

Lot Area = 4.57 Ac. (198,913.15 Sq. Ft.)							
(GRAPHIC SCAL	E:					
40	0 FEET	40					

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12	13	14	15	16	17	18	19	20	21	22	23	

	1	2	3	4		5	6	7	8	9	10	11	12
	AK												
A	МНО	G NA		-G	<u>с</u> мнр (*х)	MH		<u>~~</u> ~ ~ ~ ~ МНО	G G MHQ_		<u></u> w к// мно	-G	Vg <i></i>
24	F		5.58						ATER TILITY ATCH				
в	X	SS. M.H. 1#6	S SF (RE			GRATE = 271 SUMP = 264.0		VE:2	STOCKP		
E K		(\C.E	B. CONNECT	IPN	A A		REN SID W2.	IOVE AND REF EWALK IN KINE 9 x W2.9 W.W.	PLACE EX. CON D. USE 1 LAYER FIN CENTER (NC S 6x6 DF SLAB	AREA	SF	
~		~ 268			Č,	T	X	50	1.5' H SITTIN (OR PRECA SEE DETAIL	NG WALL ST CONCRETE S ON <u>SP-3</u>	CURB ALT.)	A REAL	
	ELIMINATE A	ALL WINDC SIDE OF BU L AWAY FR	OW WELLS OI JILDINGS ANI OM BUILDING (TYP		C ATE = 271 CLTL = 270	C.B	BELLE STOLES		GRATE = 271 INV. (IN) = 26	.00 8.90 268.50	SLATE		
с			,	Up Such	UMP = 268	50	12		SUMP = 266.	50 [°] C.B. #10 C.B. #11 REPLACE	PATIQ SPCEB		
	Deei		TRENCH	DRAINS -	X		RITCH			GRATE = 27 SUMP = V.I.	70.60 F. — REPLACE E	X.C.B.	A A A A A A A A A A A A A A A A A A A
	POOL		INV. (OUT)	= 269.60			2 Th STORY BUILDING	The second			GRATE = 27 SUMP = V.I. — C.B.	71.75 F.	
D		PP	1710		268		#60	M BUILDIN			GRATE = 27 HENV. (OUT) = SUMP = 268 ' (MIN.)	= 270.00 3.00	
		POOL W	APPROX. L INDOW WEL 6" AREA	LOCATION (L TO BE RE A DRAIN GR	DF EX. BUILT ATĘ. ,				X A A			E = 271.30 DUT = 270 00	
			WINE VERIF	DO₩ SIĽĽE Ŷ IN FIEL®	L 6", (TYP.)		AVO	C.B. ATE = 262.50	Chr Flux		SUMP SUMP	P = 268.00	
	262.	26k		TRE	E		IN ∖ . (C.B. #13	OUT) = 261.50 UMP = 259.50		TAOM BUILT	1 S	.5' H SITTING V	NALL N SP-3
E			С.В. #1.	5		(L) (C.B. #14			#2 #2			LE C
7							10- V Br.X	3" DIA. PVC	P			s s	
					262		10" DI 10" DIA. PVC	PVC		3" DIA. PVC		DIA. PUC	
/		26(GR	TRENCH DRA ATE = VARIES, \ INV. (OUT) = 26	INS 4	VERIFY ELEV.				
F	<u>خ</u> ۱۱۱۱۱۱۱۱۱۱) /////////////////////////////////////								266			3
				GARAGE							1-20	270	
-	,							<u>\$2</u> °	02'_40"E				
G		DN CON	NTROL		ATIVE	RRATIVE,	DETAILS AND I		OUTLINE A PF	ROGRAM THAT	MINIMIZES SO	IL	<u>/</u>
	a) AVOID C	URING CON	NSTRUCTION	I. THE PRIM	ARY POLIC	CIES OF TI	HIS PROGRAM A	REA:	/UNICIPAL RO/	ADWAYS.		G	
	 b) TRAPPIN c) AVOID C(d) AVOID C(e) MAINTEN 	IG PARTICL ONCENTRA ONTAMINA ⁻	ES AT THEIR TION OF WA TION OF EXIS	R SOURCE E ATER OR ST STING STOP	ORM WAT	ER RUNO	ILIZING DISTUR FF. RES AND DRAIN	BED AREAS.	ROLS TO ENS	URE THEY AR		<u>0</u> 1.	
