

# RESIDENCES AT 11 LYMAN PLACE

D O B B S   F E R R Y ,   N Y   1 0 5 2 2

C H R I S T I N A G R I F F I N A R C H I T E C T

1 2   S p r i n g   S t r e e t ,   H a s t i n g s - o n - H u d s o n ,   N Y   1 0 7 0 6



## GENERAL NOTES

- These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.
- All construction shall comply fully with the 2020 Residential code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.
- Approved stamped set of building plans must be present on site for all inspections.
- A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.
- General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.
- Licensed electrician to file separate electrical permit.
- Licensed plumber to file separate plumbing permit.
- All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.
- The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.
- Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.
- The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.
- All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.
- Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.
- All construction sites shall conform to the 2020 New York State Property Maintenance Code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.
- General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.
- The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.
- Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
- Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.
- All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor before ordering any material or doing any work.

- Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.
- The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.
- Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.
- The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.
- Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.
- The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.
- The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.
- Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition,

- The contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.
- The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.
- New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.
- All insulation to comply with the Energy Efficiency Certificate required by 401.3 2020 Energy Conservation Construction Code of New York, prepared by the Architect.
- If blown or sprayed insulation used, installer of insulation to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, date and post the certificate in a conspicuous location on the job site per N1101.5 of the 2020 Residential Code of New York State and submit an original signed copy for the Building Departments records.
- All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.
- Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and/or

- shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and all new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.
- All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.
- Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following.
  - Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.
  - Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.
  - Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.
  - Final cleaning of all chrome and aluminum metal work.
  - Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.
- Finish materials and paint colors shall be reviewed and approved by the homeowner.
- The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.

**Energy Notes R-Values & U-Factors**  
2020 Residential code of NYS  
Amended by the NY Stretch Energy Code 2020  
Climate Zone 4A

	Required	Proposed
Ceiling	R-49	R-49
Wall	R-21	R-21
Glazing	0.27 U value	0.27 U value
Floor	R-30	R-19
	or R-19 per footnote (g)	

Design Criteria:  
5750 Degree Days  
15% Maximum Glazing  
**R402.2.1 CEILINGS WITH ATTIC SPACES**  
\* Installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at eaves.  
**R402.2.2 CEILINGS WITHOUT ATTIC SPACES**  
Where Section R402.1.2 requires insulation R-values greater than R38 in the ceiling and the design of the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required insulation R-value for such roof/ceiling assemblies shall be R38. Insulation shall extend over the top of the wall plate to the outer edge of such plate and shall not be compressed. This reduction of insulation from the requirements of Section R402.1.2 shall be limited to 500 SF or 20% of the total insulated ceiling area, whichever is less.

**Certification**  
I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2020 Residential code of NYS.

## INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT TABLE R402.1.2 2020 NY ECC AMENDED BY NY STRETCH ENERGY CODE

CLIMATE ZONE	FENESTRATION U-FACTOR <sup>a</sup>	SKYLIGHT U-FACTOR <sup>b</sup>	GLAZED FENESTRATION SHGC <sup>c</sup>	CEILING R-VALUE	WOOD FRAME WALL <sup>b,c</sup> R-VALUE <sup>cont</sup>
4A	0.27	0.50	0.40	49	21 <sup>or</sup> 20+5 or 13 <sup>or</sup> 10
	MASS WALL <sup>d</sup> R-VALUE	FLOOR R-VALUE	BASEMENT WALL <sup>e</sup> R-VALUE	SLAB <sup>f</sup> R-VALUE & DEPTH	CRAWL SPACE WALL <sup>g</sup> R-VALUE
	15/20	30 <sup>g</sup>	15/19	10, 4FT ( d )	15/19
<p>a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.</p> <p>b. Int. (intermediate framings) denotes standard framing 16 inches on center. Headers shall be insulated with a minimum of R-10 insulation.</p> <p>c. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+10" means R-13 cavity insulation plus R-10 continuous insulation.</p> <p>d. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies when more than half the insulation is on the interior of the mass wall.</p> <p>e. 15/19 means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall.</p> <p>f. R-10 continuous insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.</p> <p>g. Alternatively, insulation sufficient to fill the framing cavity and providing not less than an R-value of R-19. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.</p>					

## DESIGN REQUIREMENTS for the 2020 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

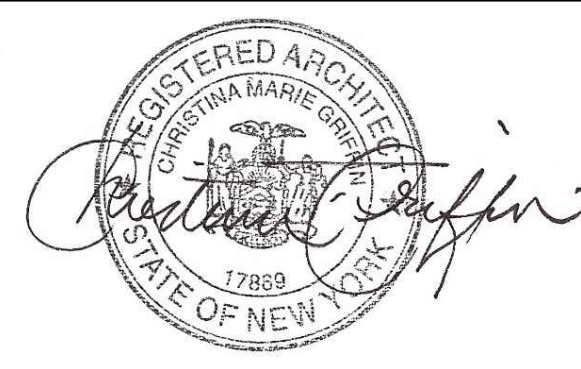
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM						
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE				
30 PSF	120- 130 MPH	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	YES	N/A	2000	51.6

## DATES

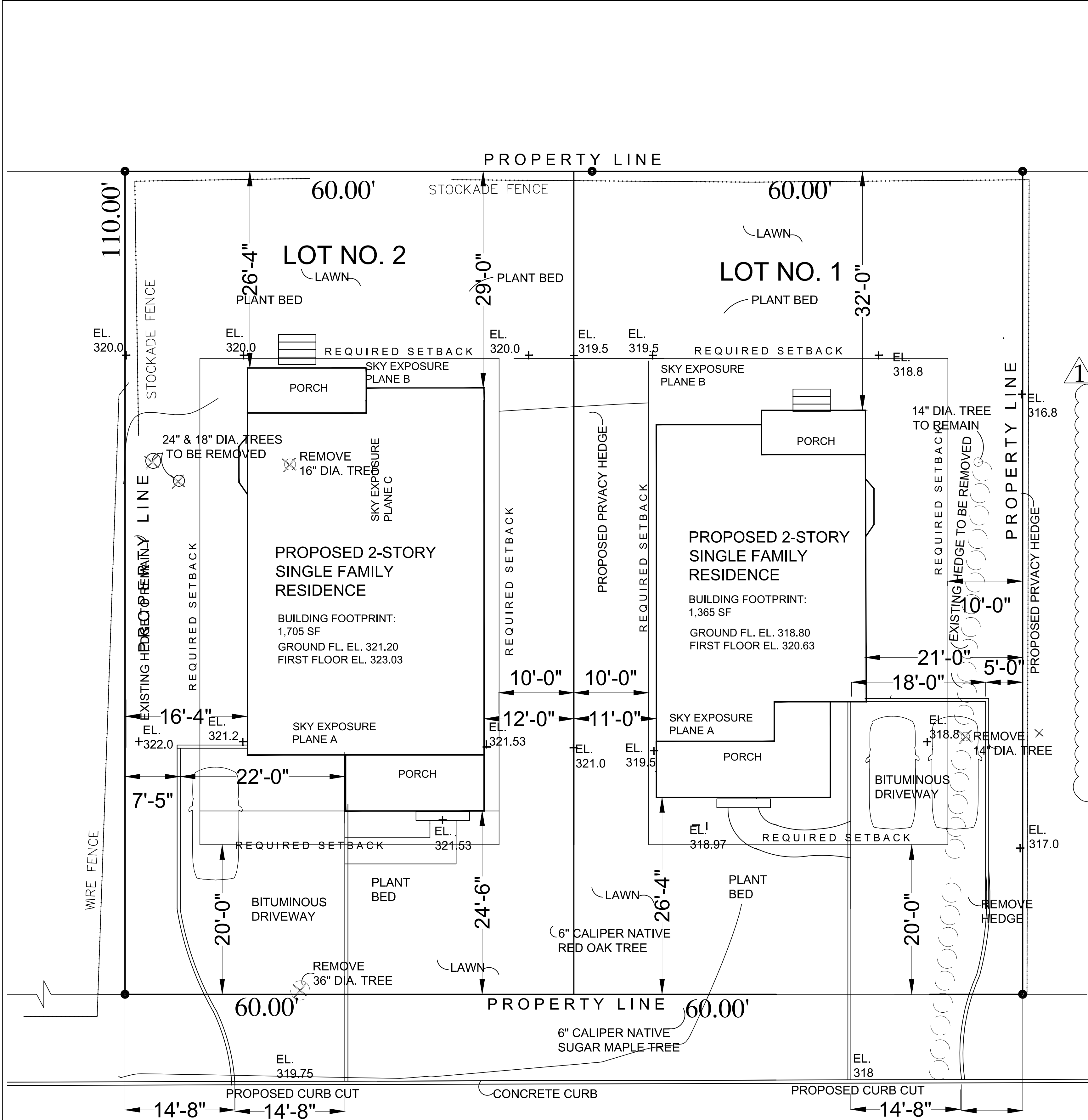
PLANNING BOARD SUBMISSION	9-14-23
PLANNING BOARD SUBMISSION	10-20-23
PLANNING BOARD SUBMISSION	1-18-24
PLANNING BOARD SUBMISSION	3-21-24

## LIST of DRAWINGS

TITLE SHEET	GENERAL NOTES, CLIMATIC & GEOGRAPHIC CRITERIA, DATES, LIST OF DRAWINGS
S-1	SITE PLAN, ZONING COMPLIANCE, LOCATION MAP, FLOOR AREA CALCULATIONS
S-2	PHOTOS OF EXISTING CONDITIONS & NEIGHBORING PROPERTIES
S-3	STREETVIEW OF PROPERTY & NEIGHBORING HOUSES
S-4	EXTERIOR LIGHTING PLAN
S-5	SKY EXPOSURE PLANE DIAGRAMS
L-1	LANDSCAPING PLAN
M-1-M-3	EXTERIOR MATERIAL & COLOR SCHEME 3D VIEW & AERIAL VIEW
A-1-A-2	EXTERIOR ELEVATIONS







SITE PLAN

SITE PLAN IS BASED ON SURVEY BY RAMSAY LAND SURVEYING P.C., PROFESSIONAL LAND SURVEYORS - PLANNERS, MAY 21, 2021, SEE CIVIL ENGINEERING DWGS FOR GRADING PLAN

DATA FOR ZONING COMPLIANCE

11 LYMAN PLACE, DOBBS FERRY, NY: TAX MAP: 3.60-22-3 & 3.60-22-4			ZONING DISTRICT: OF-6	
	REQUIRED	EXISTING	PROPOSED	
			LOT NO. 1	LOT NO. 2
PRINCIPAL USE PERMITTED	ONE-FAMILY RESIDENCE	ONE-FAMILY RESIDENCE	ONE-FAMILY RESIDENCE	ONE-FAMILY RESIDENCE
MIN. LOT SIZE	5,000 SF	6,600SF	6,600 SF	6,600 SF
MIN. LOT WIDTH	50 FT	60 FT	60 FT	60 FT
MIN. LOT DEPTH	100 FT	110 FT	110 FT	110 FT
MAX. LOT COVERAGE (INCLUDES BUILDING, PORCH, GARAGE, SHED)	27% (OR 20% SLIDING SCALE) 27% x 6,600 SF = 1,782 SF		19.4% 1,286SF	25.1% 1,659 SF
MAX. IMPERVIOUS COVERAGE (INCL. PATIO)	54% (OR 40% SLIDING SCALE)		35.8%	41.4%
MIN. FRONT YARD	20 FT		26.3 FT	24.5 FT
MIN. REAR YARD	25 FT		32 FT	26.3 FT
MIN. SIDE 1 YARD	10 FT		11 FT	12 FT
MIN. SIDE 2 YARD	10 FT		21 FT	16.3 FT
MIN. COMBINED SIDE YARDS	20 FT		32 FT	28.3 FT
MAXIMUM RIDGE HEIGHT	35 FT FOR SLOPE > 0.30		33.31 FT	34.187 FT
MAXIMUM EAVE HEIGHT	28 FT DEFAULT		20.68 FT	21.56 FT

