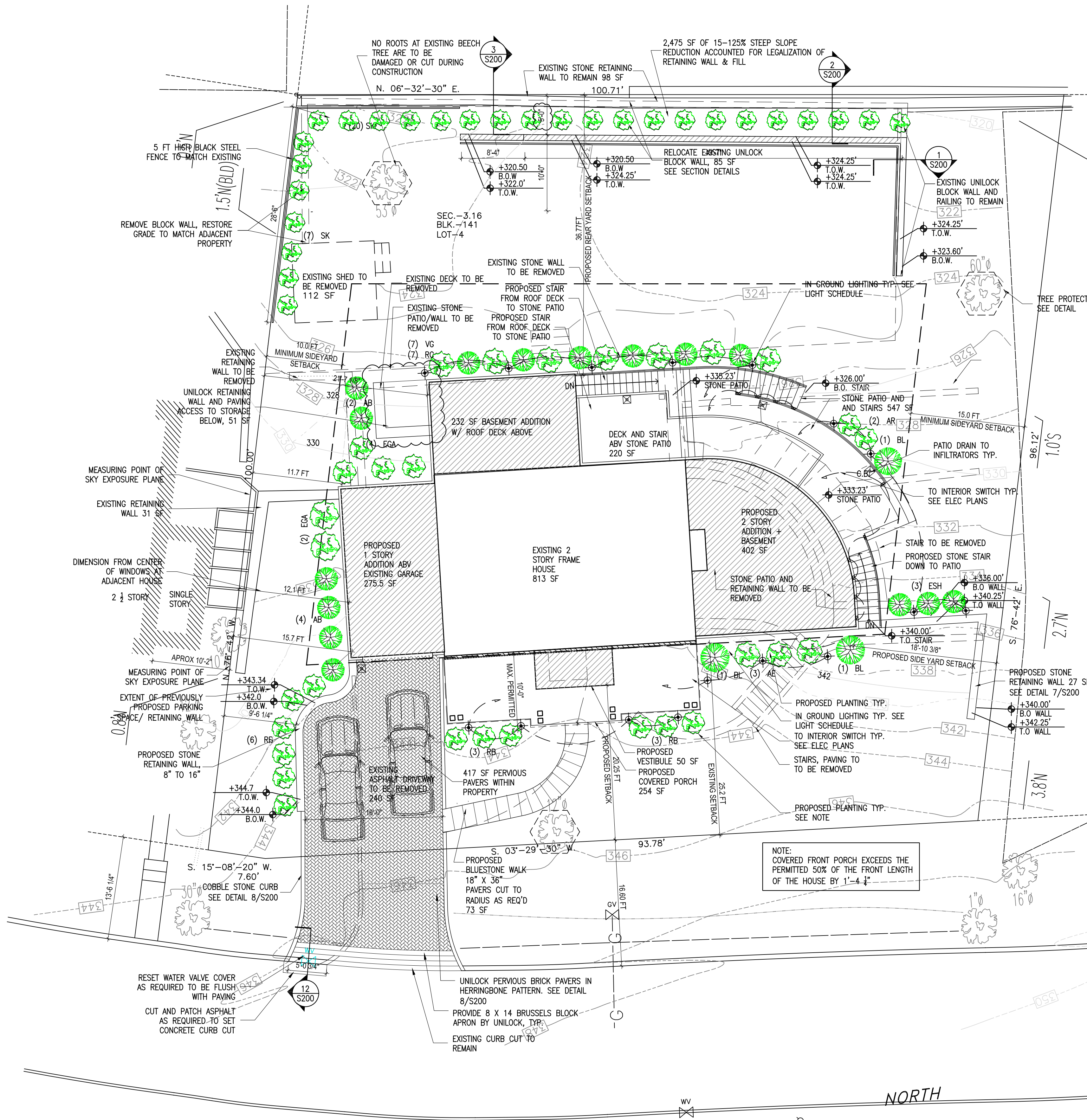




EXTERIOR LIGHT FIXTURE SCHEDULE					
SYMBOL	LOCATION	DESCRIPTION	MNF.	CAT. NO.	LAMP COMMENTS
	EXTERIOR LANDSCAPING	EXTERIOR IN GROUND LIGHT		HARDY ISLAND MZ16710	LED BRONZE
	EXTERIOR LANDSCAPING	STEP LIGHTS	HINKLEY	HARDY ISLAND MZ1594-LL	LED BRONZE

SEE LIGHTING SCHEDULE ON SP110 FOR EXTERIOR LANDSCAPE LIGHTING SPECIFICATIONS. SEE CONSTRUCTION PLANS FOR EXTERIOR LIGHTING MOUNTED TO HOUSE.