	PROPERI 1. PROPO	LY.	SION CONTR	ROLS SHAL	L BE INST	TALLED T	O THE LOCATI	ONS AND DE	TAILS SHOWN	ON THESE P	LANS PRIOR T	-0	PLAN. AD
н	CONSTI PHASIN CONST	RUCTION A IG TO BE RUCTION.	AS APPROVE DETERMIN	ED IN THE ED IN CO	FIELD BY NSULTATI	THE APPI ON WITH	ROPRIATE MUN THE APPROF	ICIPAL AGENO RIATE MUNIC	CY PERSONNE CIPAL AGENC	L. PROPOSED Y PRIOR TO	CONSTRUCTION THE START C	DN 2. DF	THE CON SEQUENC OTHERS C
	2. LAND D 4 INCH	ISTURBAN ES TOPSO	CE WILL BE I IL, SEED AN	KEPT TO A ID MULCH.	MINIMUM. "HYDRO-S	RESTABIL SEED" MAY	LIZATION WILL E Y BE REQUIREI	E SCHEDULEI BASED ON F	D AS SOON AS FIELD CONDITI	POSSIBLE WIT	Th a minimum o IPorary gras	DF SS	AND VER EXISTING SHALL AL
	3. HAY BA AND, IF	LES AND S	NOW FENCE	E AND/OR S	SILT CURTA	AIN BARRI D FILL SLO	ERS WILL BE IN PES. ALL EROS	STALLED AT 1	THE LOCATION	IS INDICATED C	ON THESE PLAN	IS 3. ED	THE EXIST
1	BY THE 4. ALL CO		IATE MUNICI	PAL AGENC	Y PERSON	NNEL PRIC	OR TO COMMEN	CEMENT OF C N PERIOD.	ONSTRUCTION	ACTIVITIES.		4.	SUGGEST INDICATEI HEREON
	5. ADDITIC	ONAL CONT	TROL MEASU	JRES WILL E	BE INSTALI	LED DURII	NG THE CONSTI	RUCTION PERI	OD IF NECESS	ARY OR REQUI	RED.		COMMENO MEASURE THE CERI
_	6. SEDIME THESE	ENT REMOV	/ED FROM C D/OR AS DIRE	ONTROL ST		ES WILL BE	E DISPOSED OF FF.			NSISTENT WITH		DF 5.	AGENCY S
	7. IT IS TH INFORM THE MU THE I A	IL RESPON /ING ALL P/ JNICIPAL S ND IS TRAN	ARTIES ENG ARTIES ENG TAFF OF AN NSFERRED	AGED ON T Y TRANSFE	ER/DEVELC THE CONS R OF THIS	TRUCTION	INCLUDE THE IN I SITE OF THE F SIBILITY, AND F	STALLATION / EQUIREMENT OR CONVEYIN	S AND OBJEC G A COPY OF	ANCE OF CONT TIVES OF THE F THESE PLANS	KUL MEASURE PLAN, NOTIFYIN IF THE TITLE T	ю, IG TO 6.	EXACT SE
J	8. THE ER BE INSF	COSION COL PECTED PE	NTROLS (WHERIODICALLY	HCH WILL E AND ESPE	BE INSTALL	LED IMMEI DLLOWING	DIATELY DOWN	STREAM OF TH OF EXTENDED	HE PROPOSED) PRECIPITATIO) CONSTRUCTE DN. ANY SILTAT	D AREAS) SHAI TION WHICH WA	LL 7. AS	
	ACCUM		PSLOPE OF T	The propo Ed and r	SED EROS	SION BARI AS NECE TO INSURE	RIERS IF GREAT SSARY TO INS THAT GERMIN	ER THAN 6 IN URE THAT N ATION HAS OC	CHES IN DEPTI O BREACHING CCURRED AND	H SHALL BE RE GOCCURRED. ANY REQUIRE	MOVED AND TH ALL LAWN AN D ADJUSTMENT	IE ID 8. IS	
_	EROSIC PROPO	SED PLAN	TED AREAS S	SHALL BE C	ILCKLD I		PARY CONSTRU						