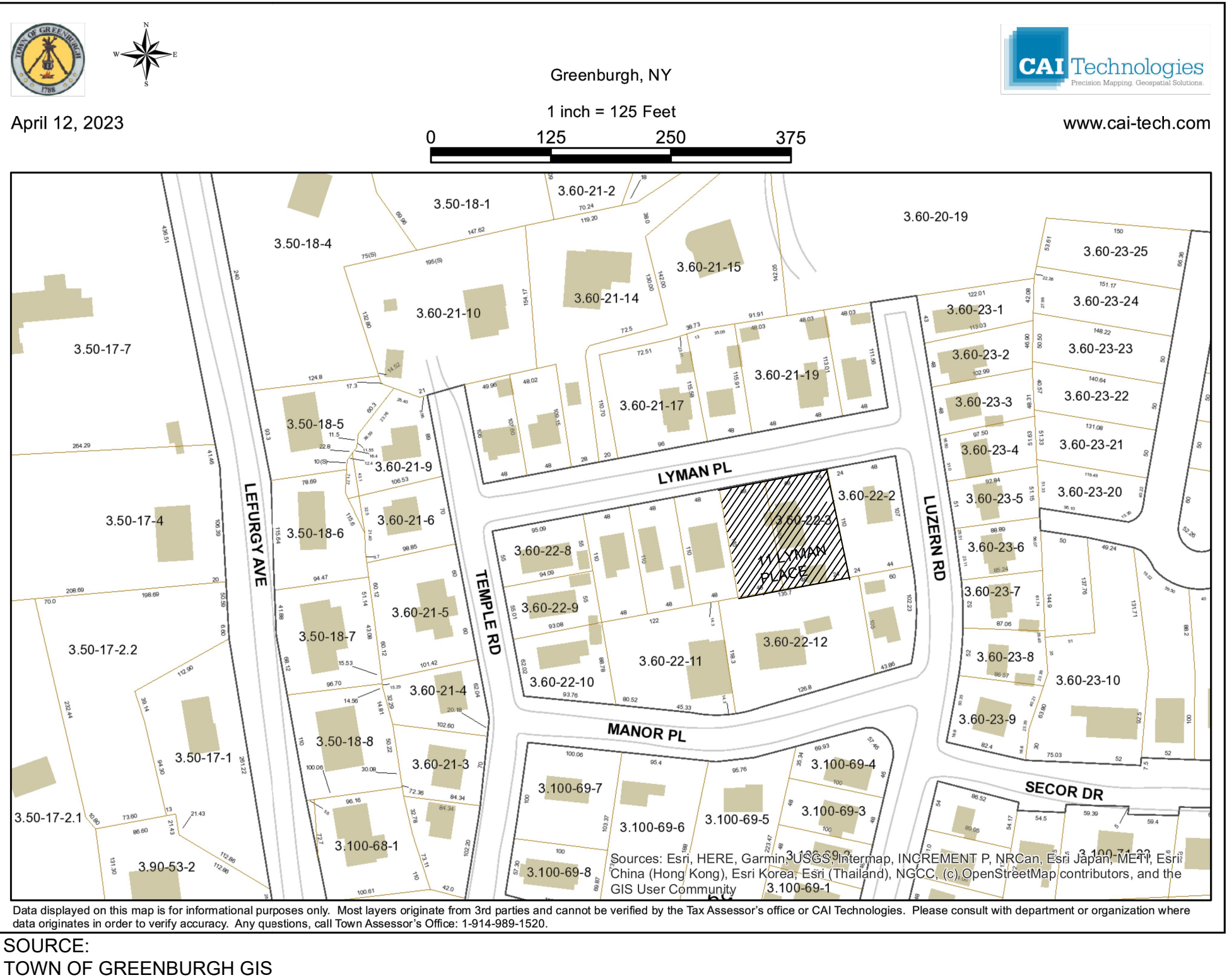
FLOOR AREA CALCULATIONS

LOT NO. 1	LOT NO. 2
FIRST FLOOR : 1,064SF	FIRST FLOOR : 1,216 SF
SECOND FLOOR: 1,146 SF	SECOND FLOOR: 1,470 SF
BASEMENT: UNFINISHED	BASEMENT: UNFINISHED
TOTAL FLOOR AREA: 2,210 SF	TOTAL FLOOR AREA: 2,686 SF

COVERAGE CALCULATIONS

	REQUIRED	PROPOSED	
		LOT NO. 1	LOT NO. 2
LOT AREA	MIN. 5,000 SF	6,600 SF	6,600 SF
PRINCIPAL BUILDING	MAX. 27% X 6,600 SF = 1,782 SF	1,286 SF (INCL. 139SF PORCH> 75SF, + REAR PORCH)	1,659 SF (INCL. 65SF PORCH> 75SF +REAR PORCH)
FRONT PORCH	MAX. 75 SF	75 SF (214 ACTUAL)	75 SF (140 ACTUAL)
WALKS & STONE STEPS		82.37 SF	92 SF
DRIVEWAY & CURBS		924 SF	911SF
TOTAL IMPERVIOUS COVERAGE	54% OR 40% SLIDING SCALE	2,367.37 SF / 6,600 SF = 35.8%	2,737 SF / 6,600 SF = 41.4 %

LOCATION MAP



12 SPRING STREET  
HASTINGS.on.HUDSON  
N . Y . 1 0 7 0 6  
9 1 4 . 4 7 8 . 0 7 9 9  
cg@cga studio.com  
christinagriffinarchitect.com

RESIDENCES AT  
11 LYMAN PLACE  
DOBBS FERRY, NY 10522

Dates:  
BUILDING PERMT SUBMISSION 7-7-23  
BUILDING PERMT SUBMISSION 9-6-23  
PLANNING BOARD SUBMISSION 9-14-23  
1 PLANNING BD SUBMISSION 11-21-23  
2 PLANNING BD SUBMISSION 12-6-23  
3 PLANNING BD SUBMISSION 1-18-24  
PLANNING BD SUBMISSION3-21-24



Drawing Title:  
SITE PLAN  
LOCATION MAP  
ZONING DATA  
Scale: As Shown  
Sheet Number:



NEW SINGLE FAMILY RESIDENCE AT  
**11 LYMAN PLACE**  
DOBBS FERRY, NY 10522

Dates:  
BUILDING PERMIT SUBMISSION 7-7-23  
PLANNING BOARD SUBMISSION 11-2-23  
PLANNING BOARD SUBMISSION 12-6-23  
PLANNING BOARD SUBMISSION 1-18-24  
PLANNING BOARD SUBMISSION 4-17-24



Drawing Title:  
**STREETVIEW  
OF PROPERTY &  
NEIGHBORING HOUSES**  
Scale: As Shown

Sheet Number:



