

LOCATION PLAN



SITE

RENOVATION OF THE  
TMKT REALTY BARN  
83 MAIN STREET  
DOBBS FERRY, NEW YORK 10522

PROPERTY OF:  
TMKT REALTY  
42 LANDING DRIVE  
DOBBS FERRY, NEW YORK 10522

ARCHITECT:  
STEPHEN TILLY, ARCHITECT  
22 Elm Street  
Dobbs Ferry, New York 10522  
email: office@stillyarchitect.com  
tel. (914) 693 - 8898 fax (914) 693 - 4235

LIST OF DRAWINGS

NUMBER	TITLE	DATE	ISSUED
T-100	TITLE SHEET	JULY 1, 2023	NOV. 20, 2023
	TOPOGRAPHICAL SURVEY	MARCH 11, 2021	
A-100R	PLANS & SECTIONS	JULY 1, 2023	NOV. 20, 2023
A-200R	ELEVATIONS	JULY 1, 2023	NOV. 20, 2023
S-1	FOUNDATION PLAN, DETAILS, NOTES	OCT. 20, 2017	
S-2	ROOF FRAMING PLAN, DETAILS, NOTES	APRIL 28, 2021	rev. 11/20/2023

FOR DEMOLITION SEE SHEET D-100 AS SUBMITTED AND APPROVED IN PHASE I FOR THE STABILIZATION OF THE TMKT REALTY BARN PER BUILDING PERMIT BP2023-0232, ISSUED 10/07/2023

Climatic and Geographic Design Criteria

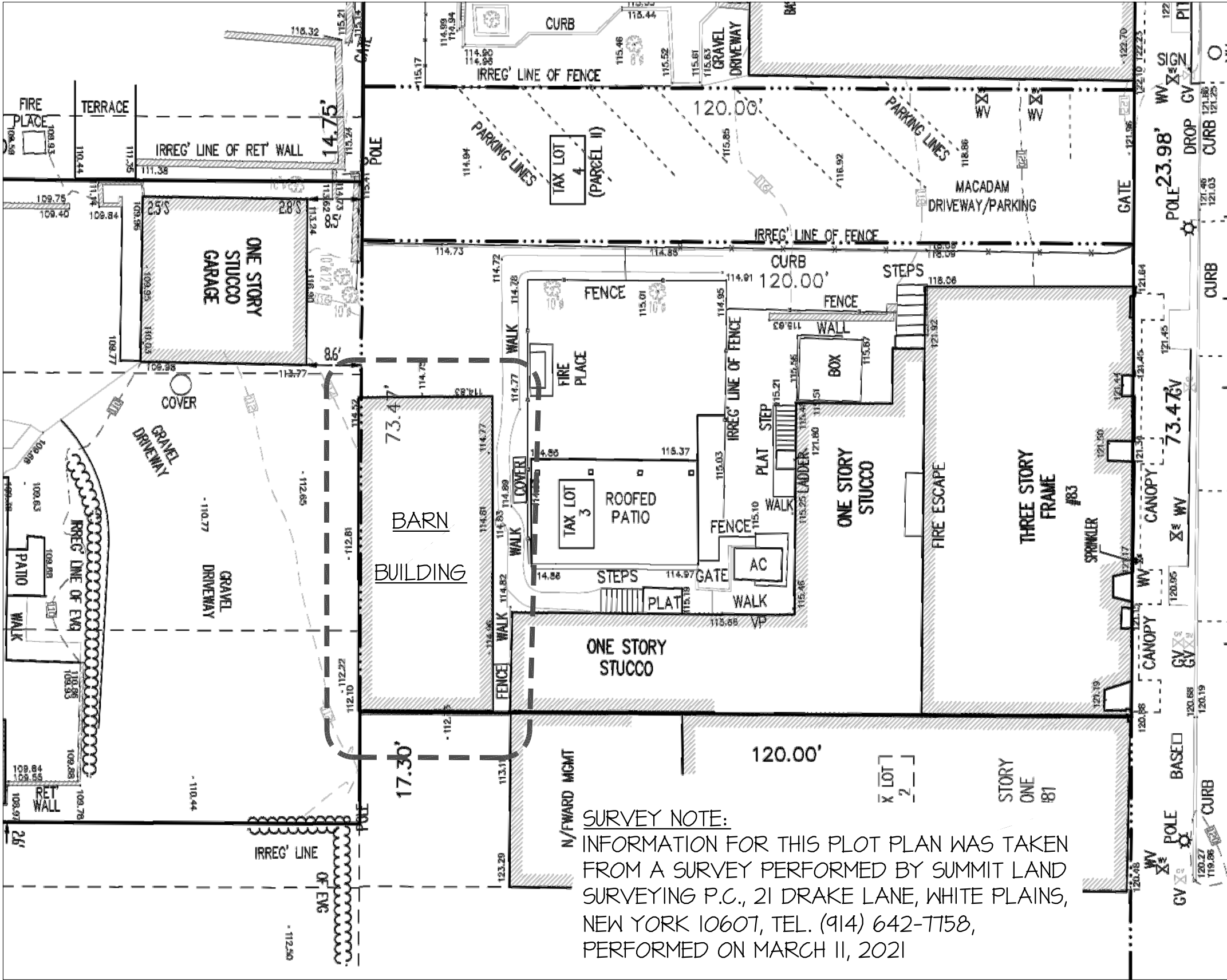
GROUND SNOW LOAD	WIND DESIGN			SEISMIC DESIGN CAT.	SUBJECT TO DAMAGE FROM		WINTER DESIGN TEMP	ICE BARRIER UNDERLAY REQUIRED	FLOOD HAZARDS	AIR FREEZ. INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPO. EFF.	SPEC. WIND REGION		HEATH.	TERMITES					
30 lbs/ sf.	30 mph	NO	SPECIAL WIND REGION	C	SEV.	42" MOD. TO HEAVY.	7	YES	N	1500 OR LESS	51.6 F

Insulation / Fenestration

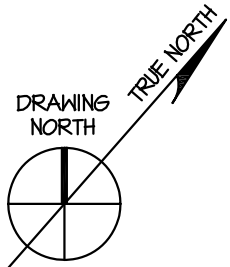
CLIMATE ZONE	FENESTR. U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENEST. SHGC	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE	SLAB R-VALUE / DEPTH	GRAVEL SPACE WALL R-VALUE
4A	0.32	0.55	0.40	44	20 OR 13 + 5ci	8 / 13	19	10 / 13	10 / 13

LIST OF ABBREVIATIONS

A/C	AIR CONDITIONING	MIN	MINIMUM
ADJ	ADJUSTABLE	MISC	MISCELLANEOUS
AF	ABOVE FINISHED FLOOR	MO	MASONRY OPENING
ARCH	ARCHITECTURAL/ARCHITECT	NIC	NOT IN CONTRACT
BD	BOARD	NTS	NOT TO SCALE
BLDG	BUILDING	OPNG	OPENING
BTM	BOTTOM	PL	PROPERTY LINE
CLG	CEILING	PSP	POUNDS PER SQUARE FOOT
CLG HT	CEILING HEIGHT	PSI	POUNDS PER SQUARE INCH
CMU	CONCRETE MASONRY UNIT	PTD	PAINTED
COL	COLUMN	QTY	QUANTITY
CONC	CONCRETE	REINF	REINFORCED
CONT	CONTINUOUS	REQD	REQUIRED
CTR	CENTER	RM	ROOM
DN	DOWN	RO	ROUGH OPENING
DWG	DRAWING	SIM	SIMILAR
ELEV	ELEVATION	SPECS	SPECIFICATIONS
EQ	EQUAL	SQ FT	SQUARE FOOT/FEET
EQUIP	EQUIPMENT	ST	STREET
EXIST	EXISTING	STL	STEEL
EXT	EXTERIOR	STRUCT	STRUCTURAL
FLR	FLOOR	SUB FLR	SUB FLOOR
FT	FOOT/FEET	T&G	TONGUE AND GROOVE
FTG	FOOTING	TYP	TYPICAL
GA	GAGE	VENT	VENT/VENTILATION
GALV	GALVANIZED	VERT	VERTICAL
GC	GENERAL CONTRACTOR	VIF	VERIFY IN FIELD
GYP BD	GYPSON WALL BOARD	VOL	VOLUME
HORIZ	HORIZONTAL	W	WITH
HVAC	HEATING VENTILATING & A/C	W/O	WITHOUT
INSUL	INSULATION	WD	WOOD
INT	INTERIOR	WWF	WELDED WIRE FABRIC



PLOT PLAN  
SCALE: N.T.S.



