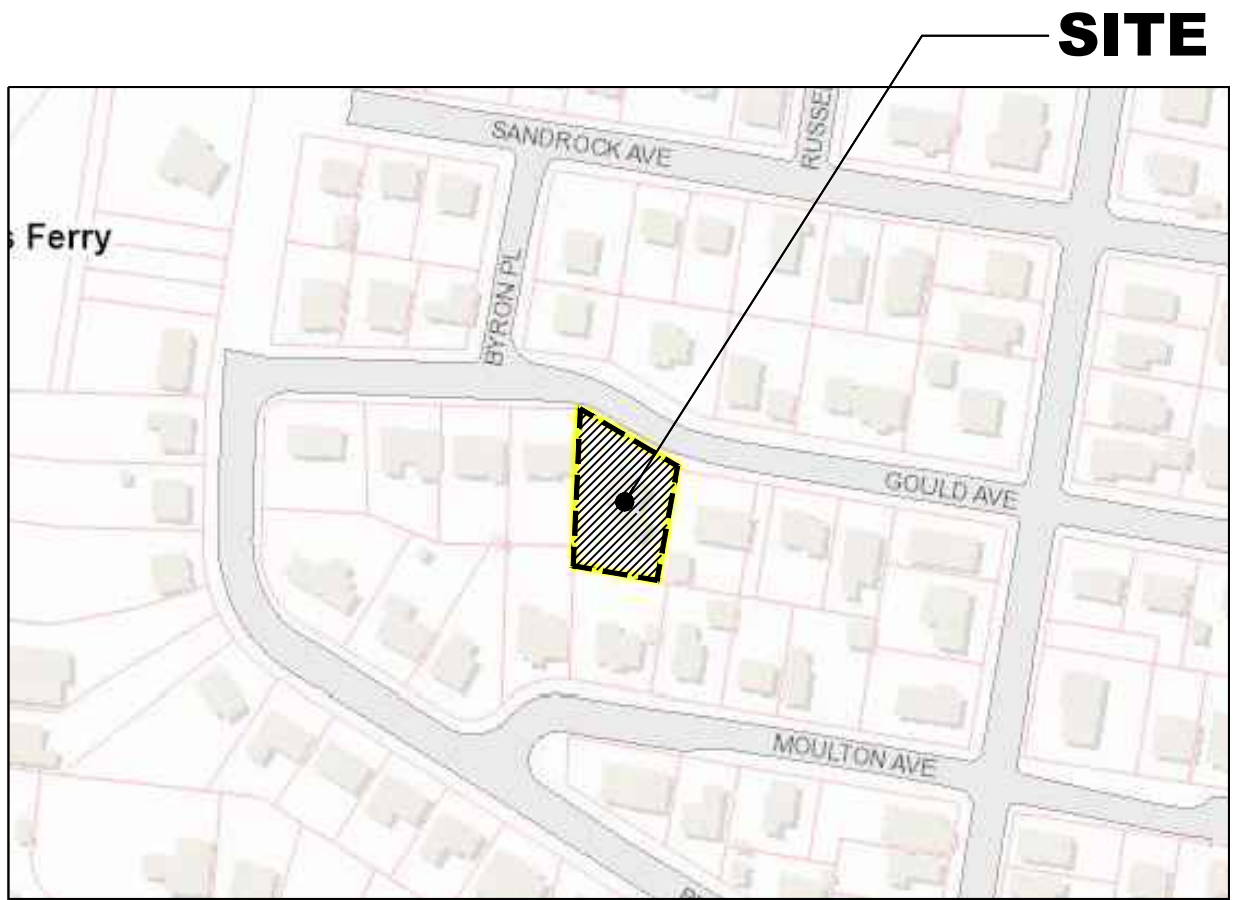
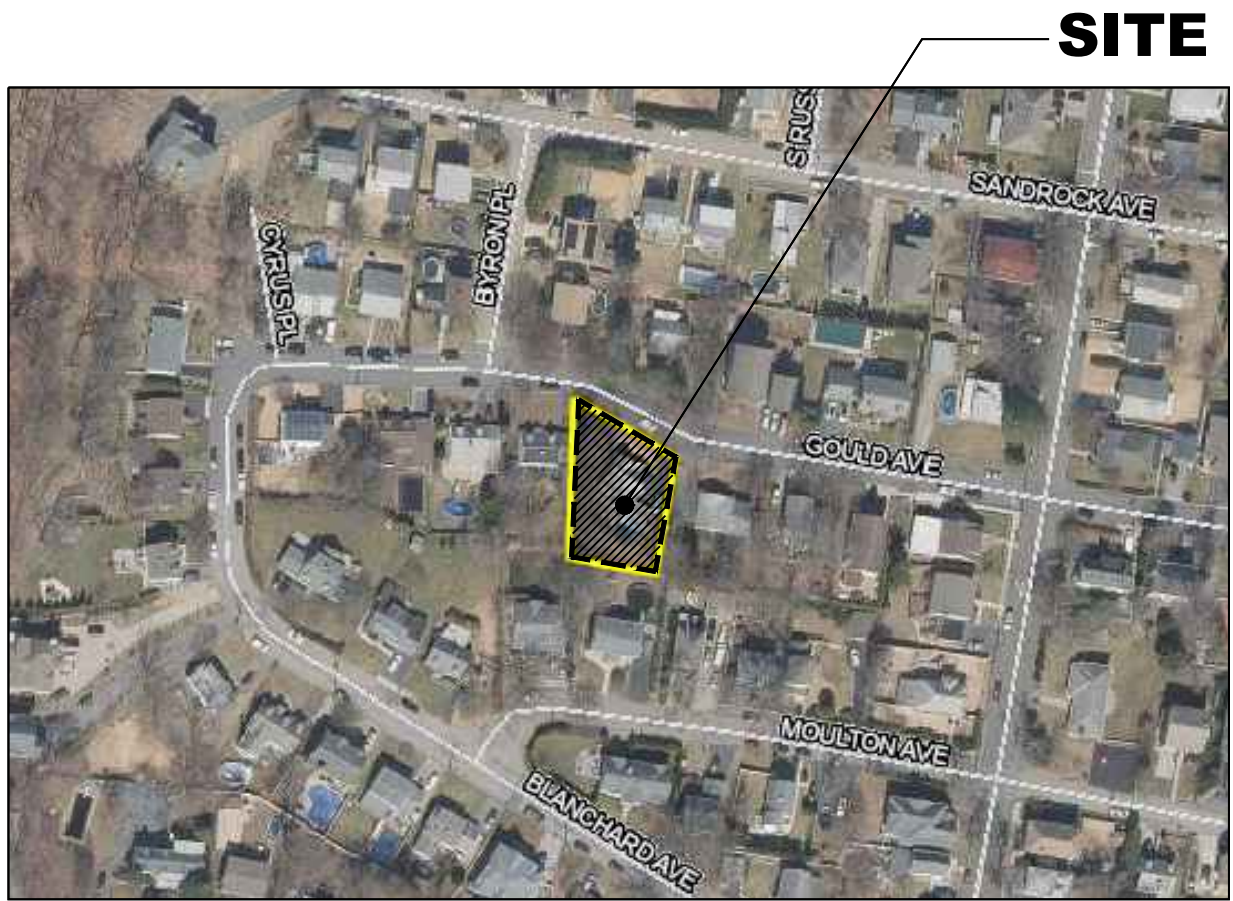


PROPOSED ADDITION AT:
45 GOULD AVE.
DOBBS FERRY, N.Y. 10522

LOCATION MAP



AERIAL MAP



EXISTING FRONT ELEVATION



DESIGN CRITERIA

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
LOCATION: VILLAGE OF DOBBS FERRY, NY										ZIP CODE: 10522			
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY (RCNY ONLY)	SUBJECT TO DAMAGE FROM			CLIMATE ZONE	ICE BARRIER UNDERLAY- MENT REQUIRE	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND- BRO- DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 LBS/SQ.FT.	SPECIAL WIND REGION *	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	4A	YES	NO [x]	2000	516

- * 115 MPH TO 120 MPH. THE SPECIAL WIND REGION SHOULD SERVE AS WARNING TO DESIGN PROFESSIONALS IN EVALUATING WIND LOADING CONDITIONS. WIND SPEEDS HIGHER THAN THE DERIVED VALUES TAKEN FROM SECTION 1609 OF THE BC AND FIGURE R3012 (4) A OF THE IRC ARE LIKELY TO OCCUR AND SHOULD BE CONSIDERED IN THE DESIGN.
- ** STATE IF APPLICABLE. FOR FLOOD HAZARDS THE DESIGN PROFESSIONAL SHALL STATE IF THEY ARE APPLICABLE. Y/N. VERIFY WITH FIRM MAPS. MAPS ARE AVAILABLE ON THE FEMA WEB SITE [HTTP://WWW.FLOODMAPFLOODSMPLC.COM/](http://www.floodmapfloodsmple.com/)

GENERAL INFO

45 GOULD AVE.
DOBBS FERRY, NY 10522

MUNICIPALITY/BUILDING DEPARTMENT: VILLAGE OF DOBBS FERRY, NY:

TAX MAP DESIGNATION: SECT: 3.100 BLOCK: 80 Lot: 7

ZONING DISTRICT: OF-6

CONTRUCTION TYPE: V-B

STORIES: 1.5 EXISTING

ALTERATION LEVEL: ALTERATION LEVEL 2

OCCUPANCY CLASSIFICATION - R-2 (1 FAMILY)

DRAWING LIST

- T-100 MAPS & GENERAL NOTES
S-100 EXIST. & PROPOSED SITE PLAN
A-001 EXIST. & DEMO. FLOOR PLANS
A-100 EXISTING & PROPOSED BASEMENT FLOOR PLAN
A-101 EXISTING & PROPOSED FIRST FLOOR PLAN
A-102 EXISTING & PROPOSED ATTIC FLOOR PLAN
A-200 EXISTING & PROPOSED ELEVATIONS
A-201 EXISTING & PROPOSED ELEVATIONS
A-300 TYPICAL DETAILS
A-400 NEIGHBORHOOD STUDY

GENERAL NOTES

CODES: ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND CODES OF AGENCIES HAVING JURISDICTION. ABSENT OTHER STANDARDS 2020 RC OF NYS, 2020 EBC OF NYS, 2020 PMC OF NYS, 2020 ECC OF NYS, 2020 PC OF NYS, 2020 MC OF NYS, 2020 FGC OF NYS, & THE 2020 FC OF NYS

VERIFICATION: VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. REPORT DIFFERENCES FROM CONSTRUCTION DOCUMENTS TO OWNER AND ARCHITECT. ARCHITECT SHALL DECIDE ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DISCREPANCIES BETWEEN ACTUAL CONDITIONS, DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO ARCHITECT PRIOR TO PROCEEDING. SHALL UNFORESEEN CONDITIONS REQUIRE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO PROCEEDING. 'V.I.F.' INDICATES THAT THE CONTRACTOR SHALL VERIFY AT THE JOB SITE THE DIMENSIONS OR CONDITIONS TO WHICH THE NOTATION IS APPENDED. NO SUBSTITUTION SHALL BE MADE FOR ANY ITEM SPECIFIED ON THE DRAWING WITHOUT WRITTEN APPROVAL FROM ARCHITECT OR THE OWNER.

