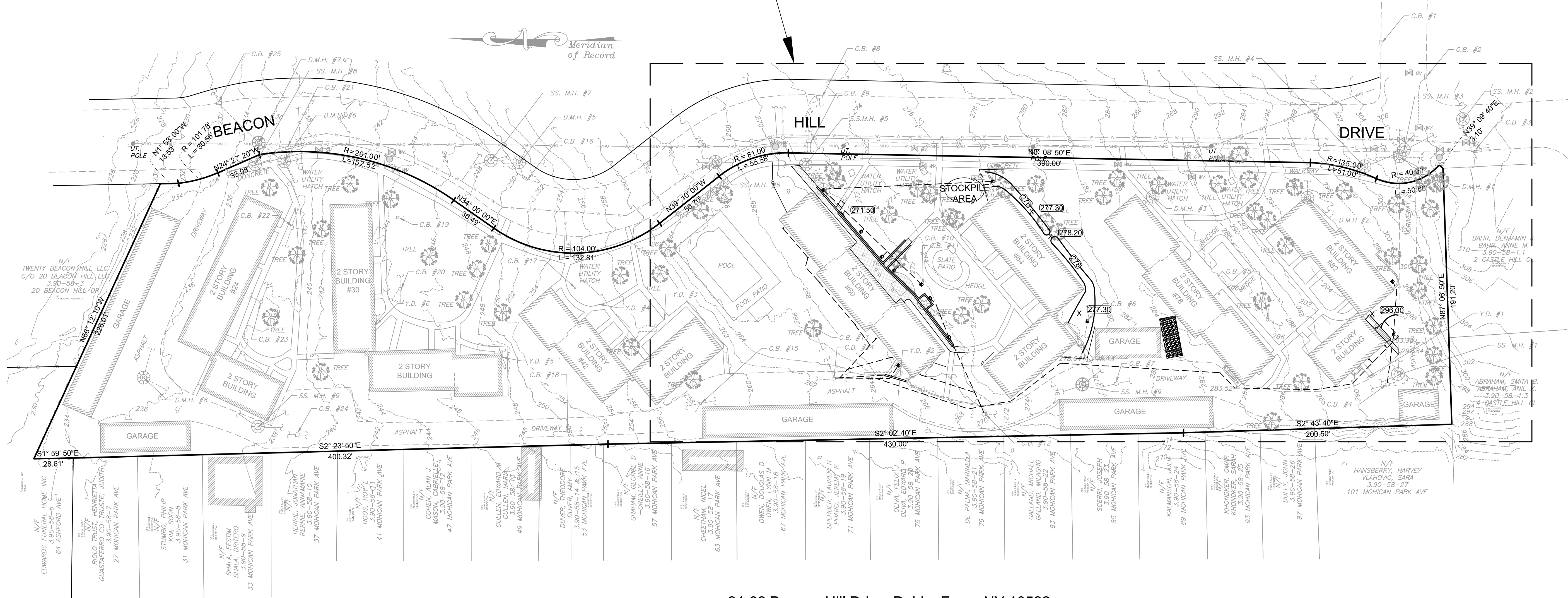
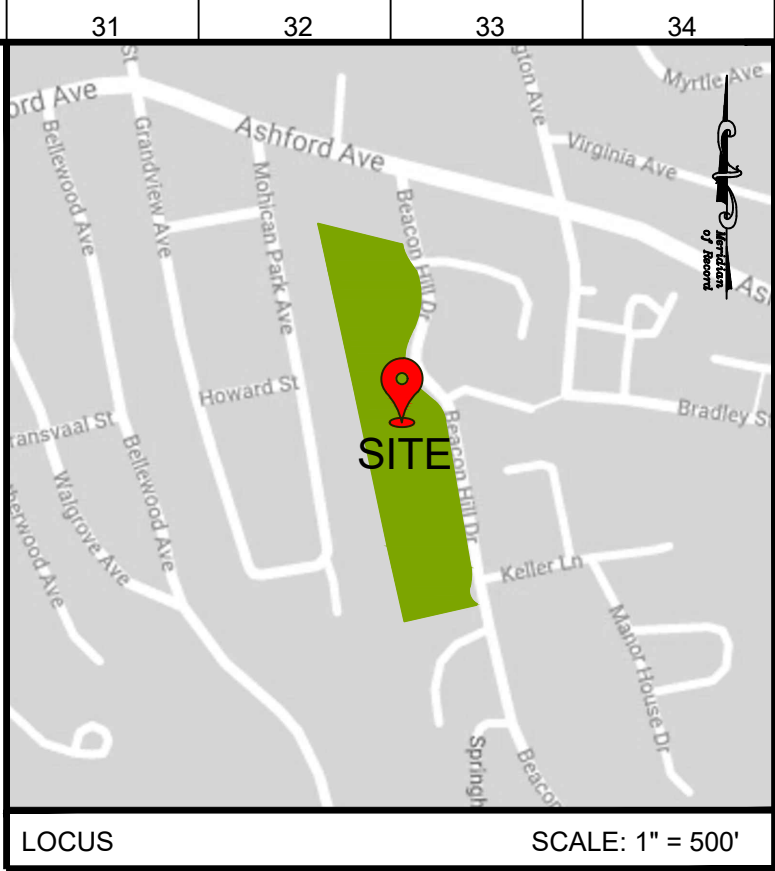