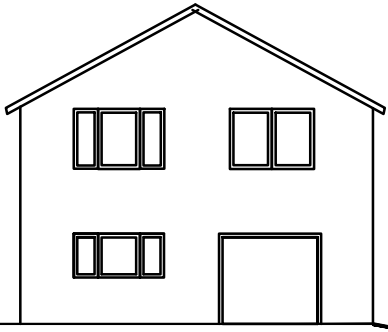
3 Lyman Place



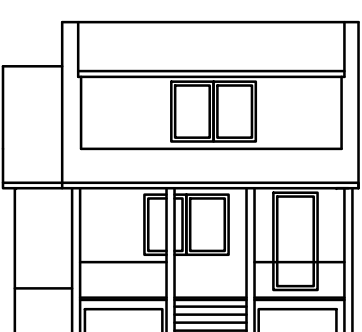
Lot 2  
11 Lyman Place



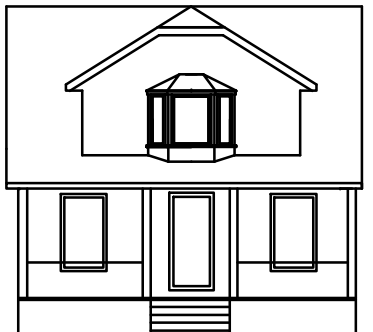
Lot 1  
11 Lyman Place



19 Lyman Place

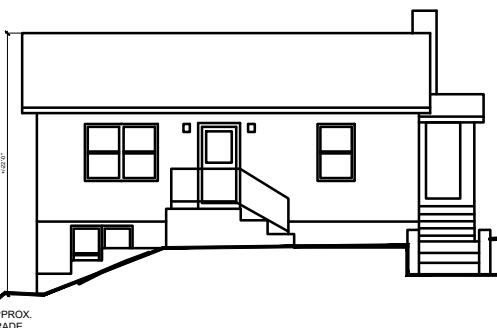


23 Lyman Place



25 Lyman Place

South Side of Lyman Place



30 Lyman Place



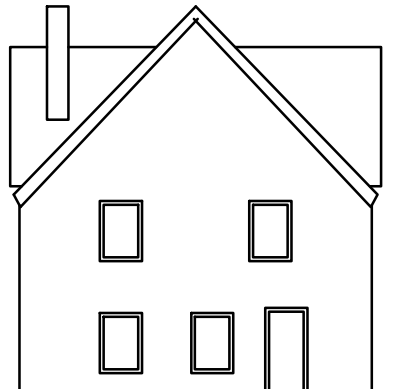
24 Lyman Place



20 Lyman Place



16 Lyman Place

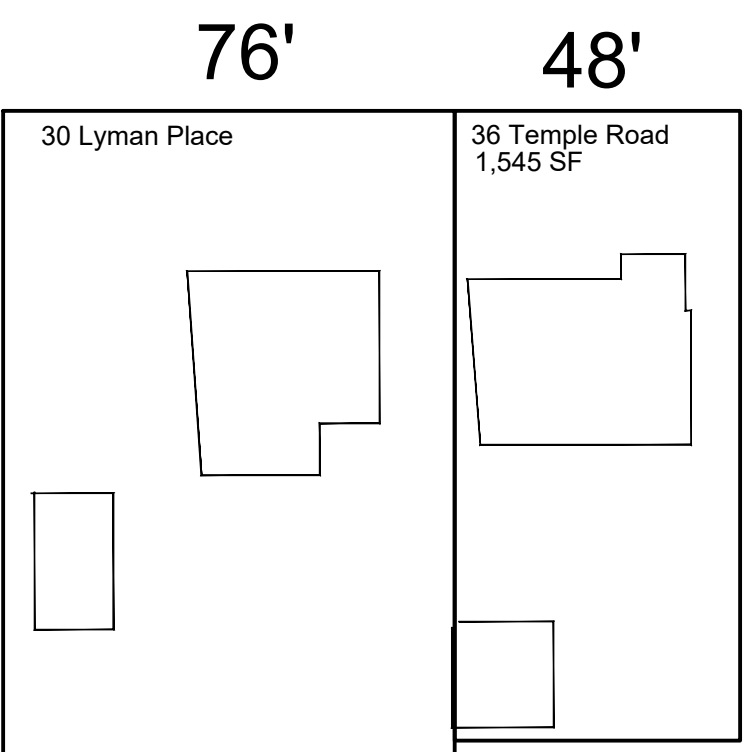
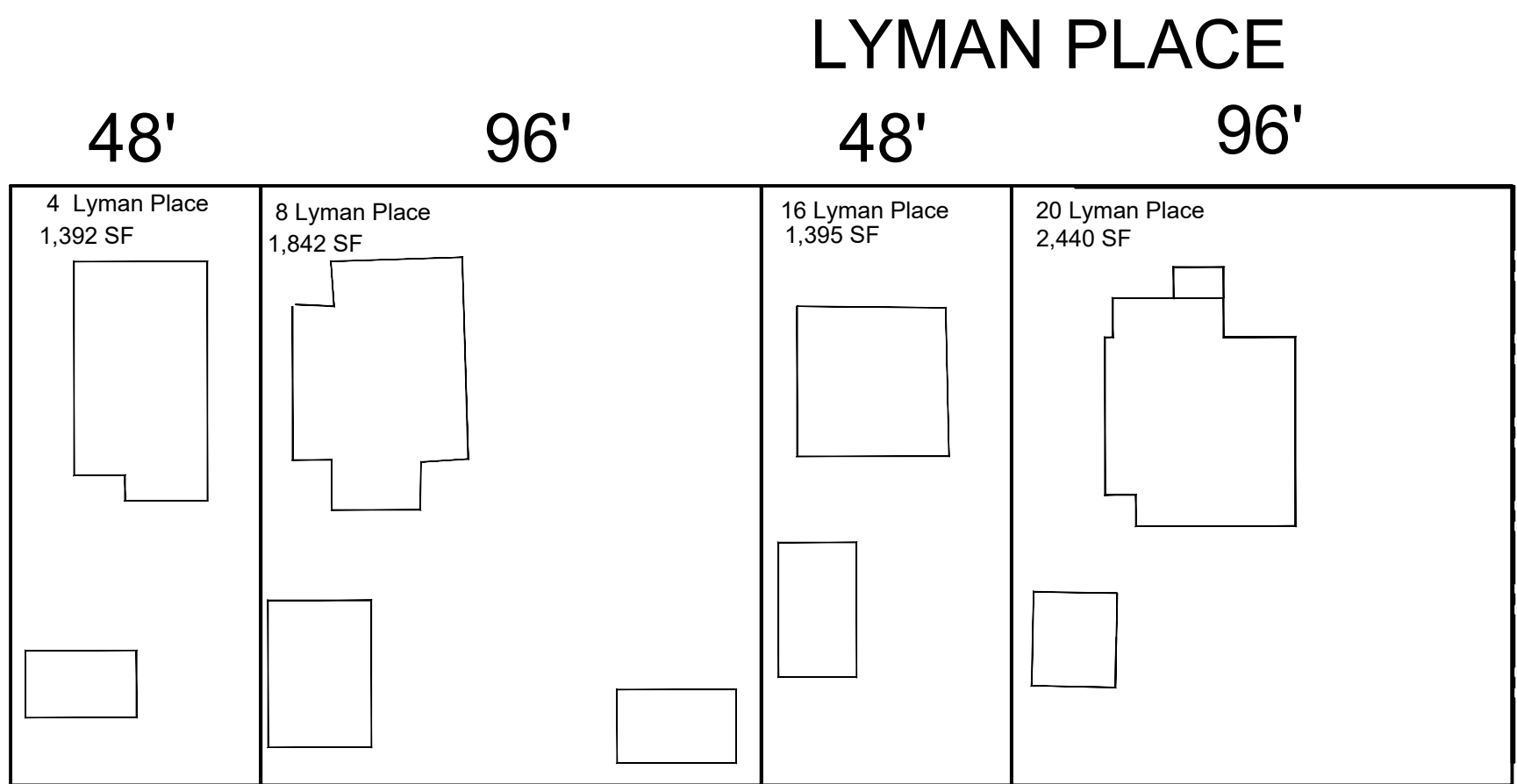
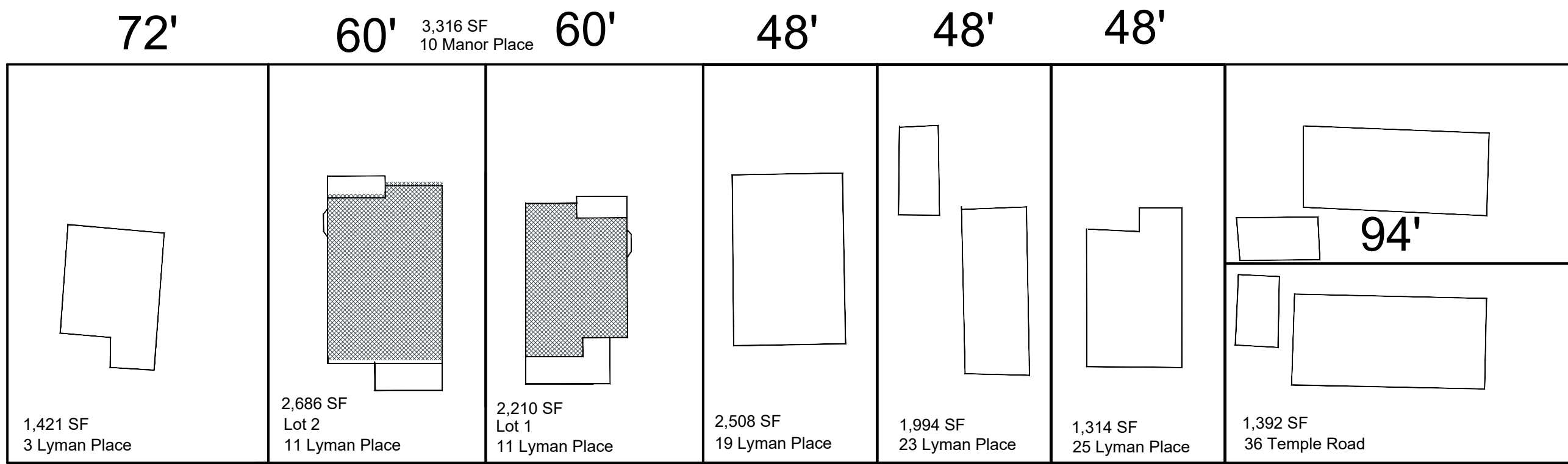


8 Lyman Place

North Side of Lyman Place

STREETSCAPES

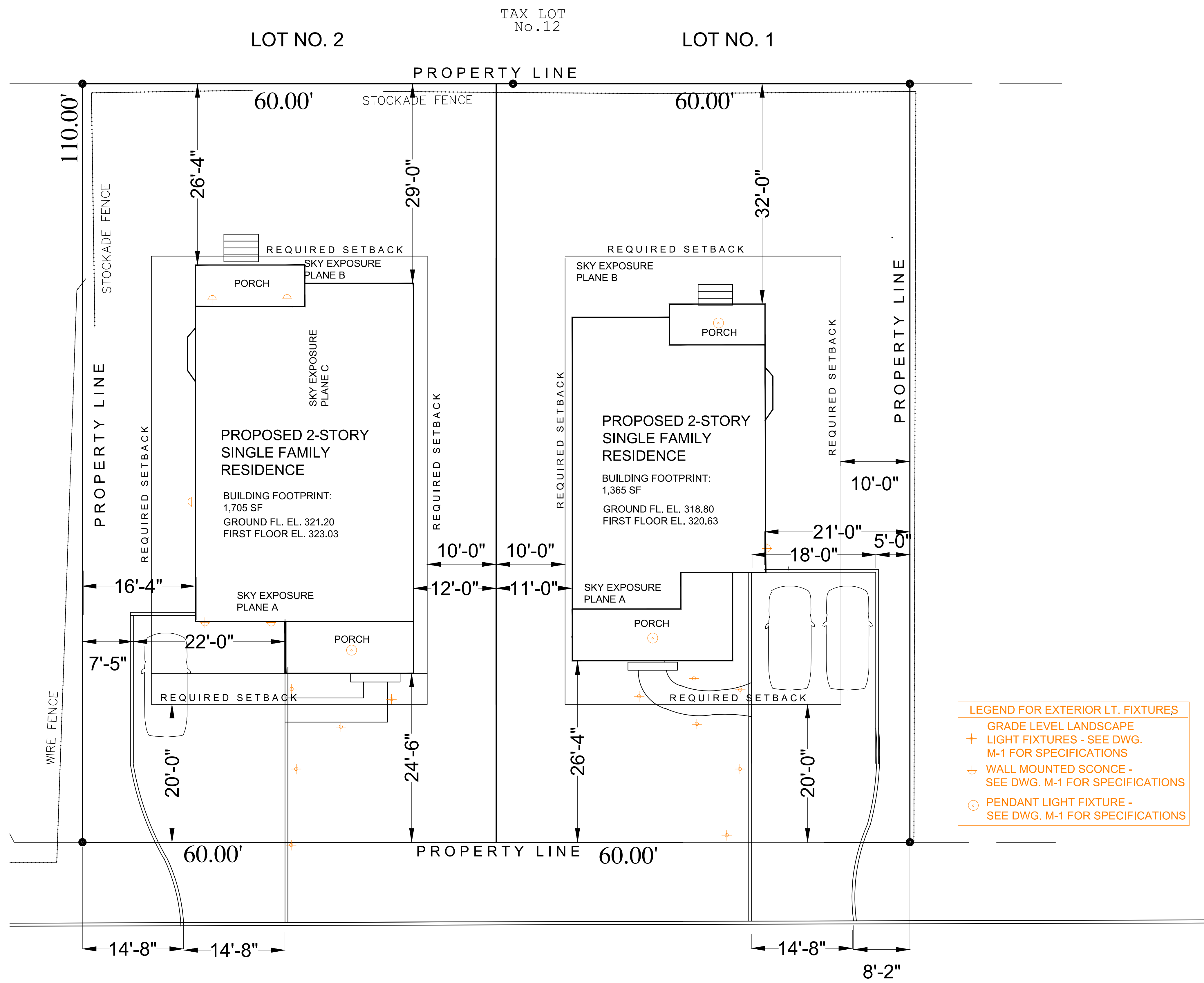
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NEIGHBORHOOD PLAN

SCALE:  $\frac{1}{32}$ " = 1'-0"

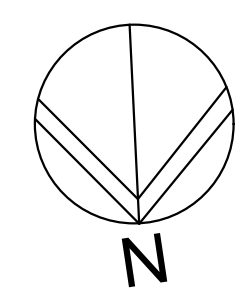




# EXTERIOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

SITE PLAN IS BASED ON SURVEY BY RAMSAY LAND SURVEYING P.C., PROFESSIONAL LAND SURVEYORS - PLANNERS, MAY 21, 2021, SEE CIVIL ENGINEERING DWGS FOR GRADING PLAN



- LEGEND FOR EXTERIOR LT. FIXTURES
- + GRADE LEVEL LANDSCAPE LIGHT FIXTURES - SEE DWG. M-1 FOR SPECIFICATIONS
- + WALL MOUNTED SCONCE - SEE DWG. M-1 FOR SPECIFICATIONS
- PENDANT LIGHT FIXTURE - SEE DWG. M-1 FOR SPECIFICATIONS



EXTERIOR PENDANT LIGHT  
PARKER FIXTURE W/ OPAQUE WHITE GLASS



EXTERIOR WALL MOUNTED LIGHT FIXTURE  
W/ OPAQUE WHITE GLASS BY PARKER LTG.



PATH LT. FIXTURE

## EXTERIOR LIGHTING FIXTURE TYPES

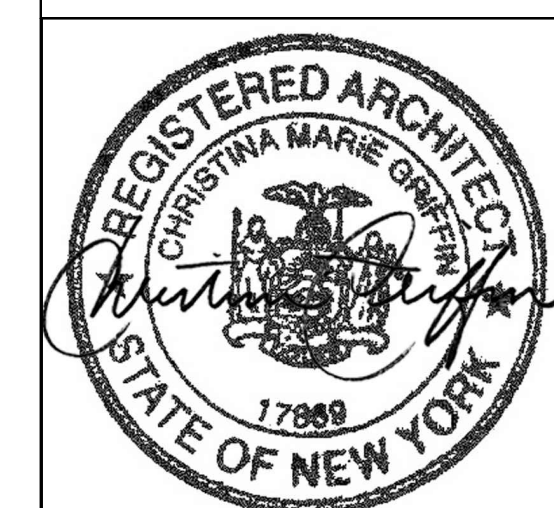
ALL EXTERIOR LIGHTING TO BE IN COMPLIANCE WITH VILLAGE OF DOBBS FERRY CODE 300-41.



12 SPRING STREET  
HASTINGS.on.HUDSON  
N.Y. 10706  
914.478.0799  
cg@cgaudio.com  
christinagriffinarchitect.com

RESIDENCES AT  
11 LYMAN PLACE  
DOBBS FERRY, NY 10522

Dates:
BUILDING PERMIT SUBMISSION 7-7-23
PLANNING BOARD SUBMISSION 9-14-23
PLANNING BOARD SUBMISSION 11-21-23
PLANNING BOARD SUBMISSION 3-21-24



Drawing Title:  
EXTERIOR LIGHTING  
LAYOUT  
Scale: As Shown  
Sheet Number:

S-4



RESIDENCES AT  
**11 LYMAN PLACE**  
DOBBS FERRY, NY 10522

Dates:  
BUILDING PERMIT SUBMISSION 7-7-23  
BUILDING PERMIT SUBMISSION 9-6-23  
PLANNING BOARD SUBMISSION 9-14-23  
PLANNING BOARD SUBMISSION 11-21-23  
PLANNING BOARD SUBMISSION 3-21-24

