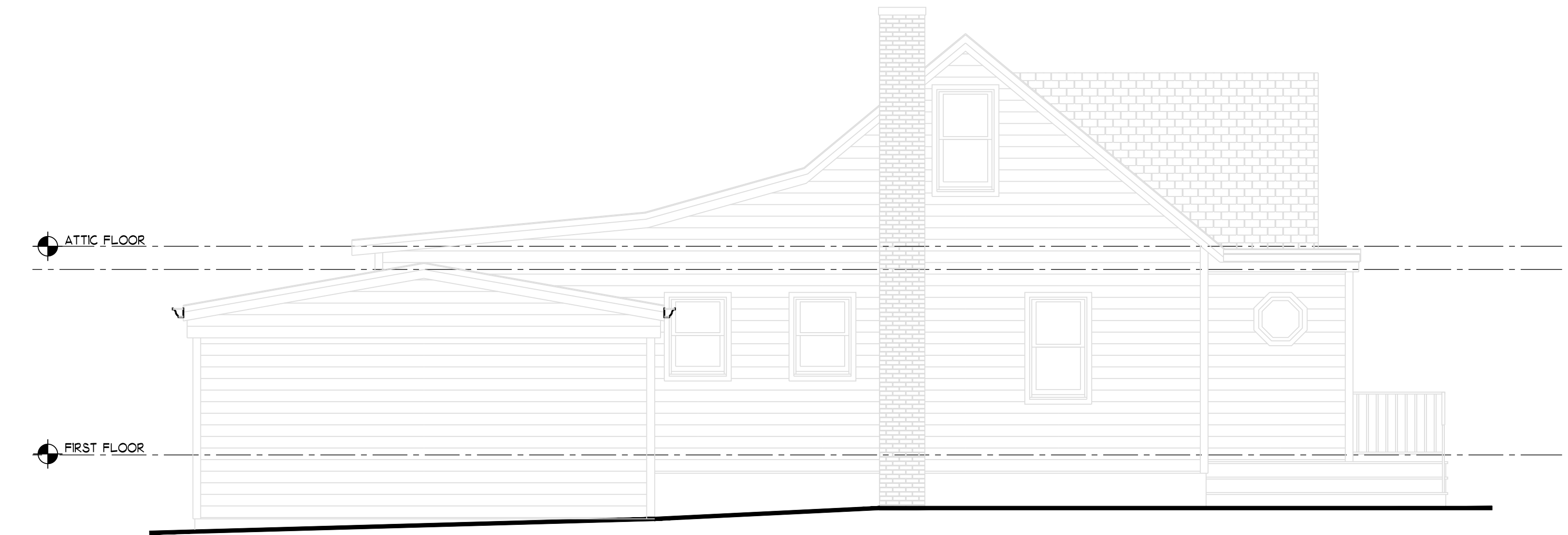
NYS EDUCATION LAW

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SEAL & SIGNATURE _____



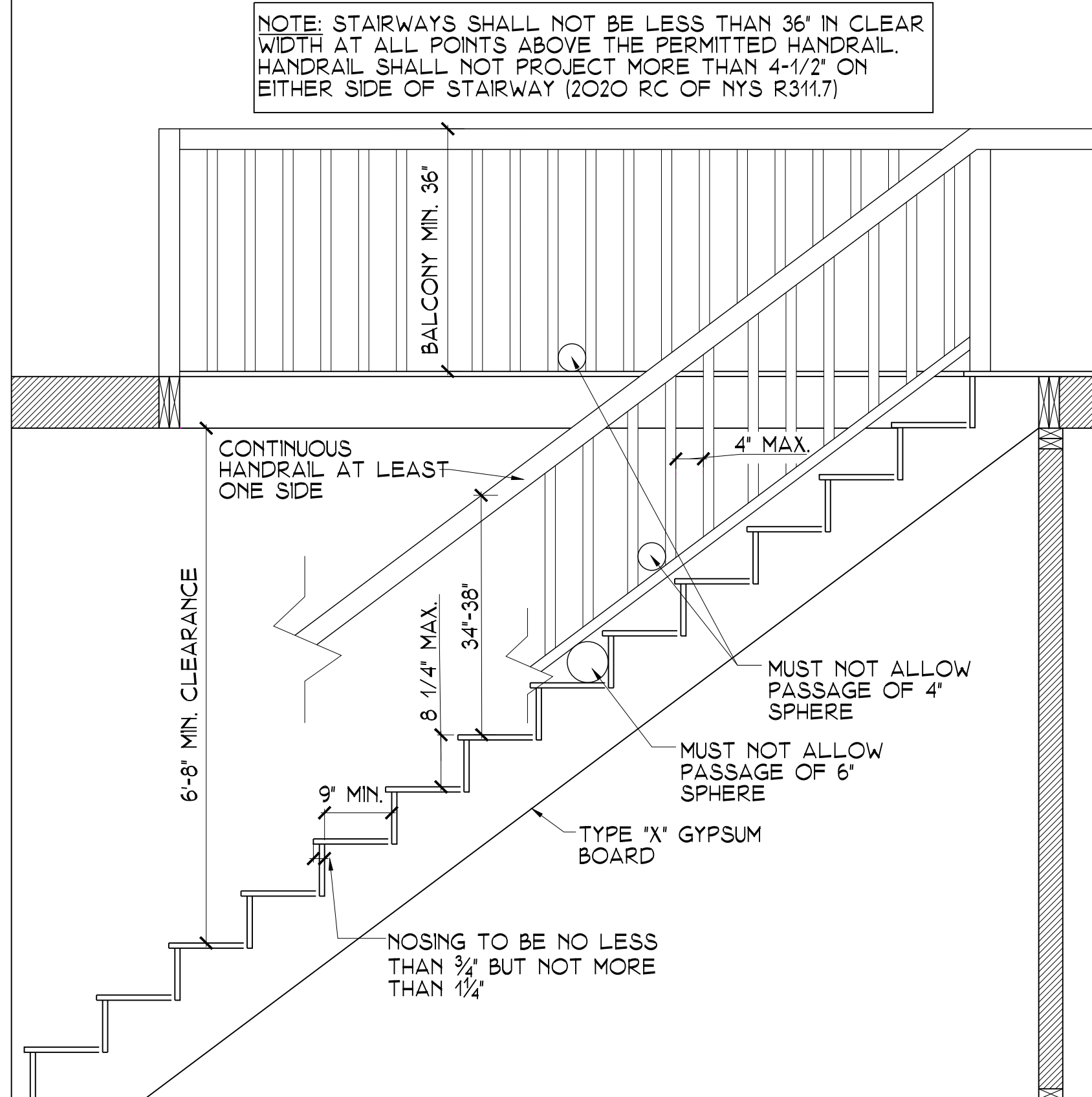
EXIST. & PROPOSED
REAR SIDE ELEVATION



EXIST. & PROPOSED
LEFT SIDE ELEVATION

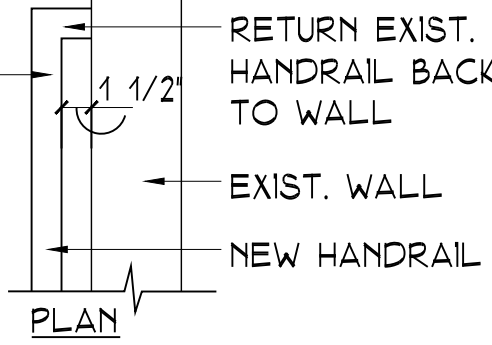
FINISHES LEGEND		
WINDOWS	ANDERSEN 400 SERIES COLOR: MATCH EX. WHITE	