DRAWINGS: BY SUBMITTING A BID OR STARTING WORK, CONTRACTOR AGREES THAT HE HAS EXAMINED THE DRAWINGS AND SPECIFICATIONS AND FOUND THEM ADEQUATE FOR PROPER COMPLETION OF PROJECT. CLAIMS FOR EXTRA CHARGES BECAUSE OF ALLEGED INADEQUATE DRAWINGS OR SPECIFICATIONS WILL NOT BE ALLOWED UNLESS NOTIFICATION WAS MADE IN WRITING TO ARCHITECT PRIOR TO SUBMISSION OR BEGINNING

UTILITY STAKEOUT: PRIOR TO DEMOLITION OR EXCAVATION, CONTRACTOR SHALL REQUEST FOR A CODE 53 UNDERGROUND UTILITY STAKE-OUT, 1-800-962-7962. CONTRACTOR WILL CONTACT THE UNDERGROUND LINES LOCATION SERVICES (CODE 753) PRIOR TO COMMENCING CONSTRUCTION.

USE OF PREMISES: CONTRACTOR SHALL STORE MATERIALS, DISPOSE OF DEBRIS, COORDINATE AND SCHEDULE ALL WORK IN COOPERATION WITH OWNER FOR MINIMUM DISRUPTION. MAINTAIN SAFE ACCESS TO ALL AREAS AT ALL TIMES.

PERMITS: OWNER SHALL SECURE AND PAY FOR ALL PERMITS, TESTS AND CERTIFICATES REQUIRED. ELECTRICAL AND PLUMBING CONTRACTORS SHALL APPLY FOR AND PAY FOR INDIVIDUAL PERMITS, INSPECTIONS AND APPROVALS AS REQUIRED. KEEP APPROVED PERMIT DRAWINGS ON JOB SITE. CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.

LICENSE: CONTRACTOR MUST BE LICENSED BY WESTCHESTER COUNTY, AND PROVIDE OWNER AND BUILDING DEPARTMENT A COPY OF CERTIFICATE NUMBER.

INSURANCE: PRIOR TO STARTING WORK, CONTRACTOR SHALL SUPPLY OWNER AND BUILDING DEPARTMENT WITH CERTIFICATES OF WORKMENS COMPENSATION INSURANCE, LIABILITY INSURANCE FOR BODILY INJURY, PROPERTY DAMAGE, AUTOMOTIVE AND OTHER INSURANCES REQUIRED BY LAW OR BY OWNER IN THE AMOUNTS AND TERMS SATISFACTORY TO THE OWNER TO RENDER THE OWNER HARMLESS IN CASE OF ACCIDENT TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. MAINTAIN SUCH INSURANCE IN FULL FORCE DURING ENTIRE TIME OF CONSTRUCTION.

LATENT DEFECTS: NO RESPONSIBILITY IS ASSUMED BY ARCHITECT FOR INFORMATION SUPPLIED BY OTHERS AND RELIED UPON BY ARCHITECT TO BE ACCURATE FOR LATENT DEFECTS IN STRUCTURE IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL PROBING OR TESTING.

SUPERVISION: ARCHITECT HAS NOT BEEN RETAINED BY THE OWNER TO PROVIDE OBSERVATION AND SUPERVISION OF CONSTRUCTION OPERATIONS AND CERTIFICATION OF PAYMENTS.

DEMOLITION: PRIOR TO DEMOLITION COORDINATE AND STAKEOUT EXISTING UTILITIES AS REQUIRED. COORDINATE SHUT OFF AND REMOVALS WITH UTILITY COMPANIES AS REQUIRED.
1. CLEAR SITE AS REQUIRED.
2. REMOVE ALL DEBRIS FROM SITE TO A LEGAL DISPOSAL FACILITY.

COOPERATION: CONTRACTORS AND SUBCONTRACTORS SHALL COORDINATE THEIR WORK WITH ADJACENT WORK AND COOPERATE WITH OTHER TRADES TO FACILITATE PROGRESS OF WORK. EACH TRADE SHALL AFFORD OTHER TRADES REASONABLE OPPORTUNITY FOR INSTALLATION OF THEIR WORK AND FOR TEMPORARY STORAGE OF THEIR TOOLS AND MATERIALS.

LANDSCAPE: ALL LAWN AREAS DAMAGED BY NEW CONSTRUCTION OR CONSTRUCTION OPERATIONS SHALL BE REPLACED AS ORIGINAL. LAWNS MAY BE SODED OR SEEDED WITH BLUEGRASS AND/OR RYEGRASS TO ESTABLISH 98% OR BETTER COVER. REVIEW TREES AND SHRUB REMOVAL REQUIRED FOR CONSTRUCTION WITH OWNER PRIOR TO CONSTRUCTION.

ELECTRICAL: THE DESIGN AND INSTALLATION OF ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NATIONAL ELECTRIC CODE. PROVIDE OWNER/BUILDER COPY OF UNDERWRITER'S CERTIFICATE UPON COMPLETION OF WORK. ELECTRICAL CONTRACTOR MUST BE INSURE AND LICENSED IN WESTCHESTER COUNTY. SEE PLAN FOR FIXTURE TYPE. REVIEW ALL FIXTURES WITH OWNER BEFORE ORDERING.

PLUMBING: THE DESIGN AND INSTALLATION OF ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE LOCAL CODES AND THE NEW YORK STATE BUILDING CODE. PLUMBING CONTRACTOR MUST BE INSURED AND LICENSED IN WESTCHESTER COUNTY, NY. INSULATE ALL HOT WATER SUPPLY PIPES LOCATED IN BASEMENT FROM BOILER TO FIRST FLOOR PENETRATIONS.

UTILITIES: COORDINATE THE LOCATION AND SIZE OF ALL NEW UTILITIES (ELECTRICAL, GAS, WATER, SEWER, TELEPHONE, CABLE) WITH EACH UTILITY COMPANY REPRESENTATIVE AND UTILITY SPECIFICATIONS.

MANUFACTURERS: LISTED ARE ONLY FOR ITEM SPECIFICATION. THE LISTING IS NOT INTENDED TO LIMIT SELECTION OF SIMILAR ITEMS FROM OTHER MANUFACTURERS.
CONTRACTOR: IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND SHALL ARRANGE FOR ALL MANDATORY INSPECTIONS, COMPLYING WITH LOCAL MUNICIPALITY OF JURISDICTION REQUIREMENTS. NO WORK SHALL BE CLOSED UNTIL INSPECTED AND APPROVED.
ALL WORK SHOULD BE PERFORMED IN THE BEST PROFESSIONAL MANNER BY MECHANICS SKILLED IN THEIR TRADE.

SAFE DIG

Before You Dig, Drill or Blast!

CALL US TOLL FREE 1-800-962-7962
NY Industrial Code Rule 753 requires no less than two working days notice, but not more than ten days notice. **UFPO**

CARPENTRY: DOUBLE JOISTS UNDER ALL INTERIOR PARTITIONS, AND AROUND ALL OPENINGS. FRAMING LUMBER: DOUGLAS FIR #2 OR BETTER, F#875 F#3.
STUDS: DOUGLAS FIR STUD GRADE, 2x4 INTERIOR WALLS, 16"OC, UNLESS NOTED OTHERWISE.
JOIST HANGERS: SIMPSON OR EQUAL, GALVANIZED STEEL TO FIT FRAMING MEMBER. INSTALL FRAMING ANCHORS AT ALL FLUSH FRAMED CONNECTIONS AND AS INDICATED ON PLANS.
TREATED WOOD: PRESSURE TREATED SOUTHERN YELLOW PINE. ABOVEGROUND .25 LBS/CU.FT. GROUND CONTACT .40 LBS/CU.FT.

INTERIOR FINISHES
WALLS: 1/2" GYPSUM DRYWALL, 5/8" TYPE 'X' AT GARAGE JOINTS TAPED AND FINISHED.
CEILING: 1/2" GYPSUM DRYWALL, 5/8" TYPE 'X' AT GARAGE
PROVIDE 5/8" TYPE-X FIRE-RATED GYPSUM DRYWALL OVER BOILER AND HW TANK.

PAINTING: BENJAMIN MOORE & CO. OR EQUAL; COLORS SELECTED BY OWNER. PRIME AND PAINT ALL NEW INTERIOR TRIM, CASINGS, MOULDINGS, DOORS, WINDOWS, ETC. PRIME AND PAINT ALL NEW DRYWALL SURFACES.

INTERIOR TRIM: PROFILES, SPECIES AND FINISH TO BE SELECTED BY OWNER.

WINDOWS: 'ANDERSEN' 400 SERIES VINYL-CLAD WOOD WINDOWS WITH HIGH-PERFORMANCE LOW-E INSULATING GLASS, AND INSECT SCREENS, STANDARD HARDWARE, AS SCHEDULED. PRIME AND APPLY TWO FINISH COATS PAINT TO INTERIOR SASH AND FRAME.

CAULK: SILICON SEALANT WITH COLOR TO MATCH ADJACENT SURFACES.

FLASHING: 16oz. COPPER, OR EQUAL.

DOORS
INTERIOR DOORS: TO BE SELECTED BY OWNER.
DOOR HARDWARE: AS MANUFACTURED BY 'SCHLAGE' OR EQUAL;

ANY LAND CLEARING, CONSTRUCTION, OR DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE APPROVED DRAWINGS, PERMIT, AND REGULATIONS OF LOCAL LAW #8 OF 2003.



