		ABBREVIA	TIONS	6	
A.F.F.	ABOVE FINISI	HED FLOOR	MTD.	MOUNTED	<u>1. GENERAL REQUIREMENTS</u> A. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENS
BOT.	BOTTOM		MTL.	METAL	CONSTRUCTION. CONTACT ARCHITECT TO REVIEW ANY CLARIFICATION
CLG.	CEILING		0.C.	ON CENTER	B. GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSEL HOURS OF LEGAL OPERATION AND RELATED PERFORM
C.M.U.		ASONRY UNIT	PTD.	PAINTED	SHALL CONTACT STEVEN SECON ARCHITECT REGARDI CONFLICTING WITH THE DRAWINGS.
TIXT. CONC.	FIXTURE CONCRETE		TYP. U.N.O.	TYPICAL UNLESS NOTED OTHERWISE	C. ALL WORK SHALL BE PERFORMED IN ACCORDANCE AND REGULATIONS OF AUTHORITIES HAVING JURISDIC RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTI OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED
GC	GENERAL CO		V.C.T.	VINYL COMPOSITE TILE	D. ALL MATERIALS SPECIFIED OR USED TO EXECUTE STORED AND INSTALLED PER MANUFACTURER'S INSTF
GWB	GYPSUM WAL	L BOARD	V.I.F.	VERIFY IN FIELD	E. ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM WRITTEN APPROVAL FROM STEVEN SECON ARCHITECT
,∟. T.	HEIGHT		WD.	WOOD	F. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO
	HEIOTT	LEGEI			SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOL SURFACES, READY FOR APPLICATION OF FINISHES. G, SHUTDOWNS AND INTERRUPTIONS TO NORMAL AC
SYM	DOI				PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT RECONNECTS AND UPGRADES WITH THE PROPER PRO H. CONTRACTOR PROVIDE SHORING, STABILIZATION
X A		DESCRIPTION DETAIL REFERENCE, DRAWING SHEET	BOTTOM NU	JMBER INDICATES	PROPERTY, SITE AND PERSONAL PROTECTION AS EXECUTION OF THE WORK. CONTRACTOR SHALL ENGINEERING DRAWINGS AS REQUIRED BY LOCAL MUN I. PROVIDE WEATHER PROTECTION IN A TIMELY MANN
X		SECTION OR ELEVA	tion refere	NCE	MATERIALS, INSTALLED WORK AND PERSONNEL. J. ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYS
		REVISION NUMBER V NFORMATION ALTER			AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFI SHOWN. MECHANICAL, ELECTRICAL AND PLUMBING WOF TRADESMAN.
					K. THE GENERAL CONDITIONS FOR THIS PROJECT ARE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, ARCHITECT.
- -2'−		DIMENSION LINE, NU FACE OF FINISH CO		DICATE DISTANCE TO	L. THE GC SHALL COORDINATE THE WORK OF ALL THE OWNER. M. THE GC SHALL SUBMIT A WRITTEN PROGRESS SCH
 		EXISTING CONSTRUC OTHERWISE NOTED	TION TO BE	REMOVED OR AS	MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWAR PROVIDE OWNER A LIST OF "NEED BY DATES" FOR OWNERS" SCHEDULE
i I					 N. SUBMIT APPLICATIONS FOR PAYMENT INDICATED IN O. ALL DELIVERIES, STAGING AND AVAILABLE UTILITIE PRIOR TO CONSTRUCTION.
		WINDOW SYMBOL			P. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSA "BROOM-CLEAN" CONDITION.
	6	EXISTING CONSTRUC	TION TO RE	MAIN	Q. WORK IN HARMONY WITH INDEPENDENT CONTRACT R. PROVIDE MINIMUM WARRANTY FOR ALL NEW & AF
·	$\langle 0 \rangle$	SWINGING DOOR WIT (2068–A DENOTES			FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE C S. WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM ACCORDING TO THE NATIONAL ASSOC. OF HOME BUIL PERFORMANCE GUIDELINES" CURRENT EDITION.
		DIAMOND CORRESPO		RENCE, LETTER WITHIN NSTRUCTION DETAIL OR	T. THE GC AND EACH OF HIS SUBCONTRACTORS SHA RELATED WORK EXPERIENCE ON PROJECTS OF A SIMI ADEQUATELY TRAINED TRADESMAN AND SUPERVISION
1		SPECIFICATIONS ELECTRICAL DUPLEX			U. WHERE CONFLICTS OR POSSIBLE CONTRADICTORY THE BID SHALL BE BASED ON THE MORE EXPENSIVE
\$ ₫	(N) NEW	MOUNTED AT 18" A ABOVE COUNTER SU DENOTES GROUND F	BOVE FINISH JRFACE WHE	IED FLOOR OR 12" RE REQ'D (GFI—	V. CONTRACTORS' INPUT AND RECOMMENDATIONS AR CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED I BETTER RESULT THAN INDICATED HEREIN FOR THE S SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF
$\overline{\forall}$	/	TELEPHONE OUTLET FINISHED FLOOR	WALL MOUI	NTED AT 18" ABOVE	W. CONTRACTOR AND HIS SUBCONTRACTORS SHALL I ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DU OWNER HALL BE RESPONSIBLE FOR PROPERTY INSUR CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUI
	2 F	FLUSH FLOOR MOUN RECEPTACLE, ALLOV N THE FIELD		RICAL DUPLEX OJECT TO BE LOCATED	COURSE OF CONSTRUCTION. X. ALL DEBRIS MUST BE REMOVED DAILY FROM JOBS FLAMMABLE MATERIALS MUST BE STORED IN UL APP EXTINGUISHERS WITH MINIMUM 10 LBS CAPACITY RAT
JB	3] [ELEC. JUNCTION BO	X, (USE SM	ALLEST FOR SCONCES)	SF OF PROPERTY DURING CONSTRUCTION AND BE PL Y. ALL SITE SETBACKS, RELATED DIMENSIONS AND E
	a ,		., WITH WHI	TE TRIM, 1500 MIN LUMEN	SURVEYOR PRIOR TO CONSTRUCTION. <u>THE CONTRACT</u> SURVEYOR TO STAKEOUT THE EXTENTS OF CONTRUC 2. SITEWORK
-Ç		LAMP, 3000 K CRI, CIRCUIT AND SWITC		LETTER DESCRIBES WHERE SHOWN	A. PROVIDE PROTECTION OF ALL TREES AND PLANTIN CONSTRUCTION ACTIVITIES.
					B. PROVIDE SILT FENCE AT ADJACENT AREAS TO EXC
¢				REJUVENATION" SILETZ ED LAMPS, WET LOCATION	CONSTRUCTION.GC WILL BE RESPONSIBLE FOR FINAL OR RESEEDING WITH APPROPRIATE SEED AND HAY COVER SEED AND GROWTH IS BY OWNER. AT STEEP AREAS USED AND PROVIDED WITH 3 MONTH WARRANTY.
¢	÷ '		-50 WITH W	CE LIGHTING FIXTURE 1/ LED CANDELABRA 3. FINISH)	 C. STOCKPILE ALL TOPSOIL AS DIRECTED BY OWNER. AREAS. D. ASSURE MINIMUM 1/4" PER 1'-0" POSITIVE DRAIN
$\langle \! \rangle$	~	FLOOD LIGHT WITH	·	,	E. SOIL SHALL BE EXCAVATED AS REQUIRED, FIELD V AND BE FREE OF DEBRIS, WASTE, FLOWING WATER, V
C	י צ			WASHER LED LT. FIXTURE, . LUMEN LAMP, 3000 K	CAPACITY AND THEN REPLACED WITH ENGINEERED CO CLEAN WELL GRADED SAND AND GRAVEL COMPACTED
Ę	, ,	SURFACE INCANDES "REJUVENATION",MO BRUSHED NICKEL FI	RELAND, #C	C865, SHADE #018CE	WITH EACH LAYER AND BASE EARTH LAYER THOROUG WITH A VIBRATORY PLATE. G. AREAS WITHIN 6' OF EXISTING CONSTRUCTION (WH WITHIN 30 YEARS) SHALL BE CONSIDERED BACKFILL A
├		FLUORESCENT LIGH	FIXTURE W	ARM WHITE T8 LAMPS	TO DEMONSTRATE 95% COMPACTION AT SOIL BEARING H. PROVIDE CLEAN NON-TOXIC FILL WHERE REQUIRED REQUIRED., OR AS SHOWN ON THE DRAWINGS. BACKF AND COMPACTED TO ACHIEVE RECOMMENDED ACI DEM
С		PORCELAIN SOCKET	, LED LAMPS	5	I. LOCATE UNDERGROUND UTILITIES BEFORE EXCAVATI INSPECTIONS. CALL BEFORE YOU DIG, 811, OR EXCAV NUMBER MUST BE PROVIDED.
F		FANLIGHT, DUCT TO "PANASONIC" MODE		WET LOCATION	J. TRENCHES SHALL BE BACK FILLED IN 6" LIFTS, BE ALL TRADES. PLACE SUBGRADE PLASTIC WARNING TA
\$		SINGLE POLE LIGHT ABOVE FINISHED FL	SWITCH, WA OOR (SUBSC	ALL MOUNTED AT 42" CRIPT "3" INDICATES OCATION WITH TRIM.	K. DO NOT BACKFILL AGAINST FOUNDATION UNTIL CO .75 % OF ULTIMATE STRENGTH.
(SE	δ	SMOKE DETECTOR,	DUAL SENSI	NG PHOTO-VOLTAIC AND RED & INTERCONNECTED	L. GRAVEL FOR DRAINAGE, TO BE CLEAN BANK-RUN WATER BY PUMPING OR OTHER APPROVED MEANS.M. ADJACENT TO NEW BASEMENTS AND CRAWL SPAC
A		RATE OF RISE HEA			NEW 4" PERF FOOTING DRAIN WRAPPED IN GRAVEL A WHERE NO EXISTING FOOTING DRAIN EXISTS, INSTALL
(⊣⊡ (⊂⊂		NTERCONNECTED			A 100 GAL. DRYWELL NO LESS THAN 4' X 4' X 4' O BELOW GRADE. FULLY WRAPPED IN FILTER FABRIC WI 10' MIN AWAY FROM HOUSE & PROP. LINES.
_	-	NTERCONNECTED			N. MODIFY SUBGRADE SPRINKLER IRRIGATION SYSTEM SPRINKLER TO BE REPAIRED/REPLACED TO PROPER PROVIDE AQUASTAT AND TIMER PER OWNERS DIRECTI
(F)	y ł	FIRE EXTINGUISHER,	а-в-с КА	ILU O LU	0. U.N.O. PROVIDE TEMP. SITE ACCESS DRIVE OF 10'

SIONS AND FIELD CONDITIONS PRIOR TO Y DISCREPANCIES OR ISSUES NEEDING LF WITH SITE WORKING CONDITIONS,

MANCE CRITERIA. GENERAL CONTRACTOR DING ANY DEVIATIONS OR FIELD CONDITIONS E WITH APPLICABLE CODES, ORDINANCES,

TION. GENERAL CONTRACTOR SHALL BE TIONS, AND CERTIFICATE(S) OF

THIS PROJECT SHALL BE DELIVERED , TRUCTIONS AND SPECIFICATIONS.