SIDING	VINYL COLOR: MATCH EX. WHITE	
TRIM	VINYL TRIM COLOR: MATCH EX. WHITE	
RAIL	PVC COLOR: WHITE	
ROOF	ROOF SHINGLES COLOR: MATCH EX. CHARCOAL	

SCHEMATIC STAIR/RAIL DETAIL

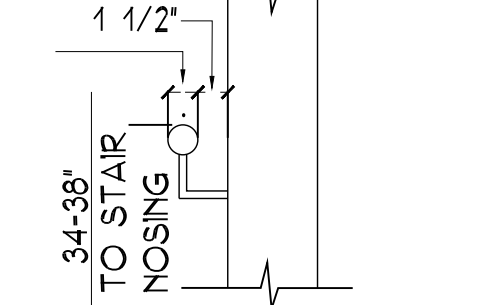


HANDRAIL DETAIL

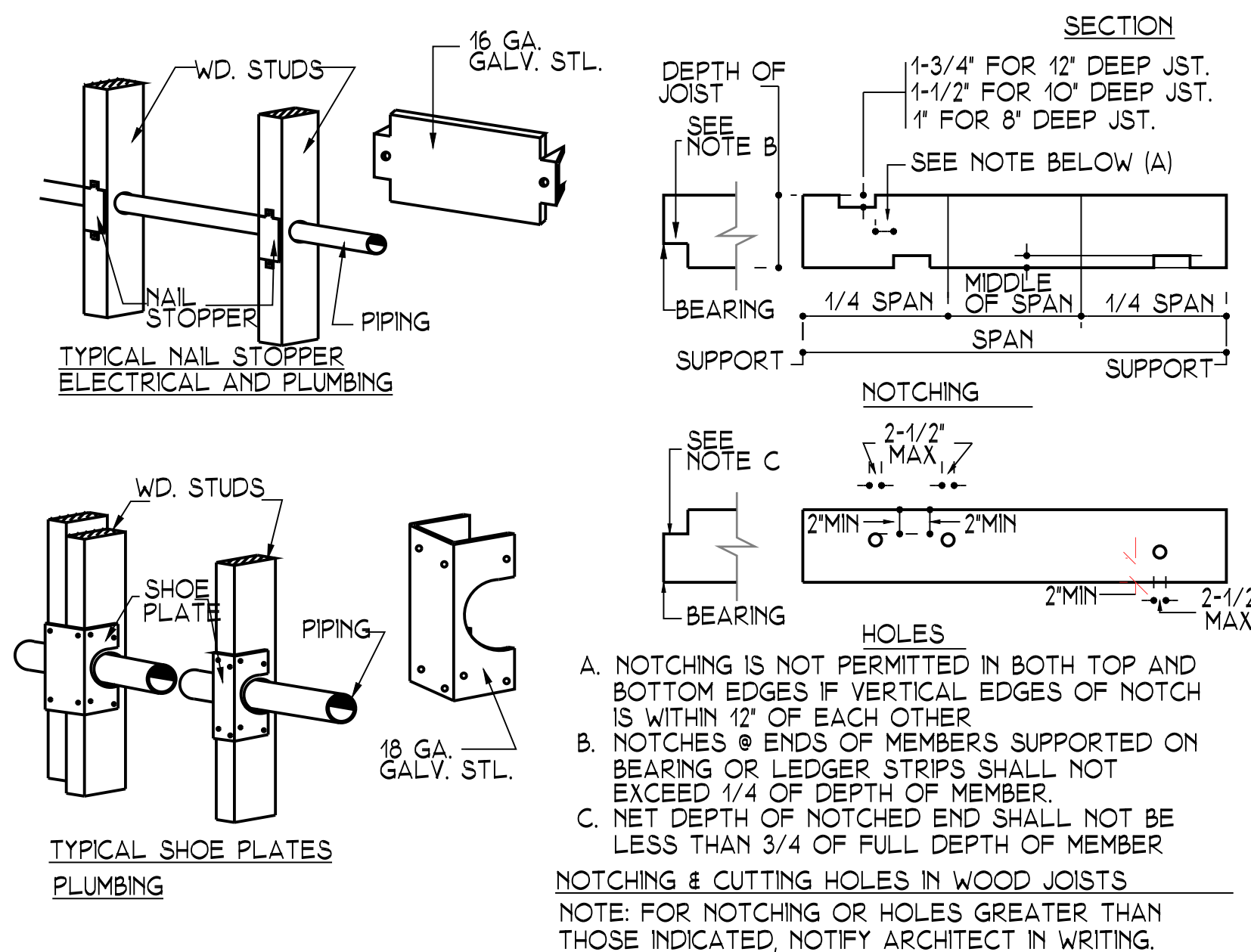
HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND THE HANDRAILS.