100 EXECUTIVE BLVD, SUITE 204
OSSING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-8240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

REVISIONS	DATE	BY
△ B.D. CMNTS	9-16-2023	ARQ
△ B.D. CMNTS	11-2-2023	ARQ

DRAWING TITLE:
MAPS & GENERAL NOTES

PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

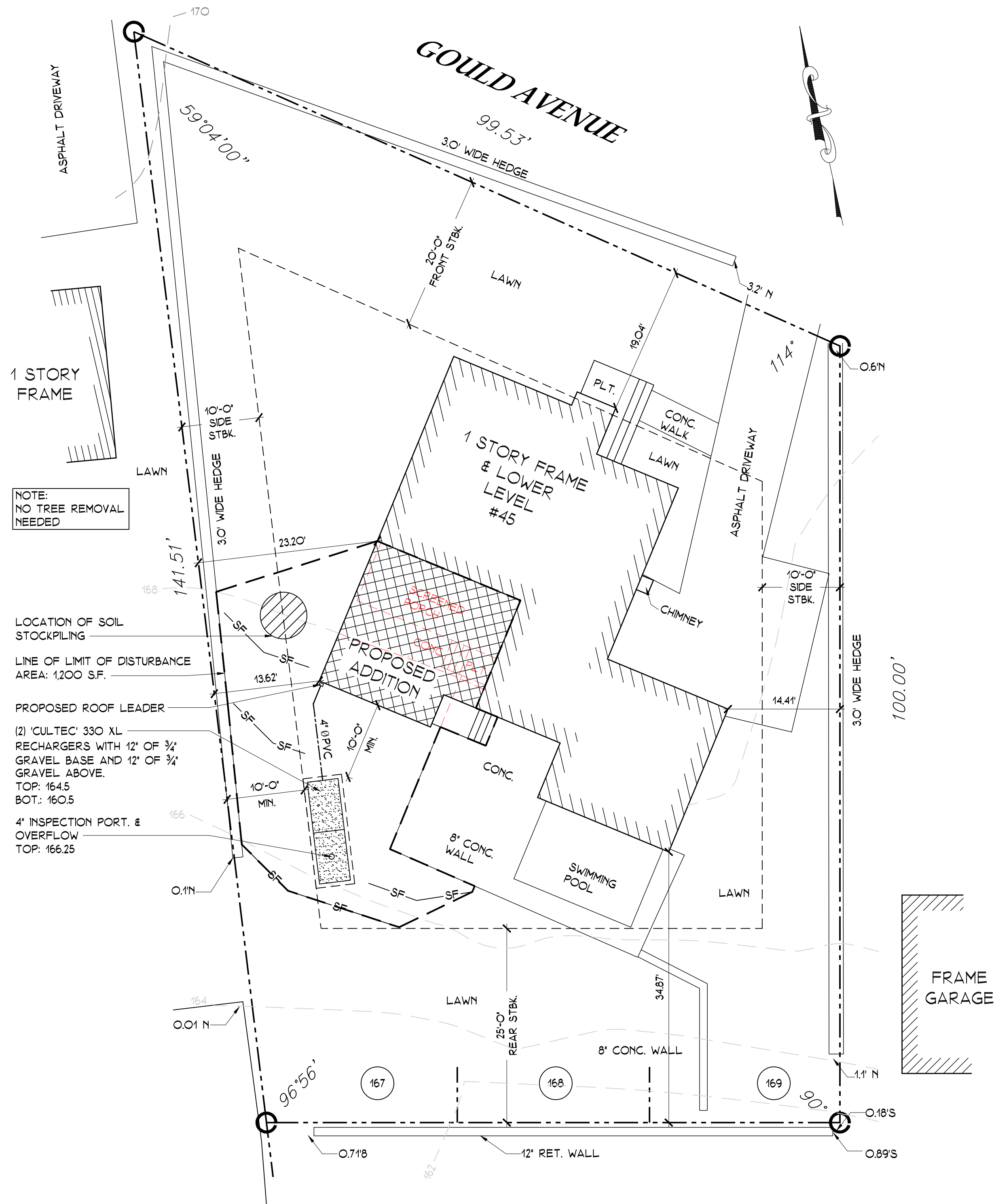
NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT, THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE PC. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE PC WITHOUT PREJUDICE TO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW. IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

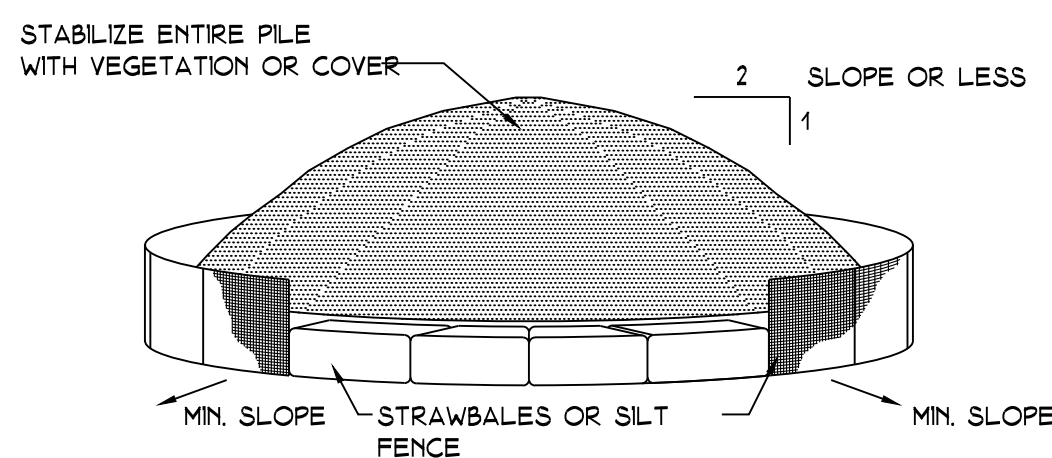
SEAL & SIGNATURE



DATE: 8/1/2023	DWG. NO.:
PROJECT NO.:	
23-078	
DRAWN BY:	T-100
ARQ	
CHECKED BY:	
JBH	



PROPOSED SITE PLAN
1" = 10'-0"
THE MEETS & BOUNDS SHOWN ABOVE HAS BEEN TAKEN FROM THE SURVEY DONE BY ROGUSKI LAND SURVEYING P.C. DATED JUNE 30, 2012



SOIL STOCKPILING DETAIL

SOIL STOCKPILING NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE DETAIL FOR INSTALLATION OF SILT FENCE.

NTS

ZONING DATA - VILLAGE OF DOBBS FERRY

TAX MAP DESIGNATION:		SECT: 3100	BLOCK: 80	LOT: 7	
ZONING DISTRICT: OF-6					
		MINIMUM REQUIREMENTS	EXISTING	PROPOSED	VARIANCE REQUESTED
LOT AREA	S.F.	5,000 x .82 NET	9,733.47 S.F. 7,981.45 S.F.	N.C. N.C.	NO NO
WIDTH	FT.	50.0'	99.53'	N.C.	NO
LOT DEPTH	FT.	100.0'	100.0'	N.C.	NO
MAXIMUM LOT COVERAGE BY BUILDING	%	27%	18.98%	21.62%	NO
MAXIMUM LOT COVERAGE BY IMPERVIOUS SURFACES	%	54%	41.25%	43.48%	NO
FRONT YARD	FT.	20.0'	19.04'	N.C.	E.N.C.
MAX. FRONT YARD	FT.	PREVAILING	N.C.	N.C.	NO
SIDE YARD	FT.	10.0'	14.41'	N.C.	NO
BOTH SIDE YARD	FT.	20.0'	37.61'	28.0'	NO
REAR YARD	FT.	25.0'	34.87'	N.C.	NO
MAX. STORIES		25/30.0'	15/20.5	N.C.	NO
N.C. - NO CHANGE		E.N.C. - EXISTING NON-CONFORMING			

Drainage Calculations

Proposed Addition

For

Lyer Residence

45 Gould Avenue

Village of Dobbs Ferry

November 13, 2023

Infiltration Chambers Cultec 330XL

CHAMBER BANK (Primary Design)

Total Impervious Area:	374	S.F.
Design for:	100	Year Storm
24-hour rainfall:	9.0	Inches
Hydrologic Soil Group:	D	
Pre-Construction Land Use: Open Spaces (fair cover),	Cn=	60
Post-Construction Land Use: Pavement (impervious)	Cn=	98
Soil Percolation Rate	1.20	Ft. /day

Required Storage Volume:

25-year Storm	Cn	Vr
Pre-Construction:	60	4.10 In.
Post-Construction:	98	8.76 In.
	$\Delta Vr =$	4.66 In.

$$Vs \text{ (required)} = \Delta Vr \times \text{Area} = 145.2 \text{ C.F.}$$

Subsurface Exfiltration System:

Use "Cultec 330" Infiltration Chambers

Proposed No. of Chambers:	2
Chamber Field Dimensions:	Length: 14.2 Ft. Width: 5.0 Ft. Height: 3.5 Ft.

Storage volume from chambers: 161 C.F.

Bottom Percolation Area: 73 S.F.

Soil Percolation Rate: 1.2 Ft./day

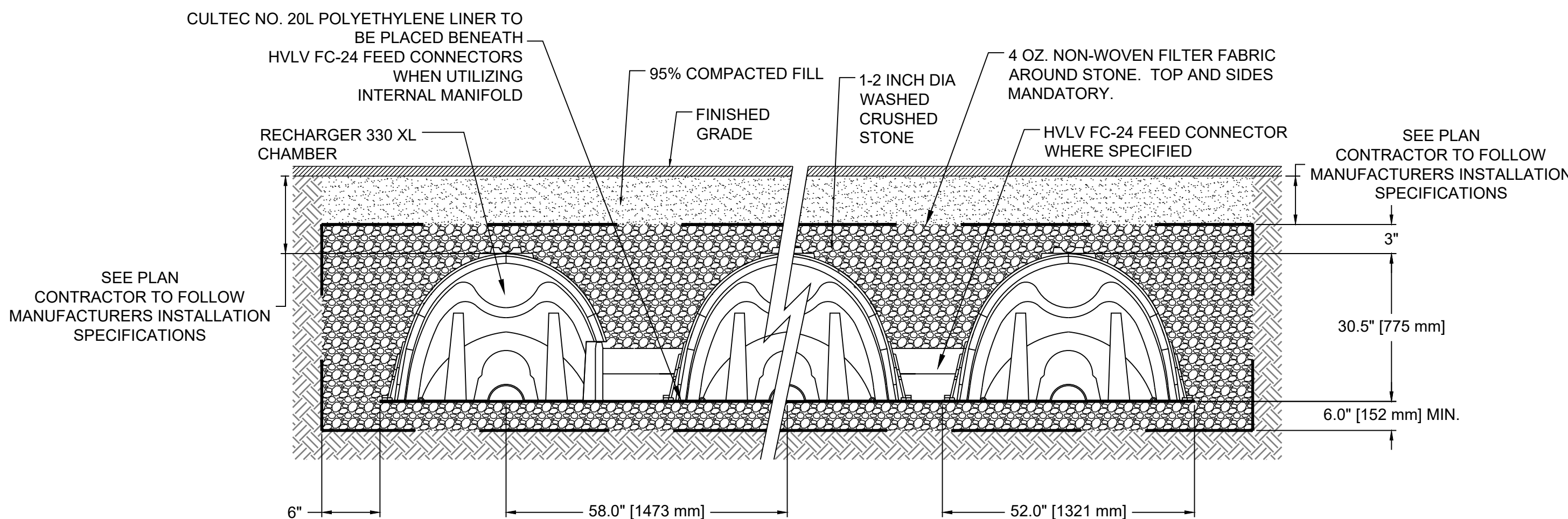
24-Hour Percolation Volume: 87.6 C.F.

Total 24-Hour Storage Volume

Chamber Volume + Percolation Volume: 248.6 C.F.

Required Storage Volume: 145.2 C.F.