M CONTRACT DOCUMENTS WILL REQUIRE T PRIOR TO INSTALLATION. O ALLOW INSTALLATION OF NEW WORK

LITION FLUSH AND SMOOTH TO ADJACENT

CTIVITIES SHALL BE REVIEWED WITH OWNER AND COORDINATE UTILITY SHUT-DOWNS, OVIDER IN A TIMELY MANNER. AND BRACING AS REQUIRED. PROVIDE

REQUIRED, FOR THE SAFE AND ORDERLY PROVIDE SIGNED AND SEALED P.E. INICIPALITY. INER TO PROTECT THE SITE, PREMISES,

STEMS AND SERVICES TO BE COMPLETE FLICT WITH FIXTURES OR CONSTRUCTION RK SHALL BE PERFORMED BY LICENSED

RE "THE GENERAL CONDITIONS OF THE 1997 EDITION", AVAILABLE FROM

TRADES. INCLUDING SUBS HIRED BY

CHEDULE AS WELL AS A LISTING OF ALL RD FOR OWNER APPROVAL. GC SHALL AL ITEMS CITED IN THE "PROVIDED BY

IN OWNER-CONTRACTOR AGREEMENT. IES SHALL BE COORDINATED WITH OWNER

SAL OF ALL WASTE. LEAVE PROJECT IN

TORS HIRED BY THE OWNER. FFECTED CONSTRUCTION OF 2 YEARS

OWNER WITH MANUALS AND WARRANTIES. STANDARD FOR INSTALLATION SHALL JILDERS "RESIDENTIAL CONSTRUCTION

HALL HAVE A MINIMUM OF 5 YEARS OF MILAR NATURE, FAILURE TO PROVIDE N WILL BE GROUNDS FOR TERMINATION. / INFORMATION ARE SHOWN, THE BASIS OF MEANS.

RE WELCOMED AND ANTICIPATED. IF THEY HAVE MERIT AND CAN ACHIEVE A AME COST AND TIME. SUCH CHANGES THE ARCHITECT AND OWNER.

MAINTAIN WORKMENS COMPENSATION AND URATION OF THE PROJECT PLUS 2 YEARS. RANCE ON VALUE OF BUILDING PLUS UILDERS RISK INSURANCE) DURING THE

SITE AND PROPERLY DISPOSED OF. AL PROVED STORAGE CONTAINERS. FIRE TED ABC SHALL BE PLACED EVERY 1000 LAINLY VISIBLE.

ELEVATIONS SHALL BE CONFIRMED BY OR IS RESPONSIBLE FOR CONTACTING A TION BEFORE COMMENCING WORK

ING THAT MAY BE AFFECTED BY THE

(CAVATION & , GRADING AND GRADING, TOP SOIL INSTALLATION AND R. WATERING AND MAINTENANCE OF THE WITH SLOPE ABOVE 8%, SOD SHALL BE

REGRADE, AND RE-SEED ALL DISTURBED

NAGE AWAY FROM STRUCTURE. VERIFY 2 TON/SF BEARING CAPACITY, VEGETATION OR OTHER DELETERIOUS CONDITIONS.

ED TO A DEPTH OF ADEQUATE BEARING COMPACTED FILL WHICH SHALL CONSIST OF D TO 95% DENSITY, PLACED IN 8" LIFTS GHLY COMPACTED BY MAKING 4 PASSES

HOSE SOIL HAS NOT BEEN DISTURBED AND REQUIRES ADDITIONAL SOIL TAMPING G FACE.

D TO MATCH ADJACENT GRADES AS FILLING SHALL BE PERFORMED IN 8" LIFTS

ION, OBTAIN REQUIRED APPROVALS AND VATE 1-800-962-7962. CONFIRMATION

BEDDED WITH GRAVEL. COORDINATE WITH APE ABOVE LINES 1' BELOW GRADE. ONC./CMU INSTALLATION HAS REACHED

1' STONE KEEP EXCAVATION CLEAR OF

CES, THE CONTRACTOR SHALL CONNECT A AND FILTER FABRIC TO THE EXISTING. A NEW FOOTING DRAIN CONNECTING TO OF 2" MIN GRAVEL, NO FINES . TOP 12" VITH 4" PVC INLET AND MARKER STONE.,

WS IF ENCOUNTERD TO SUIT NEW WORK. WORKING ORDER WHEN ENCOUNTERED. PROVIDE AQUASTAT AND TIMER PER OWNERS DIRECTION.

0. U.N.O. PROVIDE TEMP. SITE ACCESS DRIVE OF 10' X 40' X 4"TH GRAVEL ON FILTER FABRIC, WITH MOUNTABLE CURB.

P. DISCOVERY OF SUBGRADE LEDGE ROCK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN A TIMELY MANNER FOR REVIEW.

Q. PROTECT ALL DRAINAGE INLETS WITH HAYBALES, DIRTBAGS, SILT STRAINERS OR SIMILAR DEVICES

R. PROVIDE 4' H MINIMUM ORANGE CONSTRUCTION FENCEING TO PROTECT THE CONSTRUCTION

S. CONTRACTOR IS RESPONSIBLE FOR RESTORING GRADE AND SITE, SPREADING TOP SOIL, SEEDING AND PROVIDING HAY PROTECTION FOR THE SEED. THE HOME-OWNER IS RESPONSIBLE FOR WATERING AND FERTILIZER. ON SLOPES EXCEEDING 15% SOD SHALL BE USED. OWNER IS RESPONSIBLE FOR PLANT RELOCATION AND TREE REMOVAL OR PRUNING IF REQUIRED.

ADHESIVE ANCHORS. SEQUENCE 3' WIDE POURS TO AVOID DAMAGE TO STRUCTURE. NOT EXPOSED TO WEATHER OR EARTH GUIDELINES AND PER ASTM C94

<u>3. CONCRETE</u> N/A

MOISTURE EXPOSURE

ONE FOOT VERTICAL R. N/A 4. MASONRY

A. COMPLY WITH PUBLICATIONS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR ALI MASONRY WORK. MASONRY WORK SHALL NOT PROCEED WHERE WEATHER CONDITIONS ARE OR ARE EXPECTED TO PRODUCE AMBIENT TERMPERATURES BELOW 40'F WITHOUT PROPER TENTING/HEATING OR OTHER MEANS OF PROTECTION.

B. CONCRETE MASONRY UNITS TO BE SOLID FILLED AT TOP COURSE. PROVIDE HORIZONTAL TRUSS REINFORCING EVERY OTHER COURSE. LOAD BEARING UNITS (ASTM C-90, GR. U-1) FILLED SOLID WITH GROUT FOR FULL HT. AT BEARING POINTS-12" BOTH SIDES OF SUPERIMPOSED LOAD, GROUT SHALL BE LEAN WITH 8 TO 10" SLUMP, WHEN USING CMU AS FOUNDATION WALLS, GROUT ENTIRE TOP COURSE AND BOTTOM COURSE FULL PROVIDE FULLY GROUTED CORES AT VERTICAL REBARS. DO NOT BACKFILL UNTIL MAXIMUM STRENGTH HAS BEEN ATTAINED AND FLOOR JOISTS ARE INSTALLED, RUNNING BOND PATTERN UNLESS NOTED FIRE-RATED ASSEMBLIES PER ASTM E 814 BY TREMCO OR 3M FIRE PRODUCTS. OTHERWISE.

C. USE TYPE M MORTAR FOR BELOW GRADE MASONRY. TYPE N ELSEWHERE. MORTAR SHALL BE SUFFICIENTLY PLASTIC AND MASONRY UNITS SAHLL BE PLACED TO FORM A TIGHT JOINT OF APPROX. 3/8" OR TO MATCH EXISTING. D. PRECAST CONCRETE UNITS TO BE FABRICATED PER ASTM C 1364. WITH ALL REQUIRED

E. (N/A)

G. BRICK VENEER TO BE ANCHORED TO WALL FRAMING AT 16" HORIZ. 16" VERTICALLY MAXIMUM. FASTEN ALL ANCHORS SECURELY TO STUDS. H. PROVIDE LINTELS PER SCHEDULE, MINIMUM 8" BEARING AT BOTH ENDS.

J. FLAGSTONE AND SLATE PAVERS TO BE 1 1/2" TH. TO MATCH EX. ON 2" STONE-DUST SETTING BEDS, FILTER FABRIC ON 3" THICK BED OF 3/4" GRAVEL SUB-BASE ON COMPACTED THROUGHOUT PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A.

L. N/A M. N/A

N. N/A

<u>5. METALS (N/A)</u>

6. WOOD AND PLASTICS

B. ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES:

G. PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL I EXT-DFPA"

NAILING SCHEDULES SHALL BE AS FOLLOWS; UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS: PLYWOOD OVER WALL STUDS - 6" O/C @ INTERIOR MEMBERS; MIN 16D

PROCESS

TERMITE SHIELD AT BASE OF SILL PLATES.

HOSE BIB (FROST FREE)

CEILING DIFFUSER (SUPPLY), WHITE

CEILING REGISTER (RETURN), WHITE

FLOOR REGISTER (SUPPLY), MATCH FLOOR

 \bowtie

OUTLINE SPECIFICATIONS

PARTITIONS.

CONFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR

REINFORCED CONCRETE", THE ACI. . STRUCTURAL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3.000 PSI. AGGREGATES SHALL CONFORM TO ASTM C33: THE COARSE COMPONENT EITHER WASHED GRAVEL OR CRUSHED STONE. FINE AGGREGATE SHALL BE CLEAN NATURAL SAND. PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH ASTM C150, TYPE I DEFORMED REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTMA615. GRADE 60. USE EPOXY COATED REBAR IN AREAS SUBJECT TO DE-ICING SALTS AND CONITUOUS

STANDARD DETAILS FOR REBAR HOOKS, BENDS, AND DEVELOPMENT LENGTHS SHALL BE IN CONFORMANCE WITH THE "CONCRETE REINFORCING STEEL HANDBOOK", THE CRSI ENGINEERING PRACTICE COMMITTEE. PROVIDE 2 - #6 BARS ADDITIONAL AROUND ALL U. PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS, BATH-TUBS OR OTHER HEAVY BOXED OPENINGS LARGER THAN 1'-O" AND SMALLER THAN 3'-O" × 3-O" IN FOUNDATION FIXTURES RUNNING PARALLEL WITH THE JOISTS. WALLS. LENGTH OF BARS SHALL EQUAL OPENING PLUS 4'-0", UNLESS NOTED.ALL REINFORCING BAR SPLICES SHALL BE CLASS "C" TENSION SPLICES, UNLESS NOTED. SMOOTH WIRE FABRIC REINFORCEMENT SHALL BE IN COMPLIANCE WITH ASTM A185. SHEETS WOODWORK QUALITY STANDARDS"-PREMIUM QUALITY LEVEL. ONLY NO ROLLS PER ACLASTM A185

H. GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 6,000 PS AT 28 DAYS. EXPANSION ANCHORS SHALL BE STAINLESS STEEL "KWIK BOLTS" AS MANUFACTURED BY

THE HILTI CO. NEW RE-BAR DOWELS SECURED TO EXISTING CONCRETE WITH "HIT C-100" J. PROVIDE REINFORCED CONCRETE UNDERPINNING AS REQUIRED TO $3^{\prime}-6^{\prime\prime}$ BELOW GRADE.OR $^{\circ}$ EQUALIZE DEPTHS OF NEW AND ADJACENT FOOTINGS TO PREVENT UNDERMINING.

K. SLABS ON GRADE FOR WALKS OR PATIOS SHALL BE 4" (6" AT DRIVEWAYS) AIR-ENTRAINED CONCRETE 3500 PSI WITH 6x6 WWF REINFORCEMENT ON 4" COMPACTED GRAVEL BASE.PROVIDE EXPANSION JOINTS AT 5' O.C., TOOLED FLAG CONTROL JOINTS AT 5 O.C., FLOAT FINISH INDOOR EXPOSED SLABS. BROOM FINISH EXTERIOR EXPOSED SLABS. APPLY CURING COMPOUND, FINISH IN ACCORDANCE WITH ACL 318, EXP. JTS AT 20' O.C. MAX. BASEMENT AND GARAGE SLABS ON GRADE SHALL BE PROVIDED WITH EXP JOINTS AT OUTSIDE FOUNDATION WALL RETURNS OR STRUCTURAL POSTS OR 15' O.C. MAXIMUM. L. OBSERVE MINIMUM REBAR CONCRETE COVER PER ACI STANDARDS. 3" MINIMUM AT LOCATIONS PERMANENTLY EXPOSED TO EARTH, 2" EXPOSED TO WEATHER OR EARTH, $\frac{3}{4}$ "

CONCRETE SHALL POSSESS A MAXIMUM SLUMP OF 3.5". N. PROVIDE ADEQUATE WEATHER PROTECTION FROM EXCESS COLD, HEAT OR WIND PER A.C.I. O. COORDINATE WITH RELATED TRADES FOR EMBEDS, SLEEVES, OPENINGS, CHASES AND

RELATED FORMING REQUIREMENTS. P. VERIFY CONCRETE HAS NOT EXCEEDED MAXIMUM ALLOWABLE MOISTURE CONTENT BY PRESCRIBED MOISTURE TESTING PER FLOORING MANUFACTURER DIRECTION. O. BOTTOM OF CONCRETE FOOTINGS TO BE MIN. 12" BELOW LOCAL FROSTLINE AND BEAR ON TON PSE MIN. UNDISTURBED SOIL, IF FIELD CONDITIONS ARE NOT SUFFICIENT, NOTIFY ARCHITECT BEFORE PROCEEDING. DO NOT STEP MORE THAN TWO FEET HORIZONTAL TO

STAINLESS STEEL STRAPS, PINS OR OTHER ANCHORAGE DEVICES. COLOR TO BE NATURAL BUFF. SLOPE HORIZONTAL SURFACES AT LEAST 1:12. PROVIDE DRIPS ON PROJECTING ELEMENTS. PROVIDE FULL TOOLED MORTAR JOINTS.

F. BRICKWORK SHALL MATCH EXISTING PATTERN (U.N.O.) WITH TYPE SW STANDARD BRICKS. PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH BRICK TYPE. PROVIDE SPECIAL SHAPES

I. (N/A) THIN BRICK VENEER SYSTEM BY: "AMBRICO" (800 248 8280) EZ-WALL SYSTEM WITH N. PROVIDE RIDGE VENT, CAVITY BAFFLES AND EAVE VENTS. 100 MIN. VENT TO SF GALVANIZED 2' X 4' EZ-WALL PANEL, EZ-WALL MASTIC AND 1/2" SEVERE WEATHERING BRICK FROM "GLEN GERY CORP" AND AND GROUT FROM "AMBRICO MORTAR MIX". SUBMIT SAMPLE BRICK AND 2 X 2' MOCKUP FOR APPROVAL.

3/4" GRAVEL SUB BASE ON COMPACTED SOIL. PROVIDE 6" X 16 GA SPIKED RETAIINING EDGING AT BRICKS RUNNING PARALLEL TO PATH.

O. DAMPROOFING: FOUNDATION WALL SHALL BE DAMPROOFED WITH (2) COATS OF ASPHALTIC FOUNDATION COATING BY HENRY PR176064 OR EQUAL P. WATERPROOFING BY BITUTHENE 60MIL MIN. OVER $\frac{1}{2}$ CEMENT PARGE (BLOCK WALL) OR CEMENT WASH (POURED WALL). PROVIDE 4" PERFORATED PIPE FOOTING DRAIN LAID IN 16" [

STONE WITH LAYER OF SALT HAY AND FILTER FABRIC OVER. DRAIN TO OUTFLOW ABOVE GROUND OR STONE DRYWELL. WHERE CONDITIONS WARRANT AND ARE APPROVED BY THE ARCHITECT, FLUID APPLIED WATERPROOFING MAY BE USED AS MANUFACTURED BY SONNEBORN HLM 5000-T WITH APPROPRIATE PROTECTION BOARD

A. THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER CONSTRUCTION MANUAL", THE AITC AND "MANUAL FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST

F(B) = 1,350 PSI F(V) = 75 PSI E = 1,350,000 PSI F(T) = 875 PSIF(C) = 325 PSI(PERPEN) F(C) = 825 PSI(PARA)ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%. SILLS, NAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE. THE DESIGN, TRANSPORTATION, AND ERECTION OF ALL PLYWOOD SHALL BE IN ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION. . PLYWOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL I INT-DFPA"

H. JOIST/RAFTER HANGERS SHALL BE #18 GAGE GALVANIZED STEEL UNO BY TECO OR SIMPSON, USE COMPATIBLE NAILS AS RECOMENDED BY MANUF.

PLYWOOD OVER JOISTS - 6" O/C: MIN 16D NAILS

NAILS 4" O/C @ PANEL EDGES; MIN 16D NAILS J. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TREATED PRESERVATIVE. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE

REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSED WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185 K. PLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2" THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS, ALL PLYWOOD SHALL BE APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA AFG-01.

L. ZIP WALL WALL/ROOF SYSTEMS MAY BE USED IN LIEU OF PLYWOOD ASSEMBLY IF INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS M. ENGINEERED LUMBER BY TRUS-JOIST MCMILLAN INSTALLED PER MANUFACTURERS INSTRUCTIONS. PROVIDE PLACARD WHERE REQUIRED BY AHJ.

N. DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING SHALL BE IN ACCORDANCE WITH MANUF. RECOMMENDATIONS.

O. INSTALL PRESSURE TREATED SILL PLATES AT TOP OF FOUNDATION WALL ANCH'D WITH 1/2" DIA, 8" LONG ANCHOR BOLTS AT 6' O.C. MAX. OVER SILL SEAL. PROVIDE METAL

P. CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.

6. WOOD AND PLASTICS (CONT.)

A. THE DESIGN, MIXING, TRANSPORTING, AND CURING OF ALL STRUCTURAL CONCRETE SHALL Q. FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS AND WHERE REQUIRED BY CODE.

R. PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL

S. MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR DIM. LUMBER. AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.

T. (N/A) PRE-FAB WOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION". SUBMIT SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL.

V. FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURAL W. MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE CLEAR POPLAR OR PINE.

ALLOW WOOD TO SEASON ON SITE. SCARF JOINTS. X. (N/A) EXPOSED ENDS OF POSTS, BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT PRESERVATIVE CONTAINING 3-IODO-2PROPYNYL CARBAMATE COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT.

Y. EXTERIOR TRIM BY AZEK OR APPROVED COMPOSITE SUBSTITUTE. INSTALL PER MANUFACTURERS INSTRUCTIONS AND TECHNICAL LITERATURE.

Z. (N/A) ALL DECKING TO BE FASTENED TO STRUCTURE USING BLIND FASTENERS IN ACCORDNACE WITH MANFAACTUREES INSTRUCTIONS. ALL DECKING TO BE EDGED WITH BORDER NO END GRAIN TO BE VISIBLE

7. THERMAL AND MOISTURE PROTECTION

A. BUILDING WRAP BY "HYDROGAP" DRAINABLE HOUSEWRAP BY BENJAMIN OBDYKE OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL PREFORMED FLASHING, SEAL, PROVIDE END DAMS WHERE REQUIRED. USE FLASHING TAPE AT OPENINGS BY "HYDROFLASH" SELF ADHERED FLASHING TAPE.

B. BATT INSULATION TO BE FIBERGLASS BATTS W/ WITH VAPOR BARRIER, R-21 WALLS, R-49 CEILINGS/ROOF OR FLOORS/CEILING W/ UNHEATED SPACES BELOW. VAPOR BARRIER TO WARM SIDE. FIRE-RETARDANT WHERE REQUIRED.

C. RIGID INSULATION TO BE POLYISOCYANURATE: 2" AT SLAB EDGE AND FNDN PERIMETER, 24" DOWN AND 24" IN.

. "CERTASPRAY", SPRAY POLYURETHANE FOAM INSULATION SHALL BE CLOSED CELL TYPE BY CERTAINTEED IN MAXIMUM THICKNESS. INSTALLED PER MANUFACTURER DIRECTIONS. PROVIDE INTUMESCENT COATING IF CAVITY IS NOT ENCLOSED BY GYP BD. E. VAPOR BARRIER TO BE 6 MIL POLYETHELENE. OVERLAP AND TAPE SEAMS.

F. FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AND FLASHING TAPE FOR WATERPROOF SEAL. PROVIDE SIMILAR DRIP EDGE. SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED WIND LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL-FLASHED CRICKETS AS REQUIRED

G. PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C920.

H. PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROUGH PROVIDE AIR SEALING FOR BUILDING THERMAL ENVELOPE PER R402.4.1. AND AIR LEAKAGE RESISTANCE PER N1102.4

J. WOOD SIDING TO BE MATCH EX., EXPOSURE TO MATCH EX., FULLY BACK-PRIMED. USE NO 1. BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND SHINGLE BUREAU

K. (N/A) PREMIUM VINYL SIDING BY "ALCOA", MASTIC SERIES, CEDAR SHAKE PATTERN CD-70P. INSTALL PER ASTM D3679. .06 MIN. THICKNESS. WITH MATCHING FACTORY FINISHED POLYESTER-COATED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. PROVIDE SAMPLES IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR APPROVAL. USE MAXIMUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO PROJECT.

L. EXTERIOR TRIM TO BE AZEK OR EQUAL, FULLY BACK PRIMED, PROVIDE CAP FLASHING WHERE REQUIRED TO PREVENT CUT SURFACES FROM EXPOSURE. PROVIDE TIES, FLASHING AND AT WINDOW HEADS AND SILLS, TRIM BOARDS, WATERTABLES, TRANSITIONS BETWEEN SHINGLE STYLES.

> M PROVIDE PRE FINISHED ALLIM GUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO DRYWELLS (V.I.F.) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS. PROVIDE CORRUGATED HDPE BOOT AT GRADE TO JOIN SUBGRADE PIPING.

RATIO

O. ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE" . 40 YEAR. 3 TAB ARCH ASPHALT ON 30# ROOF FELT AT SLOPES 3:12 AND OVER, USE ICE & WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS. BELOW 3:12 USE ICE & WATER SHIELD RESIDENTIAL ASPHALT ROOF MANUAL.

K. BRICK TO BE 2 1/4 TH SET ON 2" STONE DUST ON FILTER FABRIC, ON 4" THICK BED OF P. PROVIDE WATER-PROOFING AT THE OUTSIDE OF THE FOUNDATION WALLS CONSISTING OF "BITUTHENE" 4000 (OR EQUAL) 60 MIL SHEET WITH 1/4" ASPHALTIC PROTECTION BOARD AND DIMPLED DRAINAGE BOARD.

> Q. APPLY COLD-APPLIED ASPHALT EMULSION DAMPPROOFING TO THE CAVITY FACE OF MASONRY BACKUP FOR MASONRY CAVITY WALLS. USE PRIMER PLUS ONE COAT AT A RATE OF 1 GALLON/100 SF.

R. FILL ALL SMALL CAVITIES IN FRAMING, AND ANNULAR PIPE PENETRATIONS WITH "GREAT STUFF" EXPANDABLE URETHANE SEALANT FOAM. S. PROVIDE FIRE PUTTY SEALANT AT HOLES FOR PIPES. CONDUITS AND SIMILAR

PENETRATIONS.

MUNTIN GRILLES

. (N/A) LOW SLOPE ROOFING SYSTEM TO BE BY "FIRESTONE" OR EQUAL, 60 MIL BLACK FULLY ADHERED EPDM INSTALLED PER MANUF INSTRUCTIONS WITH 20 YEAR NDL WARRANTY. PROVIDE: 3%" POLYISOCYANURATE ROOF INSULATION WITH COATED FIBERGLASS FACER SHEETS CONSISTING OF 2 LAYERS: A 1%" LAYER ON THE DECK WITH A 2" TOP LAYER, 2 X 4 P.T. BLOCKING AT PERIMETER OF ROOF, EDGE TRIM .04" ALUMINUM WITH KYNAR FINISH. EDGING AT FRONT OF THE ROOF CUSTOM FABRICATED

TO FIT NEATLY AND SECURLY OVER SHINGLES TO REMAIN. U. INSULATE MECHANICAL SERVICE LINES AND EQUIP. IN ACCORDANCE WITH BEST INDUSTRY AND TRADE PRACTICES.

8. WINDOWS AND DOORS A. WINDOWS AND SLIDING PATIO DOOR ARE ANDERSON OR EQUAL, WOOD W/ VINYL CLAD ,ARGON INSUL., LOW E (.34 U MAX.) SIMULATED DIVIDED LITE WITH SURFACE APPLIED

GLAZING WITH SCREENS, EXTENSION JAMBS AS REQ'D, (NOTE DIFFERENT WALL THK.'S). FINISH AS SELECTED BY OWNER OR AS REQUIRED TO MATCH EXISTING. WINDOW HARDWARE FINISH AS SELECTED BY OWNER. TEMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER-LIST FOR OWNER APPROVAL BEFORE PURCHASE. ALL WINDOWS TO BE WEATHER STRIPPED, FLASHED AND CAULKED.

B. HARDWARE AS MANUFACTURED BY: HINGES-"STANLEY", LOCKSETS AND LATCHSETS-YALE", SELF-CLODING HINGES-"BOMMER", SLIDING DOOR SETS & POCKET SLIDERS-"HAGER", WEATHERSTRIPING & THRESHOLDS-"PEMKO", DOOR STOPS & BIFOLD DOOR SETS- "STANLEY", FINISH AS SELECTED OR AS REQUIRED TO MATCH EXISTING. HARDWARE FUNCTIONS PER BUILDERS HARDWARE MANUFACTURERS ASSOCIATION STANDARDS.

C. EXT. DOORS ARE BASED ON "SIMPSON" EXTERIOR GRADE 1 3/4" SOLID CORE SERIES, WITH ADJOINING SIDELIGHTS AS SHOWN. WITH FRAME. (OR AS NOTED ON DRAWINGS).

D. INTERIOR DOORS ARE BASED ON "SIMPSON" INT. GRADE 1 3/8"THICK. PANEL CONFIGURATION TO MATCH EXISTING , WITH FRAME. SEE DOOR TYPES.

E.STEEL DOORS FOR EXTERIOR USE SHALL BE INSULATED 14 GA. FRAMES, AND 16 STEEL FACE DOOR, INTERIOR USE SHALL BE 16 GA. FRAMES WITH 18 GA. STEEL FACE DOOR.

F. (N/A) SKYLIGHTS BY VELUX OR EQUAL. PROVIDE FLASHING AND CURB KIT. <u>9. FINISHES</u>

A. UNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARD TO BE 1/2 TYPE X. USE WR (GREENBOARD) TYPE X AT ALL WALLS ADJACENT TO PLUMBING FIXTURES. SCREWED AND CLUED PER LÉVEL 5 GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUBGRADE LEVELS AND NON-CONDITIONED SPACES (MOLD-TOUGH BY USG OR EQUAL). B. PROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE AND SPACKLE ALL JOINTS, 3 COATS, FEATHERED.

C. STUCCO PORTLAND CEMENT PLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH, PROVIDE CONTROL JOINTS AT 20' MAX AND AT FLOOR LEVEL JUNCTURE. ALIGN WITH NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREEDS, CORNER BEADS, AND ACESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.

D. WOOD FLOOR TO BE 3/4"X 2 1/4" T &G OAK OR TO MATCH EXIST'G (SEE FIN. SCHED.)W/ BLDG FELT AND CAVITY INSUL WHERE REQ. ALLOW WOOD FLOOR MATERIAL TO SEASON ON SITE PER MANUF. GUIDELINES, ALLOW GAP AT EDGES FOR EXPANSION PER MANUFACTURERS RECOMMENDATION. PROVIDE STAIN/FINISH SAMPLE FOR OWNER APPROVAL 9. FINISHES CONT.

E. CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE TANDARDS. PROVIDE COVE, BULLNOSED AND SPECIAL SHAPED TILE. GROUT AND SEAL JSE GROUT AS RECOMMENDED BY TILE MANUF. COLOR TO BE SELECTED. SEAL GROUT PROVIDE MARBLE SADDLES AT FL. TILE USE MUDSET TILING APPLICATION FOR SHOWER ENCL TO DRAIN W/ FULLY BONDED PVC LINER-PAN BELOW OR SCHLUTER SYSTEM. F. USE 1/2" CEMENT BACKER BOARD BEHIND CER. TILE AT TUB/SHWR SURROUNDS.

G. PROVIDE WATERPROOF VINYL MEMBRANE (OR EQUAL) BELOW CER. & MARBLE FLOOR

TILE. TURN UP 4" AT WALLS. SCHULTER SYSTEM IS ACCEPTABLE

LATEX) SATIN- FOR TRIM AND DOORS. EGGSHELL LUSTER- WALLS. FLAT- CEILINGS PREP ALL SURFACES PER MANUF. INSTRUCTIONS PRIME AND PAINT ALL SCHEDULED SURFACES 2 COATS MIN COLORS TO BE SELECTED PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH COLOR. APPLY PAINT WITHIN AREAS LIGHTED AT A MINIMUM 100 FOOTCANDLES.

I. PROVIDE 10% ATTIC STOCK TILE & PAINT FOR FUTURE OWNER USE.

<u>10. SPECIALTIES</u>

TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE BLOCKING AND ANCHORAGE WHERE REQUIRED.

<u>11. EQUIPMENT</u> <u>12, 13, 14 NOT USED</u>

A. INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO : KEGERATOR MODEL TO BE SELECTED. PROVIDE POWER AND CONNECTIONS. B. BUILT INS AND VANITIES SHALL BE PREMI, GRADE, 3/4" PLYWD FINISH CONSTR. IN STOCK SIZES WITH FILLER PANELS AS REQ. (KRAFTMAID OR EQUAL) SOLID RECESSED PANEL SHAKER STYLE DOORS, W/ FULL EXTENSION HEAVY DUTY DRAWER GLIDES., RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REQ'D LIGHT HONEY FINISH PINE, SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER AWI SECTION 1700, STRAIGHT. LEVEL AND FREE OF DISTORTION TO ALLOW FOR UNENCUMBERED OPERATION. CABINET HARDWARE SHALL COMPLY WITH BHMA A156.9.

C. PROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.

D. COUNTERTOPS TO BE 1 1/4in, MED. GREY PIETRO CORDOZA WITH 4" STONE BACKSPLASH. COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGE. BACKSPLASHES SHALL BE TILED ABOVE SONE BACKSPLASH TO BOTTOM OF WALL CABINET. PROVIDE STONE SAMPLES OR SHOWRM VISIT FOR APPROVAL. MIN. 3/4" OVERHANG BEYOUND BASE CABINETS. COORDINATE ALL CUTOUTS AND TEMPLATES WITH OTHER TRADES. INSTALL WITH FEWEST SEAMS POSSIBLE.

E. PLASTIC LAMINATE CABINETS AND COUNTERTOPS TO COMPLY WITH AWI SECTION 400. F. SOLID POLYMER SURFACING SHALL BE FABRICATED WITH THE FEWEST POSSIBLE SEAMS AND INSTALLED ON OPEN WEB SUBSTRATE ON 16" CENTERS.

<u>15. MECHANICAL</u>

A. PLUMBING - DOMESTIC WATER PIPING SHALL BE PEX, BONDED JOINTS, SANITARY AND VENT TO BE CPVC,, STORM UNDERGR. SHALL BE BLACK IRON. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ABSORB SHOCK. GAS SERVICE LINES SHALL BE BLACK IRON PER CODE. PROVIDE EJECTOR PUMP AS NEEDED FOR BASEMENT BATHROOM. B. PROVIDE 3 FROST FREE HOSEBIBS IF NOT CALLED OUT ON PLANS OTHERWISE C. ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED. PROVIDE ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES. D. PROVIDE NEW POINT OF USE GAS FIRED HW HEATERS, COORD, LOCATION W/ ARCH.

ALL BATHROOM PLUMBING FIXTURES TO BE WHITE, FAUCETS AND FITTINGS TO BE BRUSHED OR SATIN CHROME. FULLY TEST AND MAKE SYSTEMS OPERATIONAL.

E. MODIFY AND SUPPLEMENT BASEBOARD RADIANT HEAT TO MATCH EX.

F. PROVIDE MANUAL J CALCULATIONS AND BLOWER DOOR TESTING IF REQUIRED BY LOCAL BUILDING DEPT G. PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED. H. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT. I. DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIGIDLY INSTALLED WITH REQUIRED

BRACING AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATER AND BLOWER BY MEANS OF FABRIC INSULATORS, PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGE. ATTIC. AND UNHEATED AREAS. ACOUSTICAL INSULATE DUCTS IN OFFICES, MEETING AND MEDIA ROOMS

J. GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM, ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS. FLOOR GRILLS TO BE WOOD TO MATCH WOOD FLOOR WHERE APPLICABLE.

K. BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT AND COOL EVENLY TO THE REQUIRED TEMPERATURE SET ON THE FHERMOSTAT. PROVIDE EQUIP. MANUALS AND OWNER OPERATION TRAINING MEE

PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.

NEW ERV SYSTEM BY PANASONIC WHISPER COMFORT OR EQUAL. DUCTED PER MANUF RECOMMENDATIONS, PROVIDE SCREENED WALL JACKS.

PROVIDE NEW "MITSUBISHI" 18000 BTU COOLING AND HEATING WALL MOUNTED AIR CONDITION SYSTEM 19.0 SEER2 WITH CONDENSER AND WALL CARTRIDGE UNITS, TEMP CONTROLS AND REQ. ACCESSORIES. LOCATE CONDENSER PER OWNER'S DIRECTION AND IN ACCORDANCE WITH MUNICIPAL SETBACK AND NOISE REGULATIONS. RELOCATE EX. MINISPLIT HEAD IN MASTER BEDROOM AS REQ'D. NEW SYSTEM FOR BASMENT, 3 HEADS 1 CONDENSER. <u>16. ELECTRICAL</u>

A. PROVIDE AND INSTALL ELECTRICAL DEVICES AND FIXTURES SHOWN. PROVIDE NEW CIRCUITS AS REQUIRED. USE LINE COVER AND SWITCHPLATES, COLOR TO MATCH WALL, STYLE TO MATCH EX.

B. USE GROUND FAULT INTERRUPTERS AT ALL AREAS WITHIN 6' OF WATER SOURCE. C. INSTALL ARC-FAULT INTERUPTERS WHERE REQUIRED.

D. ELECTRICAL RADIANT HEAT BY "SUN TOUCH" OR EQUAL, MATS TO BE PROVIDE BELOW TILE ON PROGRAMMABLE THERMOSTAT.

. ALL ELECTRICAL WORK TO CONFORM TO LATEST EDITION OF THE NATIONAL ELECTRICAL CODE. UNDERGROUND WIRING TO BE ADEQUATELY ENCASED AND PROTECTED, BEDDED AND LAID IN TRENCH WITH PROTECT-ALERT TAPE ABOVE.

F. MODIFY AND/OR SUPPLEMENT DOOR BELL SYSTEM TO SUIT NEW LAYOUT. PROVIDE AT THE MINIMUM FRONT AND REAR/SIDE BELLS. PROVIDE WALL LIGHT SWITCHES FOR LIGHTING AT ALL ROOMS AT STRIKE SIDE OF DOOR INSIDE ROOM.

G. PROVIDE 3-WAY WALL SWITCHES FOR LIGHTING AT ALL CORRIDORS AND STAIRS AT EACH END OF PASSAGE. PROVIDE DIMMERS AT ALL BEDROOMS, LIVING ROOMS AND DINING ROOMS. PROVIDE NEW ELECT. DUPLEX RECEPTACLES AT 12' O/C IN HABITABLE RMS. PROVIDE 6 TELEPHONE RECEPTACLES IN LOCATIONS DIRECTED BY OWNER. PROVIDE 3 CABLE TV OUTLETS IN LOCATIONS DIRECTED BY OWNER. PROVIDED METAL JUNCTION AND DEVICE BOXES.

EQUIPPED W/ HARD WIRED AND INTEGRATED SMOKE DETECTORS (W/ A BATTERY

BACK-UP) W/ A CARBON MONOXIDE DETECTOR OUTSIDE ALL BEDROOM(S) IN THE

PROVIDE THERMAL INSULATION WITH RELECTIVE BARRIER BELOW FLOOR.

DATA, NOTES AND LEGEND

A-2. EXISTING PLANS AND ELEVATIONS

INTERIOR ELEVATIONS

A-4. PROPOSED ELEVATIONS

LIST OF DRAWINGS

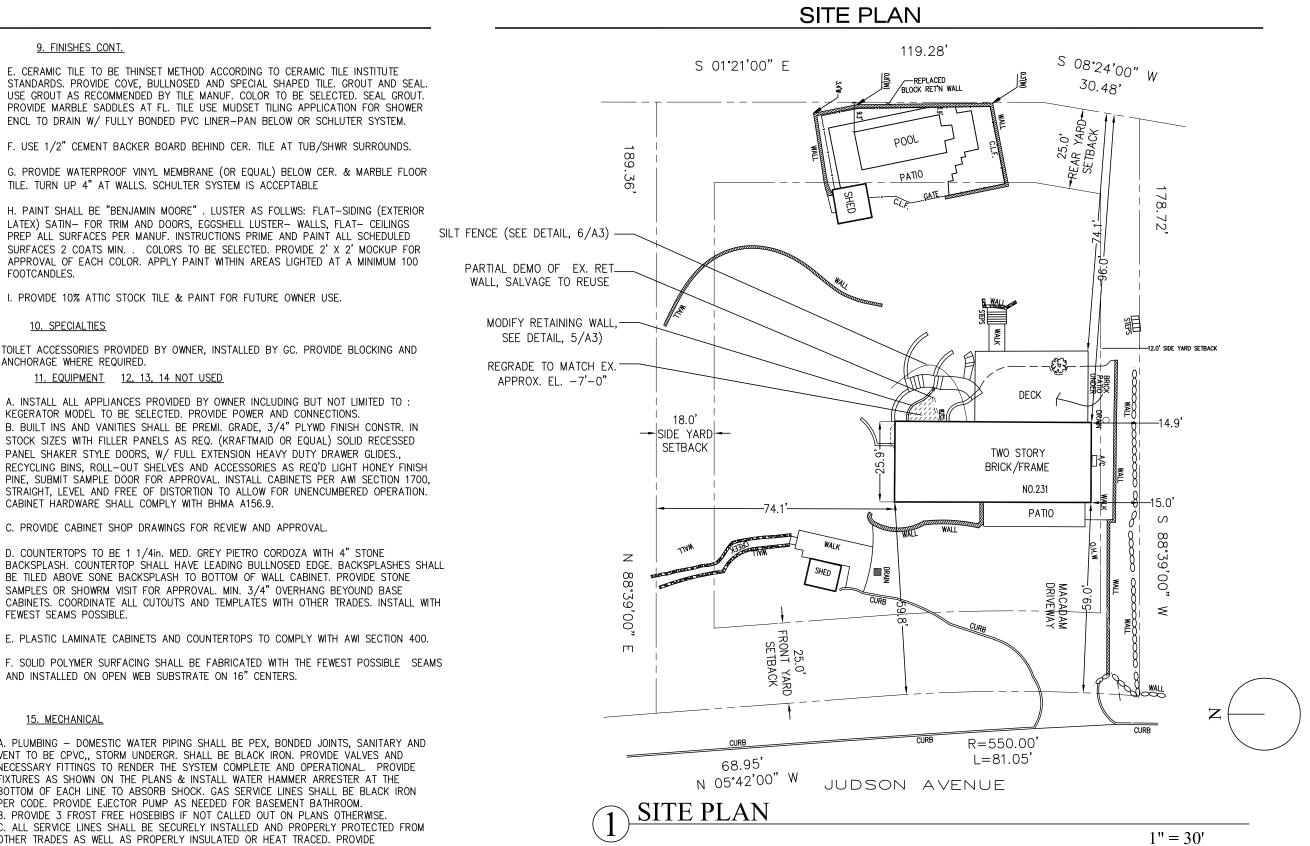
A-1. SITE PLAN, OUTLINE SPECIFICATIONS, ZONING

A-3. FIRST FLOOR PLAN & SECOND FLOOR PLAN

A-5. SCHEDULES, DOOR TYPES, SECTIONS AND

CONDITIONS COMPLY WITH:

ROOM(S)