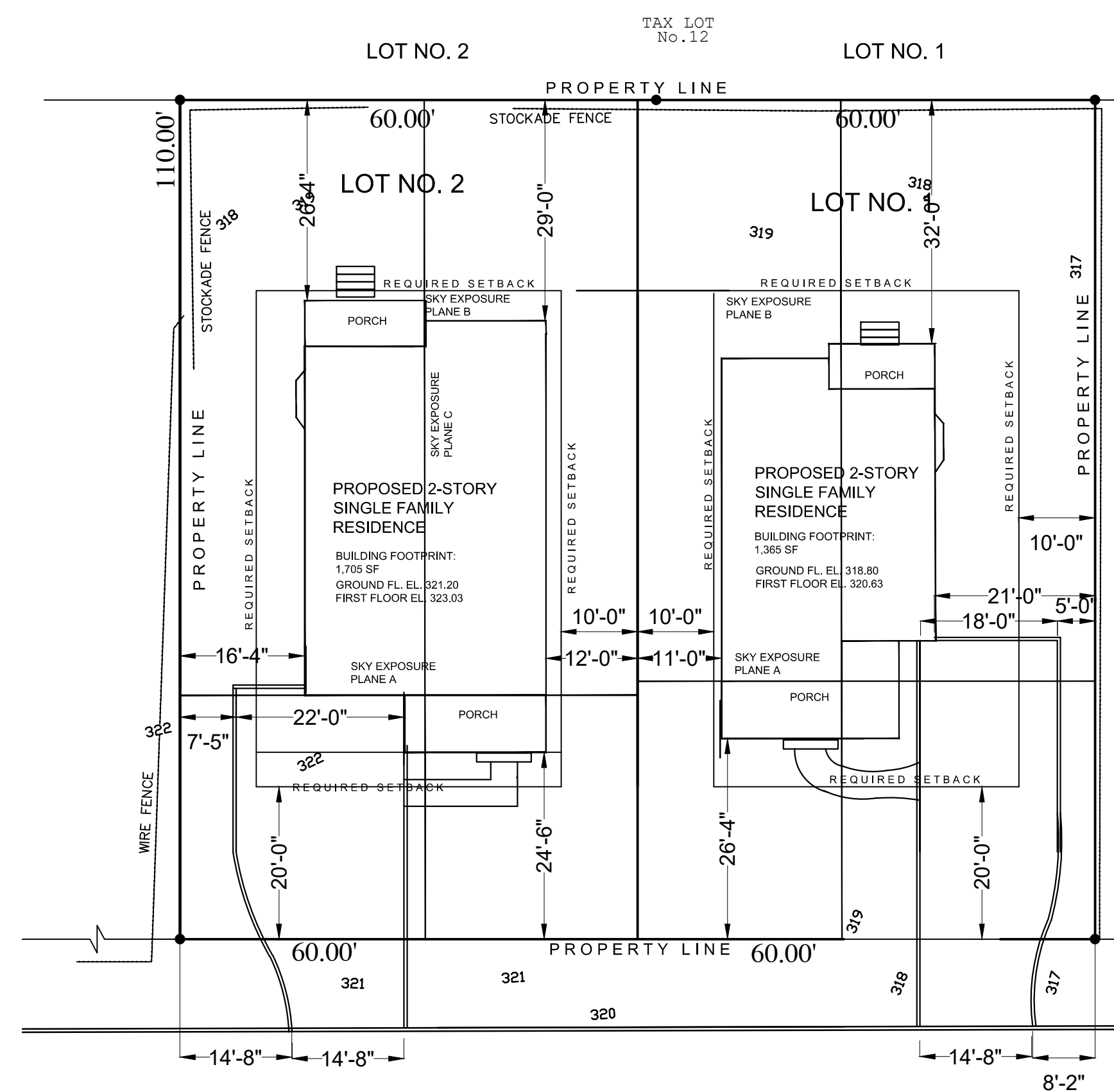
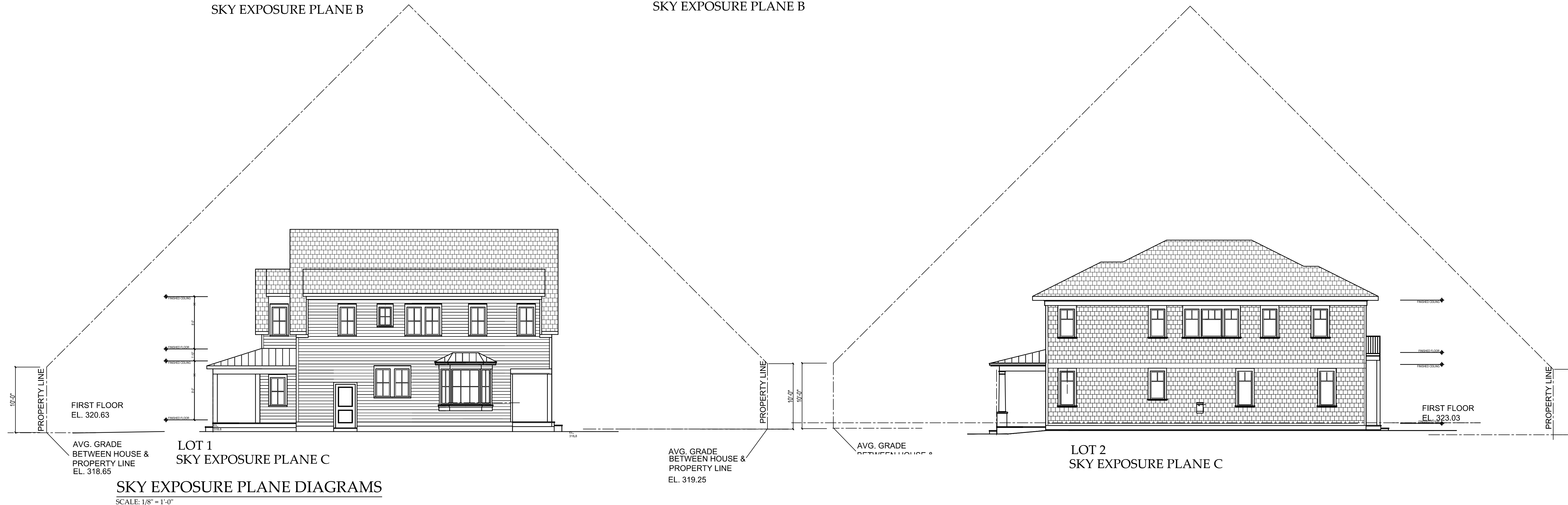
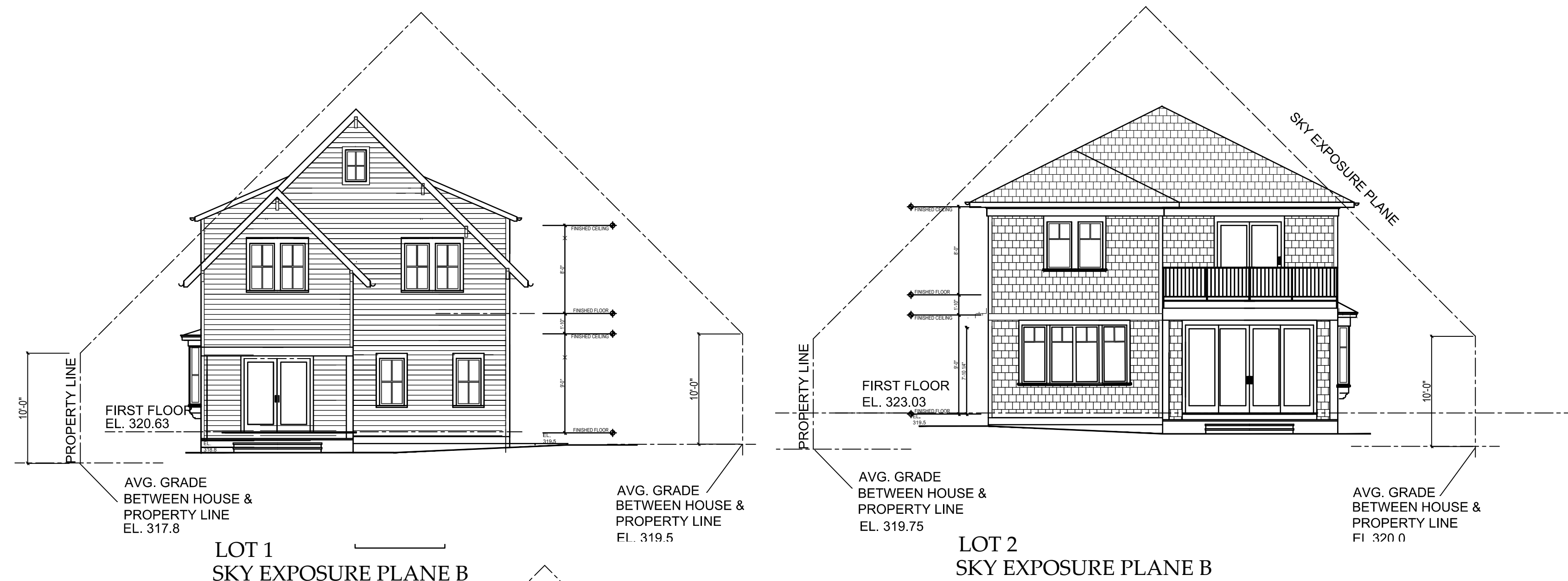
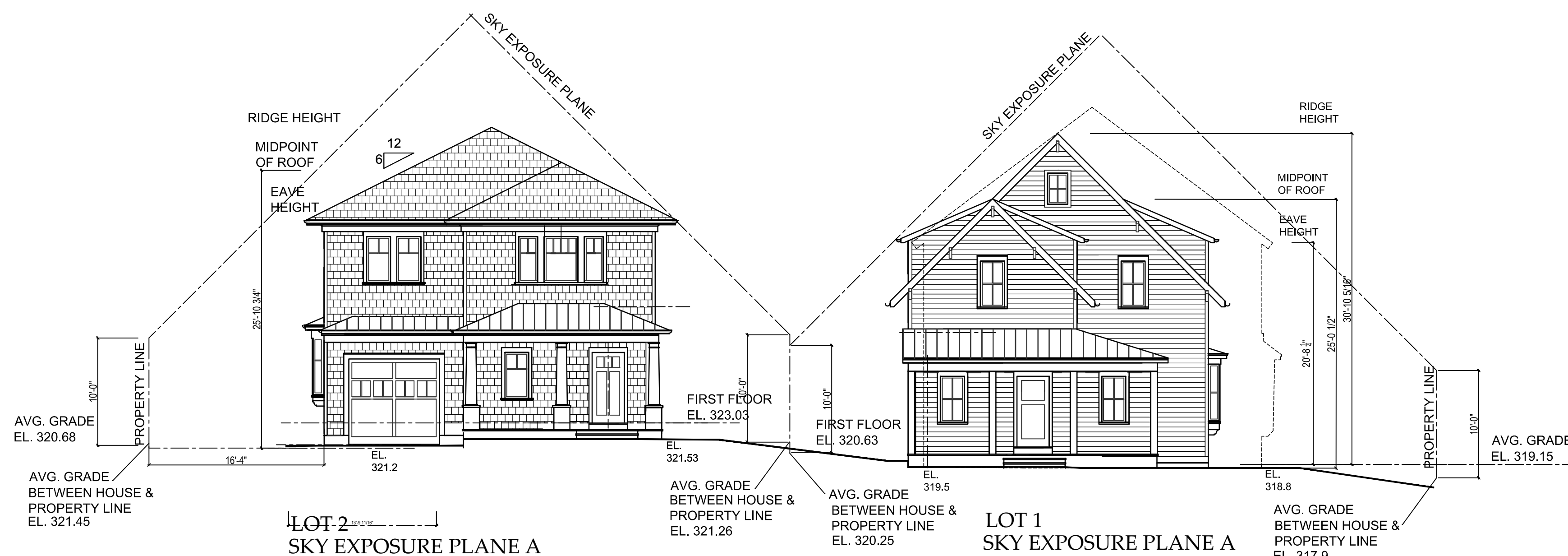


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SKY EXPOSURE  
PLANE DIAGRAMS

Scale: As Shown

Sheet Number:

**S-5**





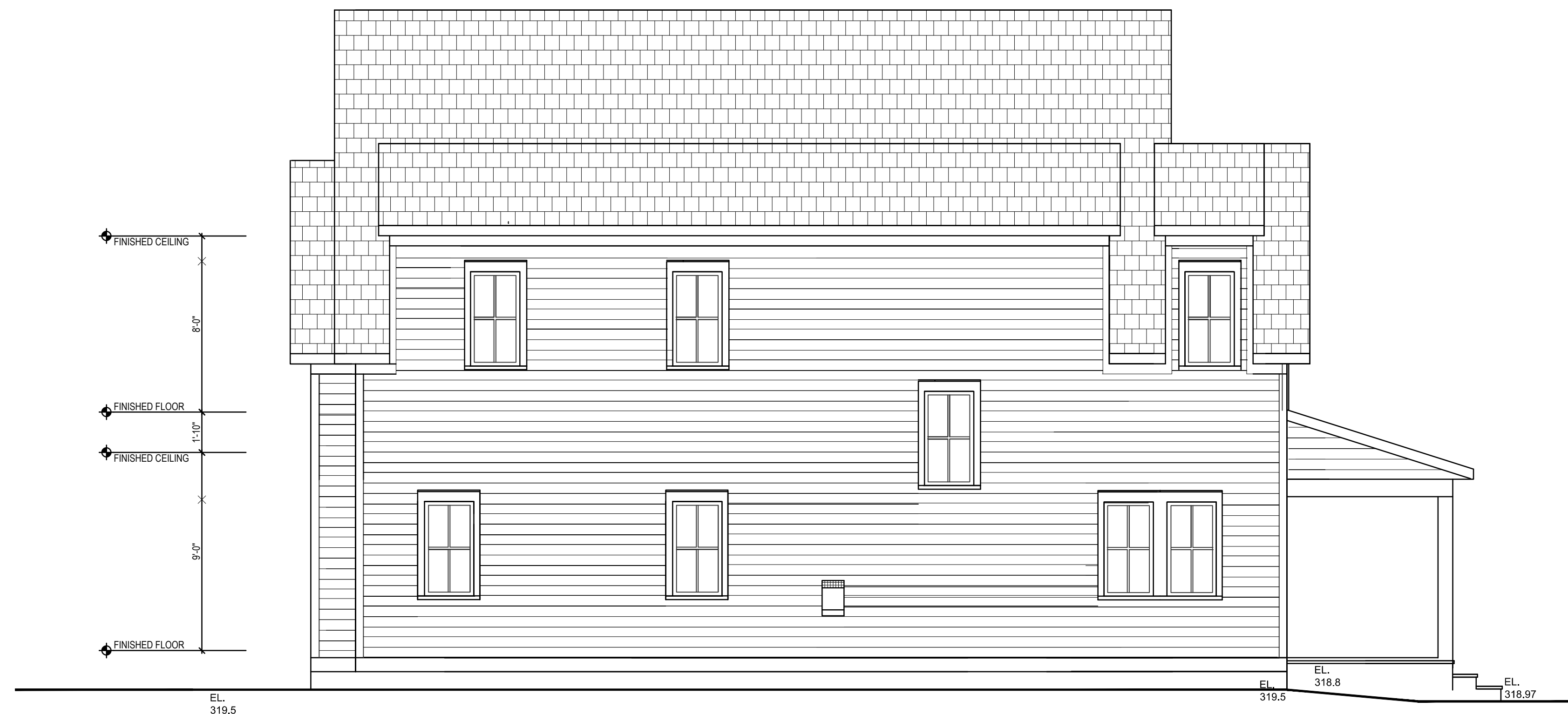






## WEST ELEVATION

SCALE: 1/4" = 1'-0"



## EAST ELEVATION

SCALE: 1/4" = 1'-0"



## NORTH ELEVATION

SCALE: 1/4" = 1'-0"



## SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

## ELEVATIONS OF LOT #1 RESIDENCE

**CGA**  
**studio**  
ARCHITECTS

12 SPRING STREET  
HASTINGS.on.HUDSON  
N . Y . 1 0 7 0 6  
9 1 4 . 4 7 8 . 0 7 9 9  
cg@cga studio.com  
christinagriffinarchitect.com

RESIDENCES AT  
**11 LYMAN PLACE**  
DOBBS FERRY, NY 10522

Dates:

PLANNING BOARD SUBMISSION 3-21-24



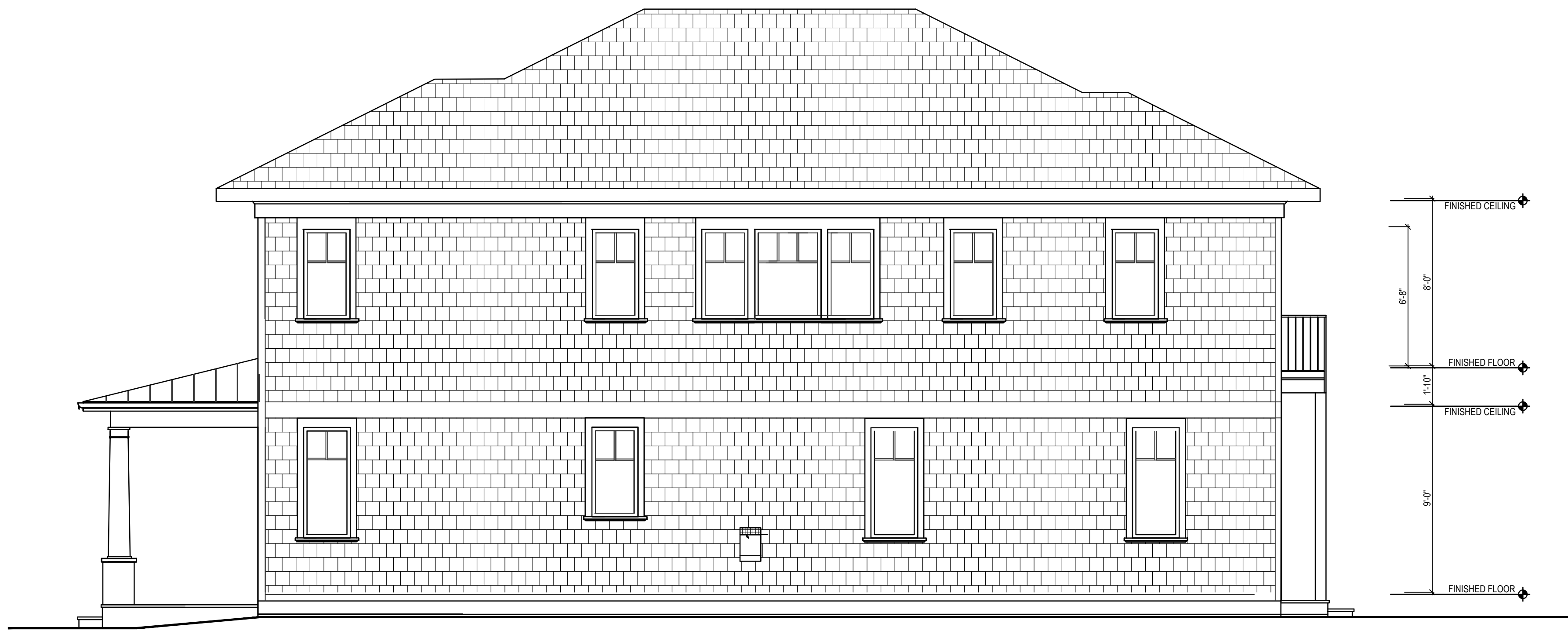
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ELEVATIONS OF LOT #1  
RESIDENCE

Scale: As Shown

Sheet Number:

A-1





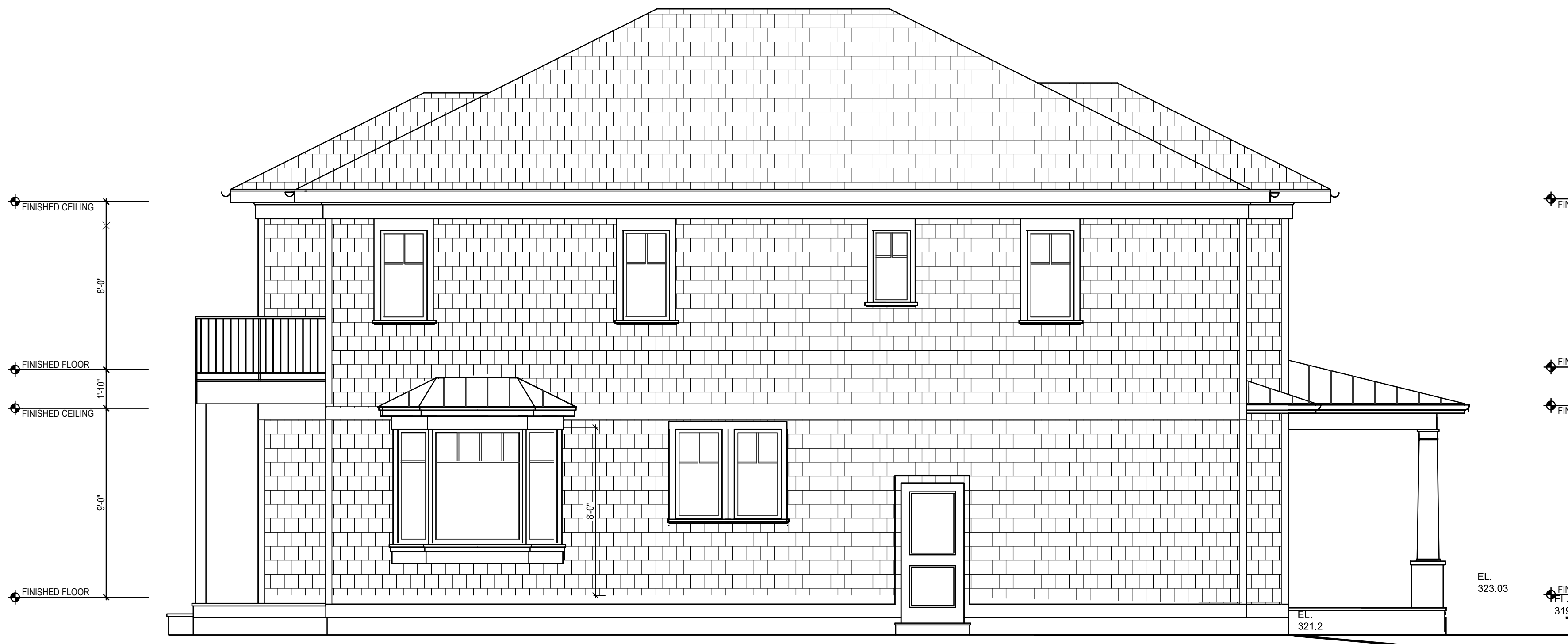
WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS OF LOT #2 RESIDENCE

**CGA**  
**studio**  
ARCHITECTS

12 SPRING STREET  
HASTINGS.on.HUDSON  
N.Y. 10706  
914.478.0799  
cg@cgaudio.com  
christinagriffinarchitect.com

RESIDENCES AT  
**11 LYMAN PLACE**  
DOBBS FERRY, NY 10522

Dates:

PLANNING BOARD SUBMISSION 3-21-24



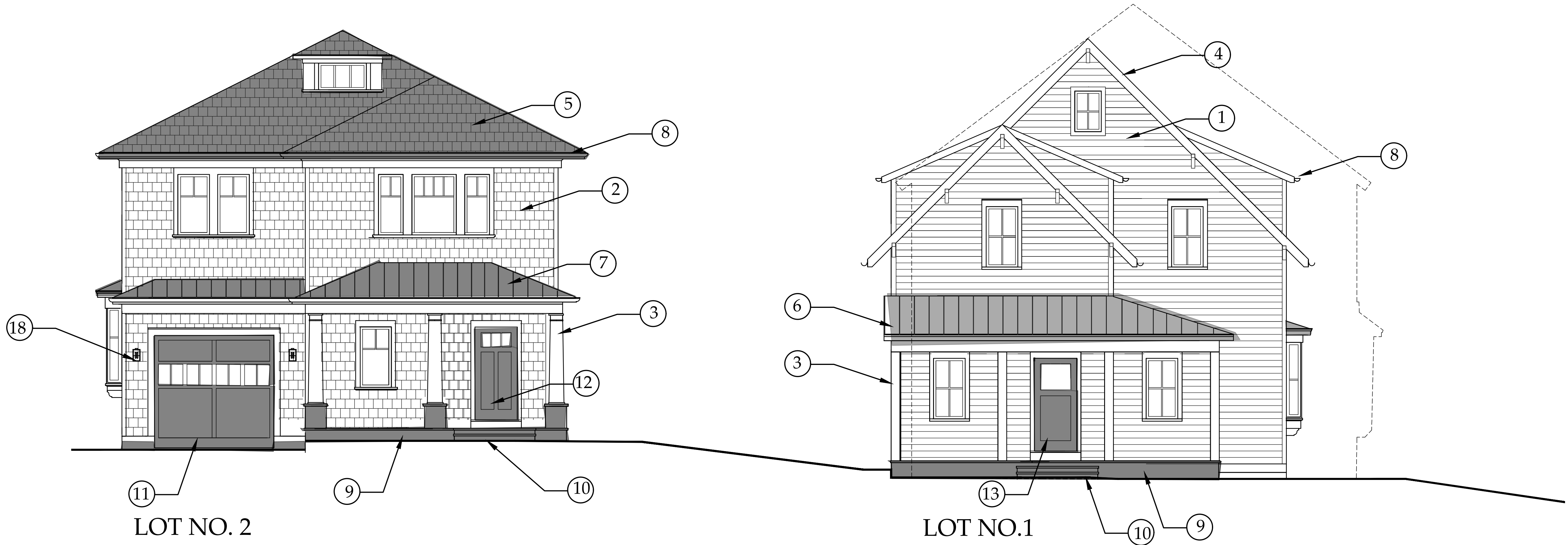
Drawing Title:  
ELEVATIONS OF LOT #2  
RESIDENCE