EXTERIOR LIGHTING LEVELS TO COMPLY W/ SECTION 300 -41 OF THE DOBBS FERRY BUILDING CODE

ALL EXTERIOR LIGHTING TO COMPLY WITH NYS 2020 STRETCH CODE FOR SHUT OFF/ REDUCED LIGHTING FROM 12 MIDNIGHT TO 6 AM.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DOCUMENTS IN ANY WAY.

DRAWING INDEX:	
S100	SITE PLAN ZONING, LANDSCAPING
S101	STORMWATER MANAGEMENT AND SEDIMENT CONTROL
S200	SITE DETAILS, PREVAILING FRONT SETBACK DIAGRAM
SP100	GENERAL NOTES AND SPECIFICATIONS
SP101	GENERAL NOTES AND SPECIFICATIONS
SP200	PRODUCT SCHEDULES
D100	DEMOLITION PLANS
A100	CONSTRUCTION PLANS
A101	CONSTRUCTION PLANS
ST100	STRUCTURAL PLANS
ST101	STRUCTURAL PLANS
ST102	FOUNDATION PLAN & DETAILS
E100	ELECTRICAL PLANS
E101	ELECTRICAL PLANS
M100	MECHANICAL PLANS
M101	MECHANICAL PLANS
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATION - REAR RETAINING WALL
A300	BUILDING SECTIONS
A301	BUILDING SECTION
A302	BUILDING SECTION
A400	INTERIOR ELEVATIONS
A401	INTERIOR ELEVATIONS
A402	INTERIOR ELEVATIONS
A403	INTERIOR ELEVATIONS
A500	DETAILS

SITE INFORMATION FROM SURVEY BY RAKESH BEHAL PLS NYS LIC #050666

ZONING CALCULATIONS		
111 BELLAIR DRIVE		
LOTS 4 & 5, BLOCK 141, SECTION 3.16		
ZONING DISTRICT	OF-5	
EXISTING LOT AREA	9,878 SF	
EXISTING LOT AREA W/ STEEP SLOPE AREA DEDUCTION MINUS $\geq 25\%$ STEEP SLOPE AREA OF $670.5/2 = 335.25$ MINUS $15-25\%$ STEEP SLOPE AREA OF $1785/4 = 446.25$	9,096.5 SF	
STEEP SLOPE REDUCTION FOR REAR YARD FILL LEGALIZATION MINUS $15-25\%$ STEEP SLOPE AREA $2,475/4$ SF = 618.75 SF	8,478.0 SF	
MINIMUM LOT AREA	7,500 SF	
EXISTING OCCUPANCY	SINGLE FAMILY	
PROPOSED OCCUPANCY	SINGLE FAMILY	
MINIMUM SIDEYARD SETBACKS EACH/ BOTH	10 FT EA	25 BOTH
EXISTING SIDE YARD SETBACKS EACH/BOTH	11.7 FT	55.10 FT
PROPOSED SIDEYARD SETBACKS EACH/ BOTH	11.7 FT	32.15 FT
MINIMUM FRONT YARD SETBACK	25.0 FT	
EXISTING FRONT YARD SETBACK	25.4 FT	
PROPOSED FRONT YARD SETBACK TO VESTIBULE	20.25 FT (VARIANCE OBTAINED)	
PROPOSED FRONT YARD SETBACK TO COVERED PORCH	15.625 FT (VARIANCE OBTAINED)	
MINIMUM REAR YARD SETBACK	25.0 FT	
EXISTING REAR YARD SETBACK TO HOUSE	48.11 FT	
PROPOSED REAR YARD SETBACK TO BSM'T ADDITION	36.77 FT	
EXISTING BUILDING + DECK COVERAGE + ACCESSORY STR.	1,074 SF + 597 SF = 1,671 SF OR 18.2 %	
MAXIMUM BUILDING COVERAGE	2,119.65 SF OR 25 %	
PROPOSED TOTAL BUILDING COVERAGE	2,119.5 SF OR 25 % (OF NET LOT AREA)	
EXISTING IMPERVIOUS COVERAGE	2,967 SF OR 32 %	
MAXIMUM IMPERVIOUS COVERAGE	44% OR 4,002.5 SQ.FT.	
PROPOSED IMPERVIOUS COVERAGE (INC 50% PERVIOUS PAV)	3,241.5 SF OR 38.8 % (OF NET LOT AREA)	
MAXIMUM BUILDING HEIGHT	35 FT / 2-1/2 STORIES	
EXISTING BUILDING HEIGHT	24 FT / 2 STORIES	
PROPOSED BUILDING HEIGHT	28'-1" / 2 STORIES	