ZONING ANALYSIS

Owner	Kevin Hartnett	Survey by:	Summit Land Surveying P.C.
Building Address	83 Main Street Dobbs Ferry, NY 10522		21 Drake Lane White Plains, NY 10607 Ph: 914.462.7758 11-Mar-21 Dobbs Ferry
		Survey Date:	
		Municipality:	
Zoning District	DB (TBC)		
Presently Conforming	Section 3.80.	Block 40	Lot 3
Parcel ID:	3.80-40-3		

	Required	Existing	Proposed
<b>Main Building</b>			
Use			no change
Occupancy			no change
Construction Type			no change
<b>Barn Building</b>			
Use	Permitted: mixed use	storage	mixed use
	Permitted: retail sales & service	storage	retail
	Permitted: office	storage	office
	Special Permit: one family	storage	one family
Occupancy	Permitted: R, S, B	S-2	R-3, B
Construction Type	Type V	Type V	no change

<b>Minimum Lot Size</b>			
Width	NA	73.47 ft.	no change
Depth	NA	120 ft.	no change
Frontage	NA	73.47 ft.	no change
Area	NA	8816 sf	no change

<b>Maximum Lot Coverage</b>			
Main Building	NA	44.2% (3896 sf.)	no change
Barn	NA	11.4% (1005 sf.)	no change
TOTAL COVERAGE	80% (7053 sf.)	no change	no change
Total Impervious Surfaces	100%	NA	no change

<b>Main Building Setbacks</b>			
Front	0 ft.	0 ft.	no change
Side (Minimum)	0 ft.	0/6.6 ft.	no change
Side (Total)	0 ft.	6.6 ft.	no change
Rear	10 feet from adjacent residential zone	ca.25 ft.	no change

<b>Main Building</b>			
Footprint	NA	3896 sf.	no change
Total Floor Area	NA	(x 3.5=) 13636 sf.	no change
Minimum Residential Unit Size	600 sf.	> 600 sf.	no change
Number of Residential Units	na	4	no change
Maximum Height	40 ft.	< 40 ft.	no change
Number of Stories	3	3	no change

<b>Barn Setbacks</b>			
Front	0 ft.	99.5 ft.	no change
Side	0 ft.	0/ca.24 ft.	no change
Rear	10 feet from adjacent residential zone	0 ft.	variance required for new use

<b>Barn</b>			
Footprint	NA	1005 sf.	no change
Total Floor Area	NA	2010 sf.	no change
Number of Bedrooms	NA	0	no change
Number of Bathrooms	NA	1	no change
Maximum Height	40 ft.	22.3 ft.	no change
Number of Stories	3	1 1/2	no change

Residential and Existing  
Building Code Compliance

I DO HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS CONTAINED HEREWITHIN, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE

Stephen R. Tilly, Architect

11/20/2023

DATE

Energy Code Certification

I DO HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS CONTAINED HEREWITHIN, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT COMPLY WITH THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE,

Stephen R. Tilly, Architect

11/20/2023

DATE

STEPHEN TILLY,  
Architect

22 Elm Street  
Dobbs Ferry, New York 10522  
Tel: (914) 693-8898 Fax: 693-4235  
E-mail: office@stillyarchitect.com

STRUCTURAL ENGINEER  
BSES  
40 Stacey Farm Rd.  
Southampton, CT 06489  
TEL: (860) 620-1777 Fax: (860) 628-9219

No. Date Issued For

Revisions:

Nov. 20, 2023 Issued for Building Permit

Date Issued For

Submissions:

Project: TMKT REALTY BARN  
- RESTORATION  
83 Main St  
Dobbs Ferry, NY 10522

Date: July 1, 2023

Title: TITLE SHEET

Scale: As noted

Drawn by: ah



TITLE SHEET

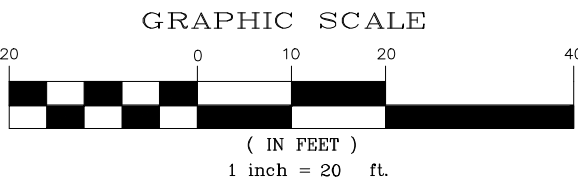
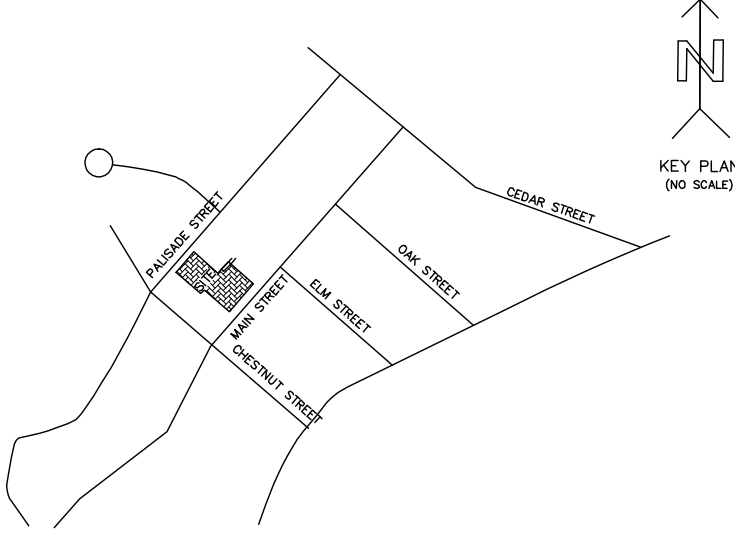
T-100



NOTE:

1. ELEVATIONS SHOWN HEREON ARE IN NAVD 1988 VERTICAL DATUM.
2. THE INFORMATION GIVEN ON THIS SURVEY PERTAINING TO UTILITIES AND OR SUBSTRUCTURES IS NOT CERTIFIED FOR ACCURACY OR COMPLETENESS.
3. SEWER MANHOLE RIM AND INVERT ELEVATIONS SHOWN HEREON WERE OBTAINED FROM FIELD MEASUREMENTS.
4. WATER, ELECTRIC AND GAS LINES SHOWN HEREON ARE TAKEN FROM FIELD MARKING AND MUST BE VERIFIED BEFORE ANY DESIGN.
5. CONSULT THE APPROPRIATE UTILITY COMPANY PRIOR TO DESIGNING IMPROVEMENTS.
6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.

CALL BEFORE YOU DIG:  
PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION CALL 1800-272-4480.



SCALE: 1"=20.0'  
Measurement in U.S. Standard.

DATE: MARCH 11, 2021.

JOB NUMBER  
WCDF3-80-B40-48(TOPO)

TOPOGRAPHICAL SURVEY OF  
TAX LOT 3, 4, 5 AND 48 IN BLOCK 40, SECTION 3.80  
THE OFFICIAL TAX MAPS OF  
VILLAGE OF DOBBS FERRY  
LOCATED AT  
VILLAGE OF DOBBS FERRY  
TOWN OF GREENBURGH  
WESTCHESTER COUNTY STATE OF NEW YORK.

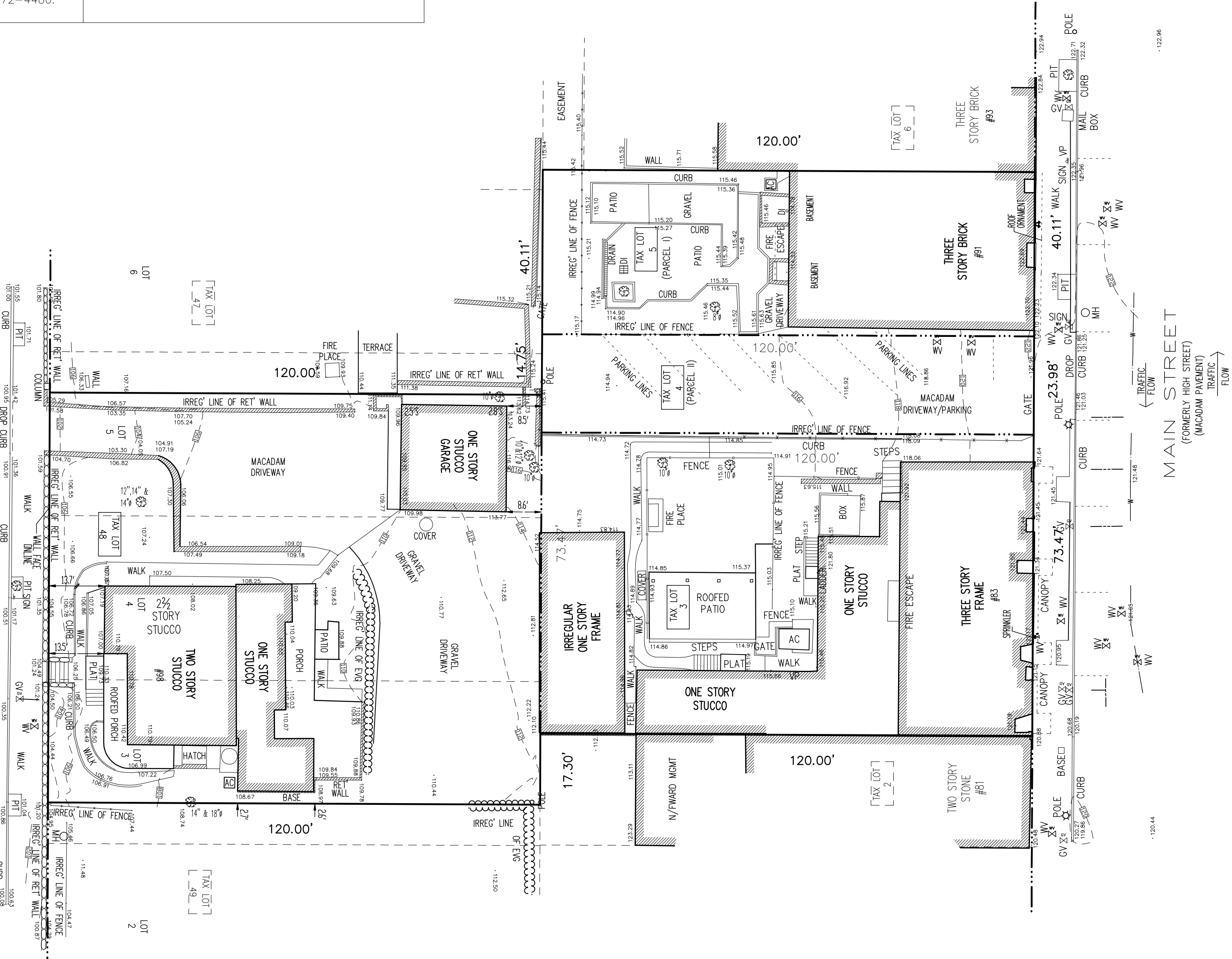
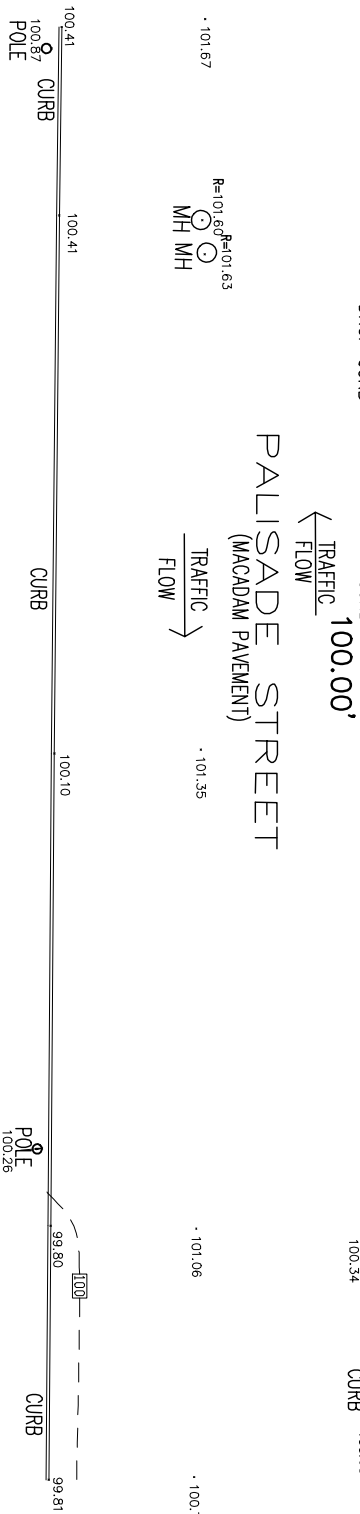
COPYRIGHT ©2021 SUMMIT LAND SURVEYING P.C.