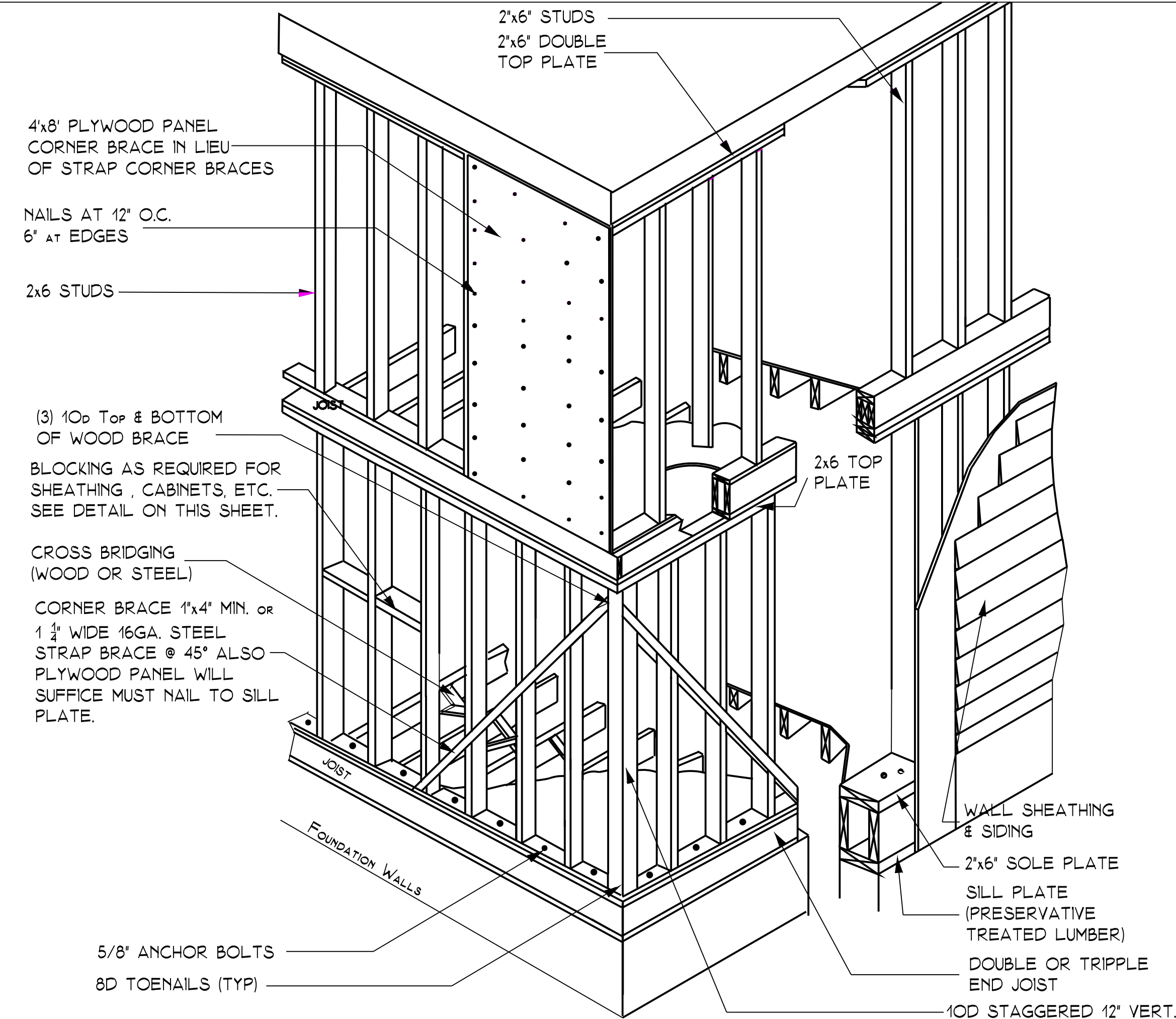
HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6-1/4 INCHES WITH A MAXIMUM CROSS SECTION DIMENSION OF 2-1/4 INCHES AS PER SECTION 2020 RC OF NYS R311.7