Proposed Storage Volume is Sufficient

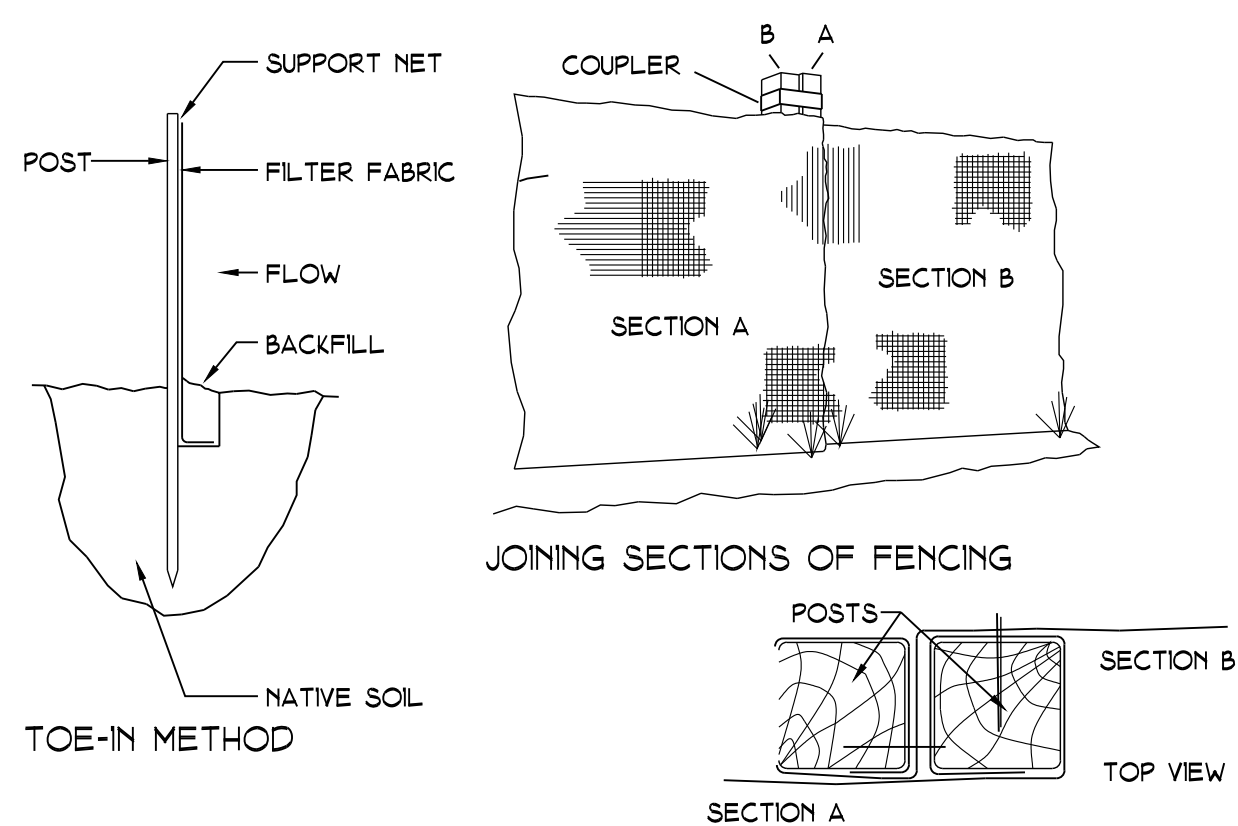


GENERAL NOTES
RECHARGER 330XL BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.

ALL RECHARGER 330XL WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330XL CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

TYP. CULTEC 330XL CHAMBER DETAIL

NTS

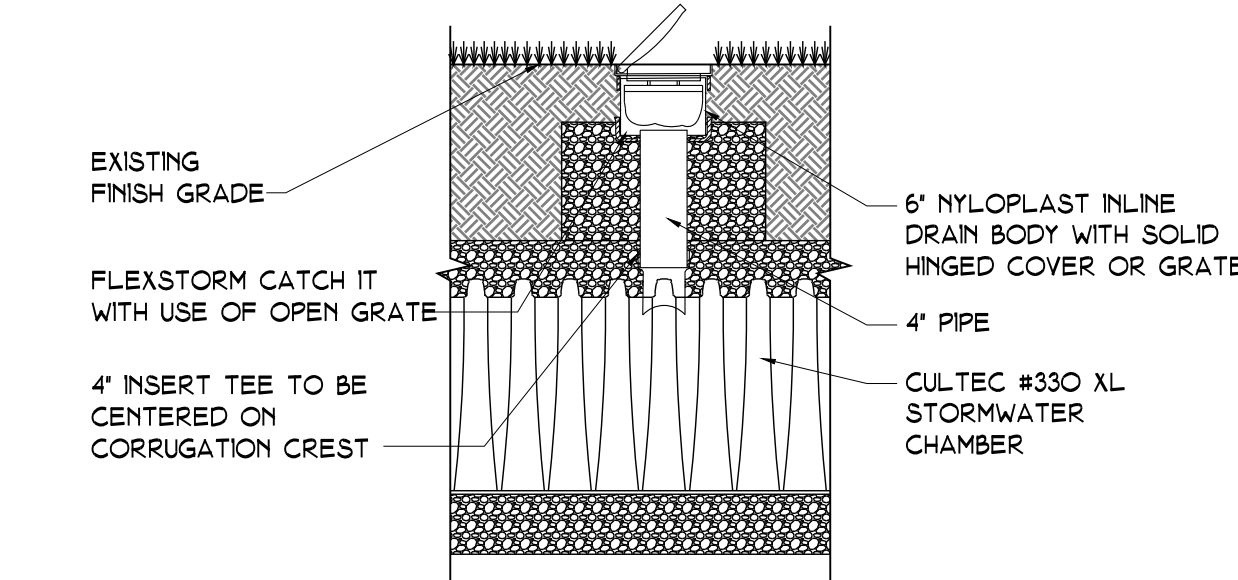


INSTALLATION NOTES

1. EXCAVATE A 4'X4' TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.

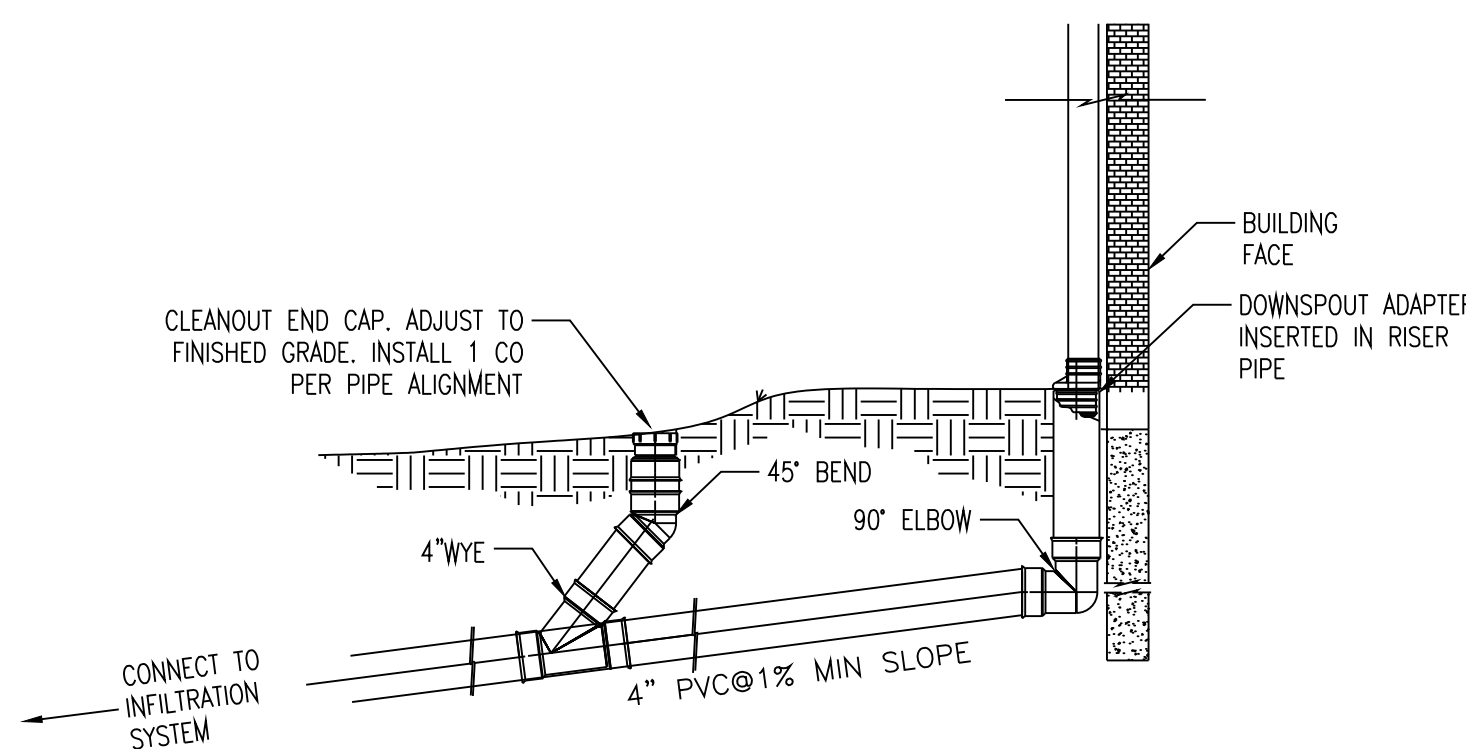
SILT FENCE

NTS



TYP. INSPECTION PORT/OVERFLOW DETAIL

NTS



ROOF LEADER CONNECTION

NTS



100 EXECUTIVE BLVD. SUITE 204
OSSING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-8240

JORGE B. HERNANDEZ R.A. A.I.A.

LICENSE NUMBER: 030424-1

CERTIFICATE NUMBER: 0973256

REVISIONS	DATE	BY
△ B.D. CMNTS	9-16-2023	ARQ
△ B.D. CMNTS	11-2-2023	ARQ

DRAWING TITLE:
EXIST. & PROPOSED
SITE PLAN

PROJECT:

PROPOSED
ADDITION

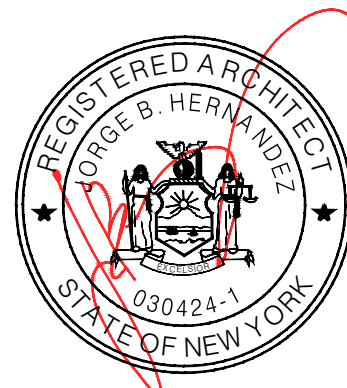
PROJECT ADDRESS:

45 GOULD AVE.
DOBBS FERRY
NY, 10522

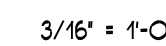
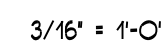
NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE TO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW. IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE



DATE:	8/11/2023	DWG. NO.:
PROJECT NO.:	23-078	
DRAWING BY:	ARQ	S=100
CHECKED BY:	JBH	



NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED. ALL WOOD IN CONTACT WITH CONCRETE TO BE P.T.
ALL PLUMBING WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.



JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
EXIST. & DEMO.
FLOOR PLANS

PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

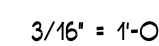
NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC. WHETHER THE PROJECT FOR WHICH IT IS MADE IS COMPLETED OR NOT, IT IS TO REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC. IT IS NOT TO BE LOANED, REPRODUCED, COPIED, REPRODUCED, OR OTHERWISE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT, THE OTHERS OR OTHERS ON THE OTHER PROJECTS SHALL OBTAIN THE WRITTEN PERMISSION OF ARQ ARCHITECTURE PC. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSIDERED AS AN ASSIGNMENT OR TRANSFER OF THE RIGHTS OF ARQ ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF ARQ ARCHITECTURE PC WITHOUT PREJUDICE TO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW. NO PART OF THIS DRAWING IS TO BE LOANED, REPRODUCED, COPIED, REPRODUCED, OR OTHERWISE USED BY ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF THE ALTERATION." IF A SPECIFIC DESCRIPTION OF THE ALTERATION

SEAL & SIGNATURE



DATE:	DWG. NO.:
8/1/2023	
PROJECT NO.:	
23-078	
DRAWING BY:	
ARQ	A-001
CHECKED BY:	
JBH	



DECKING
NEW 1/2" MIN. NOMINAL THICKNESS DECKING
FASTENED TO EACH FLOOR JOIST W/ (2) #8
SCREWS & TO RM JOISTS & LEDGER W/
10D OR #10X3" WOOD SCREWS @ 6" O.C.

NEW STAIRS / RAILS: (2020 RC OF NYS R311.7)
TREADS: 9" MIN.
NOSING: 1/2" MIN & 1/2" MAX.
RISERS: 8 1/4" MAX.
WIDTH: 36" MIN.
LANDINGS: SAME AS WIDTH OF STAIR (R311.7.6)
HANDRAIL: 34"-38" HIGH CONTINUOUS AT ALL
INTERIOR AND EXTERIOR STAIRWAYS WITH 4 OR
MORE RISERS (R311.7.8)
GUARDRAIL: 36" HIGH (R312.1)

GENERAL NOTES:

- ALL EXTERIOR WOOD TO BE P.T.
- ALL SCREWS, BOLTS NUTS & NAILS FOR USE WITH PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. ALL CONNECTORS (JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED OR SHALL BE STAINLESS STEEL.
- ALL JOIST HANGERS SHALL BE FACE MOUNT BY SIMPSON AND FASTENED W/ SIMPSON SDS SCREW CONNECTORS. REFER TO MANUF. FOR MORE INFO.

EXTERIOR WALL CONSTRUCTION:

- SIDING (MATCH EXISTING)
- TYVEK HOUSE WRAP
- 1/2" CDX PLYWOOD SHEATHING
- SHEATHING SHALL BE STRUCTURAL EXTERIOR GRADE PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. PANELS SHALL BE CONTINUOUS OVER TWO SUPPORTS MINIMUM.
- NAILING - 10D NAILS @ 4" O.C. AT PANEL EDGES & 10D NAILS @ 12" O.C. @ INTERIOR SUPPORTS
- 2X6 STUDS @ 16" O.C. ON 2X6 P.T. PLATE (SEE LEGEND)
- INSULATION (R21)
- PROVIDE HOLD-DOWNS AT ALL ENDS OF SHEER WALLS, EDGES OF OPENINGS, & WOOD POSTS.
- 3/8" DIAM. ANCHOR BOLTS AT 4'-0" O.C. W/ 1/2"X3/4" PLATE WASHER, EMBED 12" MIN.
- 1/2" GYPSUM BOARD (I.O.N.)

BATHROOM EXHAUST & DUCT

2020 RC OF NYS M503 & M504.4
CONTRACTOR TO INSTALL BATHROOM EXHAUST. DUCT TO BE VENTED TO OUTSIDE WITH BACK DRAFT DAMPER. VENT SHALL NOT TERMINATE LESS THAN 3'-0" FROM PROPERTY LINE OR OPENINGS.
50 CFM INTERMITTENT OR 20 CFM CONTINUOUS.

PLUMBING FIXTURES

ALL PLUMBING FIXTURES TO BE INSTALLED AS PER 2020 RC OF NYS CH 27. P2705.
SHOWER COMPARTMENTS SHALL HAVE NOT LESS THAN 900 SQUARE INCHES (10.6 M2) OF INTERIOR CROSS-SECTIONAL AREA. SHOWER COMPARTMENTS SHALL BE NOT LESS THAN 30 INCHES (762 MM) IN MINIMUM DIMENSION MEASURED FROM THE FINISHED INTERIOR DIMENSION OF THE SHOWER COMPARTMENT.

PIPE FREEZING

2020 RC OF NYS P2603.5
WATER, OIL OR WASTE PIPE SHALL NOT BE INSTALLED OUTSIDE OF BUILDING IN EXTERIOR WALLS, IN ATTICS OR CRAWL SPACES, OR IN ANY OTHER PLACE SUBJECTED TO FREEZING TEMPERATURE UNLESS ADEQUATE PROVISION IS MADE TO PROTECT IT FROM FREEZING BY INSULATION OR HEAT OR BOTH.

GLAZING AND WET SURFACES

(2020 BC OF NYS 2406.4.5)
GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

CONSTRUCTION LEGEND:

SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	NEW FOUNDATION WALL CONCRETE FOUNDATION WALL ON CONCRETE FOOTING. SEE PLANS.
	NEW EXTERIOR WALL (SEE PLANS) 2X6 WOOD STUDS @ 16" O.C. ON 2X6 PLATE. R-21 INSULATION. (SEE EXTERIOR WALL NOTES)
	NEW INTERIOR WALL 2X4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD EACH SIDE
	NEW DOOR INDICATES DOOR SIZE
	NEW WINDOW INDICATES WINDOW SIZE
	REMOVE EXISTING CONSTRUCTION FROM STRUCTURAL SLAB TO UNDERSIDE OF FLOOR DECKING ABOVE 2. REMOVE / RELOCATE EXISTING ELECTRICAL OUTLETS, SWITCHES ETC. AS REQUIRED. REWORK WIRING AS NECESSARY FOR CONTINUED POWER TO REMAINING OUTLETS, SWITCHES OR IF OUTLETS NOT REQUIRED REMOVE WIRING BACK TO NEAREST JUNCTION BOX TO REMAIN. 3. REMOVE / RELOCATE EXISTING PLUMBING AS REQUIRED. REWORK PLUMBING AS NECESSARY TO MAINTAIN INTEGRITY OF EXISTING SYSTEM TO REMAIN. CAP ALL UNUSED PIPING IN WALLS, FLOOR OR CEILINGS TO REMAIN. NOTIFY ARCHITECT IF ANY OBSTACLES APPEAR DURING DEMOLITION.

NOTES: ALL ITEMS ARE EXISTING TO REMAIN UNLESS OTHERWISE INDICATED. ALL WOOD IN CONTACT WITH CONCRETE TO BE P.T.
ALL PLUMBING WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED PLUMBING CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.

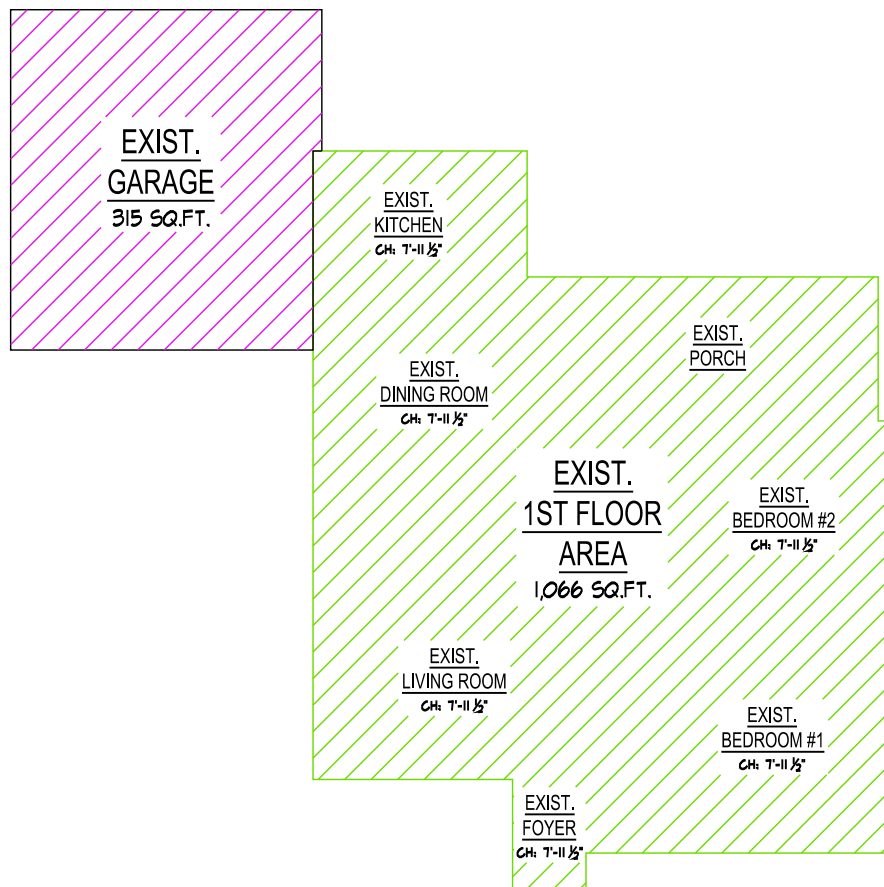
ELECTRICAL LEGEND:

SYMBOL	DESCRIPTION
	NEW HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTOR. NOTE: EXCEPTION (R314.4) INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS ARE NOT REQD WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES. (#1403.2.1) SMOKE ALARMS ARE PERMITTED TO BE BATTERY OPERATED WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES.
	NEW HARDWIRED INTERCONNECTED HEAT DETECTOR
	BATHROOM EXHAUST FAN DUCTED TO EXTERIOR W/ CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS
	KITCHEN EXHAUST HOODS SHALL BE DUCTED TO EXTERIOR WITH SHEET METAL DUCTS CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER. DUCTS SHALL BE AIR TIGHT AND EQUIPPED WITH A BACK DRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS. KITCHEN EXHAUST SHALL BE 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS.
NOTE: ALL OUTLETS IN BATHROOMS ABOVE COUNTERS IN KITCHENS, & WITHIN 6'-0" OF A SINK SHALL BE GFCI VERIFY & REPLACE OUTLETS AS REQD.	
ALL ELECTRICAL WORK SHALL BE PERFORMED BY A WESTCHESTER COUNTY LICENSED ELECTRICAL CONTRACTOR UNDER A SEPARATE PERMIT. NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.	
MIN. INSULATION REQUIREMENTS BY 2020 RC OF NYS TABLE N102.12 (R402.1.2) FOR CLIMATE ZONE 4A (WESTCHESTER COUNTY, NY)	
FLOOR	R-19
EXTERIOR WALL	R-21
ROOF/CEILING	R-49
BASEMENT EXTERIOR WALL	R-13
SLAB R-VALUE @ DEPTH	R-10 (2' AT PERIMETER)

PMI NYS SECTION 4014.4 BEDROOM REQUIREMENTS
BEDROOM/1 OCCUPANT = 70 S.F.
BEDROOM/2 OCCUPANT = 70 S.F. + 50 S.F. = 120 S.F.

