



MEMORANDUM

TO: Stephen Hunter, Chair and Members of the Village of Dobbs Ferry Planning Board

FROM: Valerie Monastra, AICP
Sam Justiniano, Planning Analyst

CC: Dan Roemer, Building Inspector
Anthony Oliveri, P.E., Village Engineer
Dan Pozin, Village Attorney

DATE: March 1, 2024

RE: Greenburgh Hebrew Center

Greenburgh Hebrew Center (the “Applicant” and “Owner”) is seeking Site Plan approval construct a new playground and complete various improvements to the existing parking lot and associated driveways and sidewalks on the lot. The property is located at 515 Broadway, Section Block and Lot 3.40-4-11 (“Project Site”) and is located in the OF-1, One Family Residential 1, zoning district.

GENERAL AND PROCEDURAL COMMENTS

1. **Ownership.** We note the driveway along the northern portion of the side extends over the property line. Will there be improvements, such as resealing the driveways? If so, we question whether the owner of the neighboring property should also be on the application.
2. **SEQR.** This application is categorized as a Type II action under SEQR because it consists of the “maintenance or repair involving no substantial changes in an existing structure or facility.” No additional SEQR review is necessary.
3. **Site Plan Approval.** This application requires Site Plan approval by the Planning Board per Section 300-52 of the Zoning chapter. A public hearing will be required for Site Plan approval.
4. **County Board Referral.** This project requires a notification to the Westchester County Planning Board per section 239 L, M, and N of the New York State General Municipal Law because the project is within 500 feet of NYS Route 9.
5. **Agency Permits.** The Applicant is proposing to work in the NYS DOT Route 9 Right-of-Way. A permit may be needed.

6. **Zoning.** The Applicant provided a zoning table for the OF-1 district. We note the following:

- a. The use of the house of worship is an existing nonconforming use. A similar application was seen before the Planning Board in 1992, at which point the Board waived site plan review allowing for a proposed playground area. The Board at that point had clarified that the playground was solely for the use of the Greenburgh Hebrew Center. It appears that the applicant did complete the work associated with the previous proposal. See GoogleEarth snip below.



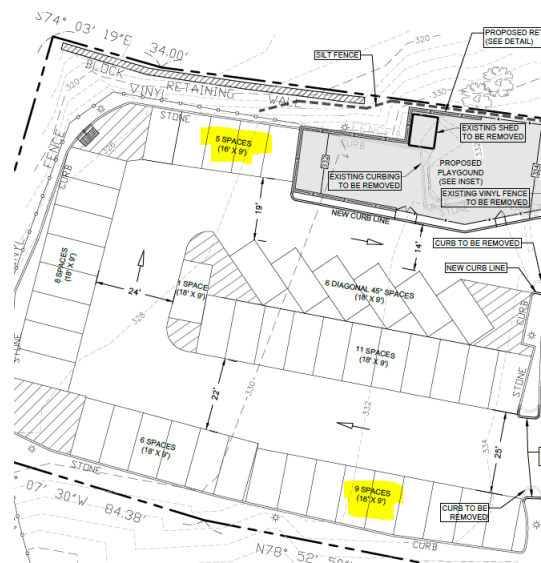
We note §300-47D(1) of the code states “nonconformities must be maintained to be safe and in good repair. Incidental repairs and normal maintenance necessary to keep a nonconformity in sound condition are permitted, consistent with all permit or approval requirements of this chapter.” We believe the proposed project is not an alteration or expansion but rather needed maintenance for the project site and is therefore allowed under the code.

- b. Building coverage. The permitted amount of building coverage is 15%, however the existing building presents 27% coverage. We note the Applicant is proposing the removal of an existing shed. Was this structure included as part of the building coverage calculation? If so, the change should be shown.
 - c. Impervious coverage. The OF-1 zoning district permits a maximum of 30% impervious coverage, however the lot presents 74% coverage. The Applicant has indicated a slight decrease in the impervious coverage. We are unsure of how this is possible given the increase in coverage presented by the playground area. We also note the Board should consider asking the applicant to implement the use of pervious pavers on the site, as the applicant is proposing to replace/create sidewalk along the southern portion of the side. This may reduce the overall impervious coverage and make it more conforming.
7. **Architectural and Historic Review Board.** This application will require Architectural and Historic Review Board approval.

8. **Local Waterfront Revitalization Consistency.** The Planning Board will need to make a consistency determination with the Village's LWRP per §300-52 (D) as part of its final Site Plan approval. The Applicant has provided a Coastal Consistency Form.