PLANTING SCHEDULE				
QTY	CODE	TYPE	SIZE	REMARKS
20	SL	SKIP LAUREL	3 GAL	SEE PLAN FOR LOCATION
6	EGA	EMERALD GREEN ARBORVITAE	6 FT MIN	SEE PLAN FOR LOCATION
5	AB	AUTUMN EMBERS BARBERRY	3 GAL	SEE PLAN FOR LOCATION
12	RB	ROUND BOXWOOD	3 GAL	SEE PLAN FOR LOCATION
7	VMG	VARIEGATED MAIDEN GRASS	3 GAL	SEE PLAN FOR LOCATION
7	RC	RED CHOKEBERRY	3 GAL	SEE PLAN FOR LOCATION
2	AR	AUTUMN ROYAL RHODODENDRON	3 GAL	SEE PLAN FOR LOCATION
3	BL	BLOOMERANG LILAC	3 GAL	SEE PLAN FOR LOCATION
3	ESH	ENDLESS SUMMER HYDRANGEA	3 GAL	SEE PLAN FOR LOCATION

PROVIDE PLANTING SOIL AND FERTILIZER AS RECOMMENDED BY NURSERY.
NOTE: SHADE ROCK GARDEN PLANTING NOT INDICATED ON PLANT SCHEDULE

NOTE:
FINAL SPECIES OF PLANTING IS TO BE DETERMINED.
FINAL PLANTING LIST IS TO BE REVIEWED FOR APPROVAL. NO INVASIVE SPECIES ARE TO BE INCLUDED AS INDICATED ON NYS DEC NUISANCE AND INVASIVE SPECIES LIST



Child/Dabiri Alteration
111 Bellair Drive
Dobbs Ferry, NY

CONSTRUCTION
DOCUMENTS

CONTRACT SET

DATE:
OCTOBER 11, 2022
REV: DECEMBER 05, 2023
REV: FEBRUARY 13, 2023
REV: APRIL 4, 2023
BLGD DEPT COMMENTS
REV: AUGUST 21, 2023
GARAGE ROOMS

drawn by:

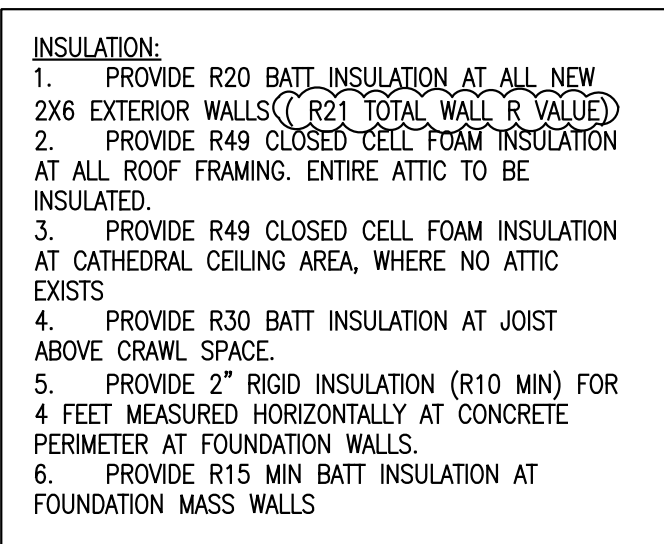
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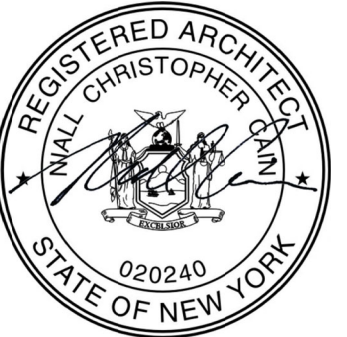
www:

SITE PLAN
ZONING
CALCULATIONS

number:

S100





Child/Dabiri Alteration
111 Bellair Drive
Dobbs Ferry, NY

CONSTRUCTION
DOCUMENTS

date:
OCTOBER 11, 2022
REV: DECEMBER 05, 2022
REV: FEBRUARY 13, 2023
REV: AUGUST 21, 2023
GARAGE ROOMS

drawn by:

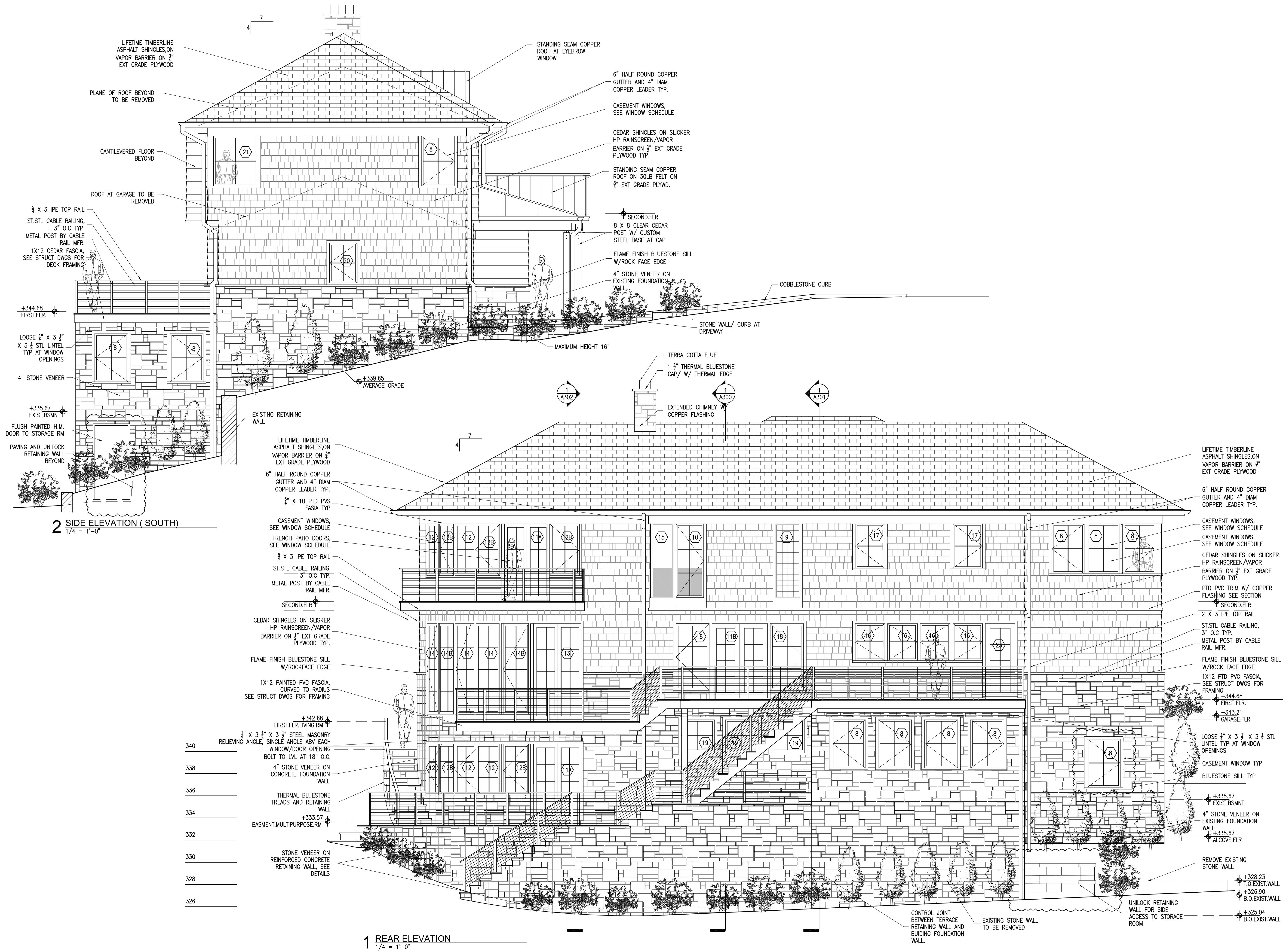
