

January 18, 2024

Chairperson and Members of the Planning Board
Village of Dobbs Ferry
112 Main Street
Dobbs Ferry, NY10522

Re: Residences at 11 Lyman Place
Proposed Lot Subdivision & Construction of two new single-family houses
Tax ID: 3.60-22-3 & 3.60-22-4
Building Permit Application #A2023-0338

Dear Chairperson and Members of the Planning Board:

As the architect for two new single-family houses at 11 Lyman Place Lots No.1 and No.2, engaged by the contract vendee for the property, 11 Lyman Place LLC, I submitting the following drawings for your review:

Surveys dated

Surveys showing Subdivision
Survey of Lot 1
Survey of Lot 2

Architectural Drawings, dated 1-12-24

S-3 Revised Neighborhood Plan & Streetscape
M-1 Revised Exterior Material & Color Scheme
M-2 3D Models of Lot 1 & Lot 2 Houses

Modular Company Drawings dated 1-18-24

1a to 2b Revised Exterior Elevations & Floor Plans of Lot #1 Residence
1a to 2b Revised Exterior Elevations & Floor Plans of Lot #2 Residence

In response to comments made by the Planning Board members at the meeting on January 4, 2024, surveys have been provided and drawings revised, as follows:

1. Please see surveys attached, one showing the subdivision of the lot, and individual surveys for Lot 1 and Lot 2, as requested by the Planning Board.
2. The neighborhood plan on Dwg. S-3 has been revised to show neighboring properties in scale, instead of a copy of the tax map, to show more accurately the size of surrounding properties in comparison to the proposed building lots.
3. The residences are shown in 3D on Dwg. M-2, showing a view of the houses as seen from the street, in response to a request from the Planning Board. The color and material scheme shown on M-1, has been updated to coordinate with the 3D models. We will also provide a 3D view of the residences in the context of the neighborhood, which will be presented at the next Planning Board meeting.

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Hastings-on-Hudson
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914.478.0799

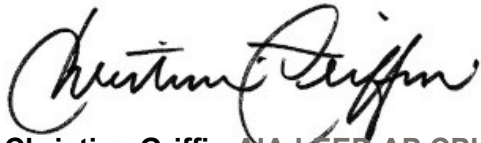
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4. The floor plans and elevations for both Lot 1 and Lot 2 residences, see Modular Company Drawings attached, have been fine-tuned to show a greater level of detail, to assist with the comparison of the two houses. The residence at Lot 2 residence has been designed as cottage-style house with hipped roofs and heavy piers and tapered columns at the porch. The features that vary from the residence at Lot 1 are as follows: height, roof configuration and slope, front door, garage door, porch columns, muntin patterns, railing style, siding and roofing materials, porch roof shape and material, and color scheme. These changes were made to give each house its own unique character, consistent with the pattern of a variety of styles of houses on the street.

I look forward to presenting these drawings at the Planning Board meeting on the February 1, 2024. Thank you for your time and consideration to review our proposal.

Sincerely,



Christina Griffin AIA LEED AP CPHC
Principal
CGA Studio Architects