Summit Land Surveying P.C.  
21 Drake Lane  
White Plains NY 10607.  
Tel. 9146297758

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.

Rakesh R. Behal, L.S. New York State License Number 050666.

- LEGEND:
- DROP CURB
  - ⊙ LIGHT
  - ⊙ LIGHT POLE
  - ⊙ TRAFFIC SIGN
  - ⊙ TREE(14" SIZE)
  - ⊙ UTILITY POLE
  - ⊙ HYDRANT
  - ⊙ WATER VALVE
  - ⊙ GAS VALVE
  - ⊙ DRAINAGE INLET
  - ⊙ CATCH BASIN
  - ⊙ SEWER MANHOLE
  - ⊙ ELECTRIC MANHOLE
  - ⊙ WATER MANHOLE
  - W — W-WATER MAIN
  - S — SEWER LINE
  - E — ELECTRIC LINE
  - G — GAS LINE
  - — OVER HEAD WIRES
  - — CHAIN LINK FENCE
  - TC — TOP OF CURB
  - BC — BOTTOM OF CURB
  - TW — TOP OF WALL
  - BW — BOTTOM OF WALL
  - L.G. — LEGAL GRADE
  - C — CABLE LINE



TOTAL AREA = TAX LOT 48 ±12,000 Sq Ft OR ±0.28Ac.

TOTAL AREA = TAX LOT 5 ±4,813 Sq Ft OR ±0.11 Ac.

TOTAL AREA = TAX LOT 4 ±2,878 Sq Ft OR ±0.07Ac.

TOTAL AREA = TAX LOT 3 ± 8,816 Sq Ft OR ±0.20Ac.

REVISIONS			
NO.	DATE	DESC.	BY

BELOW SURFACE ENCROACHMENTS ARE NOT SHOWN. THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN HEREON, ARE NOT CERTIFIED.

A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED, A DEED OF THE SUBJECT PROPERTY WAS NOT PROVIDED.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS VIOLATION OF 7209, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED SEAL OR EMBOSSED SEAL NOT BE CONSIDERED TO BE A TRUE AND VALID COPY.

Certifications indicated are limited only to the person for whom this survey was prepared and on his or her behalf to the title company, governmental agency and lending institution for the title number listed hereon. The certifications are not transferable.

(NOT FOR TITLE TRANSFER)





No. Date Issued For  
Revisions:

Nov. 20, 2023 Issued for Building Permit  
Date Issued For  
Submissions:

Project: TMKT REALTY BARN  
- RESTORATION  
83 Main St  
Dobbs Ferry, NY 10522

Date: July 1, 2023  
Title: PROPOSED ELEVATIONS

Scale: As noted  
Drawn by: ah

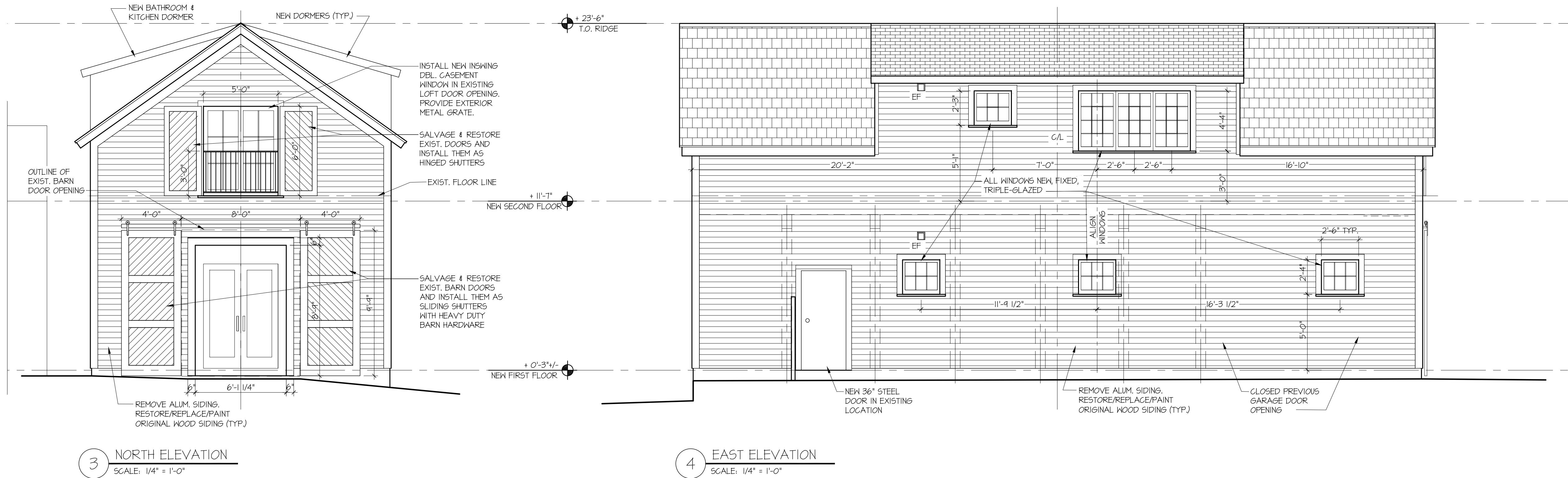
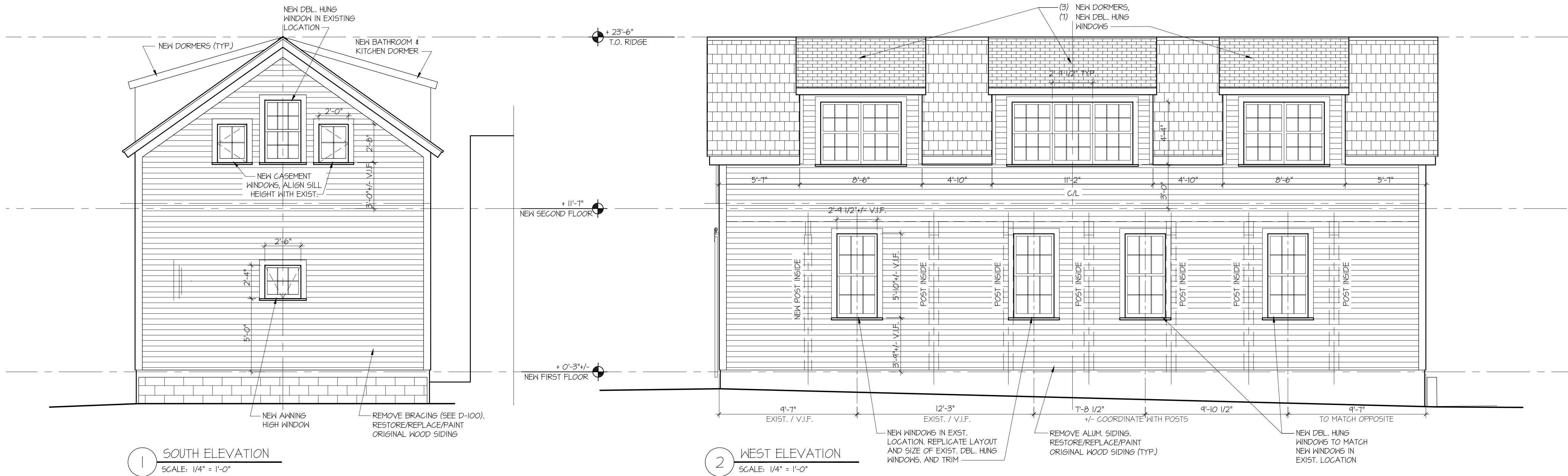


ELEVATIONS

A-200R

GENERAL NOTES:

- ALL DIMENSIONS TO NEW ROUGH FRAMING OR TO FINISHED SURFACE OF EXISTING BUILDING UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS OR VERIFY WITH ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUT CONSTRUCTIONS, AND EXISTING CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK. A PLUS / MINUS (+/-) INDICATES DIMENSIONS WHICH MAY VARY.





GENERAL NOTES:

1.) THE FOLLOWING REQUIREMENTS ALONG WITH THE DRAWINGS AND PROJECT SPECIFICATIONS SHALL BE COORDINATED AND SHALL APPLY TO THIS STRUCTURE AND OTHER REQUIRED ASSOCIATED WORK.

2.) ALL WORK, TESTING, MATERIALS, ETC. SHALL BE IN ACCORDANCE WITH THE "BUILDING CODE OF NEW YORK STATE 2013" AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.