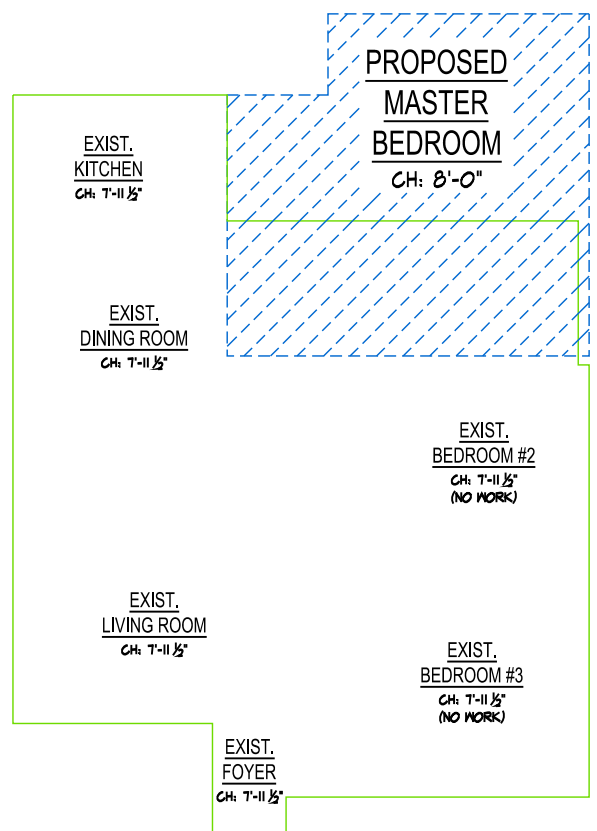
EXIST. & PROPOSED
FIRST FLOOR PLAN

1/4" = 1'-0"



EXIST. KEY PLAN - AREA

3/32" = 1'-0"



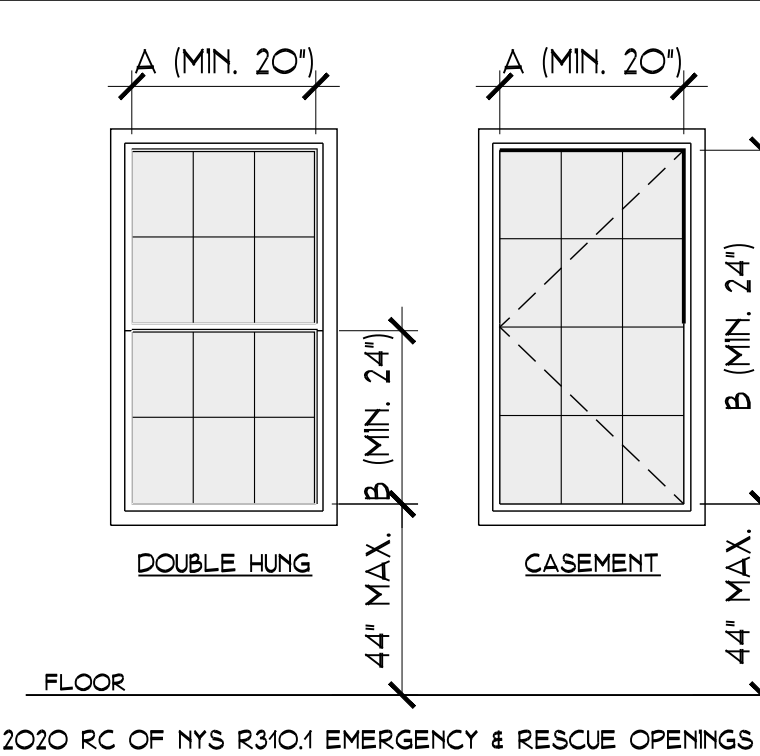
PROPOSED KEY PLAN - AREA

3/32" = 1'-0"

EXISTING 1ST FLOOR 1,066 SQ.FT. 100%
PROPOSED ADDITION 356 SQ.FT. 33.39%
TOTAL AREA OF WORK 1,422 SQ.FT. 33.39%
EXISTING KITCHEN TO REMAIN (NO WORK)

TYP. EGRESS WINDOW

LEGEND	COMMENTS
TW3046	INDICATES MODEL NUMBER ANDERSEN WINDOWS 400 SERIES OR EQUAL.
EXIST. NEW	EXISTING WINDOW REPLACEMENT-IN-KIND. NEW WINDOW SHALL MATCH EXIST. SIZE, OPERATION AND WINDOWS MANUFACTURER
EXIST.	EXISTING WINDOW TO REMAIN
EGRESS	EGRESS WINDOWS TO BE ANDERSEN DOUBLE HUNG TW3046, TW210410, CASEMENT CWX135, OR EQUAL. SEE NOTE BELOW FOR CODE COMPLIANCE.
EGRESS WINDOWS MUST COMPLY WITH: WINDOW CLEAR OPENING: (A) CLEAR WIDTH MIN. 20" (B) CLEAR HEIGHT MIN. 24"	
A X B	5.0 S.F. MIN. (1720 SQ. IN. MIN.) AT GRADE & BELOW GRADE LEVELS ONLY 5.7 S.F. MIN. (821 SQ. IN. MIN.) AT OTHER LEVELS
WINDOW SILLS: 44" MAX. (IF LESS THAN 18" PROVIDE SAFETY GLASS) EGRESS WINDOWS: AT LEAST ONE WINDOW PER BEDROOM IS REQUIRED TO COMPLY WITH CODE.	



2020 RC OF NYS R310.1 EMERGENCY & RESCUE OPENINGS



100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-8240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

REVISIONS	DATE	BY
△ B.D. CMNTS	9-16-2023	ARQ
△ B.D. CMNTS	11-2-2023	ARQ

DRAWING TITLE:
EXIST. & PROPOSED
FIRST FLOOR PLAN

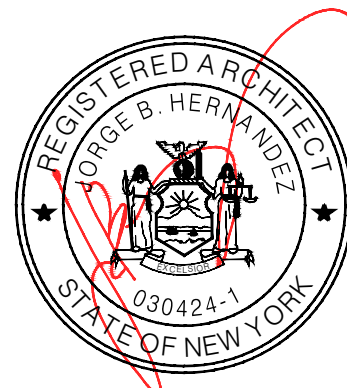
PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

NYS EDUCATION LAW

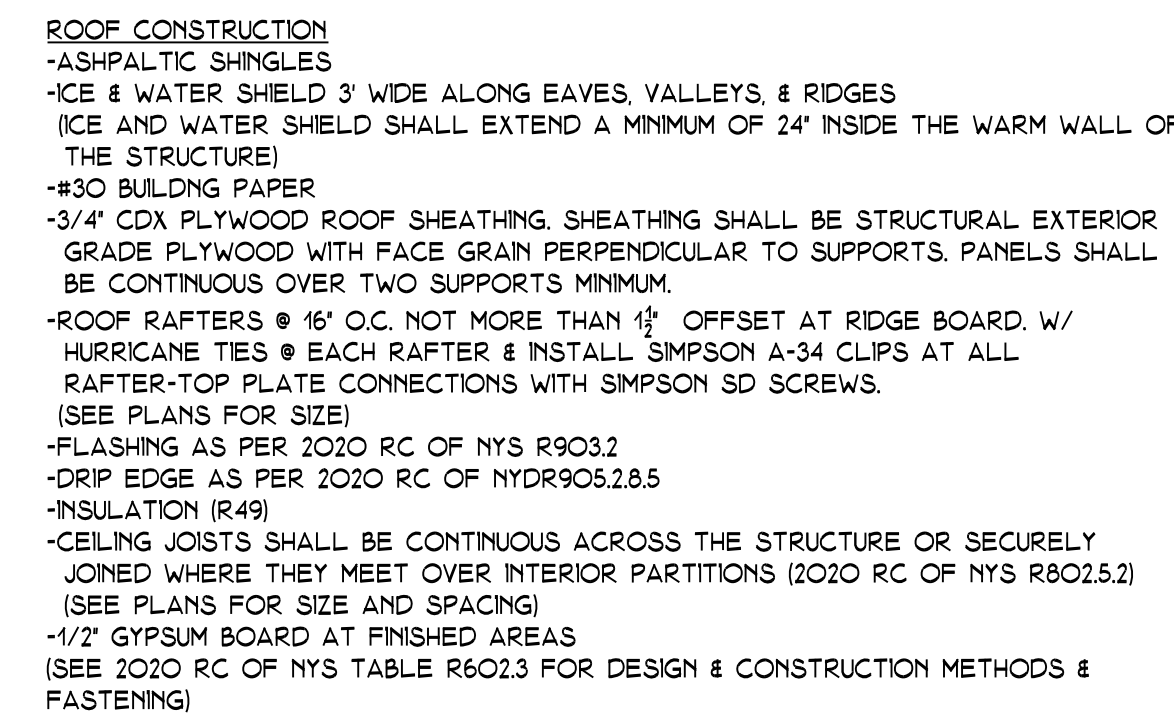
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT, THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE PC. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE PC WITHOUT PREJUDICE TO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW. IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.





SEAL & SIGNATURE



DATE:
8/11/2023
PROJECT NO.:
23-078
DRAWING BY:
ARQ
CHECKED BY:
JBH

DWG. NO.:
A-101


$$1/4' = 1'-O'$$

ELECTRICAL LEGEND:	
SYMBOL	DESCRIPTION
	<p>NEW HARDWIRED INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTOR.</p> <p>NOTE: EXCEPTION (RC #R314.4)</p> <p>INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS ARE NOT REQUIRED WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES. (14U403.2.1)</p> <p>SMOKE ALARMS ARE PERMITTED TO BE BATTERY OPERATED WHEN PROPOSED WORK DOES NOT INCLUDE REMOVAL OF INTERIOR FINISHES.</p>
	<p>NEW HARDWIRED INTERCONNECTED HEAT DETECTOR</p>
	<p>BATHROOM EXHAUST FAN DUCTED TO EXTERIOR W/ KITCHEN OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS</p>
	<p>KITCHEN EXHAUST HOODS SHALL BE DUCTED TO EXTERIOR WITH SHEET METAL DUCTS CONSTRUCTED OF GALVANIZED STEEL, STAINLESS STEEL, ALUMINUM OR COPPER. DUCTS SHALL BE AIR TIGHT AND EQUIPPED WITH A BACK DRAFT DAMPER AND SHOWN TO BE NONPERMEABLE TO ALL EXHAUST SYSTEMS. KITCHEN EXHAUST SHALL BE 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS .</p>
	<p>NOTE: ALL OUTLETS IN BATHROOMS, ABOVE COUNTERS IN KITCHENS, & WITHIN 6'-0" OF A SINK SHALL BE GFCI VERIFY & REPLACE OUTLETS AS REQD.</p> <p>ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR UNDER A SEPARATE PERMIT NO WORK SHALL COMMENCE UNTIL ALL PERMITS HAVE BEEN APPROVED.</p>

MIN. INSULATION REQUIREMENTS BY 2020 RC OF NYS TABLE NY02-1.2 (R402.12) FOR CLIMATE ZONE 4A (WESTCHESTER COUNTY, NY)	
FLOOR	= R-19
EXTERIOR WALL	= R-21
ROOF/CEILING	= R-49
BASEMENT EXTERIOR WALL	= R-13
SLAB R-VALUE & DEPTH	= R-10 (2' AT PERIMETER)
<u>PMC NYS SECTION 404.4 BEDROOM REQUIREMENTS</u>	
BEDROOM/1 OCCUPANT = 70 S.F.	
BEDROOM/2 OCCUPANT = 70 S.F. + 50 S.F. = 120 S.F.	