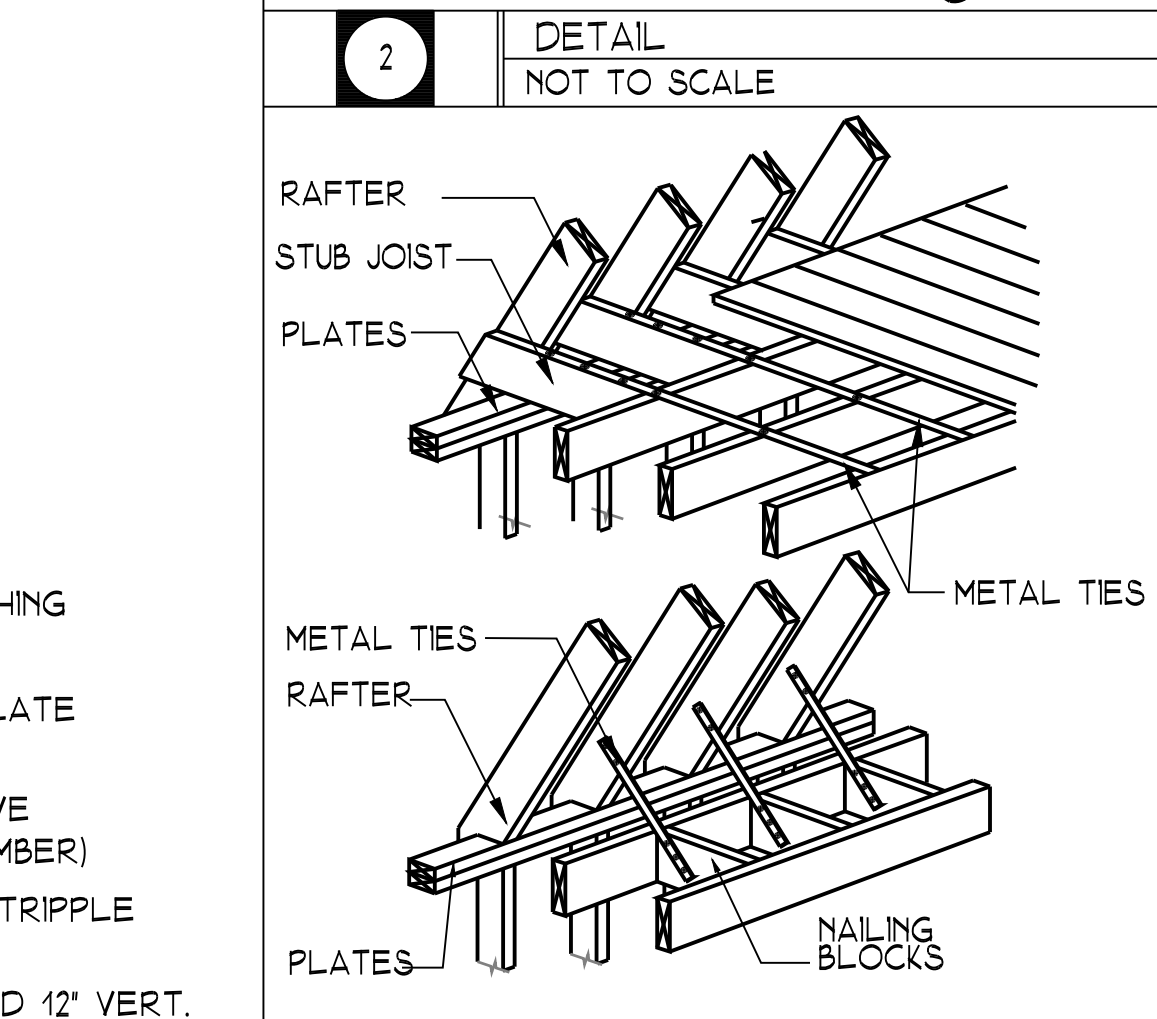
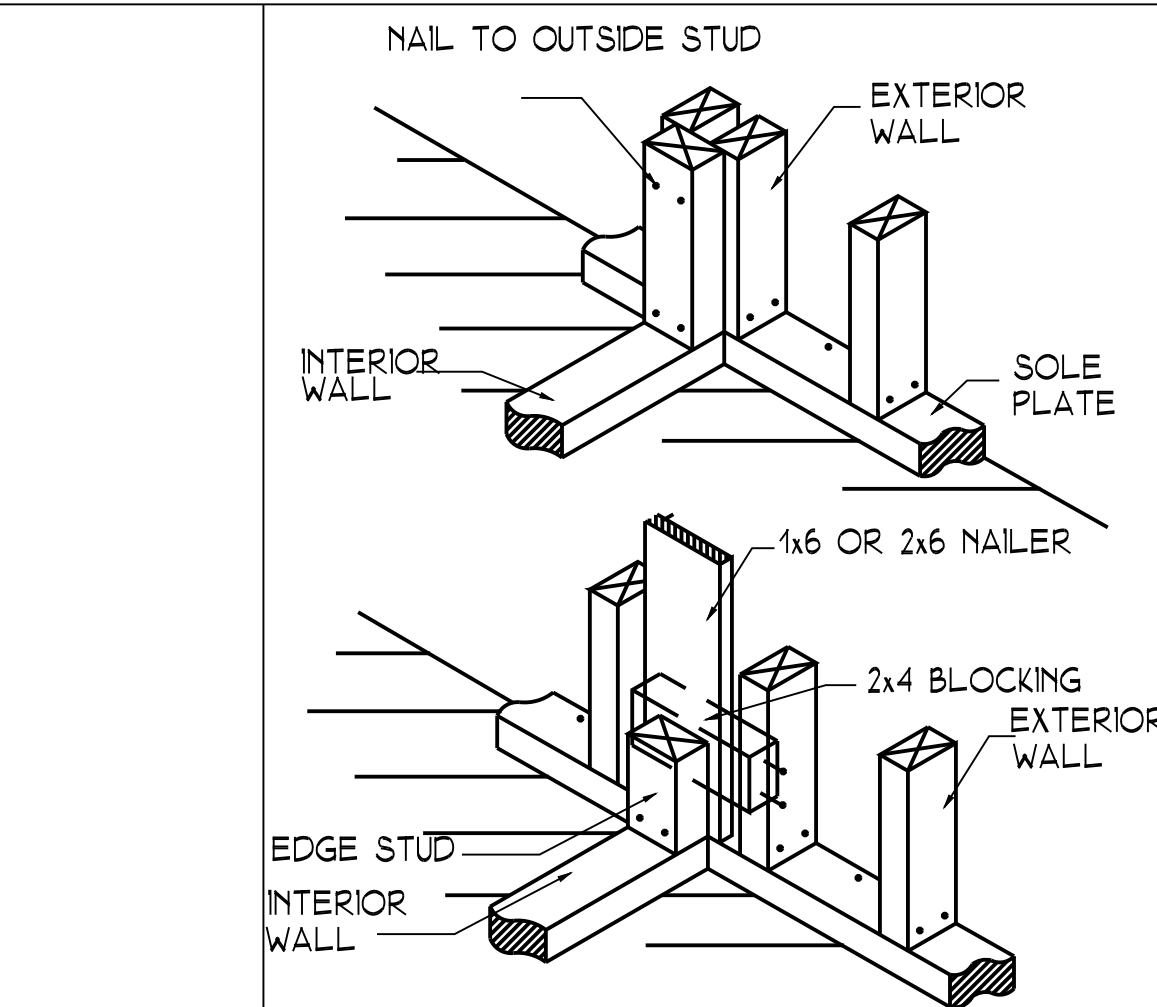
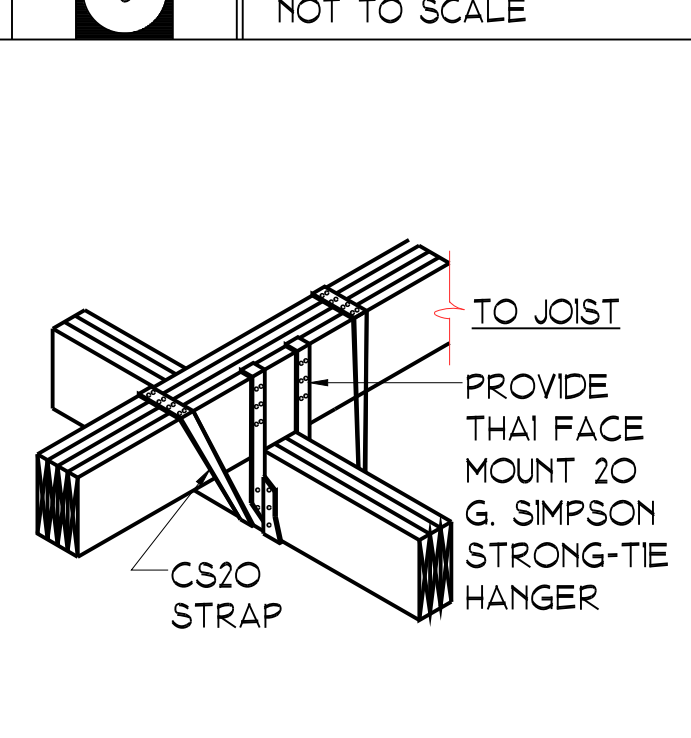
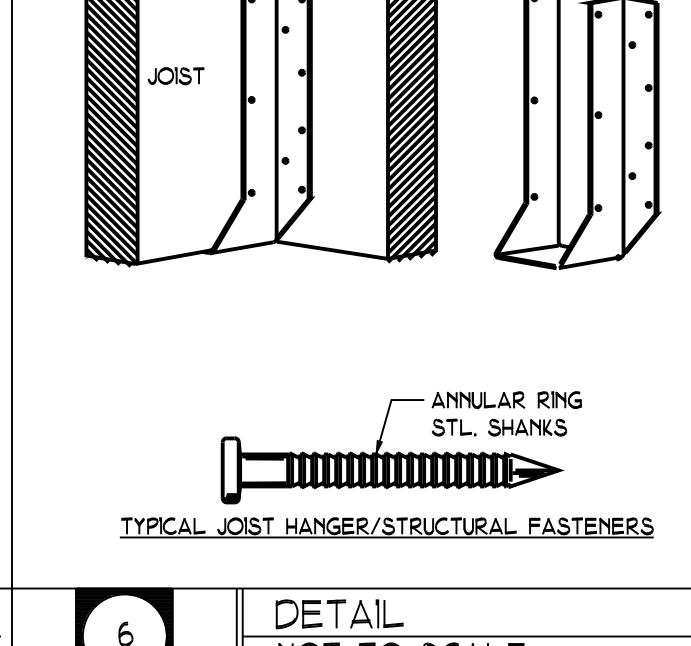