3.) IF ANY FIELD CONDITIONS PRECLUDE COMPLIANCE WITH THE DRAWINGS AND/OR CONDITIONS SPECIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER AND SHALL NOT PROCEED WITH ANY WORK THAT WOULD BE AFFECTED UNTIL FORMALLY DIRECTED BY THE ARCHITECT/ENGINEER ON HOW TO PROCEED.

4.) THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO THE FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/ENGINEER.

5.) ALL SHOP DRAWINGS FOR STRUCTURAL STEEL INDICATING THE FABRICATOR, MANUFACTURER, FINISH, LAYOUT, AND ALL ACCESSORIES MUST BE SUBMITTED TO AND BE CHECKED BY THE CONTRACTOR AND BEAR THE CHECKERS INITIALS BEFORE SUBMISSION TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION. SEE SPECIFICATIONS FOR SHOP DRAWING SUBMITTAL ADDITIONAL REQUIREMENTS.

6.) INCORRECTLY FABRICATED, DAMAGED OR OTHERWISE MISALIGNED OR NON-CONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. IF FAULTY CONSTRUCTION PROCEDURES OR MATERIALS RESULT IN DEFECTIVE WORK THAT REQUIRES ADDITIONAL ENGINEERING TIME TO DEVISE CORRECTIVE MEASURES, PROFESSIONAL FEES MAY BE CHARGED TO THE CONTRACTOR AT THE STANDARD HOURLY RATE OF ADDITIONAL SERVICES. SUCH FEES MAY BE WITHHELD FROM THE GENERAL CONTRACTOR'S PAYMENT.

7.) THE STRUCTURAL DRAWINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL, M/E/P DRAWINGS (INCLUDING ALL CONTRACT SHOP DRAWINGS) AND EQUIPMENT MANUFACTURERS TO ENSURE THAT OPENINGS, ANCHORS, INSERTS, SLEEVES, ATTACHMENTS, ETC. ARE PROVIDED AS REQUIRED. SOME OF THE DETAILS OF THE WORK ARE SHOWN ON THESE DRAWINGS AND SHOULD BE CAREFULLY REVIEWED BY THE CONTRACTOR TO FULLY COMPREHEND THE FULL SCOPE OF WORK.

8.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND COORDINATING ALL DIMENSIONS WITH THE ARCHITECTURAL AND M/E/P DRAWINGS. IN CASE OF CONFLICT, THE CONTRACTOR SHALL IMMEDIATELY REQUEST A CLARIFICATION FROM THE ARCHITECT.

9.) THE CONTRACTOR SHALL MAKE NO DEVIATION FROM THE DESIGN DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT.

10.) IN CASE OF CONFLICT BETWEEN NOTES, DETAILS AND SPECIFICATIONS, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN.

FOUNDATION AND EXCAVATION:

1.) DESIGN PRESUMPTIVE SOIL BEARING PRESSURE = 3,000 PSF. ALL NEW FOOTINGS SHALL BEAR ON UNDISTURBED SOIL.

2.) THE BOTTOM OF ALL EXCAVATIONS SHALL BE INSPECTED BY LOCAL BUILDING OFFICIAL.

3.) ALL WATER AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE BOTTOM OF THE EXCAVATION BEFORE PLACING CONCRETE.

4.) FOOTINGS NOT FOUNDED UNDISTURBED VIRGIN SOIL SHALL BE PLACED ON COMPACTED GRANULAR FILL.

5.) ALL EXISTING CONDITIONS DEPICTED ON THE DRAWINGS ARE BASED ON LIMITED FIELD OBSERVATIONS. ANY UNUSUAL CONDITIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.

6.) CRUSHED STONE SHALL BE OF UNIFORM SIZE LISTED AND BE CRUSHED FROM BASALT OR QUARTZ ROCK. FILTER FABRIC SHALL BE PLACED BETWEEN THREE QUARTER INCH CRUSHED STONE AND EXISTING SOIL. THREE EIGHTS INCH CRUSHED STONE CAN BE PLACED AGAINST EXISTING SOIL WITHOUT FILTER FABRIC. CRUSH STONE LAYERS SHALL BE PLACED IN MAXIMUM OF 18" LIFTS BEFORE COMPACTION. TESTING IS NOT REQUIRED FOR CRUSHED STONE COMPACTION.

7.) THE COMPACTION EFFORT FOR CRUSHED STONE LAYERS OF UNIFORM SIZE SHALL BE WITH 6 PASSES OF A VIBRATORY PLATE COMPACTOR HAVING A MINIMUM DYNAMIC FORCE OF 1,000 POUNDS, OR EQUIVALENT. IN TIGHT SPACES ONLY, GENERALLY AT THE BASE OF EXCAVATION A "JUMPING JACK" TYPE COMPACTOR MAY BE USED.

CONCRETE MASONRY:

1.) ALL CONCRETE BLOCK SHALL BE NORMALWEIGHT HOLLOW LOAD BEARING MASONRY UNITS UNLESS OTHERWISE NOTED ON THE DRAWINGS CONFORMING TO ASTM C90, CLASSIFICATION D-2, WITH A MINIMUM MASONRY COMPRESSIVE STRENGTH OF 1,500 PSI ON THE NET AREA OF THE UNITS. MINIMUM COMPRESSIVE STRENGTH OF CMU - 1,900 PSI.

2.) ALL MORTAR SHALL BE TYPE M AND CONFORM TO ASTM C270.

3.) COARSE GROUT USED IN PILASTERS AND WALLS SHALL CONFORM TO ASTM C476. USE ONE PART PORTLAND CEMENT, THREE PARTS DRY LOOSE SAND, 15 PARTS PEA GRAVEL AND THE MINIMUM AMOUNT OF WATER TO PRODUCE A WORKABLE MIX.

4.) CEMENT USED IN MORTAR SHALL CONFORM TO ASTM C150.

5.) ALL REINFORCING BARS SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615, GRADE 60. JOINT (HORIZONTAL) REINFORCEMENT SHALL BE DUR-D-WALL TRUSS TYPE OR APPROVED EQUAL.

6.) MASONRY SHALL NOT BE CONSTRUCTED IN TEMPERATURES BELOW 40°F. PROVIDE A HEAT SOURCE AND PROTECTION AS REQUIRED TO MAINTAIN TEMPERATURE ABOVE 40°F.

7.) ALL CELLS WITH REINFORCING BARS OR BOLTS SHALL BE GROUTED SOLID.

8.) VERTICAL CELLS TO BE GROUTED SOLID SHALL HAVE A MINIMUM CLEAR OPENING OF 3"x2-1/2."

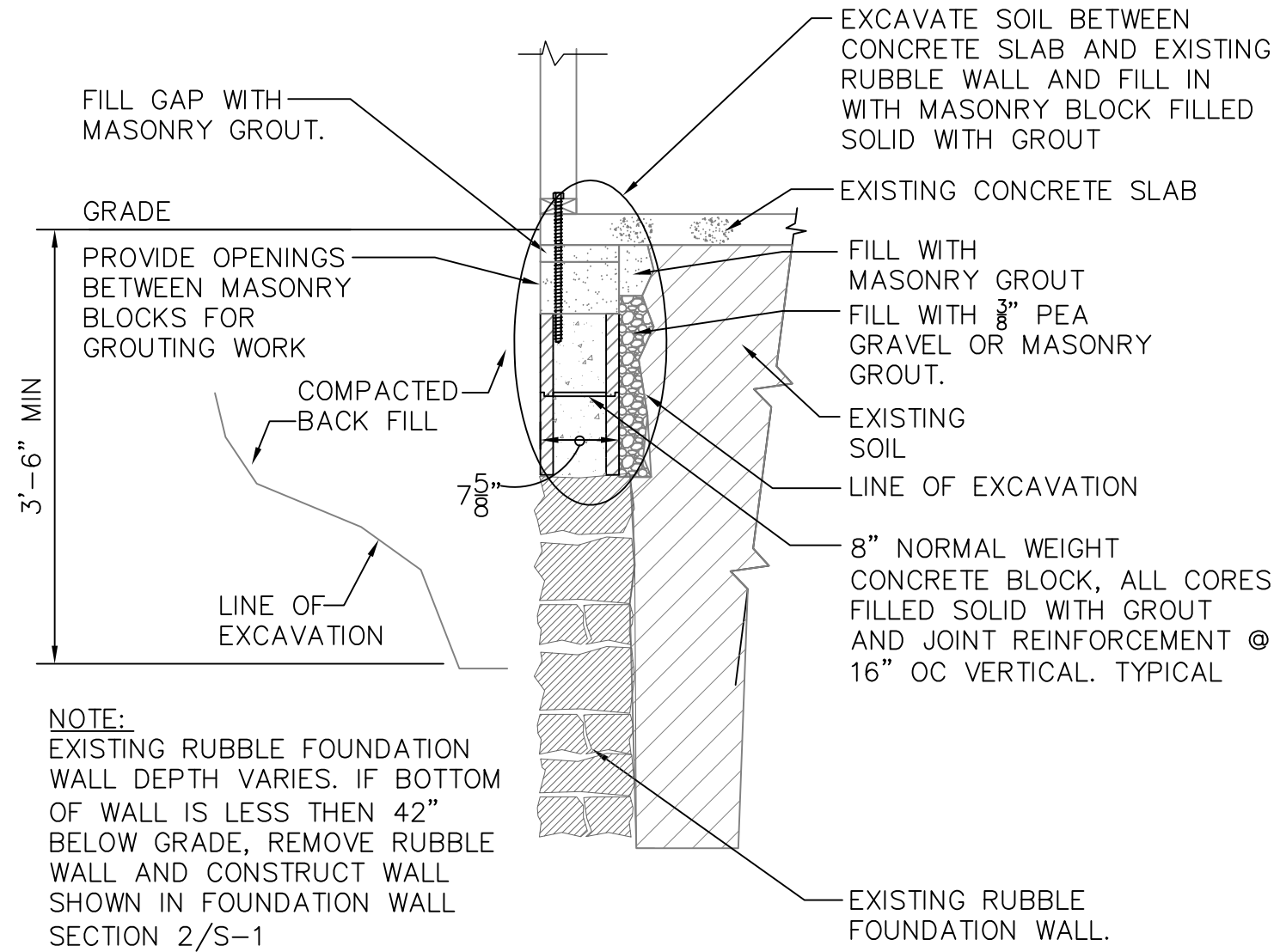
9.) HOLLOW UNITS SHALL BE LAID WITH FULL MORTAR COVERAGE ON THE HORIZONTAL AND VERTICAL FACE SHELLS EXCEPT THAT WEBS SHALL ALSO BE BEDDED WHERE THEY ARE ADJACENT TO CELLS TO BE REINFORCED AND/OR FILLED WITH GROUT, IN THE STARTING COURSE, ON FOOTINGS AND SOLID FOUNDATION WALLS, AND IN NON-REINFORCED GROUTED PIERS, PILASTERS AND COLUMNS. SOLID MASONRY UNITS SHALL BE LAID W/ FULL HEAD & BED JOINTS.