SEE ENLARGEMENT ON SP-2

ZONE: MF2
CONDOMINIUMS, APARTMENTS
MULTI FAMILY RESIDENTIAL USE



24-82 Beacon Hill Drive, Dobbs Ferry, NY 10522

Lot Area = 4.57 Ac. (198,913.15 Sq. Ft.)

GRAPHIC SCALE :



LEGEND

- 95 — EXISTING MAJOR CONTOURS
- - - 96 - - - EXISTING MINOR CONTOURS
- x 94.37 SPOT ELEVATIONS
- [Hatched Box] EXISTING BUILDING
- - - WATER LINE
- - - GAS LINE
- [Manhole Symbol] DRAINAGE MANHOLE
- [Manhole Symbol] SEWER MANHOLE
- [Manhole Symbol] MANHOLE
- [Manhole Symbol] ELECTRIC MANHOLE
- [Pole Symbol] UT. POLE
- [Hydrant Symbol] HYDRANT
- [Valve Symbol] WATER VALVE
- [Meter Symbol] WATER METER
- [Valve Symbol] GAS VALVE
- [Tree Symbol] EXISTING TREES
- [Proposed Contour Line] PROPOSED CONTOURS
- x [Proposed Spot Grade] PROPOSED SPOT GRADES
- [Catch Basin Symbol] PROPOSED CATCH BASIN
- [Tree Symbol] TREES TO BE REMOVED
- [Tree Symbol] TREES TO BE PROTECTED
- [Hatched Box] REMOVE & REPLACE CONCRETE SIDEWALK

ABBREVIATIONS

- INV. INVERT ELEVATION
- EL. ELEVATION
- M.H. MANHOLE
- D.M.H. DRAINAGE MANHOLE
- S.S.M.H. SANITARY SEWER MANHOLE
- C.B. CATCH BASIN
- Y.D. YARD DRAIN
- N/F NOW OR FORMERLY
- R.O.W. RIGHT OF WAY

Date:	August 29, 2022
Scale:	1" = 40'
Drawn/Checked By:	KW / TGA
Book #:	259/20; 259/23
Job #:	21-181-10522
Reference:	10522

PRINT INVALID WITHOUT SEAL AND ORIGINAL SIGNATURE

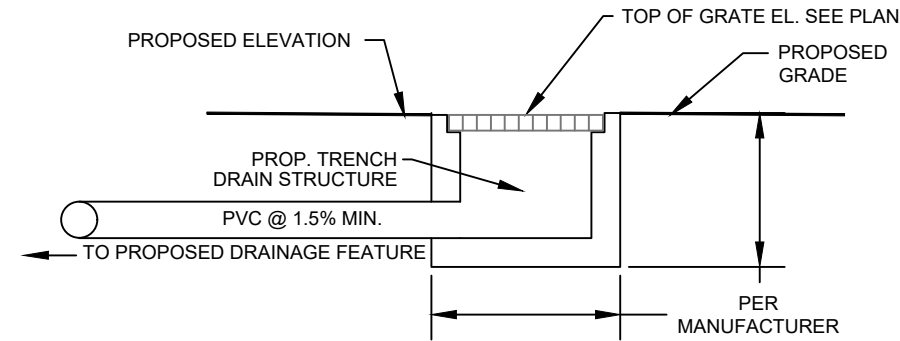


REV. #:	ISSUED FOR PERMIT AND CONSTRUCTION	09/27/2023
REV. #:	REV. DESCRIPTION:	DATE:

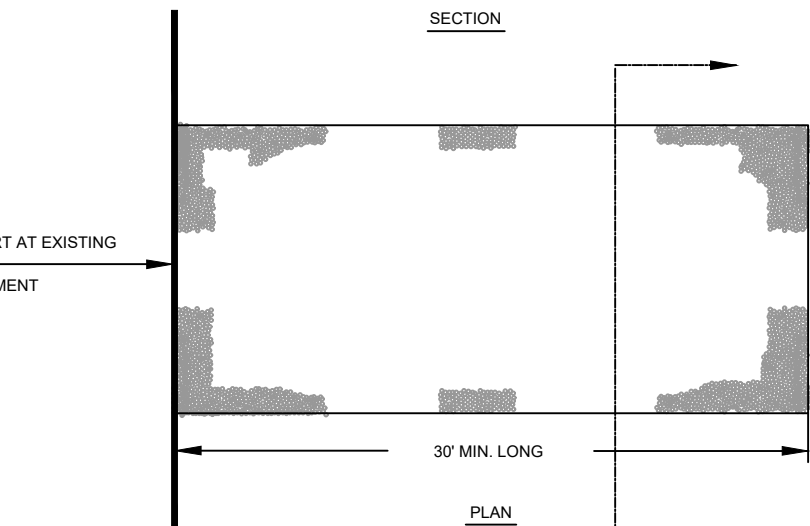


1171 East Putnam Avenue, Riverside, CT 06878
Tel: 203.869.7707 • Fax: 203.869.4606
www.ahnemankirby.com

PREPARED FOR:
TAYLOR ASSOCIATES ARCHITECTS
24-82 Beacon Hill Drive, Dobbs Ferry, NY 10522
(Tax ID: 3-90-59-2)
**PROPOSED
SITE PLAN**
SP-1

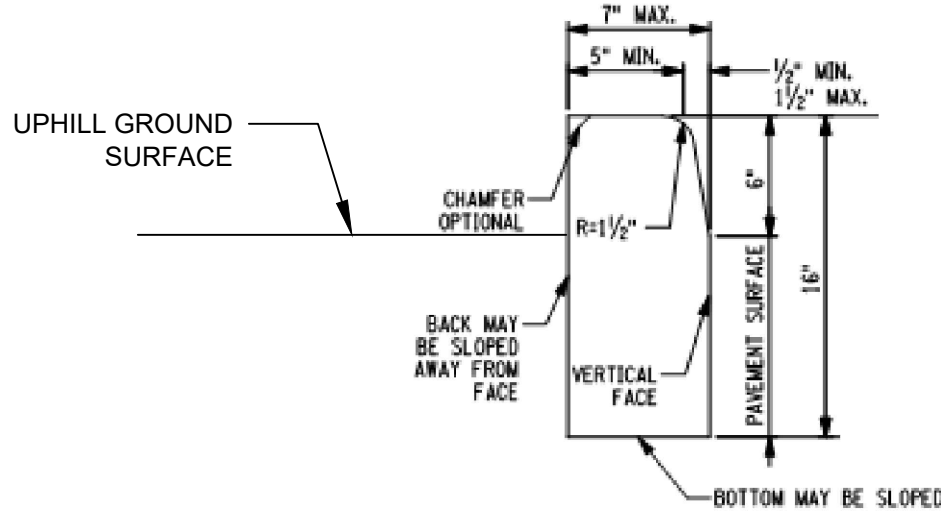


TRENCH DRAIN SHALL BE ZURN Z882 SERIES PERMA-TRENCH, OR APPROVED EQUAL.