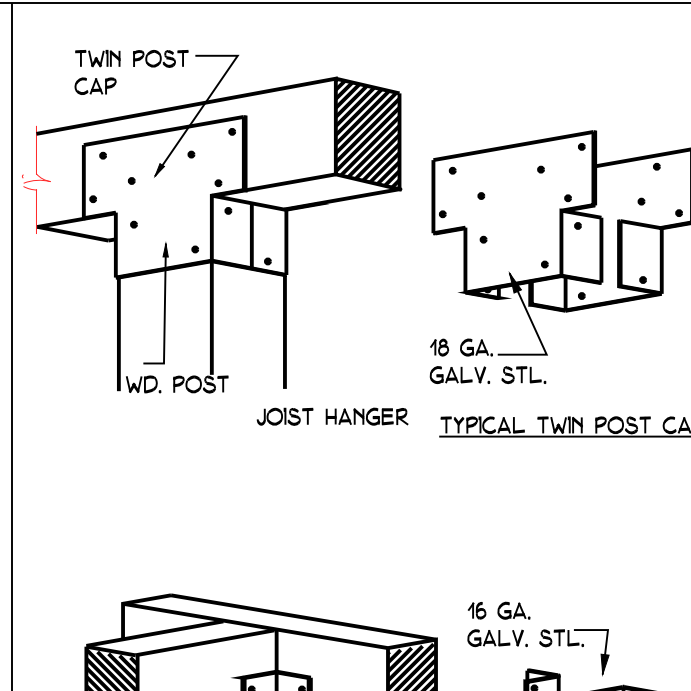
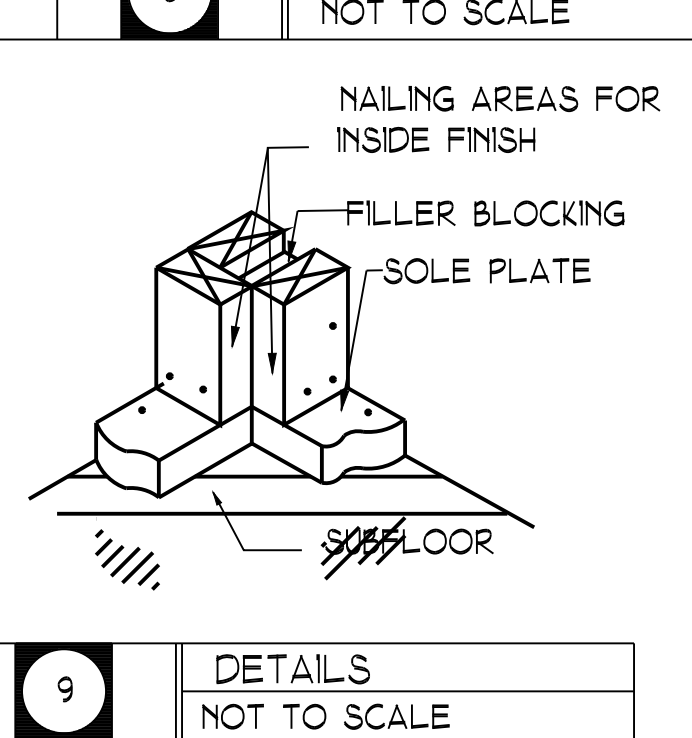
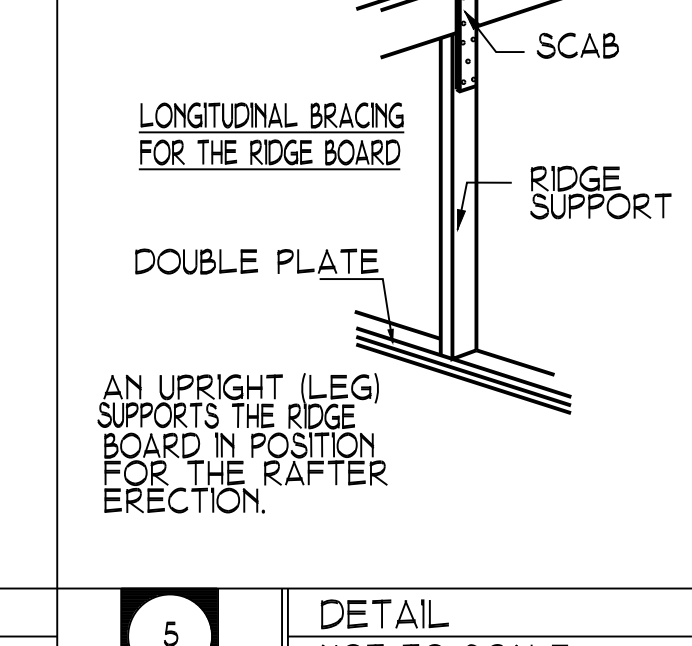
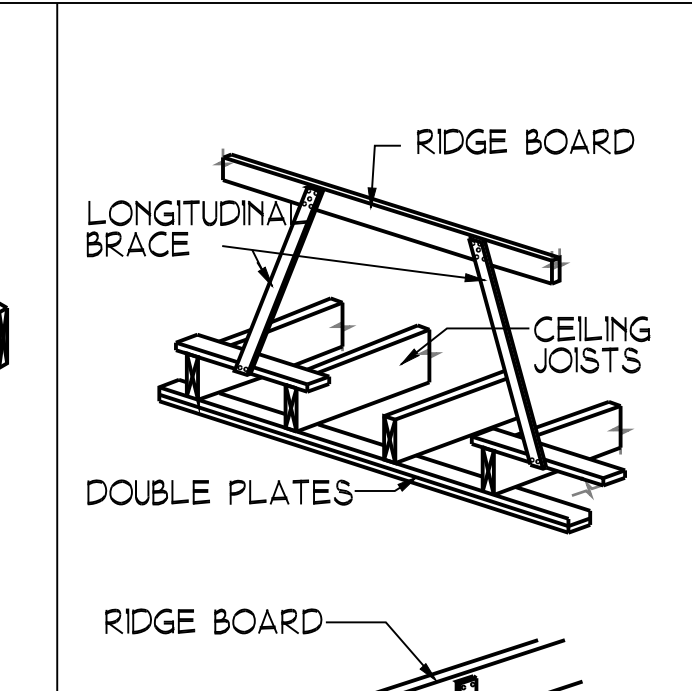