10.) CONSOLIDATE GROUT POURS EXCEEDING 12" IN HEIGHT BY MECHANICAL VIBRATION AND RECONSOLIDATE BY MECHANICAL VIBRATION AFTER INITIAL WATER LOSS AND SETTLEMENT HAS OCCURRED.

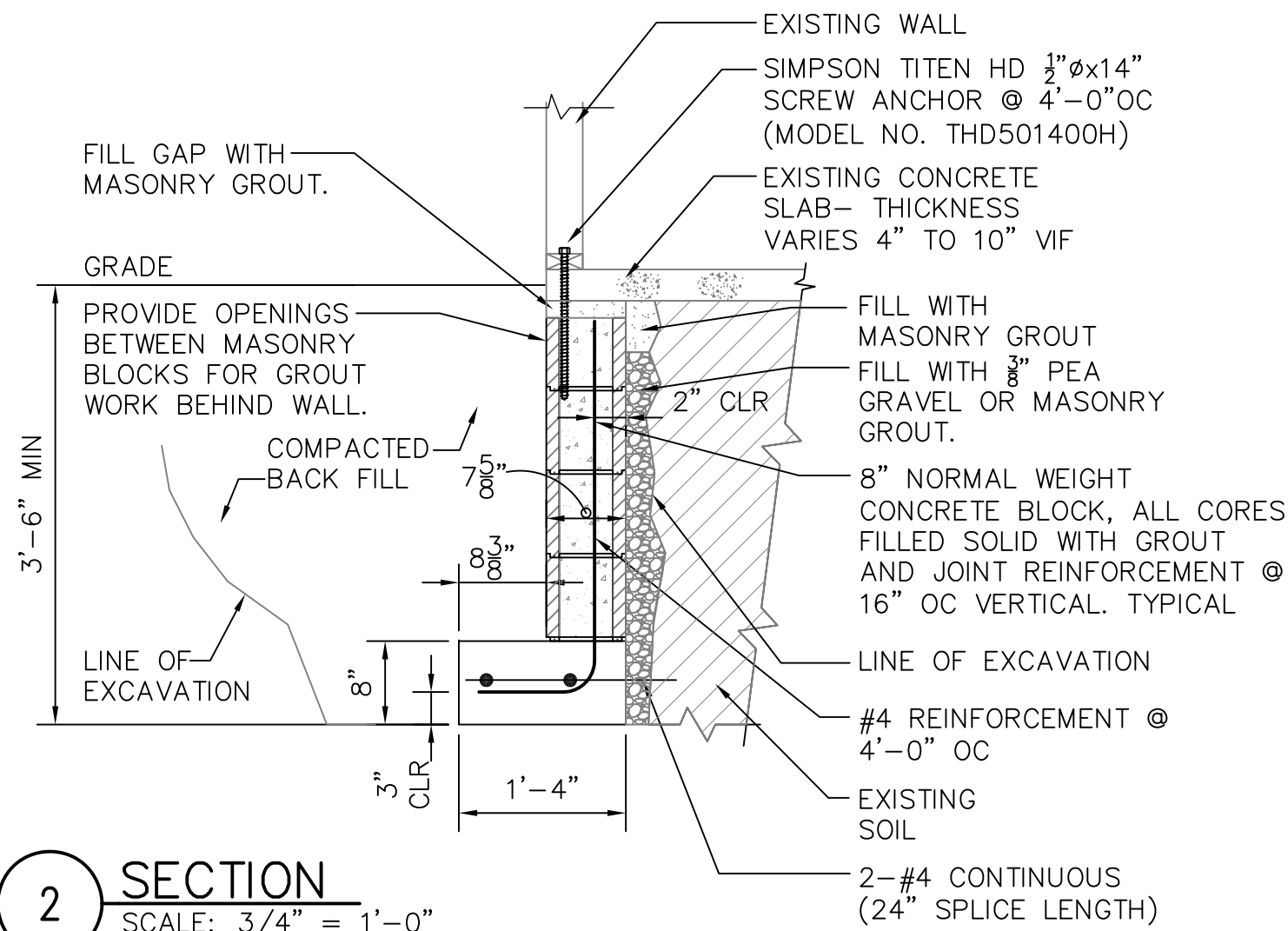
11.) ALL AUTHORIZED CUTTING AND FITTING OF MASONRY, INCLUDING THAT REQUIRED TO ACCOMMODATE THE WORK OF OTHER TRADES, SHALL BE DONE WITH MASONRY SAWS.

12.) M/E/P LINES SHALL NOT BE RUN IN ANY HORIZONTAL MASONRY WALL JOINTS, VERTICALLY IN ANY REINFORCED OR GROUTED MASONRY CELLS, NOR UNDER AND PARALLEL TO ANY LOAD BEARING CMU WALLS.

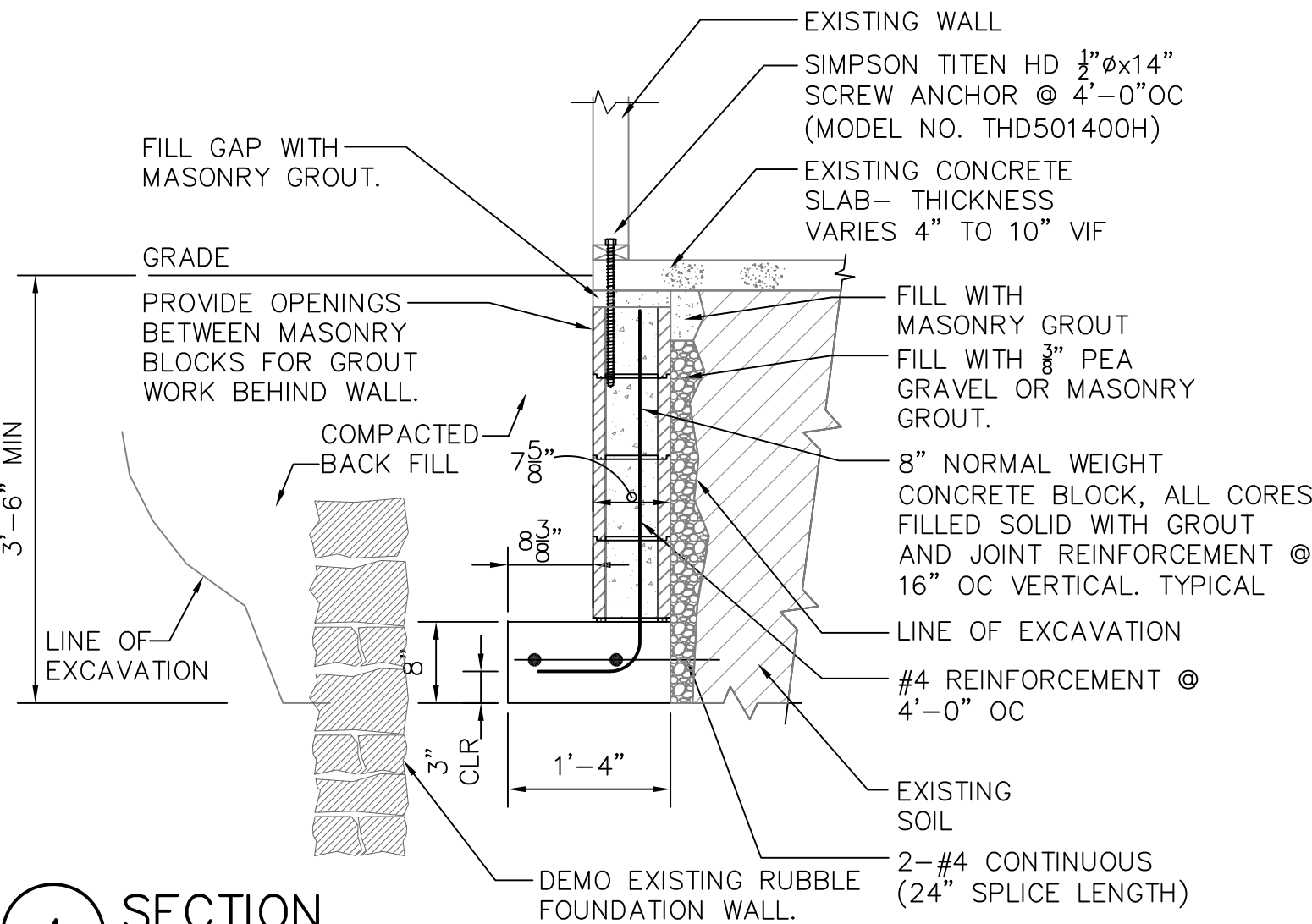
13.) ALL MASONRY WORK, MATERIALS, INSPECTIONS, TESTING, ETC. SHALL CONFORM WITH THE REQUIREMENTS OF THE BUILDING CODE OF NEW YORK STATE.