Scale: As Shown

Sheet Number:

**A-2**





COLOR & MATERIAL SCHEME OF STREET ELEVATION

SCALE: 1/4" = 1'-0"



1. COMPOSITE LAP SIDING, SMOOTH FINISH, WHITE



2. COMPOSITE SHINGLE SIDING, DOVE WHITE



3. AZEK TRIM PAINT FINISH, BEN. MOORE DOVE WHITE



4. ARCHITECTURAL SHINGLES 30 YR. BY CERTANTEED, LANDMARK SERIES, PEWTER GREY



5. ARCHITECTURAL SHINGLES 30 YR. BY CERTANTEED, LANDMARK SERIES, COLONIAL SLATE



6. STANDING SEAM METAL ROOFING WITH FACTORY PAINTED LIGHT GREY FINISH



7. STANDING SEAM METAL ROOFING WITH FACTORY PAINTED WARM GREY FINISH



8. ALUMINUM HALF-ROUND GUTTER, COLOR-MATCHED TO BEN. MOORE CHELSEA GRAY # CW-695



9. 3-COAT CEMENT STUCCO, FINE FINISH, COLOR MATCH TO BEN. MOORE CHELSEA GRAY#CW-695



10. BLUESTONE AT STAIR TREADS, PORCH FLOOR AND PATIO



11. AZEK GARAGE DOOR PAINT FINISH. BEN. MOORE DARK GREY



12. FRONT DOOR PAINT FINISH. BEN. MOORE DARK GREY



13. FRONT DOOR PAINT FINISH. BEN. MOORE SILVER GREY



14. ANDERSEN WINDOWS SIMULATED DIVIDED LITE, BLACK CLADDING



18. EXTERIOR WALL MTD.PARKER LT. FIXTURE



RESIDENCES AT  
**11 LYMAN PLACE**  
DOBBS FERRY, NY 10522

Dates:

BUILDING PERMT SUBMISSION	7-7-23
PLANNING BOARD SUBMISSION	9-14-23
PLANNING BOARD SUBMISSION	9-20-23
PLANNING BOARD SUBMISSION	1-4-24
PLANNING BOARD SUBMISSION	1-18-24
PLANNING BOARD SUBMISSION	04-17-24



Drawing Title:  
EXTERIOR  
3D VIEW

Scale: As Shown

Sheet Number:



3D VIEW OF LOT 1 & 2 HOUSES AS SEEN FROM LYMAN PL





AERIAL VIEW OF LOT 1 & 2 HOUSES

RESIDENCES AT  
**11 LYMAN PLACE**  
DOBBS FERRY, NY 10522

Dates:
BUILDING PERMIT SUBMISSION 7-7-23
PLANNING BOARD SUBMISSION 9-14-23
PLANNING BOARD SUBMISSION 9-20-23
PLANNING BOARD SUBMISSION 1-4-24
PLANNING BOARD SUBMISSION 1-18-24
PLANNING BOARD SUBMISSION 04-17-24



Drawing Title:  
EXTERIOR  
AERIAL VIEW

Scale: As Shown

Sheet Number:





STREET VIEW OF LOT 1 & 2 HOUSES

RESIDENCES AT  
**11 LYMAN PLACE**  
DOBBS FERRY, NY 10522

Dates:
BUILDING PERMT SUBMISSION 7-7-23
PLANNING BOARD SUBMISSION 9-14-23
PLANNING BOARD SUBMISSION 9-20-23
PLANNING BOARD SUBMISSION 1-4-24
PLANNING BOARD SUBMISSION 1-18-24
PLANNING BOARD SUBMISSION 04-17-24

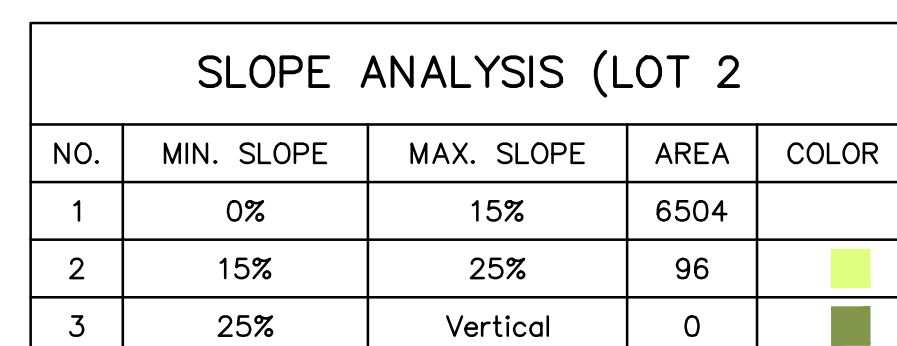



Drawing Title:  
EXTERIOR  
STREET VIEW

Scale: As Shown

Sheet Number:





		02/20/24		PROJECT:  PROPOSED 2-LOT SUBDIVISION 11 LYMAN PLACE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY – NEW YORK  DEMOLITION PLAN  <div style="display: flex; align-items: center;"> <div style="border: 2px solid black; padding: 10px; margin-right: 10px;"> <div style="border-bottom: 2px solid black; height: 40px; width: 100%;"></div> <div style="font-size: 48px; font-weight: bold; text-align: center; margin: 0;">HEC</div> <div style="border-top: 2px solid black; height: 40px; width: 100%;"></div> </div> <div> <div style="text-align: center;"> <div style="border-bottom: 2px solid black; width: 100%;"></div> <div style="font-size: 24px; font-weight: bold; margin: 0;">HUDSON</div> <div style="border-bottom: 2px solid black; width: 100%;"></div> <div style="font-size: 24px; font-weight: bold; margin: 0;">ENGINEERING</div> </div> <div style="text-align: center; margin-top: 10px;">             &amp;              CONSULTING, P.C.              45 Knollwood Road – Suite 201              Elmsford, New York 10523              T: 914-909-0420              F: 914-560-2088           </div> </div> </div>	
	02/20/24				
	10/14/23				



GENERAL NOTES:

1. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
2. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CHAPTER 987.
3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO A.C. ZONING, AND THE NEW YORK STATE BUILDING CODE.
4. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
8. SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.
9. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES.
10. FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE.
11. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
12. ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
13. OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED TO PERFORM THE WORK SHALL BE ENDORSED TO NAME HUDSON ENGINEERING & CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL GUARANTEE THAT THIS INSURANCE IS PRIMARY, AND THAT ANY OTHER INSURANCE OR SELF-INSURANCE MAINTAINED BY HUDSON ENGINEERING & CONSULTING, P.C. SHALL BE EXCESS ONLY AND SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE. INSURED ENDORSEMENT FORM NUMBER CG2010 1185 UNDER GL. COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
14. INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE  
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES  
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY  
(TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT.  
INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY - FINAL GRADING

REMOVE UNNEEDED SUBGRADE FROM SITE.  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEED. HAND RAKE LEVEL.  
BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL LANDSCAPING

GRASS ESTABLISHED.  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL INSPECTION

ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED.  
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

TEST HOLE DATA:

TEST HOLE #1  
DEPTH - 72"  
0-12" TOPSOIL  
12-72" SILTY LOAM  
NO GROUNDWATER  
LEDGE ROCK @ 72"  
PERC. = 53.3 INCHES/HOUR

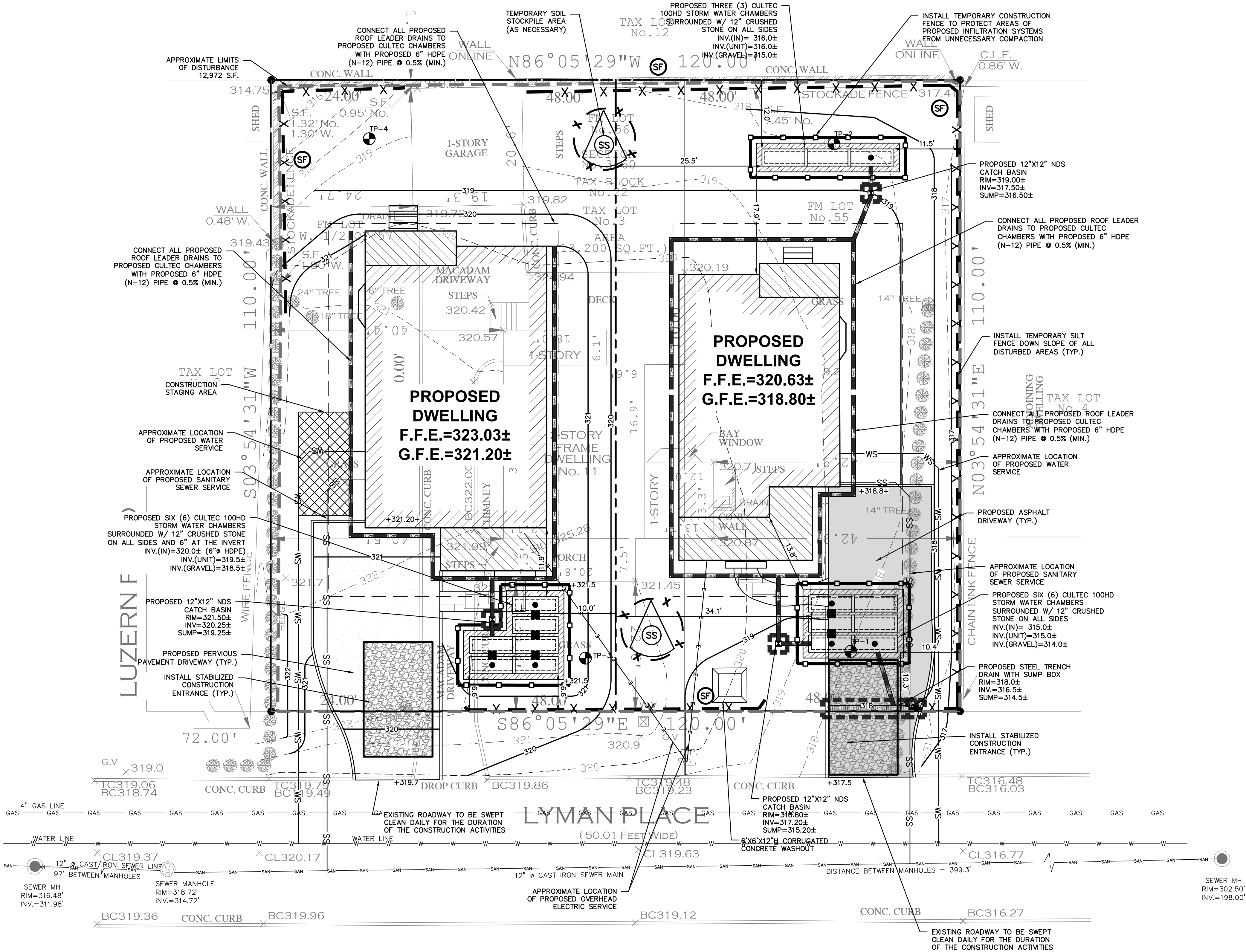
TEST HOLE #2  
DEPTH - 60"  
0-12" TOPSOIL  
12-60" SILTY LOAM W/ ROCKS  
NO GROUNDWATER  
LEDGE @ 60"  
PERC. = 21 INCHES/HOUR

TEST HOLE #3  
DEPTH - 72"  
0-12" TOPSOIL  
12-72" FILL WITH SILTY LOAM  
NO GROUNDWATER  
LEDGE @ 72"  
PERC. = 45.1 INCHES/HOUR

TEST HOLE #4  
DEPTH - 396"  
0-12" TOPSOIL  
12-36" SILTY LOAM  
NO GROUNDWATER  
LEDGE @ 36"