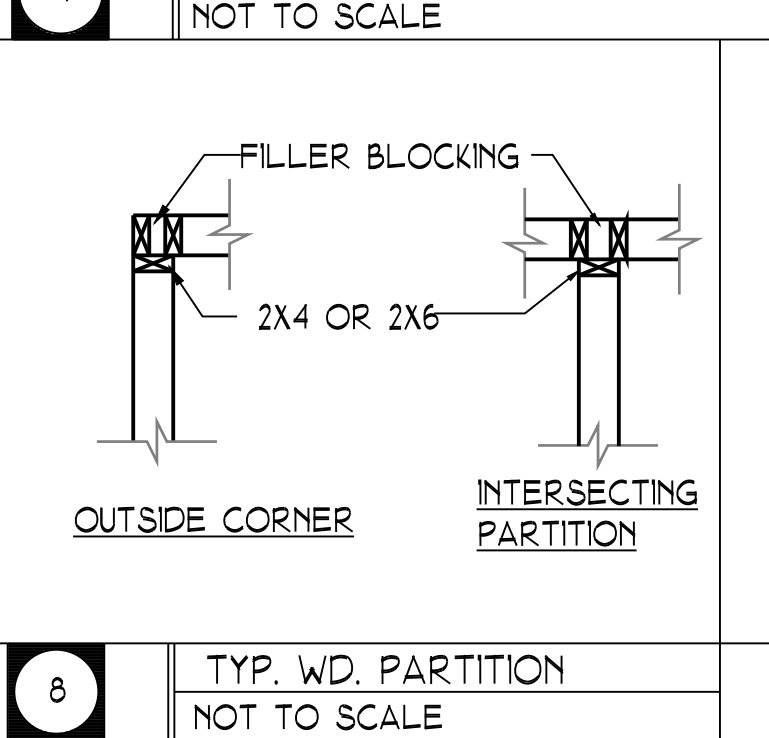
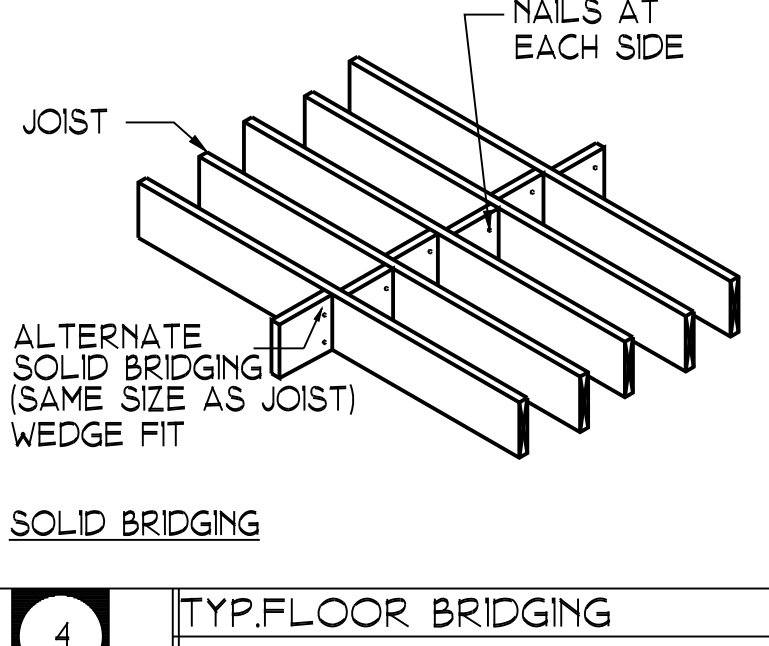
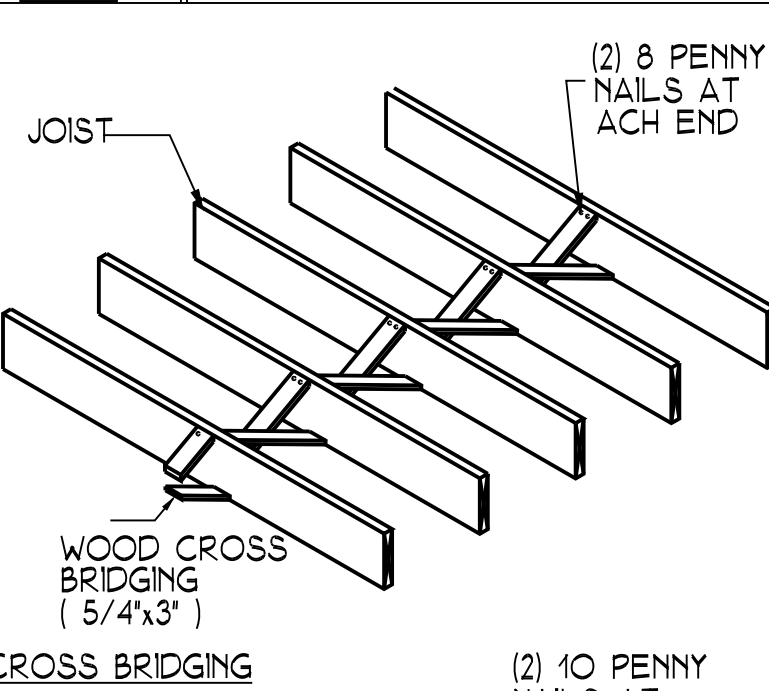
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