ZONING DATA

10,00	0 SF 27,627 SF	27,627 SF	NO CHANGE
BACK 25'	59'	59'	NO CHANGE
ACKS 25'	74.1'	74.1'	NO CHANGE
SETBACK 12'	14.9'	14.9'	NO CHANGE
SETBACKS 30'	88'	88'	NO CHANGE
100'	149.76'	149.76'	NO CHANGE
EPTH 100'	178.72'	178.72'	NO CHANGE
G. COVERAGE 22%	6.2%	6.2%	NO CHANGE
SURFACES COVERAGE 40%	25.7%	25.7%	NO CHANGE
A RATIO –	_	_	
MAIN BLDG 35'	23'	23'	NO CHANGE
SURFACES COVERAGE 40% A RATIO –	25.7% -	25.7% -	NO CHANG

PERFORMED BY : SUMMIT LAND SURVEYING P.C. DATED: 04 04 2022

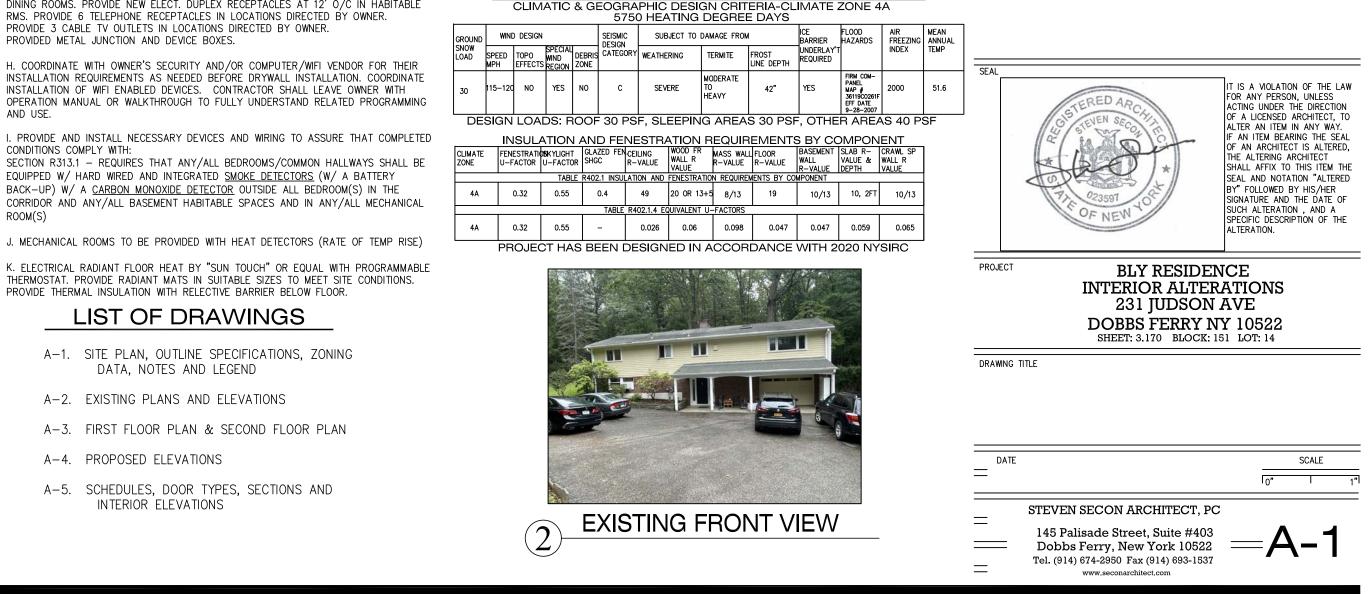
ENERGY CODE INFORMATION (BASED ON NYS RES-CHECK VALUES.)

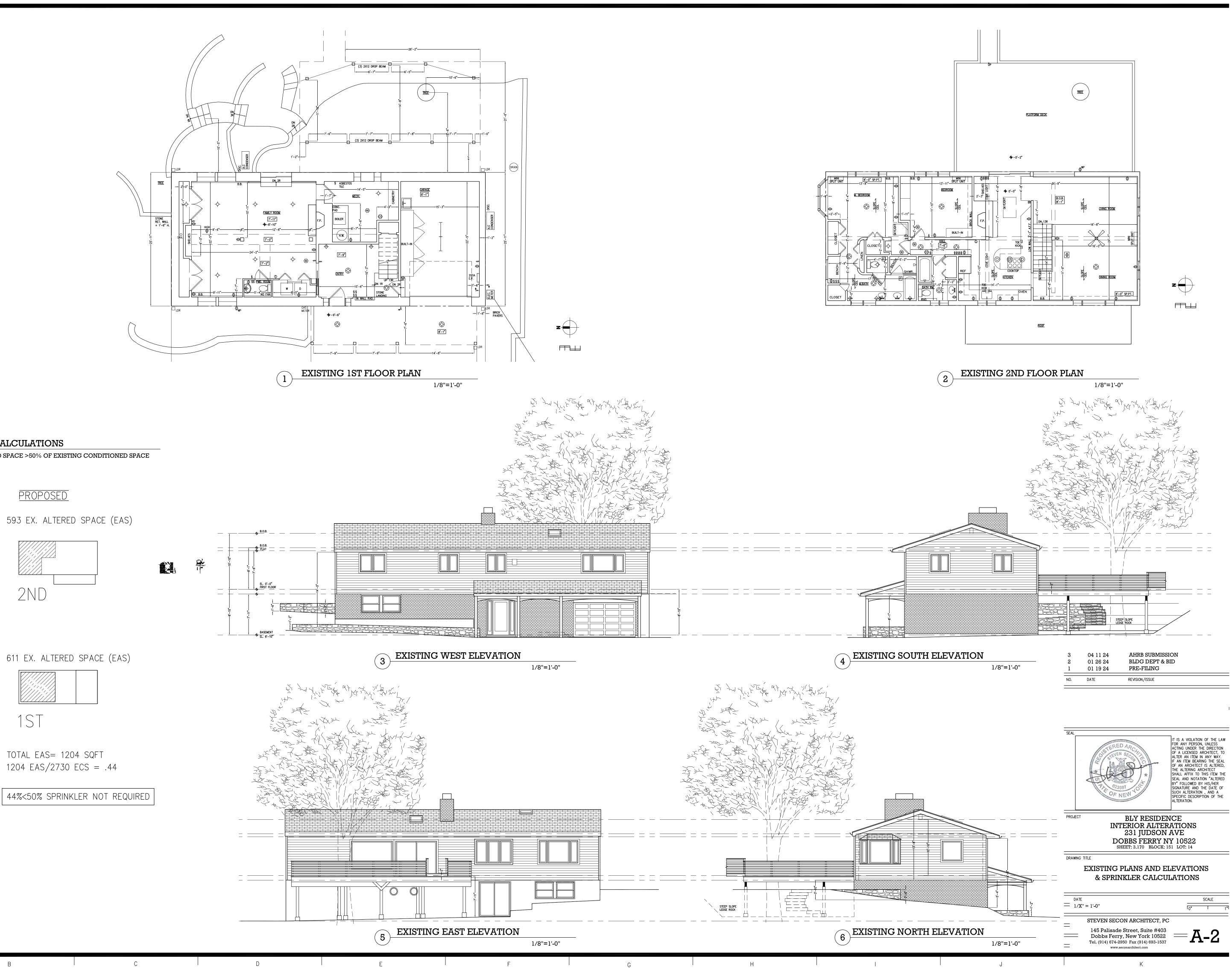
6" BATT INSULATION=R-19 OR U 10" BATT INSULATION= R-30 OR 2" RIGID INSULATION=R-10 OR U ARGON FILLED WINDOW SASH=R-3 SHEATHING,GYP. BD, ROOFING=NE	U=.03 =.10 3 OR U=.34
WALLS <u>.05 X 1754 SF + .34 X 280 SF.</u> 2034 SF	=.10
ROOF/FLOOR <u>.03 X 1450 SF.</u> 1450 SF	=.03
FOUNDATION WALLS <u>.10 X 50 SF. + .34 X 12</u> 62 SF	=.15

ASSEMBLY	PROPOSED U VALUE MUST BE LOWER	ALLOWABLE U VALUE							
EXTERIOR WALL	.10	.20							
ROOF/FLOOR	.03	.05							
FOUNDATION WALL	.15	.20							
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL TRAINING, THIS PROJECT COMPLIES WITH THE NEW YORK STATE ENERGY AND CONSERVATION CODE. SUNROOM EXEMPTION PER SECTION 502.2.5.									
Eteven Secon	3 04 11 24	AHRB SUBMISSION							