LEGEND

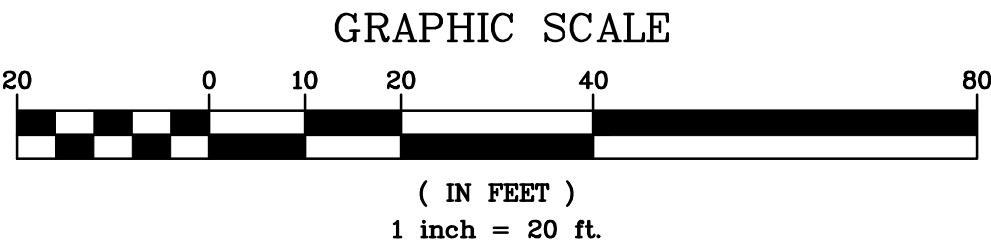
PROPERTY LINE	---
PROPOSED BELGIAN BLOCK CURB	---
PROPOSED ASPHALT DRIVEWAY	---
PROPOSED WALKWAY/PATIO	---
PROPOSED CONTOUR	---
PROPOSED SPOT GRADE	+317.5
PROPOSED STORM PIPE	---
PROPOSED DRAIN INLET	⊠
PROPOSED TRENCH DRAIN	---
PROPOSED WATER SERVICE	WS
PROPOSED SANITARY SEWER SERVICE	SS
TEMPORARY INLET PROTECTION	⊠ IP
TEMPORARY SILT FENCE	- X - X - SF
TEMPORARY CONSTRUCTION FENCE	---
TEMPORARY SOIL STOCKPILE AREA	⊠ CF
STABILIZED CONSTRUCTION ENTRANCE	---
TEST PIT LOCATION	TP-1
PROPOSED LIMIT OF DISTURBANCE	---



CONTRACTOR SHALL CONTACT DESIGN ENGINEER TO SCHEDULE A SITE INSPECTION PRIOR TO BACKFILLING INFILTRATION/ATTENUATION SYSTEM(S). ALL CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND VISIBLE AT TIME OF INSPECTION. SHOULD THE CONTRACTOR BACKFILL PRIOR TO INSPECTION, THE CONTRACTOR SHALL EXPOSE THE SYSTEM AT THEIR OWN EXPENSE.

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

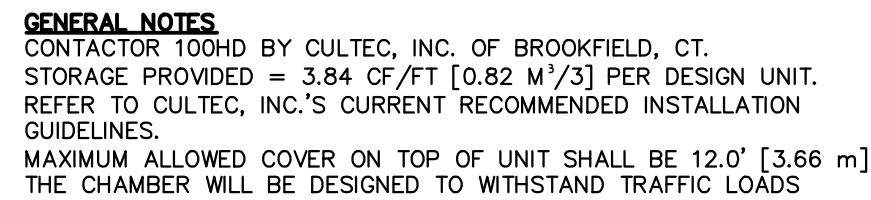
EXISTING INFORMATION SHOWN HEREON  
TAKEN FROM A SURVEY PREPARED BY  
RAMSAY LAND SURVEYING, P.C. DATED  
JUNE 13, 2023



REVISED PER LAYOUT CHANGES 04/12/24	PROJECT: PROPOSED 2-LOT SUBDIVISION 11 LYMAN PLACE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY - NEW YORK	
ADDED EXISTING UTILITIES 02/20/24	STORMWATER MANAGEMENT PLAN	
REVISED PER ALIANCE COMMENTS 10/02/23	HUDSON ENGINEERING CONSULTING, P.C. 45 Knollwood Road, Suite 201 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086 © 2023	Date: 06/15/23 Sheet: 2 Scale: 1" = 10' Designed By: U.A. Checked By: M.S. Sheet No. 3

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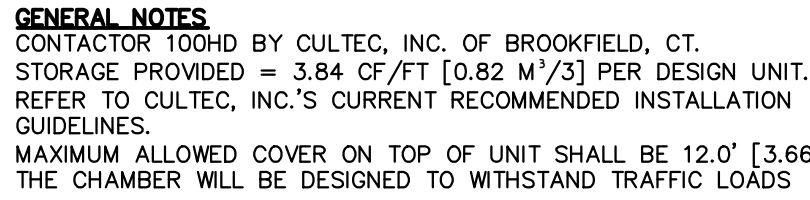
NOTES:

1. WHEN ACCESS PORT IS UTILIZED AS SYSTEM OVERFLOW, INSTALL ND MODEL 50 GRATE. GRATE TO BE SET 1/2" ABOVE ADJACENT GRADE ADJACENT GRADE TO PITCH AWAY FROM ACCESS PORT IN ALL DIRECTION.
2. INSPECTION PORT NOT TO SERVE AS OVERFLOW WHEN INSTALLED IN PAVED/TRAFFIC AREAS.



CONTRACTOR SHALL CONTACT DESIGN ENGINEER TO SCHEDULE A SITE INSPECTION PRIOR TO BACKFILLING INFILTRATION/ATTENUATION SYSTEM(S). ALL CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND VISIBLE AT TIME OF INSPECTION. SHOULD THE CONTRACTOR BACKFILL PRIOR TO INSPECTION, THE CONTRACTOR SHALL EXPOSE THE SYSTEM AT THEIR OWN EXPENSE.

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.



PERMEABLE PAVEMENT/  
STANDARD PAVEMENT INTERFACE

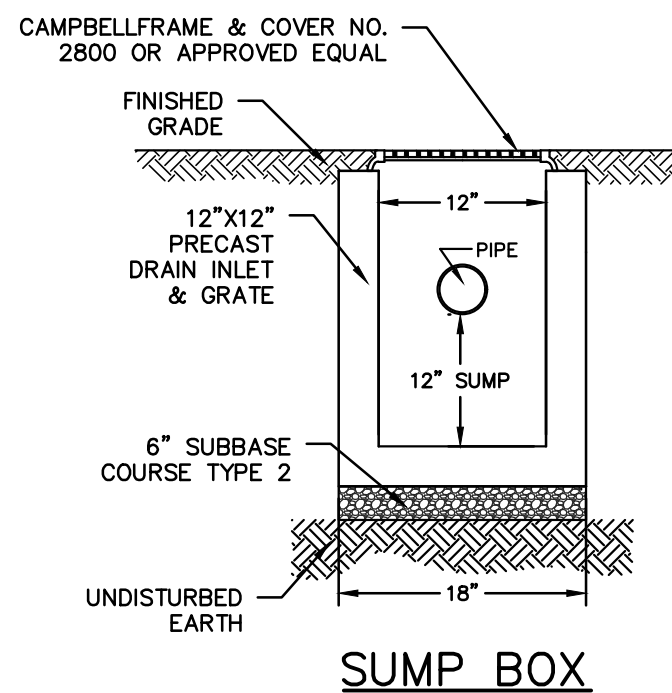
**NOTES:**

1. STONE FOR INFILTRATION BEDS SHALL BE 3/4 INCH UNIFORMLY GRADED COARSE AGGREGATE WITH A WASH LOSS OF NO MORE THAN 0.5% IN ACCORDANCE WITH PROJECT SPECIFICATIONS, VOID SPACE SHALL BE 40% AS MEASURED BY ASTM-C29.
2. NONWOVEN GEOTEXTILE SHALL CONSIST OF NEEDLED NONWOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES: 3. GRAD TENSILE STRENGTH (ASTM-D4632)  $\geq$  120 LBS. MULLEN BURST STRENGTH (ASTM-D3768)  $\geq$  225 LBS, FLOW RATE (ASTM-D4491)  $\geq$  100 GONS/MINUTE/SQUARE FOOT UV RESISTANCE AFTER 500 HRS (ASTM-D3455)  $\geq$  70%. HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED. GEOTEXTILE FABRIC SHALL BE MIRAFI 140 N OR APPROVED EQUAL.
3. POROUS PAVEMENT SHALL NOT BE INSTALLED ON WET SURFACES OR WHEN THE AMBIENT AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT OR LOWER.
4. FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION SEEPAGE BEDS, APPROPRIATE MEASURES (I.E. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
5. ALL STONE FOR THE CONSTRUCTION OF THE PERMEABLE PAVEMENT SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGATE.
6. THE BOTTOM OF THE PERMEABLE PAVEMENT SUBBASE BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
7. PERVIOUS PAVEMENT SHOULD BE INSTALLED TOWARD THE END OF THE CONSTRUCTION PERIOD IF POSSIBLE. THIS WILL AVOID COMPACTION OF THE SUBGRADE AND SUBJECTION TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC.
8. GEOTEXTILE AND BED AGGREGATE FOR PERVIOUS PAVEMENT SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION AND INSTALLATION OF THE BEDS. ADDITIONAL LAYERS OF GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 16 INCHES, AND SHOULD BE SECURED AT LEAST 4 FEET OUTSIDE OF BED TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE STORAGE BED. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS OR DISTURBED AREAS CONTIGUOUS TO THE BED ARE STABILIZED. WHEN THE BEDS ARE FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BED EDGES CAN BE CUT BACK TO THE BED EDGE.

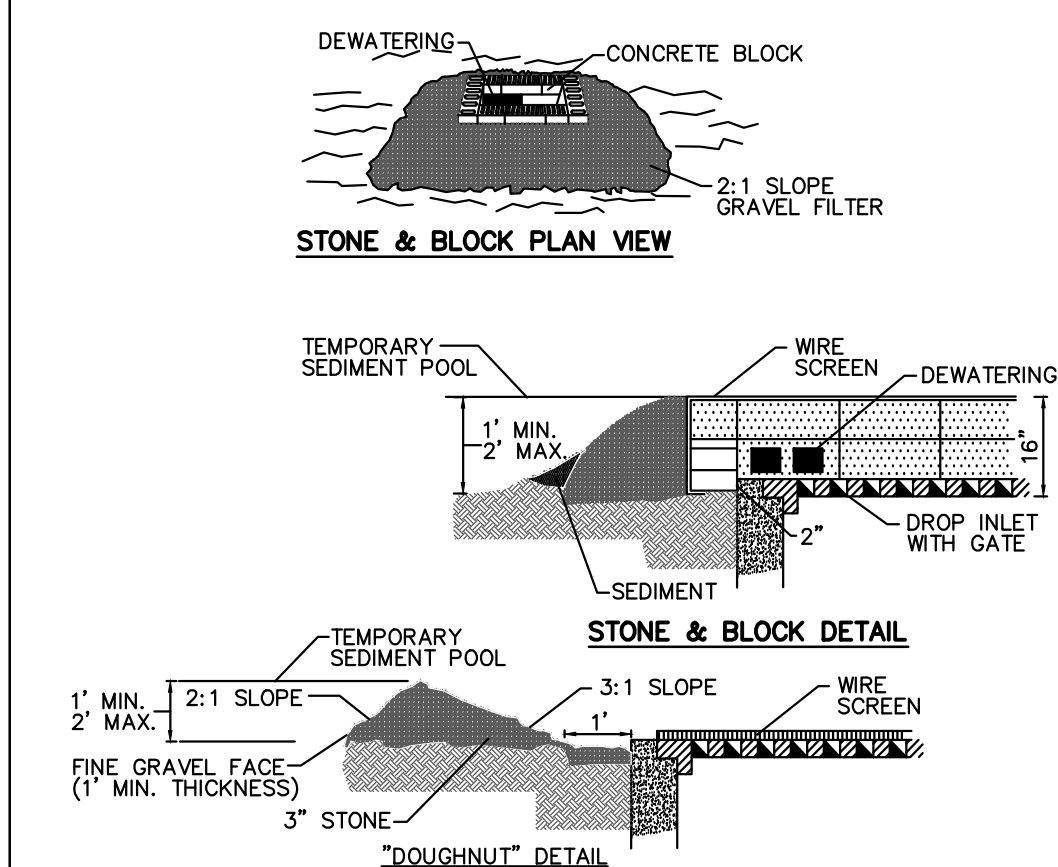


Diagram illustrating the construction of a safety fence. The fence is made of high density orange polyethylene safety fence material. The stakes are spaced 12" O.C. (On Center). The fence is 48" high. The stakes are 66" T-stakes driven 18" below grade. The fence is secured to the stakes with wire or zip ties. The finished grade is shown below the fence.