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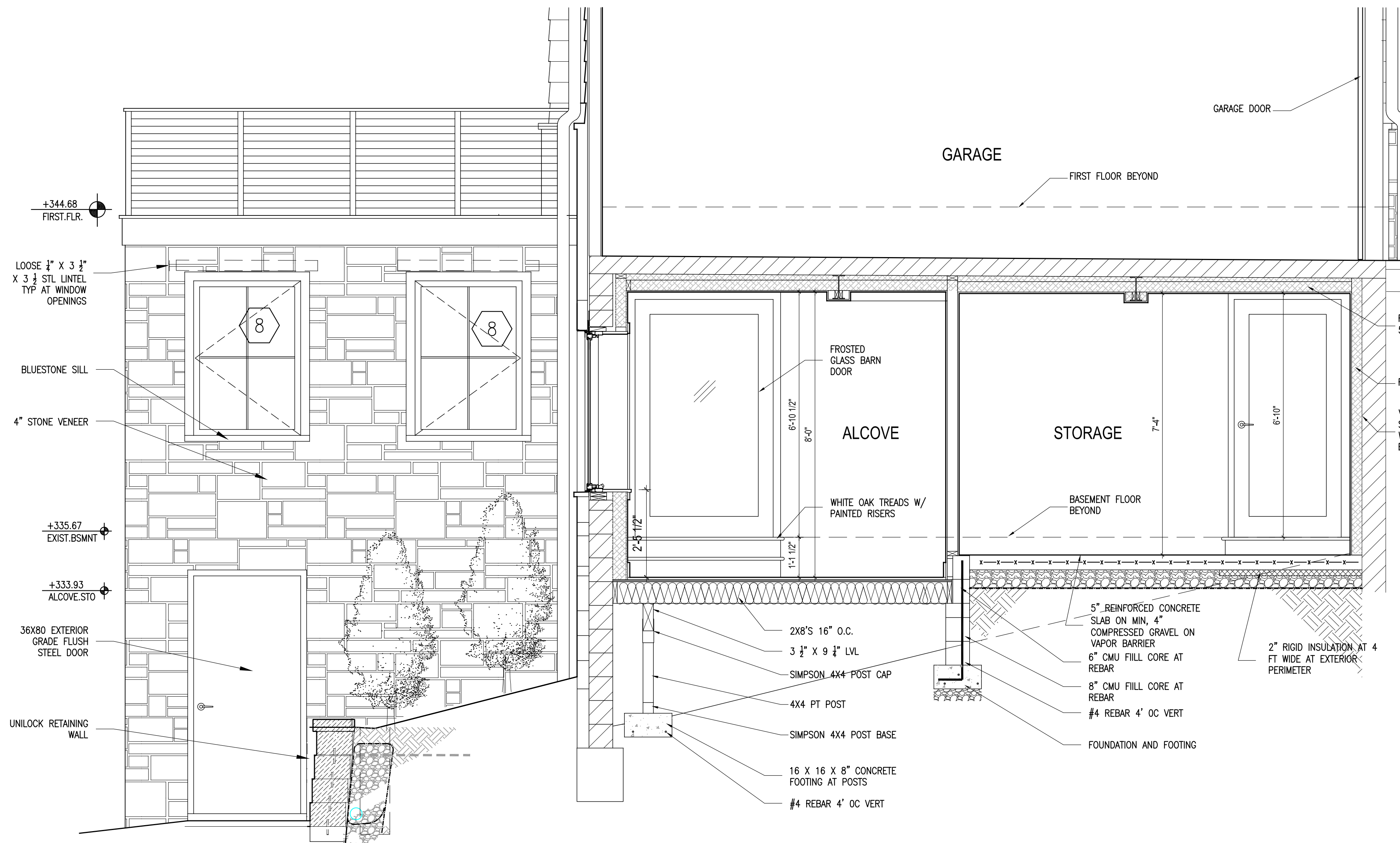
W#: _____

EXTERIOR
ELEVATIONS

number:

A201





Child/Dabiri Alteration
111 Bellair Drive
Dobbs Ferry, NY

CONSTRUCTION DRAWINGS

date:
AUGUST 18, 2023

drawn by:

scale:
1/2" = 1'-0"

title:
GARAGE ALCOVE
STORAGE SECTION

number:

CSK-1