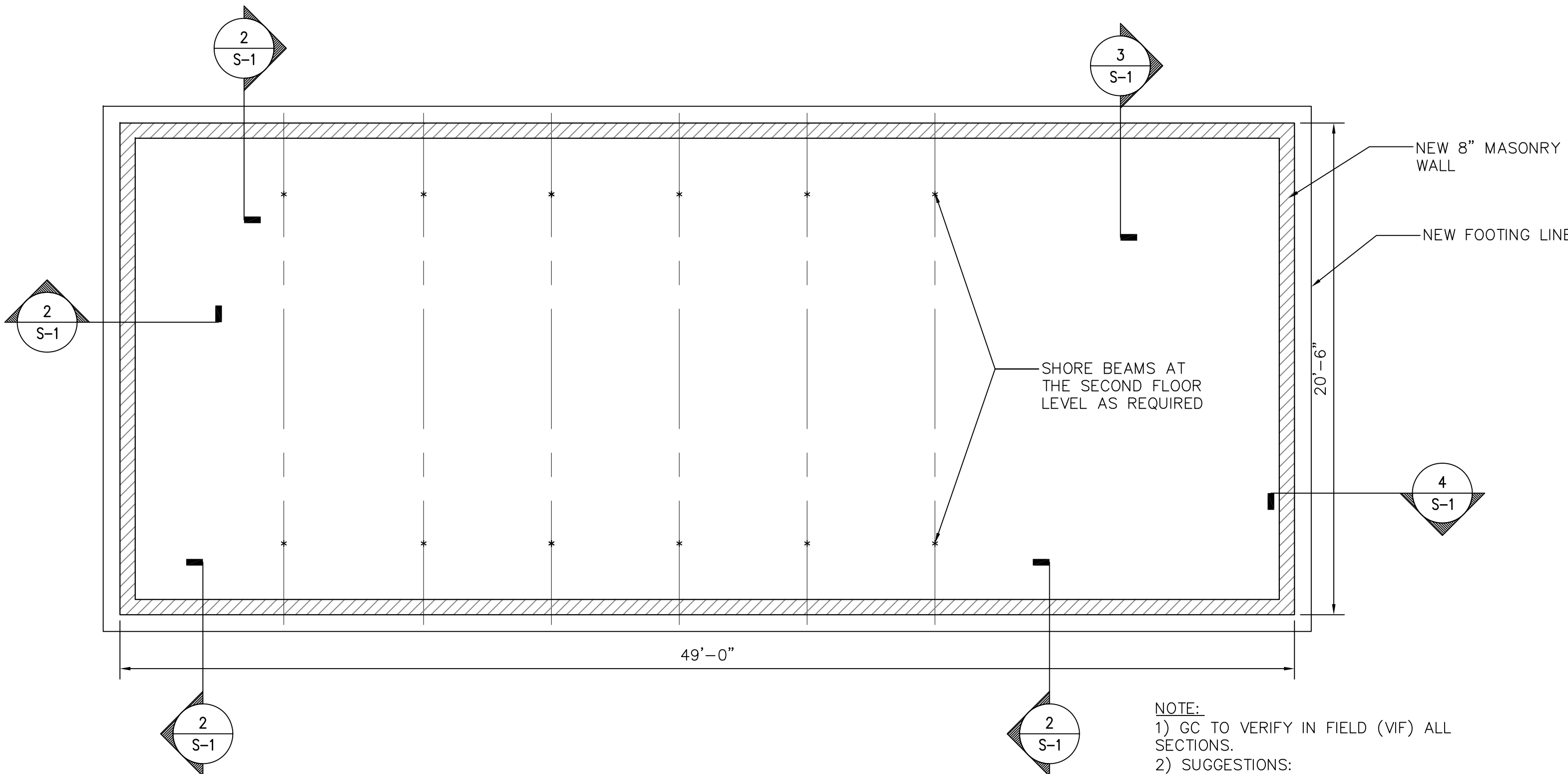
3 SECTION  
SCALE: 3/4" = 1'-0"



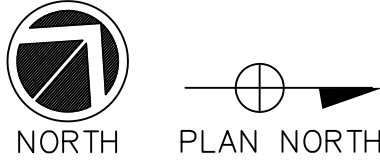
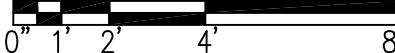
2 SECTION  
SCALE: 3/4" = 1'-0"



4 SECTION  
SCALE: 3/4" = 1'-0"



1 FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



NOTE:  
1) GC TO VERIFY IN FIELD (VIF) ALL SECTIONS.  
2) SUGGESTIONS:  
a) PHASE CONSTRUCTION IN 8' INTERVALS TO MAINTAIN SOIL STABILITY.  
b) SHORE INTERIOR BEAMS DURING FOUNDATION WALL CONSTRUCTION



Date Issue

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\_\_\_\_\_

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\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Project Title  
**HARTNETT DOUBLEDAY BARN**

83 MAIN STREET  
DOBBS FERRY, NY 10522

Drawing Title  
**FOUNDATION PLAN, SECTIONS, DETAILS AND GENERAL NOTES**

WARNING:  
It is a violation of Article 145, Section 7209.2 of the New York State Education Law for any person, unless acting under the direction of a licensed professional engineer, to alter in anyway plans, specifications or reports to which the seal of a professional engineer has been affixed. If on item bearing the seal of a professional engineer is altered, the altering engineer shall affix to the item his seal and the notation "altered by" followed by his signature, the date, and a specific description of the alteration.

Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work. No alterations shall be made in behalf of the contractor for any error or neglect on his part.

Scale  
**NOTED**

Project No. N0966  
Date 10/20/17  
Drawing By HFJ  
Checked By HFJ

Drawing No.  
**S-1**  
1 OF 1





Building Structural  
Engineering Services LLC

40 Stakey Farm Rd., Southington, CT 06489  
Tel 860-620-1777 Cell 860-919-0990  
bsenu@bsesllc.com



Date Issue

Project Title

HARTNETT  
DOUBLEDAY BARN

83 MAIN STREET  
DOBBS FERRY, NY 10522

Drawing Title

ROOF FRAMING PLAN, SECTIONS  
DETAILS AND GENERAL NOTES

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neglect on his part.

Scale

NOTED

Project No.