	9. TREES	SED PLANT RMED AS N	TED AREAS S IECESSARY I	SHALL BE C PRIOR TO F REES OR B		HIN DESIG			DN CONTROLS	SHALL BE CU		9. CE	
	EROSIC PROPO PERFOI 9. TREES LENGTH STOCKE	SED PLANT SED PLANT RMED AS N TO BE CU ^T HS AND ST PILES SHAL	TED AREAS S IECESSARY I T, FALLEN TI ACKED OUTS LL BE OUTSIL AVED SHALL	SHALL BE C PRIOR TO F REES OR B SIDE OF TH DE OF DRIP L BE RANF	BUSH WITH OSE AREA LINES OF	HIN DESIG AS, FEED S PROTECT	NATED PROPOS MALLER BRANG FED TREES.	SED CONSTRU HES AND TWI	DN CONTROLS	SHALL BE CU CHIPPER AND	T TO FIREPLAC STOCKPILE. AI GHT VISIBLE T	9. LL -0	THE OWN BATCHELI LOCATED TOTAL AM
к	 EROSIC PROPO PERFOI 9. TREES LENGTH STOCKI 10. TREES EQUIPN 11. INDIVID 	N CONTRO SED PLANT RMED AS N TO BE CUT HS AND STA PILES SHAL TO BE SA MENT OPER PUAL TREES	TED AREAS S IECESSARY I ACKED OUTS LL BE OUTS AVED SHALL AVED SHALL ATORS. TRE	Shall be c prior to f side of th de of drip l be bane e armorin ds to be s	REMOVE O BUSH WITH OSE AREA PLINES OF DED WITH NG PROTE	F TEMPOF HIN DESIG AS, FEED S PROTECT A BRIGH CTION ME THIN DESI	NATED PROPOS MALLER BRANG FED TREES. T-COLORED S ASURES SHALL GNATED AREAS	SED CONSTRU CHES AND TWI JRVEYOR'S R BE USED AS S OF PROPOS	DN CONTROLS JCTION AREAS IGS THROUGH RIBBON LOCAT SHOWN IN THE SED STRUCTUF	SHALL BE CU CHIPPER AND ED AT A HEIG DETAIL ON TH RES SHALL BE	T TO FIREPLAC STOCKPILE. AI GHT VISIBLE T IS PLAN. PROTECTED E	9. LL TO BY	THE OWN BATCHELI LOCATED TOTAL AM
к	EROSIC PROPO PERFOI 9. TREES LENGTH STOCKI 10. TREES EQUIPM 11. INDIVID FENCIN	SED PLANT SED PLANT RMED AS N TO BE CU ⁻ HS AND ST/ PILES SHAL TO BE S/ MENT OPER DUAL TREES IG WHICH C	TED AREAS S IECESSARY I ACKED OUTS LL BE OUTS AVED SHALL AVED SHALL ATORS. TRE S OR STANE CIRCUMSCRI	Shall be c prior to f rees or b side of th de of drip L be bane E armorin DS to be s bes the di	REMOVE O BUSH WITH OSE AREA LINES OF DED WITH NG PROTE SAVED WIT RIP LINE O	F TEMPOF HIN DESIG AS, FEED S PROTECT A BRIGH CTION ME CTION ME THIN DESI OF THE IND	NATED PROPOS MALLER BRANG FED TREES. IT-COLORED S ASURES SHALL GNATED AREA DIVIDUAL GROUI	SED CONSTRU CHES AND TWI JRVEYOR'S R BE USED AS S OF PROPOS	DN CONTROLS JCTION AREAS IGS THROUGH RIBBON LOCAT SHOWN IN THE SED STRUCTUR TAIL ON THIS E	SHALL BE CU CHIPPER AND ED AT A HEIG DETAIL ON TH RES SHALL BE DRAWING.	T TO FIREPLAC STOCKPILE. AI GHT VISIBLE T IS PLAN. PROTECTED E	9. LL 10.	THE OWN BATCHELI LOCATED TOTAL AM