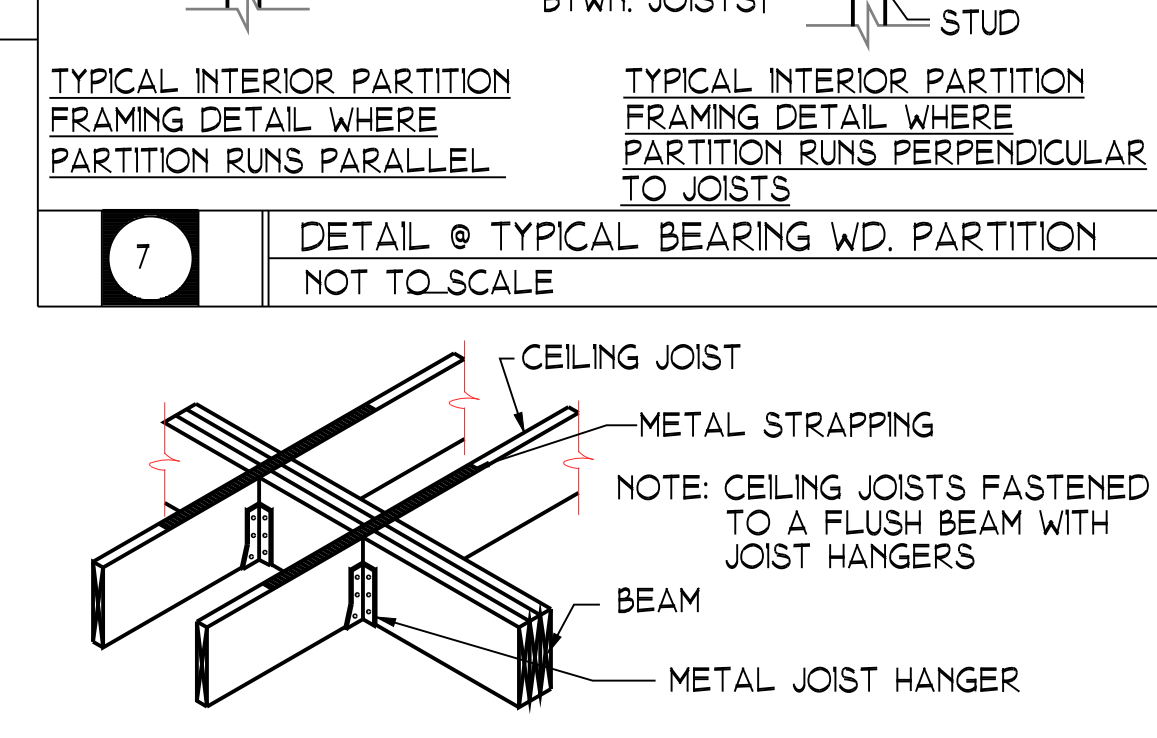
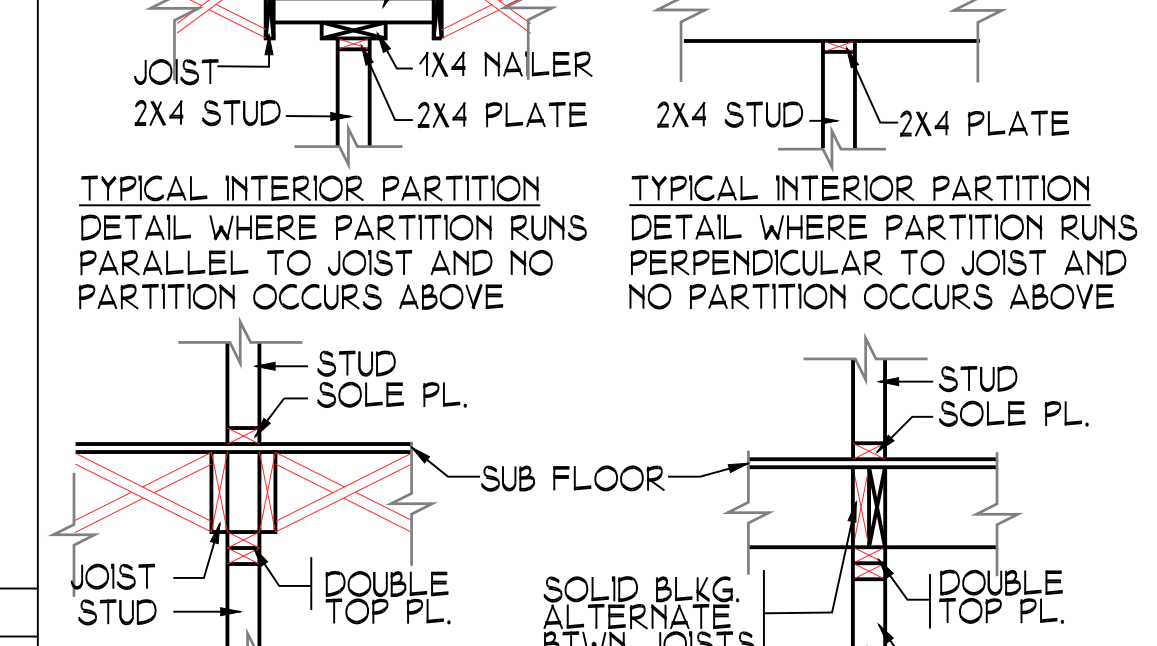
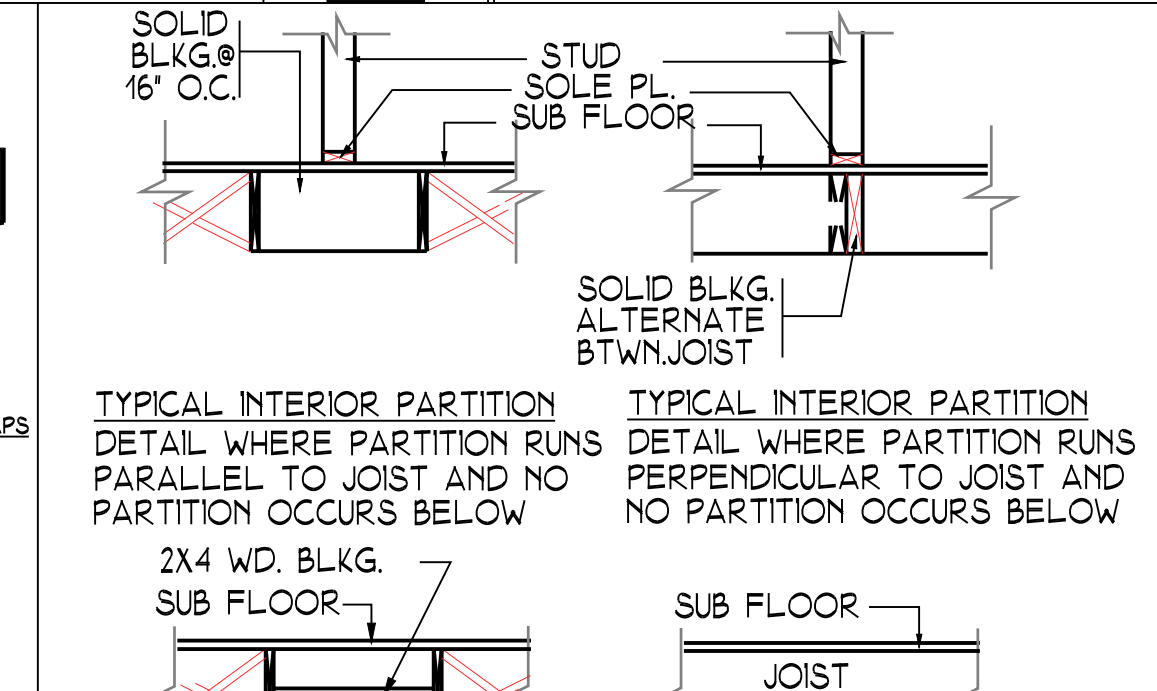
STANDARD FRAMING DETAILS