BLDG DEPT & BID $01\ 26\ 24$ STEVEN SECON, A.I.A. PRE-FILING 01 19 24 DATE **REVISION/ISSUE**

I.R.C. CODE INFORMATION







SPRINKLER REQUIRED IF EXISTING ALTERED SPACE >50% OF EXISTING CONDITIONED SPACE



PROPOSED

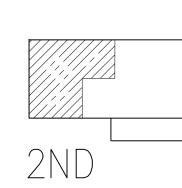




7

8

10

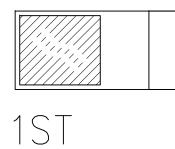






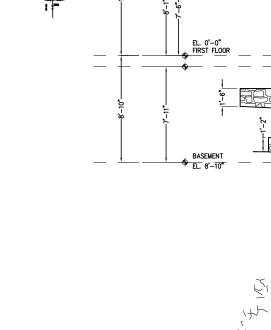
ECS TOTAL = 2730 SQFT

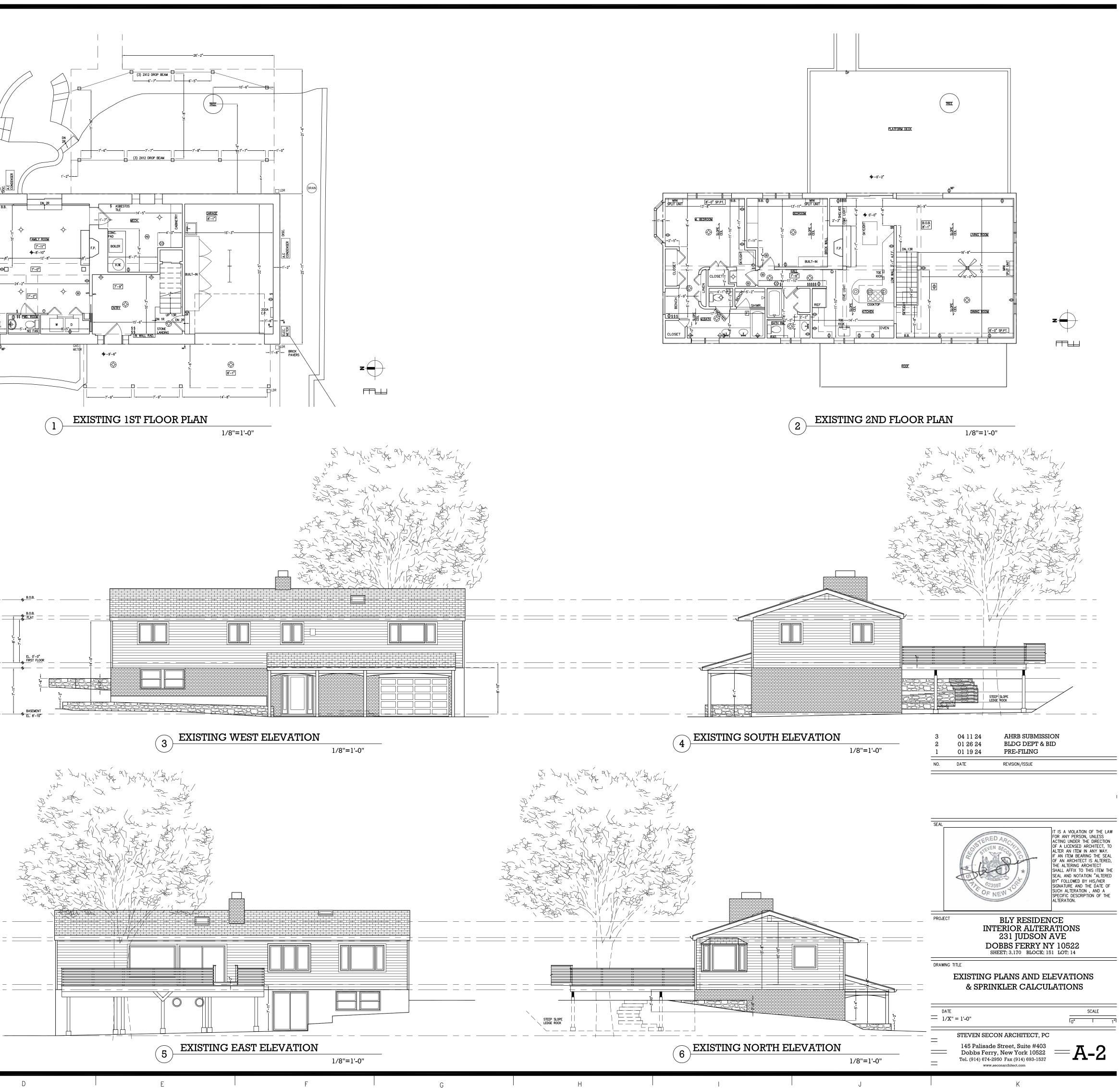
611 EX. ALTERED SPACE (EAS)



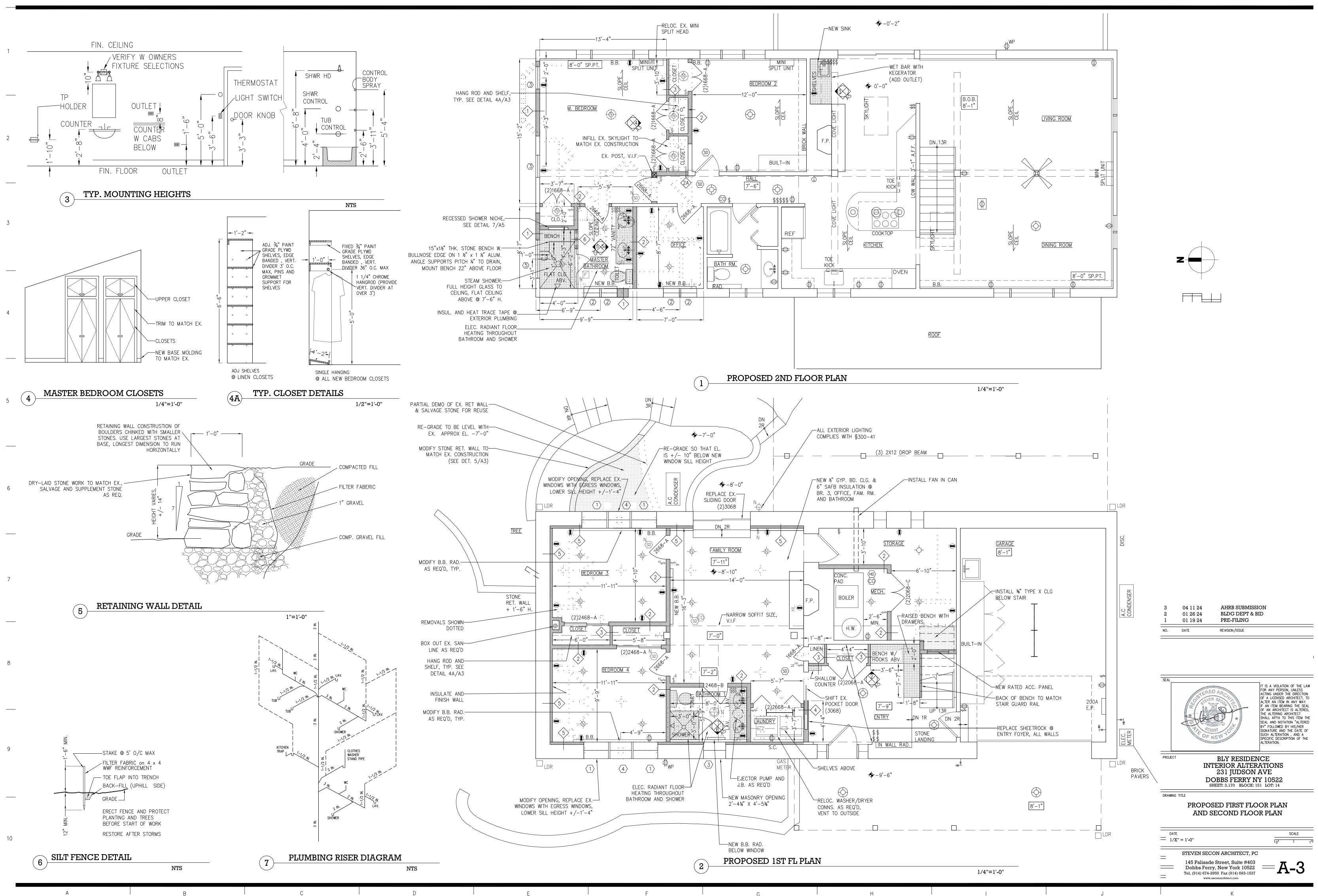
TOTAL EAS= 1204 SQFT 1204 EAS/2730 ECS = .44

44%<50% SPRINKLER NOT REQUIRED





В





F

G

10

А

(3)

В

С

1/4"=1'-0"

Е

D

PROPOSED SOUTH ELEVATION

(4)

Н

	DATE	SCALE		
	1/X'' = 1'-0''	0"	I	1"
1/4"=1'-0"	STEVEN SECON ARCHITECT, PC 145 Palisade Street, Suite #403 Dobbs Ferry, New York 10522 Tel. (914) 674-2950 Fax (914) 693-1537 www.seconarchitect.com	= F	<u>-</u> 4	

К

FINISH SCHEDULE

2

4

1

	AREA	FLOOR	BASE	WALL	CEILING	MOLDINGS	REMARKS
ST FLOOR	ENTRY FOYER	_	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	FAMILY ROOM	LVP	MATCH EXISTING	P-1	P-2	MATCH EXISTING	ACCOUSTIC INSUL AND CLG.
L FL	BATHROOM 1	MCT	MCT	CT-1/P-3	P-3	MATCH EXISTING	ELEC. RAD. FL. HEATING, ACCOUSTIC INSUL AND CL
IS	BEDROOM 3	LVP	MATCH EXISTING	P-1	P-2	MATCH EXISTING	ACCOUSTIC INSUL AND CLG.
	BEDROOM 4	LVP	MATCH EXISTING	P-1	P-2	MATCH EXISTING	ACCOUSTIC INSUL AND CLG.
	MECH	_	-	_	_	_	
	LAUNDRY	LVP		P-1	P-2		
	STORAGE	LVP	-	P-1	P-2	_	
	LIVING ROOM	_	-	_	_	_	
FLOOR	DININING ROOM	_	-	_	_	_	
EIC	KITCHEN	_	-	_	_	_	-
2ND	HALL	REFIN. WD.	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	BATHROOM	_	-	_	_	_	_
	BEDROOM 2	REFIN. WD.	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	OFFICE	WD-1	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	MASTER BEDROOM	WD-1	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	MASTER BATH	MCT	MCT	CT-1/P-3	P-3	MATCH EXISTING	ELEC. RAD. FL. HEATING
24	EXTERIOR	_	-	_	_	-	SEE EXTERIOR ELEVATIONS
RIO	STUCCO	_	-	-	_	_	PAINT
EXTERIOR	RAILINGS	_	-	-	_	-	PAINT
	PORCH						