CONSTRUCTION.

AGENCY STAFF.

LAND SURVEYOR PRIOR TO CONSTRUCTION (NOT PART OF THIS CONTRACT).

OF THE EROSION CONTROL MEASURES.

THEIR EXISTING INVERT ELEVATIONS UNLESS OTHERWISE NOTED.

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TOTAL AMOUNT OF SITE AREA DISTURBED IS 17555 SQFT (0.4 ACRE).

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PROFESSI	ONAL EL	-	ISSU	ED FOR PERMIT A	ND CONSTRUCTIO	N					
LESS.	10.1	REV. #:	REV. #: REV. DESCRIPTION:								
18	19	20	21	22	23	2					
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SINCE 1871 1171 East Putnam Avenue, Riverside, CT 06878 Tel: 203.869.7707 • Fax: 203.869.4606 www.ahnemankirby.com

09/27/2023 DATE:

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12 13 14 15	16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34	
	CONSTRUCTION SEQUENCE NOTES:	
<section-header><section-header><section-header><section-header><section-header><text><text><text><text></text></text></text></text></section-header></section-header></section-header></section-header></section-header>	CONSTRUCTION SEQUENCE NOTES: 9. Information provide the site, the contractor shall ache doubted as as meeting with the general contractor, project design coordinator, project angineer, and building inspector to discuss the schedule of constructions, and the site of the reprinciend inspector to discuss the schedule of constructions and the site of the schedule of property located and management plan proper	А В С
	 excavate and prepare the area for the exfittation system and install culter units and drainage components in accordance with the manufacturer's recommendations and requirements. install orange plastic construction foncing around the exfittation system to prevent vehicles from driving over the area or materials being inadvertently stored over the system. frough grade driveway, pool area, and site surround. install the sanitary sever, water, electric, and other utility services from the street to the basement. install drianage work tributary to exfittration systems from the driveway and the terrace. Install inlet protection measures to prevent silt from entering the system during construction. fine grade and seed all disturbed areas. proceed with the construction of the proposed house. install driandse work tributary to exfit for driveway paying. install induscipe watering system and controls. install induscipe watering system and controls. install and sub-base and peak the entire site and install all planed areas until material has taken root and becomes stable. install and supe watering system and controls. spread salt hay over seeded areas and maintain all planed areas until material has taken root and becomes stable. install cansion and sedimentation systems. ensure grass stand is achieved and resead, if necessary. anatian all ension and sedimentation measures at all times from construction commencing to the completion of construction and the permanent stabilization of the site, inspect sit fences, strawbale barriers, and site protection weekly, in advance of forecas storms, and following storm events. maintain and repart as necessary. antitation all erosion and sedimentation measures at all times from construction commencing to the completion of construction for the site. amaint	F G
	NDS & ATRIUM POLYOLEFN GRATE W.U.V. IMIRATORS. SUGATE W.U.V. IMIRATO	H
6" AREA DRAIN DETAIL N.T.S. AREA DRAIN SHALL BE NDS SPEE-D BASIN, OR APPROVED EQUAL.	CRUSHED STORE ERCOSION CONTROL SILT FENCE DETAIL IN.T.S. PRECAST CONCRETE CATCH BASIN (CB) SCALE: N.T.S. SCALE: N.T.S. PRECAST CONCRETE CATCH BASIN (CB) N.T.S. SCALE: N.T.S. SCALE: N.T.S. Image: Status Scale of the status sc	ĸ