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
EXIST. & PROPOSED
ATTIC FLOOR PLAN

PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE
DOBBS FERRY
NY, 10522

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC, WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED BY ARQ ARCHITECTURE PC OR NOT. IT IS NOT TO BE LOANED, REPRODUCED, COPIED, REPRODUCED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHER ARCHITECTS OR GROUPS OF ARCHITECTS WITH ARQ ARCHITECTURE PC. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT A CONSTRUCTION OF THIS INSTRUMENT OF SERVICE OF THE RIGHTS OF ARQ ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT THE WRITTEN PERMISSION OF ARQ ARCHITECTURE PC. WITHOUT PREJUDICE NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NTS EDUCATION LAW, IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS AS AUTHORIZED BY ARQ ARCHITECTURE PC, A LICENSED PROFESSIONAL, TO ALTER ANY ITEM IN ANY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED WITHOUT THE WRITTEN PERMISSION OF ARQ ARCHITECTURE PC, SUCH ALTERATION SHALL BE CONSIDERED A VIOLATION OF THE NTS EDUCATION LAW. ANY SUCH ALTERATION, AND ANY SPECIFIC DESCRIPTION OF SUCH ALTERATION, SHALL BE

SEAL & SIGNATURE



<u>DATE:</u>	<u>DWG. NO.:</u>
8/1/2023	
<u>PROJECT NO.:</u>	
23-078	
<u>DRAWING BY:</u>	
ARQ	
<u>CHECKED BY:</u>	
JBH	



JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
EXIST. & PROPOSED
ELEVATIONS

PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

NYS EDUCATION LAW

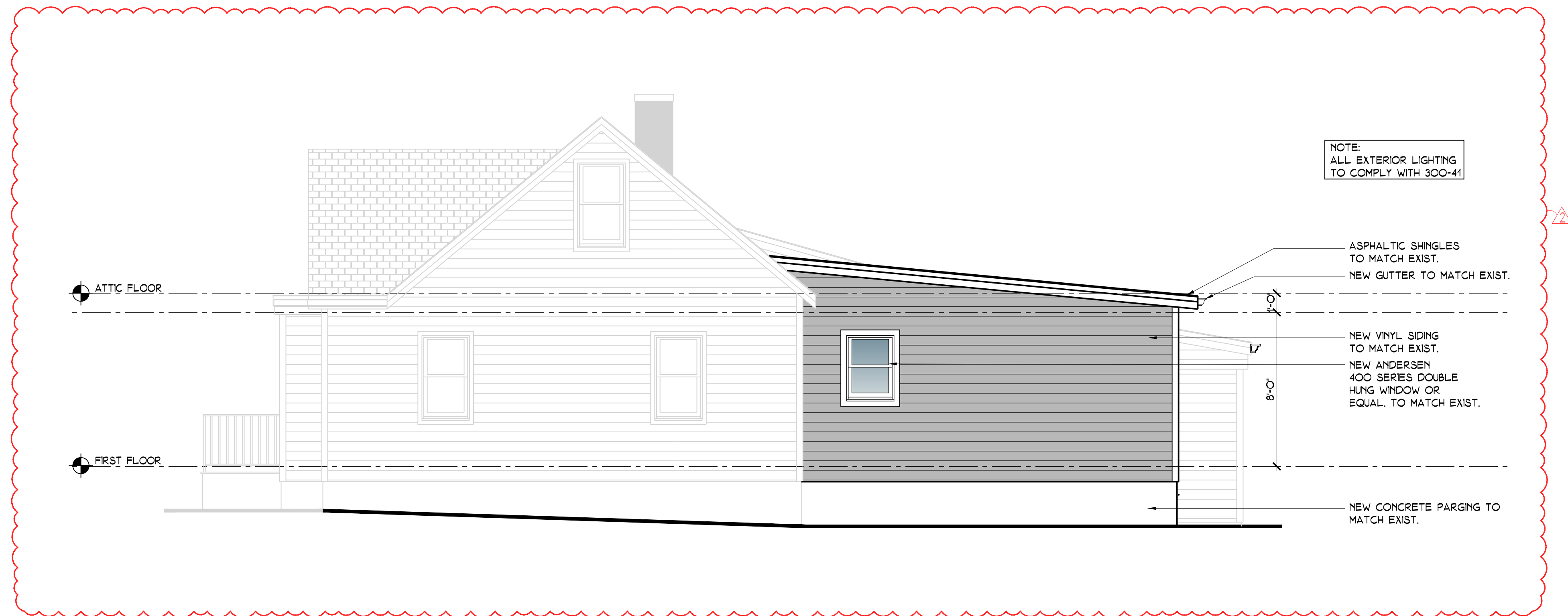
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARO ARCHITECTURE PC. NEITHER THE PROJECT FOR WHICH IT IS PREPARED NOR THE EXECUTION THEREOF SHALL BE RELEASED TO ANY OTHERS OR OTHERS ON THE OTHER BEING PROVIDED, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT, THAT THE PROJECT BE RELEASED TO ANY OTHERS WITH ARO ARCHITECTURE PC SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR THE PURPOSES OF A PUBLIC RECORD. THIS DRAWING IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARO ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ARO ARCHITECTURE PC WITHOUT PREJUDICE TO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW. ANY PERSON WHO REPRODUCES OR PUBLISHES THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT OF ARO ARCHITECTURE PC SHALL BE CONSIDERED TO BE A LICENSED PROFESSIONAL, TO ALTER ANY ITEM IN ANY WAY, IN ANY FORM BEARING THE SEAL OF A LICENSED PROFESSIONAL, OR TO REPRODUCE OR PUBLISH THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT OF ARO ARCHITECTURE PC. ANY PERSON WHO REPRODUCES OR PUBLISHES THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT OF ARO ARCHITECTURE PC SHALL BE CONSIDERED TO BE A LICENSED PROFESSIONAL, SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND DATE OF ALTERATION." ANY PERSON WHO REPRODUCES OR PUBLISHES THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT OF ARO ARCHITECTURE PC SHALL BE CONSIDERED TO BE A LICENSED PROFESSIONAL, TO ALTER ANY ITEM IN ANY WAY, IN ANY FORM BEARING THE SEAL OF A LICENSED PROFESSIONAL, OR TO REPRODUCE OR PUBLISH THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT OF ARO ARCHITECTURE PC.

SEAL & SIGNATURE






DATE:	DWG. NO.:
8/1/2023	
PROJECT NO.:	
23-078	
DRAWING BY:	
ARQ	A-200
CHECKED BY:	
JBH	



EXIST.
FRONT ELEVATION



EXIST. & PROPOSED
RIGHT SIDE ELEVATION

FINISHES LEGEND		
WINDOWS	ANDERSEN 400 SERIES COLOR: MATCH EX. WHITE	
SIDING	VINYL COLOR: MATCH EX. WHITE	
TRIM	VINYL TRIM COLOR: MATCH EX. WHITE	
RAIL	PVC COLOR: WHITE	
ROOF	ROOF SHINGLES COLOR: MATCH EX. CHARCOAL	



JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
EXIST. & PROPOSED
ELEVATIONS

PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARO ARCHITECTURE PC. NEITHER THE PROJECT FOR WHICH IT IS PREPARED, NOR THE EXECUTION THEREOF, NOR THE DRAWING, SHALL BE LOANED BY OTHERS OR OTHERS ON THE OTHER BECOMES, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT, WITHOUT THE WRITTEN CONSENT OF ARO ARCHITECTURE PC. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR ANY OTHER PURPOSE, WITHOUT THE WRITTEN CONSENT, IS NOT TO BE CONSTRUED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARO ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF ARO ARCHITECTURE PC. WITHOUT PREJUDICE TO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW, NO PERSON SHALL BE HELD RESPONSIBLE FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS TO BE ALTERED, THE ALTERING PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF THE ALTERATION. A SPECIFIC DESCRIPTION OF THE ALTERATION

SEAL & SIGNATURE _____



DATE:	DWG. NO.:
8/1/2023	A-201
PROJECT NO:	
23-078	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

NOTE:
ALL EXTERIOR LIGHTING
TO COMPLY WITH 300-41

ASPHALTIC SHINGLES
TO MATCH EXIST. _____

NEW GUTTER TO MATCH EXIST.——

ATTIC FLOOR

NEW VINYL SIDING
TO MATCH EXIST. _____

NEW ANDERSEN

400 SERIES DOUBLE
HUNG WINDOW/DOOR

EQUAL. TO MATCH EXIST. _____

— — — — — FIRST FLOOR

NEW CONCRETE PAVING TO






MATCH EXIST. _____

EXIST. & PROPOSED
REAR SIDE ELEVATION

$$1/4^* = 1-\odot$$

EXIST. & PROPOSED
LEFT SIDE ELEVATION

$$1/4^s = 1-\odot$$

FINISHES LEGEND		
WINDOWS	ANDERSEN 400 SERIES COLOR: MATCH EX. WHITE	
SIDING	VINYL COLOR: MATCH EX. WHITE	
TRIM	VINYL TRIM COLOR: MATCH EX. WHITE	
RAIL	PVC COLOR: WHITE	
ROOF	ROOF SHINGLES COLOR: MATCH EX. CHARCOAL	

NOTE: STAIRWAYS SHALL NOT BE LESS THAN 36' IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL. HANDRAIL SHALL NOT PROJECT MORE THAN 4-1/2" ON EITHER SIDE OF STAIRWAY (2020 RC OF NYS R311.7)

BALCONY MIN. 36'

CONTINUOUS HANDRAIL AT LEAST ONE SIDE

6'-8" MIN. CLEARANCE

9" MIN.

8 1/4" MAX.

34"-36"

4" MAX.

MUST NOT ALLOW PASSAGE OF 4" SPHERE

MUST NOT ALLOW PASSAGE OF 6" SPHERE

TYPE 'X' GYPSUM BOARD

NOSING TO BE NO LESS THAN 3/4" BUT NOT MORE THAN 1 1/4"

HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND THE HANDRAILS.