PROVIDED BY OWNER

PROVIDED BY OWNER

BENJAMIN MOORE

BENJAMIN MOORE

BENJAMIN MOORE

SELECT, BRUCE OR EQ., STAINED & SEALED

MCT MOSAIC CERAMIC TILE

WD-1 2 1/4 T& G OAK STRIP WOOD FLOORING CT-1 GLAZED CERAMIC WALL TILE

P–1 EGGSHELL LUSTER LATEX PAINT

P-2 FLAT, NO-DRIP LATEX PAINT

P–3 SATIN LUSTER LATEX PAINT

QT-1 QUARRY TILE

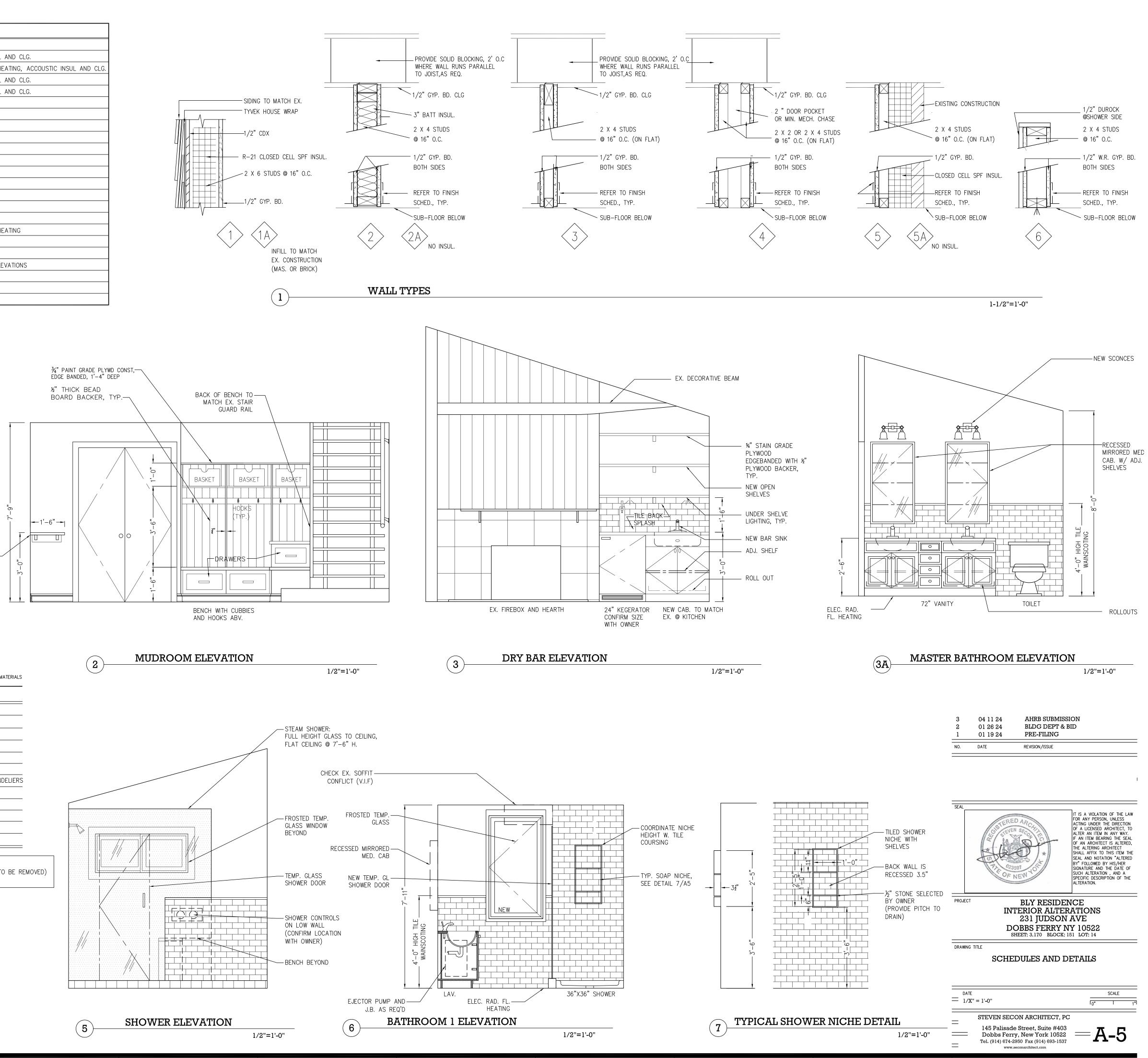
ST-1 SLATE

CPT-1 CARPET

LVP LUXURY VINYL PLANK FL

WINDOW SCHEDULE

NO.	MODEL	TYPE	SIZE	R.O.	REMARKS
(1)	CX145	CASEMENT	2'-7½" X 4'-4 ¹ ¾6"	2'-8" X 4'-5%"	EGRESS (MULLED)
2	CN135	CASEMENT	1'-8½" X 3'-4 ¹ ¾6"	1'-9" X 3'-5%"	FROSTED TEMP. GL. @ BATHRM.
3	CW145	CASEMENT	2'-4¾" X 4'-4 ¹ ¾6"	2'-4%" X 4'-5%"	EGRESS FROSTED TEMP. GL. @ BATHRM.
4	CX145	STATIONARY	2'-4¾" X 4'-4 ¹ ¾6"	2'-4%" X 4'-5%"	(MULLED)
5	G42	GLIDING	3'-11¼" X 1'-10¼"	4'-0" X 1'-11"	FROSTED TEMP. GL. @ BATHRM.
6					
7	-	-	-	-	-
8	-	-	-	-	-
9	_	-	_	-	-



•SEE A1 FOR SPEC'S

•CONFIRM R.O. W/ MANUF, PRIOR TO ORDER

• PROVIDE SCREENS, HARDWARE, EXT. JAMBS AS REQ. • PROVIDE TEMP. GL. PER CODE FOR WINDOWS & DOORS

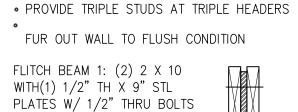
• ALL BEDROOM WINDOWS MUST HAVE AT LEAST ONE EGRESS

COMPLIANT-SIZED WINDOW OR DOOR

10

OWNER PROVIDED ITEMS ALL OTHER REQUIRED LABOR AND MATERIALS SHALL BE BY THE GC

COMPONENT	OWNER FURNISH	OWNER INSTALL	REMARKS
COUNTERTOPS	Х	Х	
CABINETS	Х		
APPLIANCES	Х		
CARPETING	Х	Х	
LANDSCAPE RESTORATION	Х	Х	
SECURITY WIRING & DEVICES	Х	Х	
DECORATIVE LIGHTING	Х		SCONCES, CHANDELIERS
TILES	Х		
PAINTING	Х		
BATHROOM FIXTURES AND ACC	C. X		
LUXURY VINYL PLANK FL	Х		



• PROVIDE DOUBLE STUDS AT DOUBLE HEADERS

HEADER SCHEDULE

R.O. WIDTH

UP TO 4'-0"

UP TO 6'

UP TO 8'

8'-10'

→16" OC.→

FLITCH BEAM 2: (3) 2 X 10

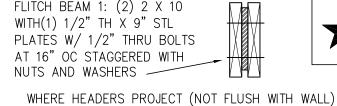
PLATES W/ 1/2" THRU BOLTS

А

AT 16" OC STAGGERED WITH

NUTS AND WASHERS

WITH(2) 1/2" TH X 9" STL



O

O

<12" DBL

O

@ EACH END

HEADER

(2) 2 X 6

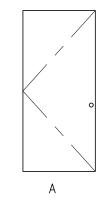
(2) 2 X 10

(3) 2 X 10

FLITCH BEAM 1

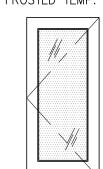
NOTE: SELECTIVE DEMO BY OWNER @ FIRST FL. (INCLUDES FL, WALLS, CLG, FINISHES TO BE REMOVED)

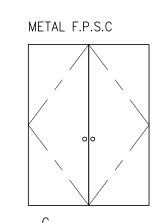
FROSTED TEMP. GLASS TO MATCH EX.



(4)

R



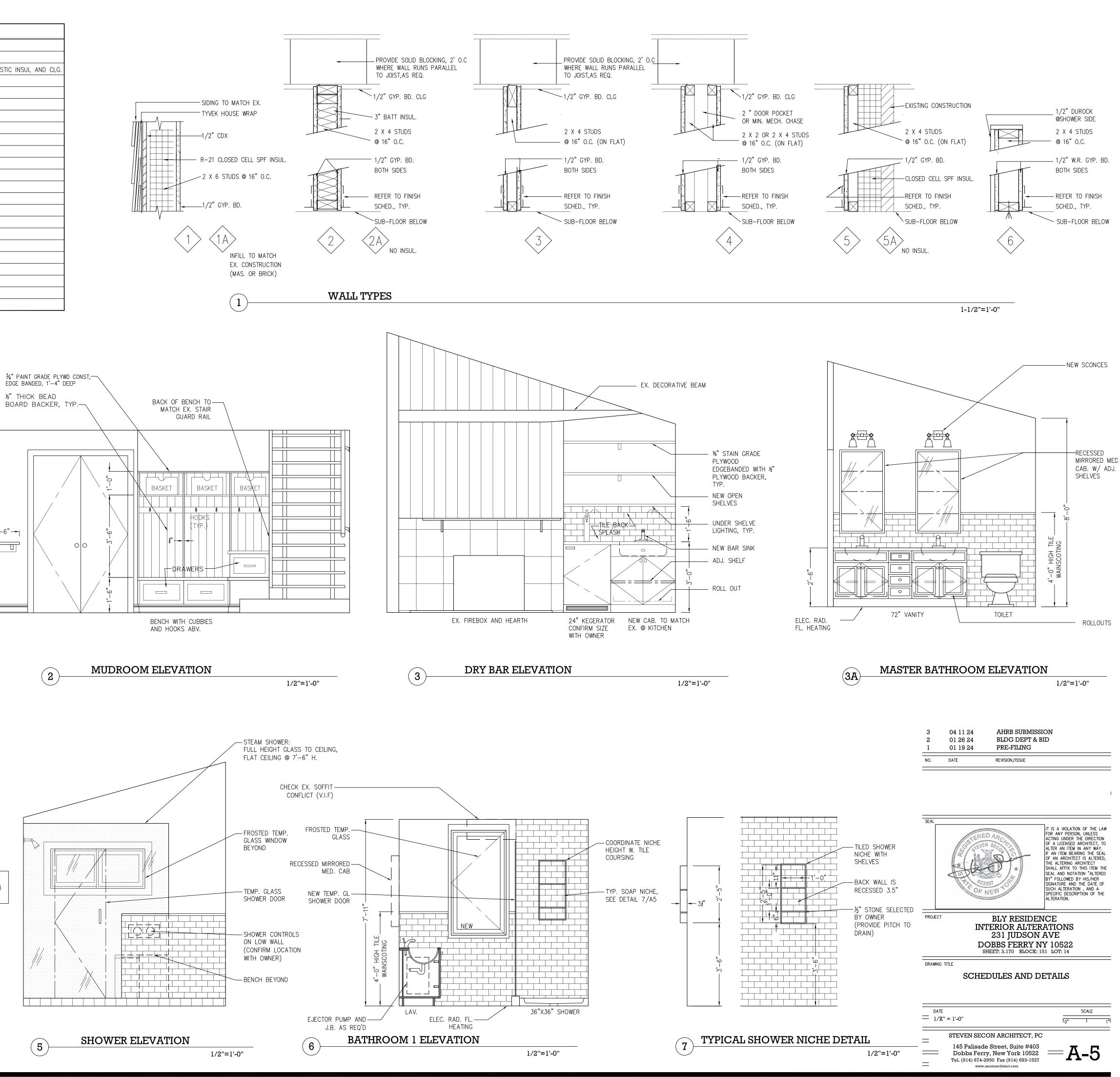


D

DOOR TYPES

B





Н

G

Κ

J



1/4"=1'-0"

С