N1136

Date

4/29/21

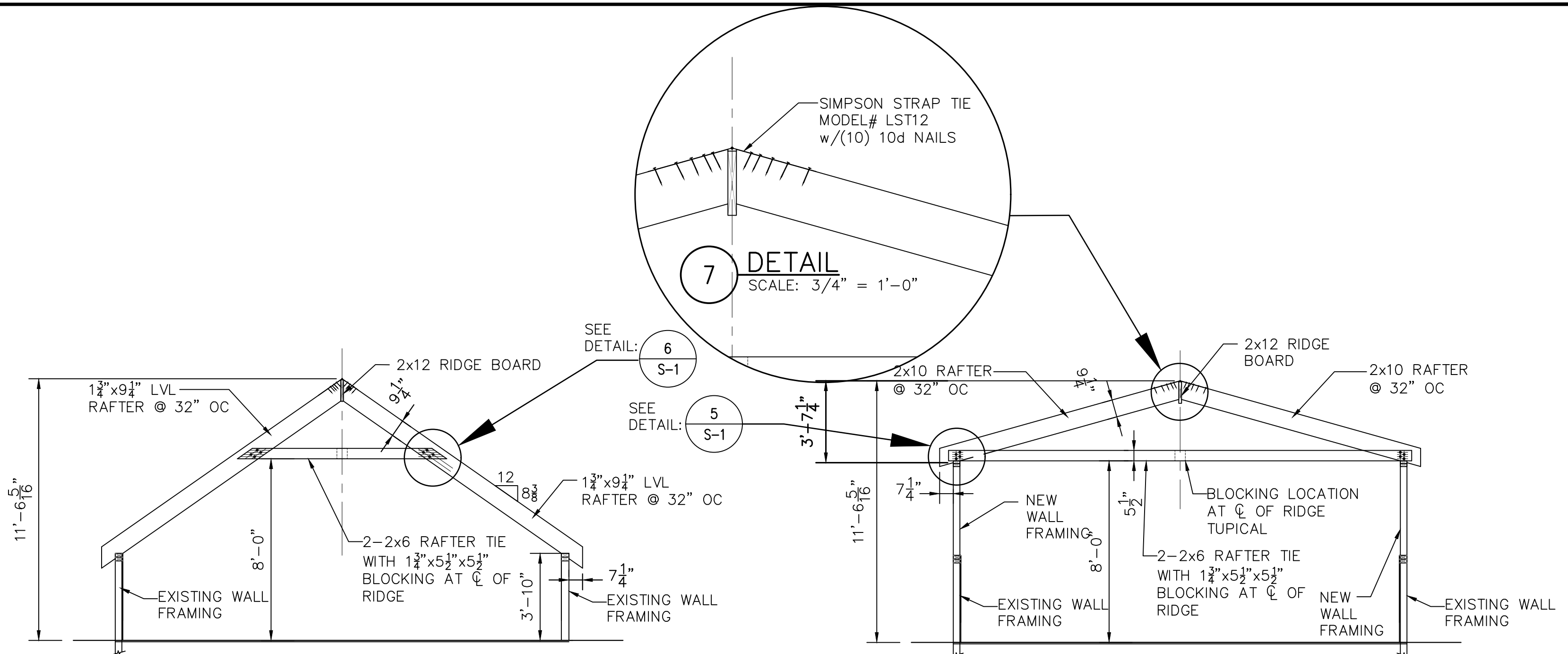
Drawing By

HFJ

Checked By

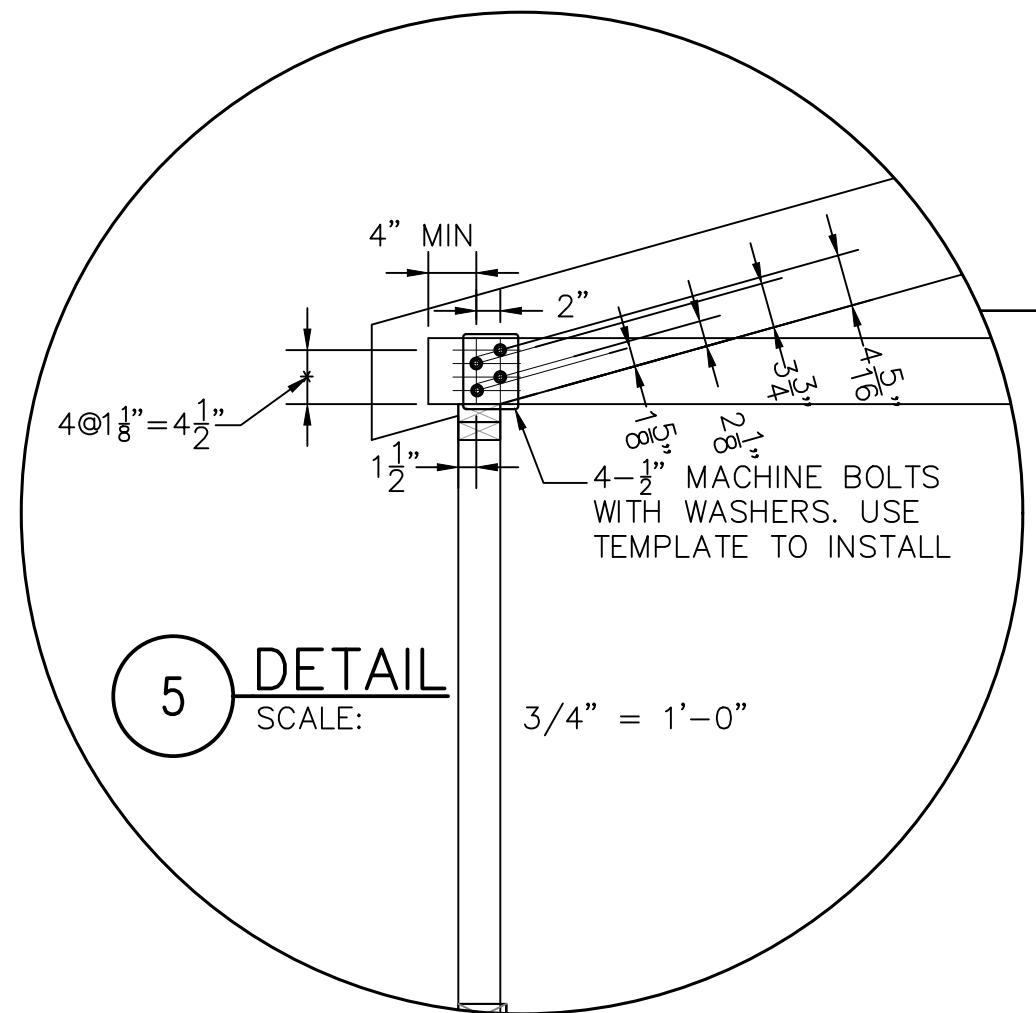
HFJ

S-2

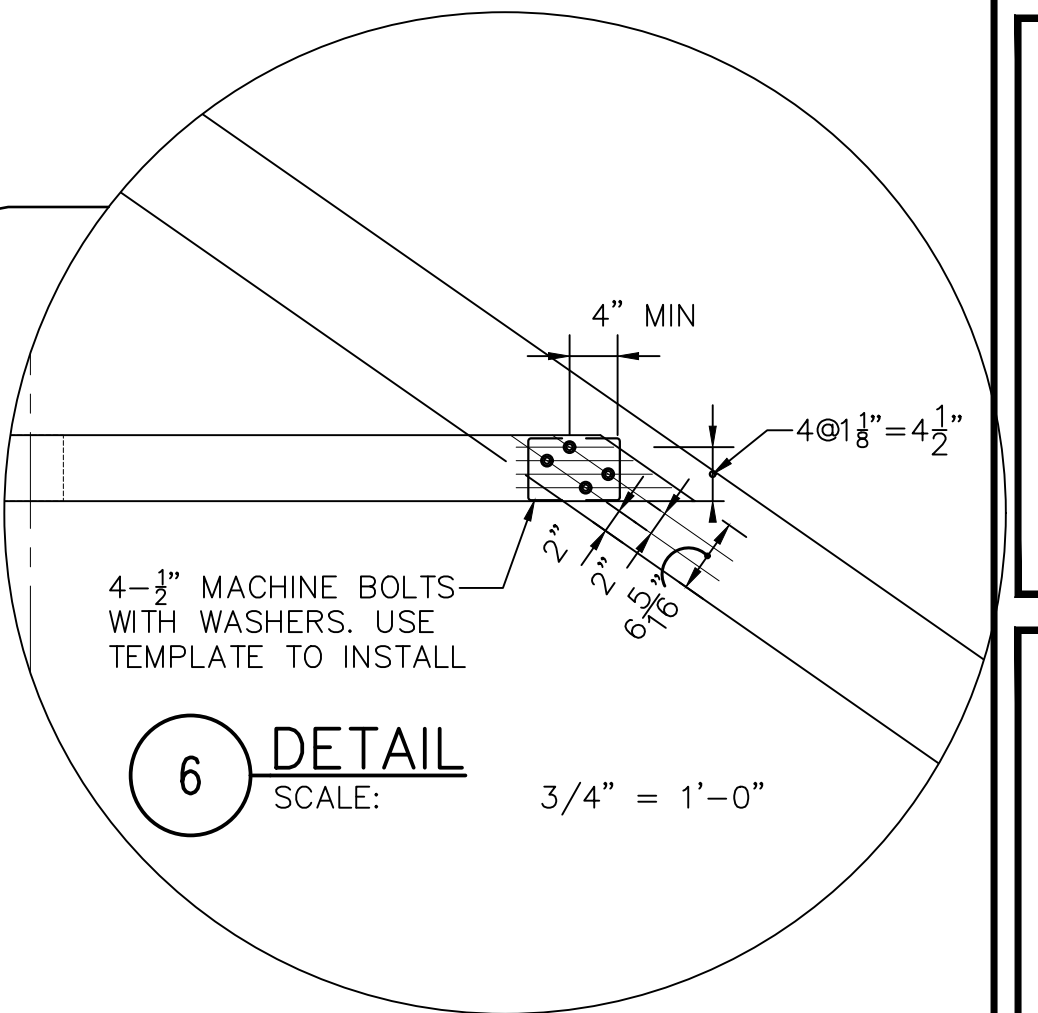


3 TRUSS "B" DETAIL  
SCALE: 1/4" = 1'-0"

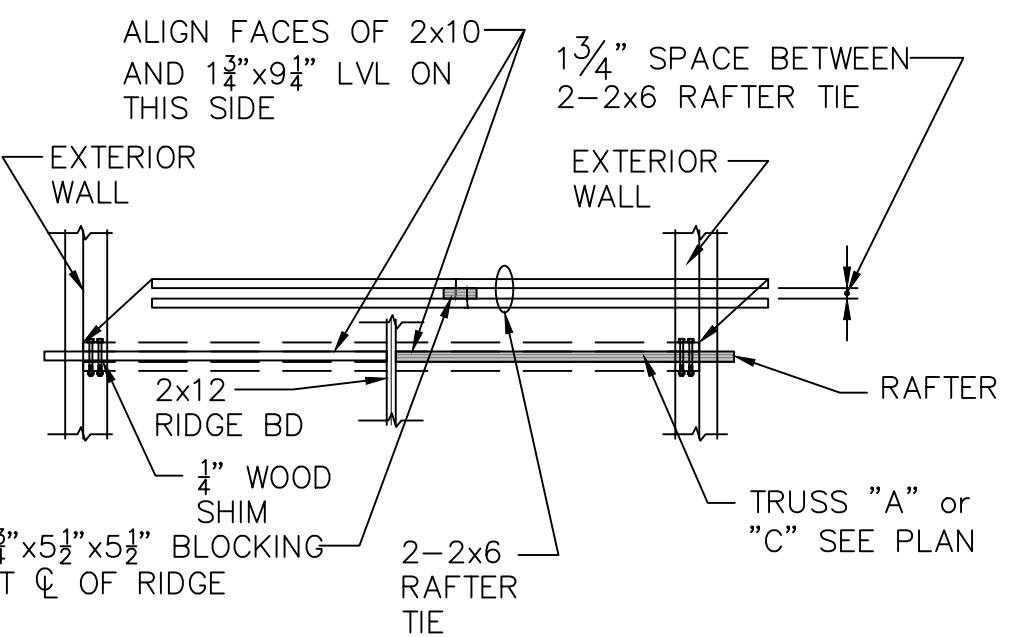
4 TRUSS "C" DETAIL  
SCALE: 1/4" = 1'-0"