INSTALLATION NOTES

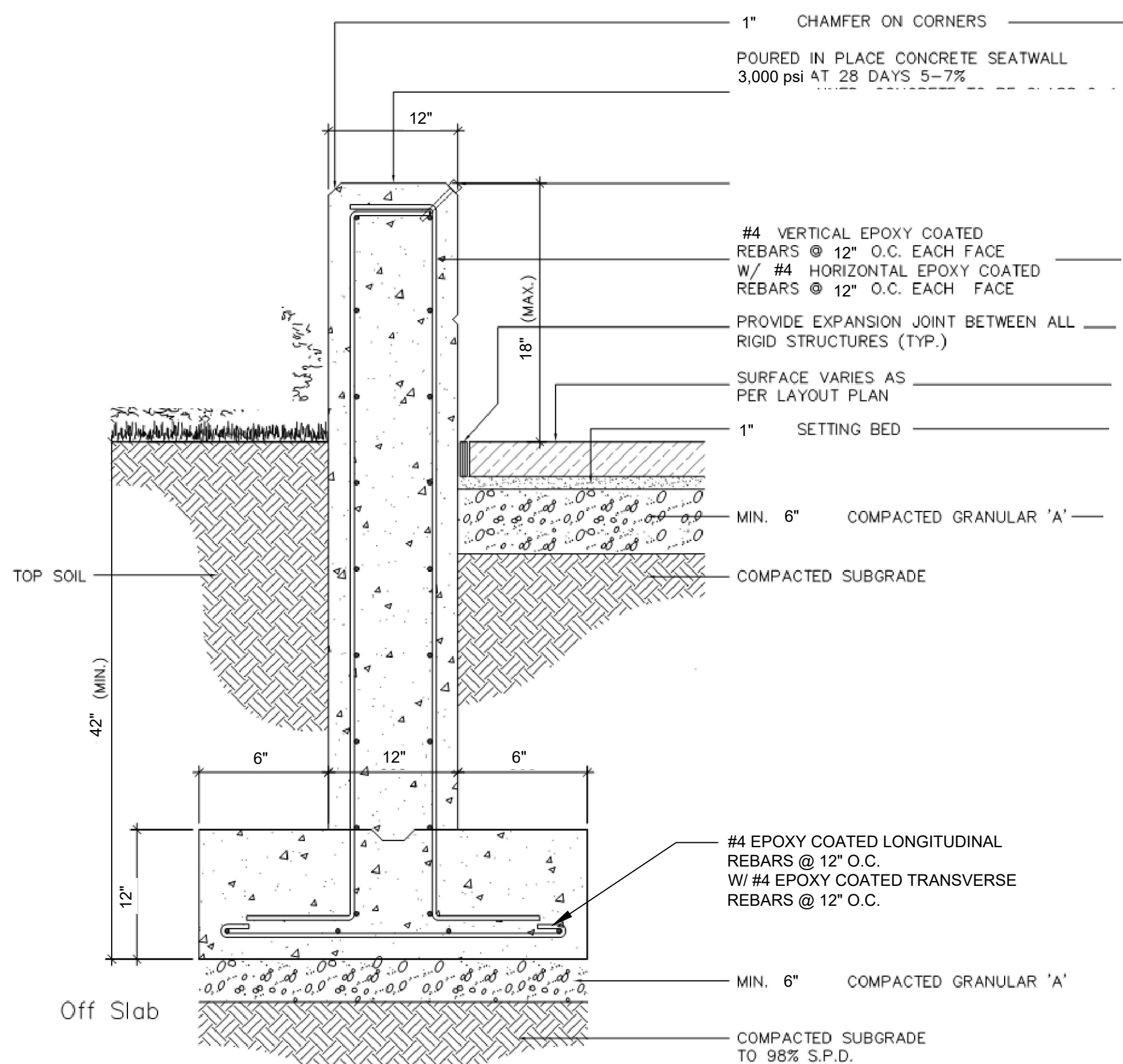
1. STONE SIZE - USE "2" STONE OR EQUIVALENT OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 16 FEET.
3. THICKNESS - 4" MINIMUM AND NOT MORE THAN 6" MAXIMUM.
4. WIDTH - 10" FOOT MINIMUM, BUT NOT LESS THAN 14" FEET AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER FABRIC - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED FROM THE TRAP SHALL BE COLLECTED AND BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPARTIAL, A MOUNTABLE BERM WITH A 12" MINIMUM HEIGHT SHALL BE CONSTRUCTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF MATERIALS INTO THE TRAP. PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT SHALL BE REQUIRED. MEASUREMENTS SHALL BE MADE TO TRAP SEDIMENT ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED OUTSIDE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT AND MATERIALS. WASHING DURING STORM DURATION SHALL BE REQUIRED. WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH PERMANENT VEGETATION OR AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE



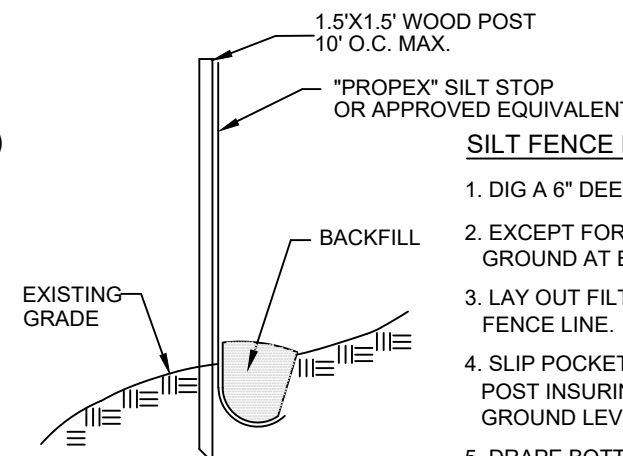
DIMENSIONS:

- H = 11.25"
- H = 23.50"
- T = 2"

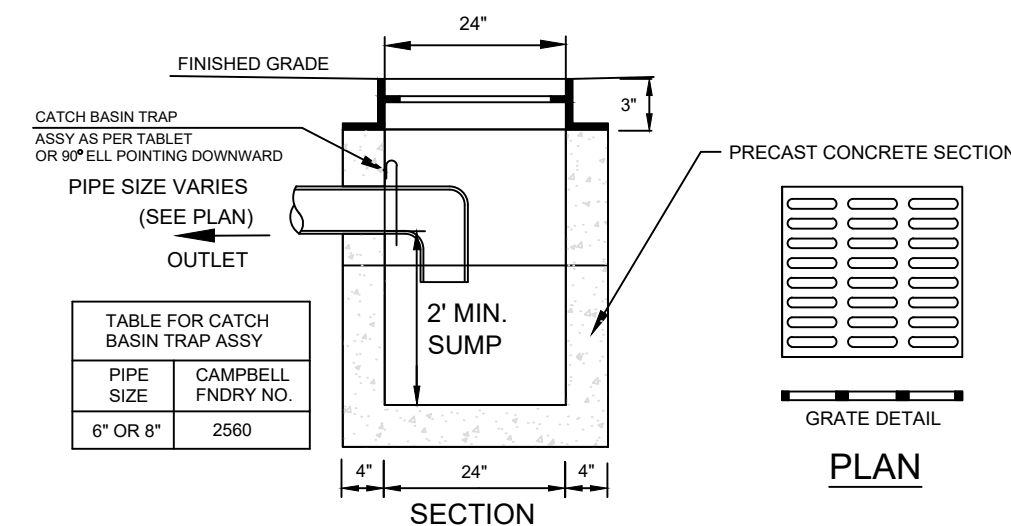
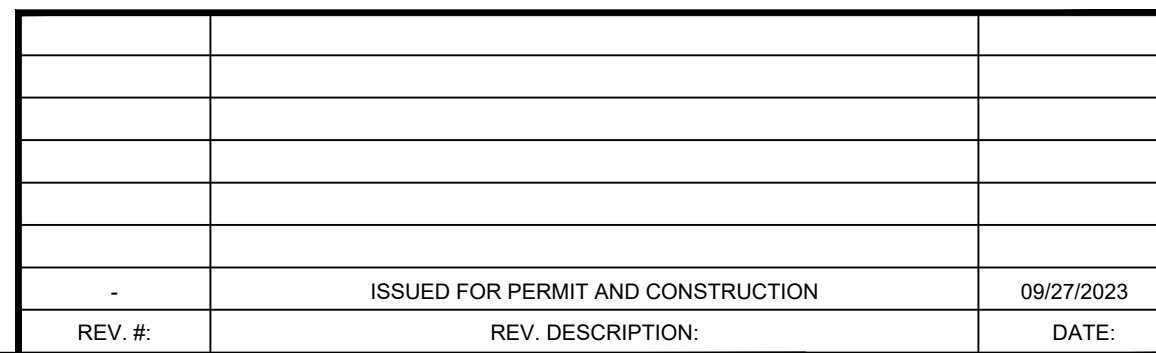
AREA DRAIN SHALL BE ZURN Z503, OR
APPROVED EQUAL.



AREA DRAIN SHALL BE NDS SPEE-D BASIN, OR
APPROVED EQUAL.



PRINT INVALID WITHOUT SEAL AND
ORIGINAL SIGNATURE



SCALE: N.T.S.



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PREPARED FOR:
TAYLOR ASSOCIATES ARCHITECTS
 24-82 Beacon Hill Drive Dobbs Ferry, NY 10522
 (Tax ID 3-60-582-2)
PROPOSED
SITE DETAIL

SP-3

Date:	August 29, 2022
Scale:	AS SHOWN
Drawn/Checked By:	KW / TGA
Book #:	259:20; 259:23
Job #:	21-181-10522
Reference:	