SITE PLAN COMMENTS

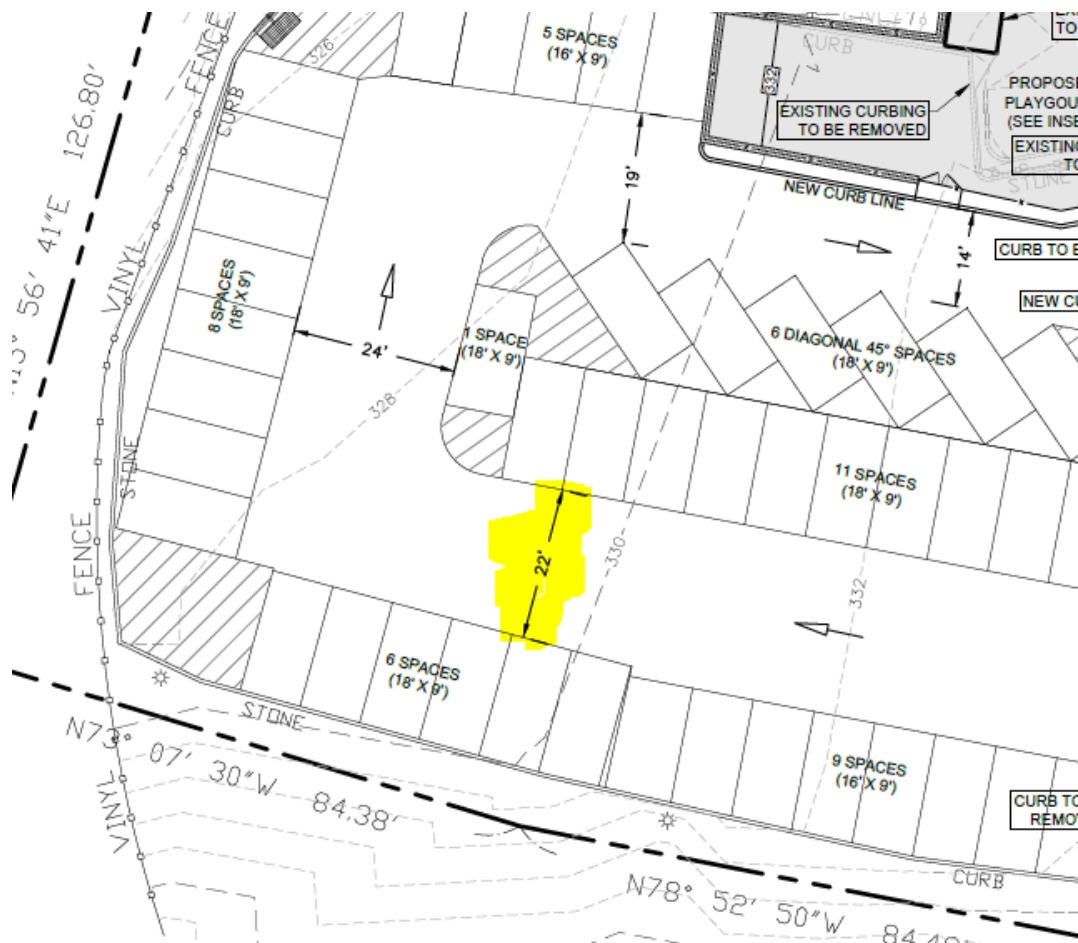
1. **Site Plan.** It appears that the site plan base is from a survey however there has been no survey submitted. Given the location of the northern driveway extending onto the adjoining property, we believe a proper survey should be provided. We also note that Applicant should indicate the location of existing buildings on adjoining properties.
2. **Parking Area Design.** In accordance with § 300-48D of the Village Zoning Code, the following requirements must be met. It appears the application does not meet some of the requirements and it appears that the proposed striping will be different than what is existing on-site. Below we have outlined the requirements and indicated what we believe not be compliant with this section.
 - *Location. Off-street parking spaces must be located on the same lot as the use served except as allowed in Subsection H, Alternative parking requirements, below. Where practicable, parking should be located behind the front facade of the principal building on a lot. **We note the applicant has existing spots on the front portion of the project site.***
 - *Parking dimensions. Each off-street parking space for nonresidential use shall measure a minimum of nine feet in width by 18 feet in length. Each off-street parking space for residential use shall measure a minimum of eight feet six inches in width by 18 feet in length. Accessible parking spaces shall meet standards of the Americans with Disabilities Act. **The applicant appears to be proposing 14 noncompliant spaces. See the highlighted spots below.***



- *Parking aisles. The width of all aisles providing direct access to individual parking stalls shall be in accordance with the requirements specified below, with varying aisle widths based on the angle of the parking stalls and the direction of traffic on the aisles.*

Parking Angle (degrees)	One-Way Aisle Width (feet)	Two-Way Aisle Width (feet)
90°	24	24
60°	18	22
45°	13	20
30°	12	20
0° (parallel)	12	20

The western portion of the southern aisle does not appear to be compliant with this requirement. See the highlighted location below.



3. **Lighting.** Is exterior lighting proposed for the site? If so, the Applicant should provide a lighting plan, and all proposed lighting must comply with §300-41 of the Zoning chapter.

4. **Trees.** It appears that there will be tree removal required for the project. Please confirm that tree removal is required and submit a planting plan that meets §300-51(i), Tree Valuation, by providing the total aggregate diameter of trees proposed for removal and the total aggregate diameter of trees proposed to be planted.
5. **Fence.** As part of the AHRB review, the applicant should provide materials/samples for the proposed fencing. We note during the 1992 review, the Board stated the fence would be a five-foot high dark brown, black, or forest green chain link fence. This appears to currently be in place.
6. **Stormwater Management Plan.** The Applicant has not yet provided a Stormwater Management Plan. Once provided, the Village Engineer will review the plan and comment on this information.
7. **Erosion and Sediment Control.** The Applicant has provided soil erosion and sediment control notes. We defer to the Village Engineer to review and provide comments on this information.

SUBMISSION MATERIALS

The following materials were submitted by the Applicant and examined by our office for the preparation of this review:

- AHRB Application dated February 1, 2024
- Land Use Approval Application, dated February 1, 2024
- Short Environmental Assessment Form, Part 1 by James Annicchiarico, dated January 23, 2024
- LWRP Consistency Review Coastal Assessment Form, by Ken Widman, dated January 23, 2024
- Site Plan Set, 3 sheets, by Cronin Engineering,, dated October 5, 2023, last revised January 22, 2024 including:
 - SP-1.1 Existing Conditions
 - SP-2.1 Proposed Conditions
 - DT-3.1 Construction Details