Diagram illustrating the required clearance between a handrail and an existing wall. The diagram shows a cross-section of a wall labeled "EXIST. WALL". A new handrail, labeled "NEW HANDRAIL", is installed adjacent to it. A dimension line indicates a minimum clearance of 1 1/2 inches between the handrail and the wall. The label "HANDRAIL" points to the rail itself. The word "PLAN" is written below the diagram.

HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6-1/4 INCHES WITH A MAXIMUM CROSS SECTION DIMENSION OF 2-1/4 INCHES AS PER SECTION 2020 RC OF NYS R3107.7

TYPICAL NAIL STOPPER ELECTRICAL AND PLUMBING

TYPICAL SHOE PLATES PLUMBING

SECTION

DEPTH OF JOIST

SEE NOTE B

1-3/4" FOR 12" DEEP JST.

1-1/2" FOR 10" DEEP JST.

1" FOR 8" DEEP JST.

SEE NOTE BELOW (A)

BEARING

1/4 SPAN

MIDDLE OF SPAN

SPAN

1/4 SPAN

SUPPORT

NOTCHING

SEE NOTE C

2-1/2" MAX

BEARING

2" MIN

2" MIN

2" MIN

2-1/2" MAX

HOLES

A. NOTCHING IS NOT PERMITTED IN BOTH TOP AND BOTTOM EDGES IF VERTICAL EDGES OF NOTCH IS WITHIN 12" OF EACH OTHER

B. NOTCHES @ ENDS OF MEMBERS SUPPORTED ON BEARING OR LEDGER STRIPS SHALL NOT EXCEED 1/4 OF DEPTH OF MEMBER.

C. NET DEPTH OF NOTCHED END SHALL NOT BE LESS THAN 3/4 OF FULL DEPTH OF MEMBER

NOTCHING & CUTTING HOLES IN WOOD JOISTS

NOTE: FOR NOTCHING OR HOLES GREATER THAN THOSE INDICATED NOTIFY ARCHITECT IN WRITING.

4'x8' PLYWOOD PANEL
 CORNER BRACE IN LIEU
 OF STRAP CORNER BRACES

NAILS AT 12" O.C.
 6" AT EDGES

2x6 STUDS

(3) 10s TOP & BOTTOM
 OF WOOD BRACE

BLOCKING AS REQUIRED FOR
 SHEATHING, CABINETS, ETC.
 SEE DETAIL ON THIS SHEET.

CROSS BRIDGING
 (WOOD OR STEEL)

CORNER BRACE 1'x4' MIN. OR
 1 1/2" WIDE 16GA. STEEL
 STRAP BRACE @ 45° ALSO
 PLYWOOD PANEL WILL
 SUFFICE MUST NAIL TO SILL
 PLATE.

FOUNDATION WALLS

5/8" ANCHOR BOLTS

8D TOENAILS (TYP)

2'x6' STUDS
 2'x6' DOUBLE
 TOP PLATE

2x6 TOP
 PLATE

WALL SHEATHING
 & SIDING

2'x6' SOLE PLATE
 SILL PLATE
 (PRESERVATIVE
 TREATED LUMBER)

DOUBLE OR TRIPPLE
 END JOIST

100 STAGGERED 12" VERT.

The diagrams illustrate the construction of a roof truss system, showing the assembly of joists, cross bridging, solid bridging, ridge board, longitudinal bracing, double plates, and the final truss structure with various fasteners and components labeled.

Diagram 1: Joist and Cross Bridging

- JOIST
- (2) 8 PENNY NAILS AT EACH END
- WOOD CROSS BRIDGING (5/4"x3")
- CROSS BRIDGING

Diagram 2: Joist and Solid Bridging

- JOIST
- (2) 10 PENNY NAILS AT EACH SIDE
- ALTERNATE SOLID BRIDGING (SAME SIZE AS JOIST) WEDGE FIT
- SOLID BRIDGING

Diagram 3: Ridge Board and Longitudinal Bracing

- LONGITUDINAL BRACE
- CEILING JOISTS
- DOUBLE PLATES
- JOIST
- SCAB
- LONGITUDINAL BRACING FOR THE RIDGE BOARD
- RIDGE BOARD
- RIDGE SUPPORT
- DOUBLE PLATE
- AN UPRIGHT (LEG) SUPPORTS THE RIDGE BOARD IN POSITION FOR THE RAFTER ERECTION.

Diagram 4: Typical Twin Post Caps

- TWIN POST CAP
- 18 GA. GALV. STL.
- JOIST HANGER
- TYPICAL TWIN POST CAPS

Diagram 5: Typical Joist Hanger/Structural Fasteners

- JOIST
- 16 GA. GALV. STL.
- ANNUAL RING STL. SHANKS
- TYPICAL JOIST HANGER/STRUCTURAL FASTENERS

Diagram 6: Typical Detail Parallel Partition

- TYPICAL DETAIL PARALLEL PARTITION
- 2X4 SUB
- JOIST 2X4
- TYPICAL DETAIL PARALLEL PARTITION
- JOIST

The image contains two technical drawings of window and door framing details. The left drawing is labeled 'OUTSIDE CORNER' and shows a corner joint of a window frame. It features a vertical post and a horizontal header, both labeled '2X4 OR 2X6'. A 'FILLER BLOCKING' is shown between the post and header. The right drawing is labeled 'INTERSECTING PARTITION' and shows a vertical post intersecting a horizontal header. It also features a 'FILLER BLOCKING' between the post and header. Both drawings include dimension lines and arrows indicating the components.

A technical diagram of a corner joint between two wall studs. The diagram shows the internal structure including the sole plate, filler blocking, and the subfloor. Arrows point to specific nailing areas: 'NAILING AREAS FOR INSIDE FINISH' points to the top of the studs; 'FILLER BLOCKING' points to the vertical blocking between studs; 'SOLE PLATE' points to the horizontal base of the wall; and 'SUBFLOOR' points to the floor structure below the sole plate.

TO JOIST
PROVIDE
THAI FAC
MOUNT 20
G. SIMPSON
STRONG-

2	DETAIL
	NOT TO SCALE

3	DETAIL
	NOT TO SCALE

The diagrams illustrate four scenarios for interior partition details:

- Top Left:** A partition runs perpendicular to the joist and occurs below the sub floor. A red 'X' indicates this is an incorrect or non-typical detail.
- Top Right:** A typical detail where the partition runs perpendicular to the joist and no partition occurs below the sub floor. A solid block is shown between the joist and the sub floor.
- Bottom Left:** A partition runs perpendicular to the joist and occurs above the sub floor. A red 'X' indicates this is an incorrect or non-typical detail.
- Bottom Right:** A typical detail where the partition runs perpendicular to the joist and no partition occurs above the sub floor. A solid block is shown between the joist and the sub floor.

Labels in the diagrams include: SUB FLOOR, JOIST, 2X4 STUD, 2X4 NAILER, 2X4 PLATE, and STUD SOLE PL.

<p><u>FRONT PARTITION</u> <u>TAIL WHERE</u> <u>RUNS PARALLEL</u></p>	<p><u>TYPICAL INTERIOR PARTITION</u> <u>FRAMING DETAIL WHERE</u> <u>PARTITION RUNS PERPENDICULAR</u> <u>TO JOISTS</u></p>
<p><u>DETAIL @ TYPICAL BEARING WD. PARTITION</u> <u>NOT TO SCALE</u></p>	

CEILING JOIST

METAL STRAPPING

NOTE: CEILING JOISTS FASTENED TO A FLUSH BEAM WITH JOIST HANGERS

BEAM

METAL JOIST HANGER



JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

REVISIONS	DATE	BY
1 B.D. CMNTS	9-16-2023	ARQ
2 B.D. CMNTS	11-2-2023	ARQ

DRAWING TITLE:
TYP. DETAILS

PROJECT:
PROPOSED
ADDITION

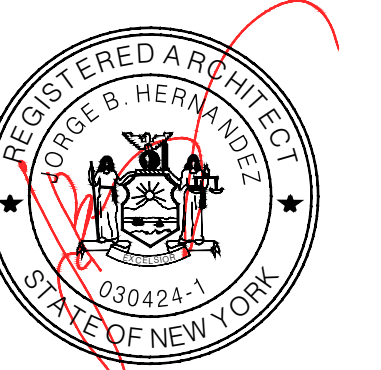
PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL
REMAIN THE PROPERTY OF ARO ARCHITECTURE PC.
WHETHER THE PROJECT FOR WHICH IT WAS MADE IS
EMBEDDED IN OR SEPARATE FROM ANY OTHER WORK USED BY
OTHERS OR OTHERS ON THE OTHER PROJECTS, FOR
ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS
PROJECT, NO PART OF THIS DRAWING SHALL BE REPRODUCED,
COPIED, REPRODUCED, TRANSMITTED, EITHER ELECTRONICALLY
OR WITH ARO ARCHITECTURE PC SUBMISSION OR DISTRIBUTION
TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR
OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS
FORBIDDEN. ANY SUCH REPRODUCTION OR USE WITHOUT
THE WRITTEN PERMISSION OF ARO ARCHITECTURE PC, REPRODUCTION
OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS
STRICTLY PROHIBITED. ANY SUCH REPRODUCTION OR USE
WITHOUT PRECEDENCE MODIFICATIONS.

TO THIS DRAWING IN ACCORDANCE WITH THE NYS
EDUCATION LAW § 87(2)(b), I HEREBY CERTIFY THAT I AM
A PERSON UNLESSING UNDER THE DIRECTION OF A
LICENSED PROFESSIONAL, TO ALTER ANY ITEM IN ANY WAY,
IN AN ITEM BEARING THE SEAL OF A LICENSED
PROFESSIONAL, TO BE USED AS EVIDENCE OF A
LICENSED PROFESSIONAL, SHALL AFFIX TO THEIR ITEM THEIR
SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR
SIGNATURE." ANY SUCH ALTERATION SHALL BE SUBJECT
TO A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE _____



DATE: _____

3/1/2023
PROJECT NO.:
23-078

DRAWING BY:
ARQ

CHECKED BY: JUBH

PG. NO.:

A-3000



**100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-6240**

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

[illegible]

DRAWING TITLE:
NEIGHBORHOOD STUDY

PROJECT:
PROPOSED
ADDITION

PROJECT ADDRESS:
45 GOULD AVE.
DOBBS FERRY
NY, 10522

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC. WHETHER THE PROJECT FOR WHICH IT IS MADE IS ENTERED INTO OR THE PROJECT IS NOT ENTERED INTO BY OTHERS OR OTHERS ON THE OTHER IT IS MADE FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, THIS DRAWING IS TO BE USED IN CONJUNCTION WITH ARQ ARCHITECTURE PC SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE COPIED, REPRODUCED, REPRODUCED, OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARQ ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR ANY REPRODUCTION OR PUBLICATION OF THIS DRAWING WITHOUT PREJUDICE MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW AND THE NYS EDUCATION REGULATION. NO PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER ANY ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED IN ANY MANNER, THE LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND DATE OF ALTERATION." AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE

DATE: 8/1/2023
PROJECT NO: 23-078
DRAWING BY: ARQ
CHECKED BY: JBH

DWG. NO.:

$$A = 400$$