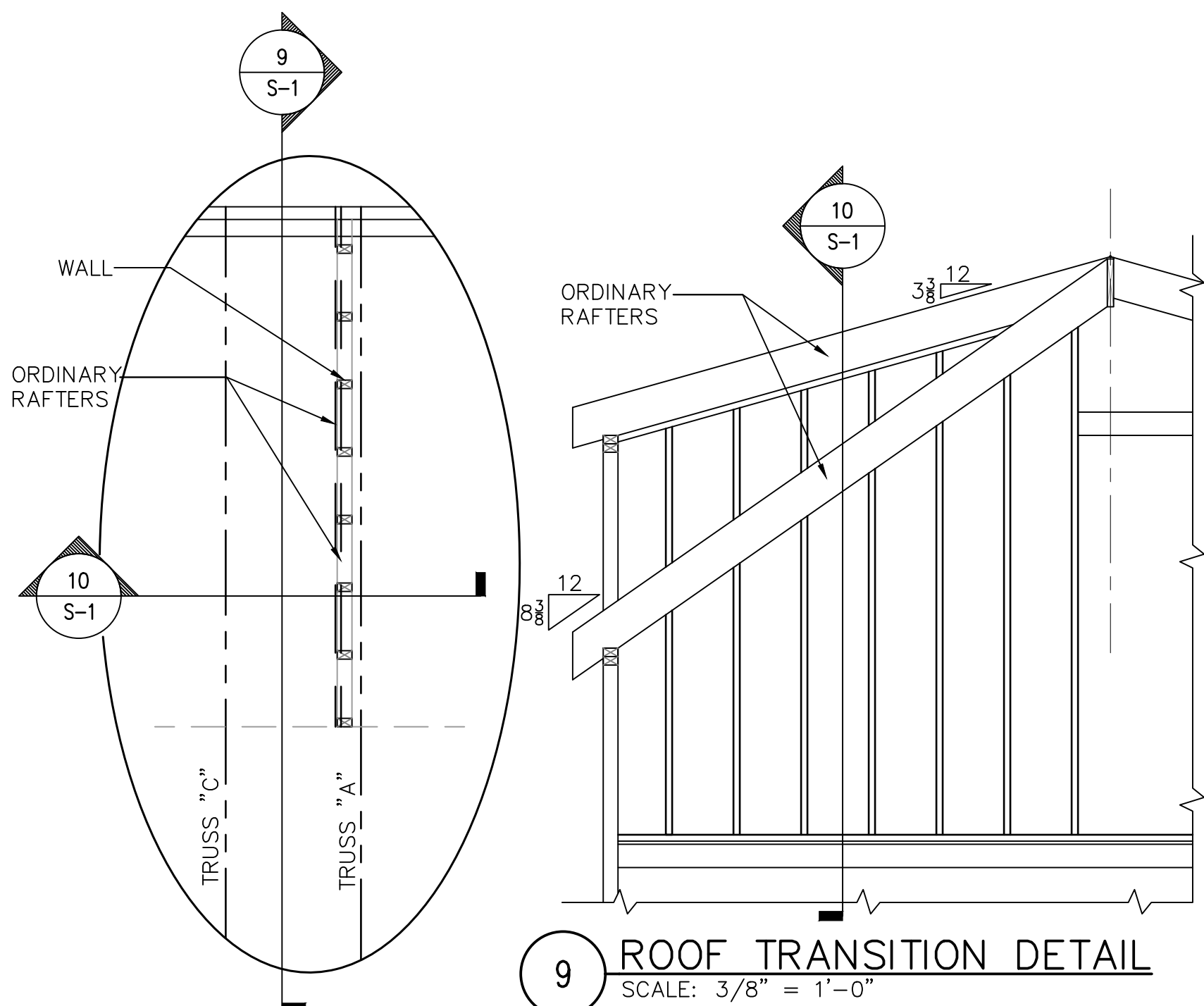
2 TRUSS "A" DETAIL  
SCALE: 1/4" = 1'-0"



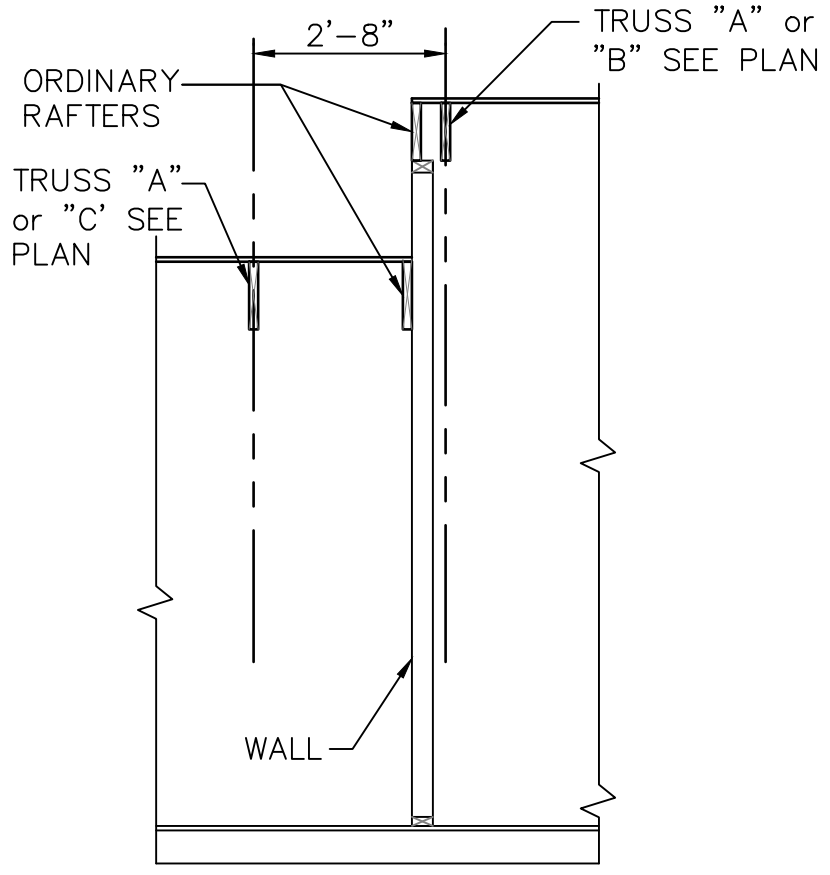
6 DETAIL  
SCALE: 3/4" = 1'-0"



11 RAFTER AND RAFTER TIE LAYOUT DETAIL  
SCALE: NTS

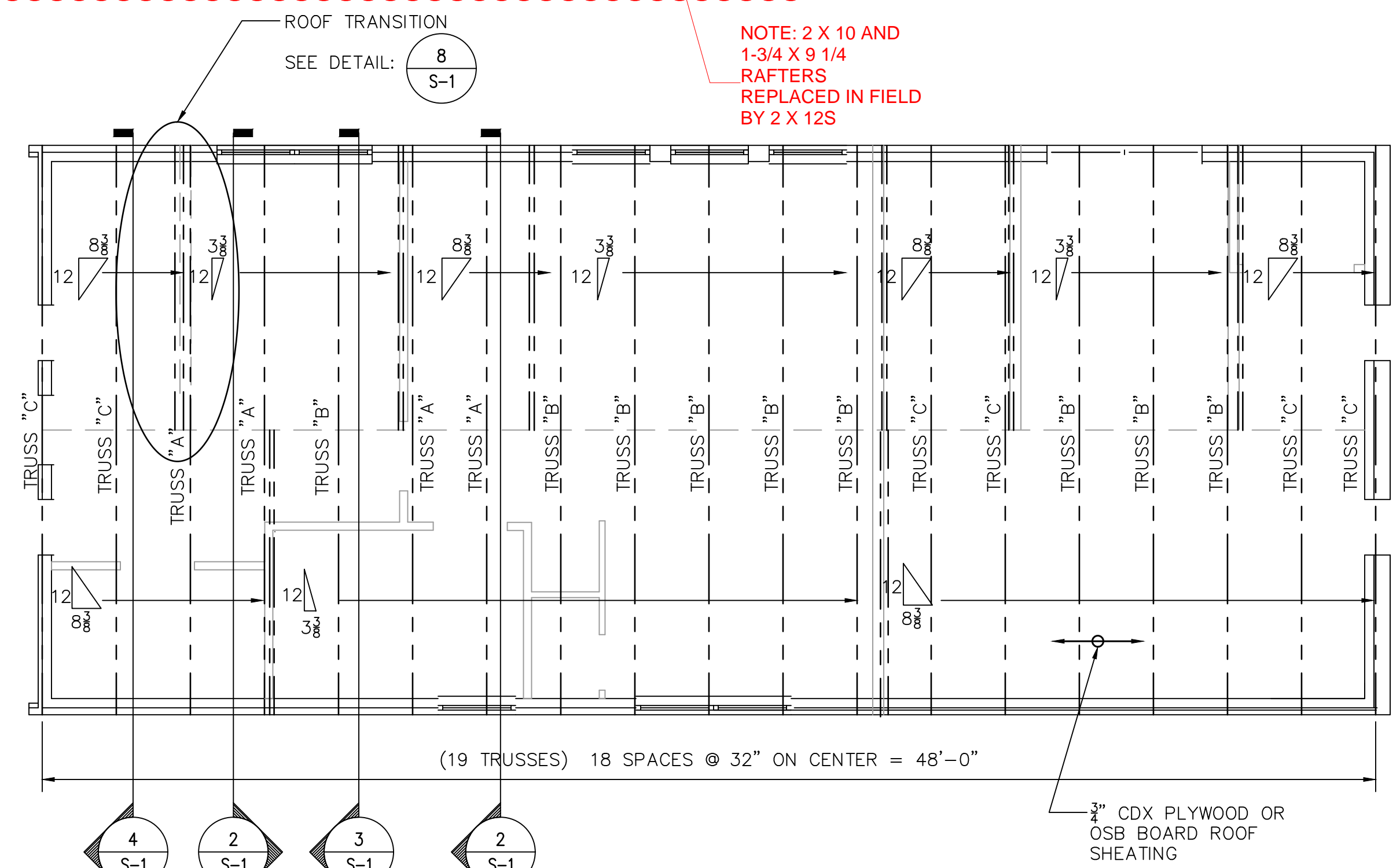


9 ROOF TRANSITION DETAIL  
SCALE: 3/8" = 1'-0"



10 ROOF TRANSITION SECTION  
SCALE: 3/8" = 1'-0"

8 ROOF TRANSITION FRAMING DETAIL  
SCALE: 3/8" = 1'-0"



1 ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