1 TWO STORY EXTERIOR WALL SCHEMATIC DETAIL NOT TO SCALE



2 DETAIL NOT TO SCALE



100 EXECUTIVE BLVD. SUITE 204
OSSING, NY 10562
PHONE: (914) 844-3377
FAX: (866) 567-8240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

REVISIONS	DATE	BY
△ B.D. CMNTS	9-16-2023	ARQ
△ B.D. CMNTS	11-2-2023	ARQ
△ ENG. CMNTS	12-4-2023	ARQ

DRAWING TITLE:
TYP. DETAILS

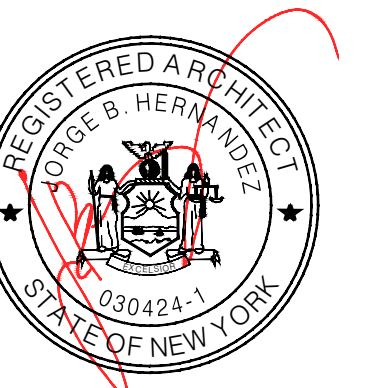
PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

NYS EDUCATION LAW

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SEAL & SIGNATURE



DATE:

8/1/2023

PROJECT NO:

23-078

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO:

A-300



**100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-6240**

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
PHOTO STUDY

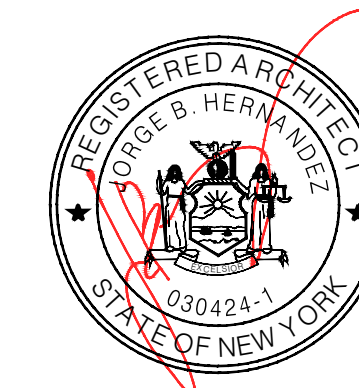
PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
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