CONSTRUCTION FENCE

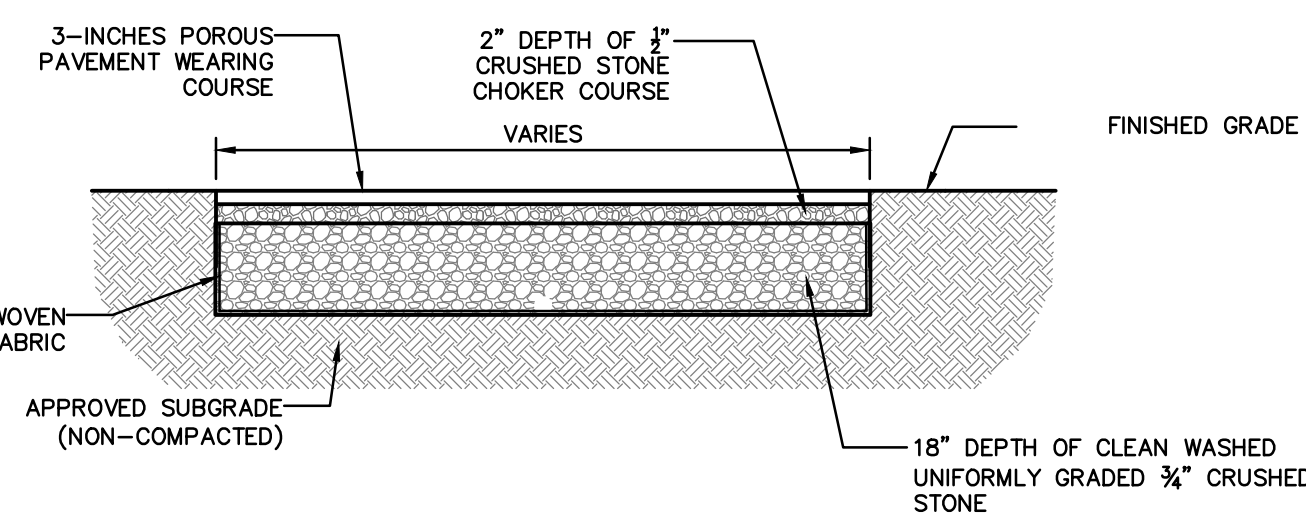


SUMP BOX



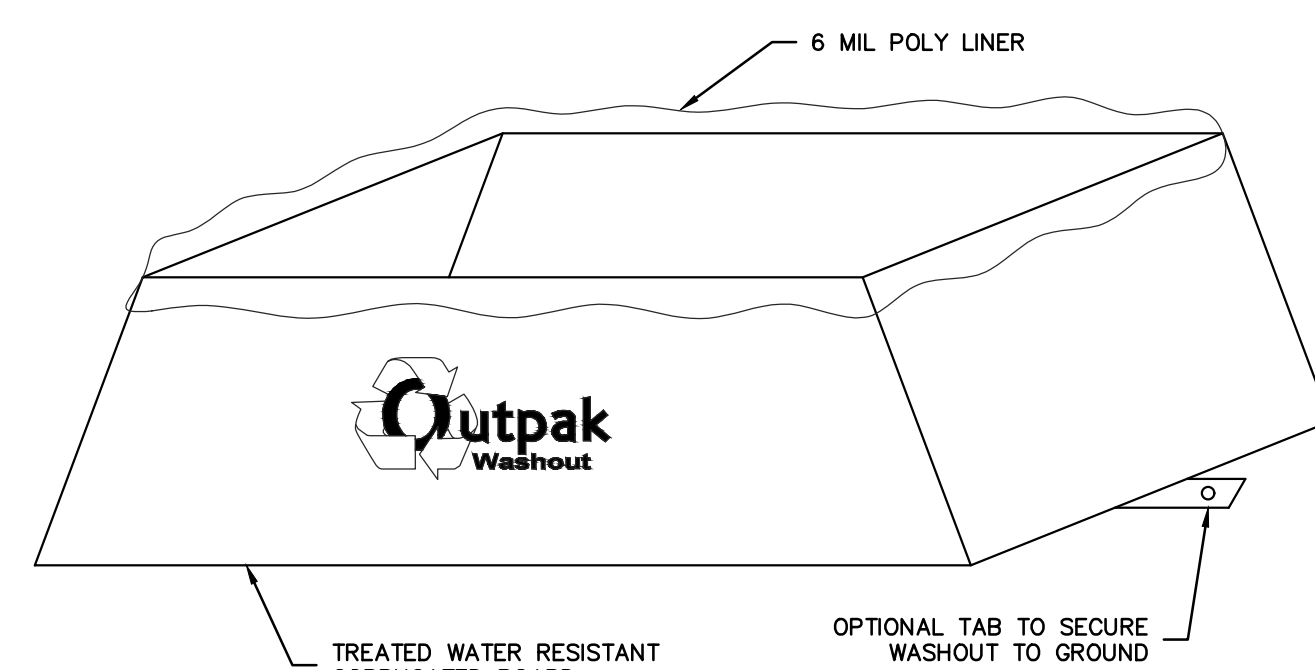
1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR Dewatering. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
2. HARDWARECLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN SLOPE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

MAXIMUM DRAINAGE AREA 1 ACRE.



9. THE PEROUS PAVEMENT SHOULD BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS DATED SEPTEMBER 1, 2016.
10. THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHOULD BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 5 GPM OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVICE. ALL APPLIED WATER SHOULD INFILTRATE DIRECTLY WITHOUT FORMATION OR SURFACE RUNOFF.
11. PLANTED AREAS ADJACENT TO THE PEROUS PAVEMENT SHOULD BE MAINTAINED AND INSPECTED ON A SEMIANNUAL BASIS.
12. PEROUS PAVEMENT SHALL BE VACUUMED 2 TO 3 TIMES PER YEAR. PAVEMENT WASHING SYSTEMS OR COMPRESSED AIR UNITS ARE NOT RECOMMENDED. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT.
13. FOR WINTER MAINTENANCE OPERATIONS, ABRASIVES SUCH AS SAND OR CINDERS SHOULD NOT BE APPLIED ON OR ADJACENT TO THE PEROUS PAVEMENT.
14. SNOW PLOWING IS ACCEPTABLE, PROVIDED IT IS DONE BY SETTING THE BLADE SLIGHTLY HIGHER THAN USUAL (APPROXIMATELY 1 INCH).
15. SALT IS ACCEPTABLE FOR USE AS A DEICER ON THE PEROUS PAVEMENT, THOUGH NONTXOIC, ORGANIC DEICERS APPLIED EITHER AS BLENDED MAGNESIUM CHLORIDE BASED LIQUID PRODUCTS, OR AS PRETREATED SALT ARE PREFERABLE.
16. IF PORTIONS OF THE PEROUS PAVEMENT EXPERIENCE SETTLING, FOR AREAS LESS THAN 50 SQUARE FEET, REPAIR CAN BE MADE WITH STANDARD PAVEMENT OR WITH THE PEROUS PAVEMENT MIX. IF THE AREA IS GREATER THAN 50 SQUARE FEET, THE CONTRACTOR SHALL RECEIVE APPROVAL OF THE PATCH TYPE FROM HUDSON ENGINEERING & CONSULTING, P.C.

## PERMEABLE PAVEMENT



NOTES:

1. THE WASHOUT SHALL BE INSTALLED PRIOR TO USING MATERIALS THAT REQUIRE WASHOUT ON THIS PROJECT.
2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE WASHOUT.
3. THE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CARRY CAPACITY FOR LOADED WASTE.
4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
7. COATE WASHOUT AT LEAST 50' (15 METERS) FROM STORM DRAIN, OPEN DITCHES, OR WATER BODIES.
8. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.

## CORRUGATED CONCRETE WASHOUT

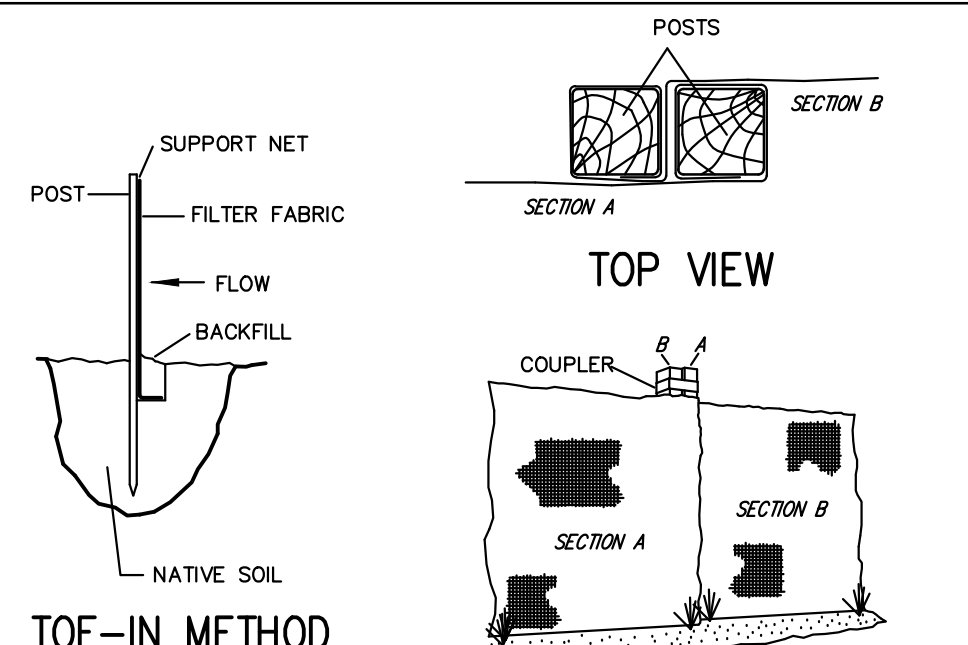
Diagram illustrating a stabilization pile with vegetation or cover. The pile is shown as a cross-section, labeled "STABILIZE ENTIRE PILE WITH VEGETATION OR COVER". The pile is covered with vegetation, indicated by small plant symbols. The slope is labeled "SLOPE OR LESS". The pile is surrounded by a "MIN. SLOPE" and "SILT FILL".

## INSTALLATION NOTES

### INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT BACKSLOPES FROM TEMPORARY DRAINAGE.
3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE COVERED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR SODDED.
5. SOILS BEING RECLAIMED IN PLACE FOR USE SHALL BE COVERED WITH SODDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

SILT FENCE

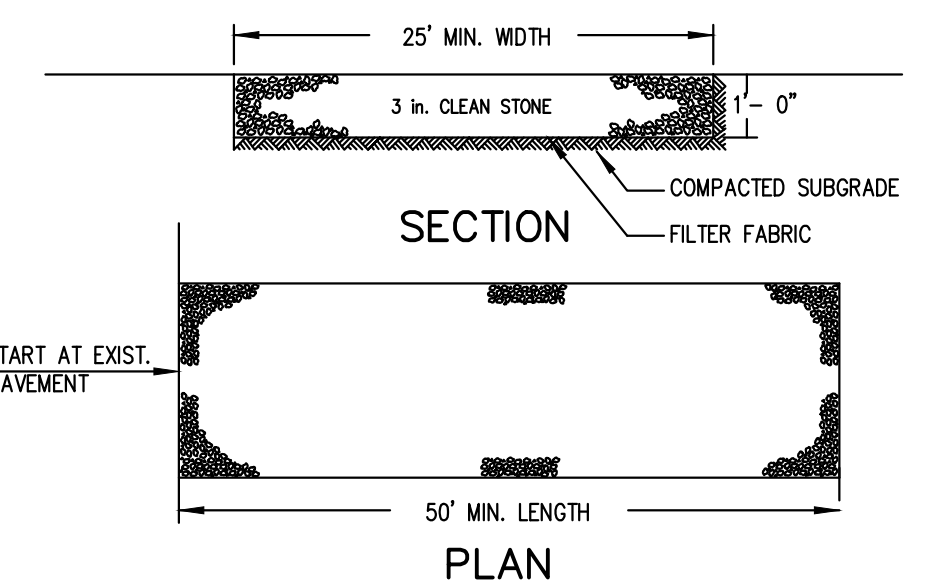


## JOINING SECTIONS OF FENCING

### INSTALLATION NOTES:

1. EXCAVATE A 4 INCH X 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.

## STABILIZED CONSTRUCTION ENTRANCE



**INSTALLATION NOTES:**

- [illegible]

2		REVISED PER BOARD COMMENTS	11/20/23
1		REVISED PER VILLAGE COMMENTS	10/16/23

PROJECT:
----------

PROPOSED 2-LOT SUBDIVISION  
11 LYMAN PLACE  
VILLAGE OF DOBBS FERRY  
WESTCHESTER COUNTY – NEW YORK

## DETAILS

**HEC**

**HUDSON**  
ENGINEERING  
&  
CONSULTING, P.C.  
45 Knollwood Road, Suite 20  
Elmsford, New York 10523

T: 914-909-0420  
F: 914-560-2086

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Checked By:	M.S.		
Sheet No.			

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