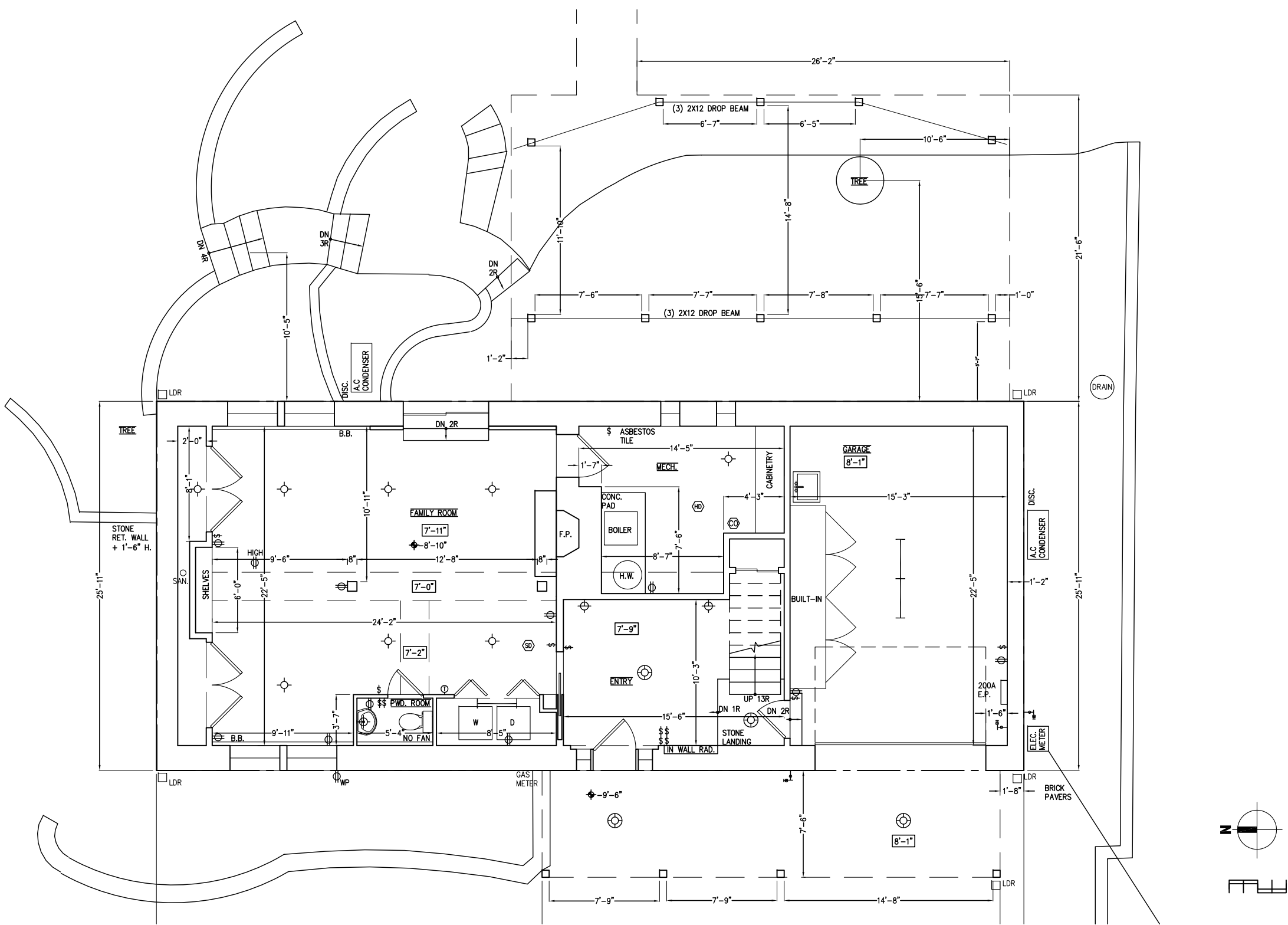
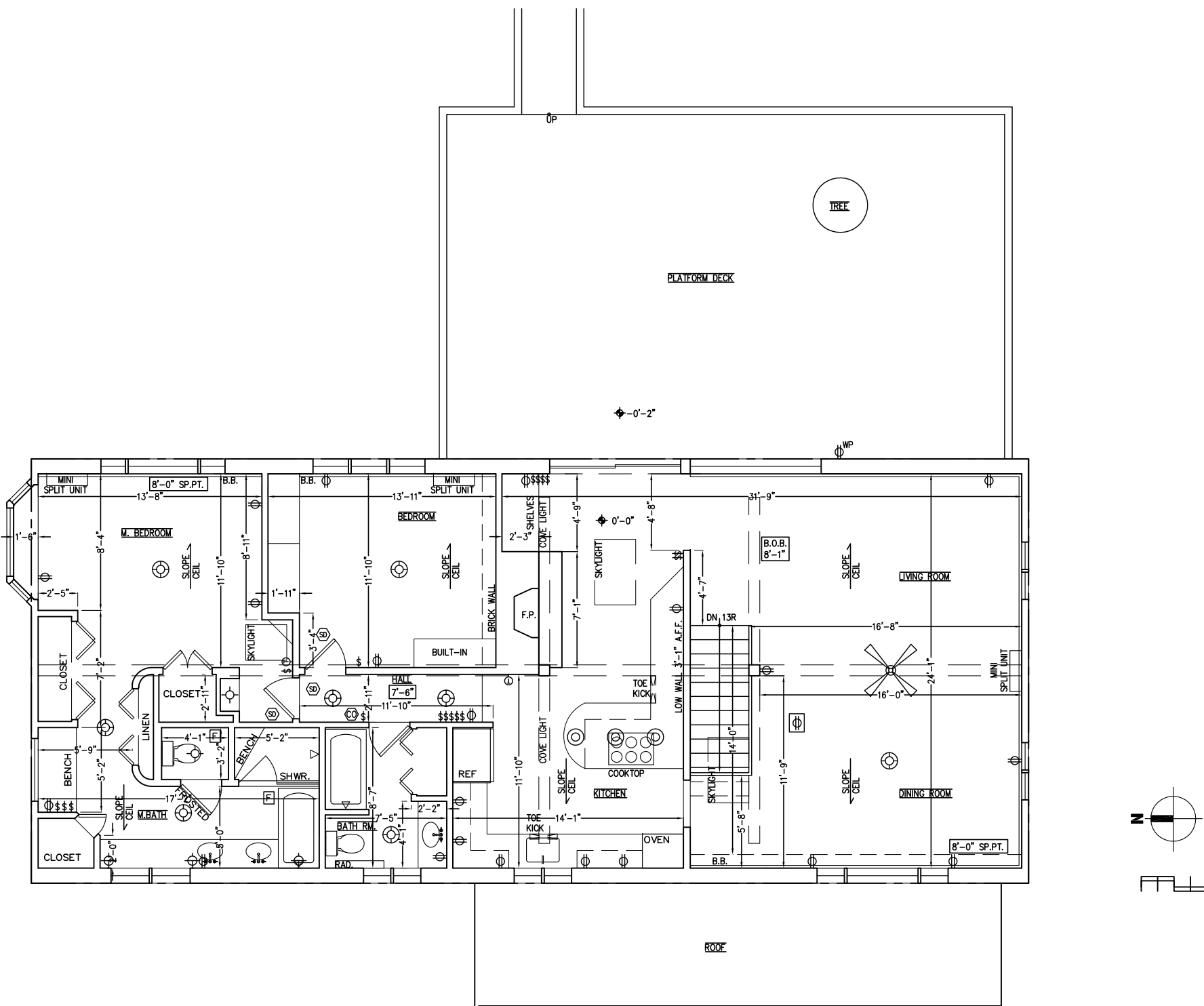


ABBREVIATIONS			
A.F.F.	ABOVE FINISHED FLOOR	MTD.	MOUNTED
1 BOT.	BOTTOM	MTL.	METAL
CLG.	CEILING	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	PTD.	PAINTED
FIXT.	FIXTURE	TYP.	TYPICAL
CONC.	CONCRETE	U.N.O.	UNLESS NOTED OTHERWISE
GC	GENERAL CONTRACTOR	V.C.T.	VINYL COMPOSITE TILE
WB	GYPSPUM WALL BOARD	V.I.F.	VERIFY IN FIELD
GL.	GLASS	WD.	WOOD
2 HT.	HEIGHT		
LEGEND			
SYMBOL	DESCRIPTION		
	DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET		
	SECTION OR ELEVATION REFERENCE		
	REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE		
	DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION.		
	EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED		
	WINDOW SYMBOL		
	EXISTING CONSTRUCTION TO REMAIN		
	SWINGING DOOR WITH SIZE-TYPE IDENTIFICATION (2068-A DENOTES 2'-0" X 6'-8" TYPE A DOOR)		
	NEW CONSTRUCTION WALL REFERENCE, LETTER WITHIN DIAMOND CORRESPONDS TO CONSTRUCTION DETAIL OR SPECIFICATIONS		
	ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE WHERE REQ'D (GF)- DENOTES GROUND FAULT INTERRUPTER)		
	TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR		
	FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE, ALLOW 2 PER PROJECT TO BE LOCATED IN THE FIELD		
	ELEC. JUNCTION BOX, (USE SMALLEST FOR SCONCES)		
	RECESSED 6" DIAMETER LED LIGHTING FIXTURE "PROGRESS" OR EQ. WITH WHITE TRIM, 1500 MM LUMEN LAMP, 3000 K CRI, LOWCASE LETTER DESCRIPTION CIRCUIT AND SWITCH CONTROL WHERE SHOWN		
	SCONCE FOR BATHROOMS BY "REJUVENATION" SILETZ #978, WITH SHADE 143 L, 2 LED LAMPS, WET LOCATION		
	EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE "PROGRESS" P5671-50 WITH W/ LED CANDELABRA LAMPS MILLSTONE (DULL SILVER FINISH)		
	FLOOD LIGHT WITH 150 W PAR LAMPS		
	RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE, "PROGRESS" OR EQ., 1500 MM LUMEN LAMP, 3000 K WHITE TRIM		
	SURFACE INCANDESCENT LIGHTING FIXTURE "REJUVENATION"MORELAND, #CC865, SHADE #018CE BRUSHED NICKEL FINISH, LED LAMPS		
	FLUORESCENT LIGHT FIXTURE WARM WHITE T8 LAMPS		
	PORCELAIN SOCKET, LED LAMPS		
	FANLIGHT, DUCT TO THE EXTERIOR, WET LOCATION "PANASONIC" MODEL ###		
	SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES 3-WAY SWITCH) COORDINATE LOCATION WITH TRIM.		
	SMOKE DETECTOR, DUAL SENSING PHOTO-VOLTAIC AND IONIZATION DETECTING, HARDWIRED & INTERCONNECTED		
	CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED		
	FIRE EXTINGUISHER, A-B-C RATED 5 LB		
	HOSE BIB (FROST FREE)		
	CEILING DIFFUSER (SUPPLY), WHITE		
	FLOOR REGISTER (SUPPLY), MATCH FLOOR		
	CEILING REGISTER (RETURN), WHITE		

OUTLINE SPECIFICATIONS			
1. GENERAL REQUIREMENTS	3. CONCRETE	6. WOOD AND PLASTICS (CONT.)	9. FINISHES CONT.
A. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. CONTACT ARCHITECT TO REVIEW ANY DISCREPANCIES OR ISSUES NEEDING CLARIFICATION	A. THE DESIGN, MIXING, TRANSPORTING, AND CURING OF ALL STRUCTURAL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", THE ACI.	Q. FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS AND WHERE REQUIRED BY CODE.	E. CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS. PROVIDE COVE, BULLNOSE AND SPECIAL SHAPED TILE, GROUT AND SEAL. USE GROUT AS RECOMMENDED BY THE MANUF. COLOR TO BE SELECTED. SEAL GROUT. PROVIDE MARBLE SADDLES AT FL. TILE USE MUSETT TILING APPLICATION FOR SHOWER ENCL. TO DRAIN W/ FULLY BONDED PVC LINER-PAV BELOW OR SCHULTER SYSTEM.
B. GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION AND RELATED PERFORMANCE CRITERIA. GENERAL CONTRACTOR SHALL CONTACT STEVEN SECON ARCHITECT REGARDING ANY DEVIATIONS OR FIELD CONDITIONS CONFLICTING WITH THE DRAWINGS.	B. STRUCTURAL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.	R. PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL PARTITIONS.	F. USE 1/2" CEMENT BACKER BOARD BEHIND CER. TILE AT TUB/SHWR SURROUNDS.
C. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED.	C. AGGREGATES SHALL CONFORM TO ASTM C33; THE COARSE COMPONENT EITHER WASHED GRAVEL OR CRUSHED STONE. FINE AGGREGATE SHALL BE CLEAN NATURAL SAND. PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH ASTM C150, TYPE I.	S. MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR DIM. LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.	G. PROVIDE WATERPROOF W/ V. MEMBRANE (OR EQUAL) BELOW CER. & MARBLE FLOOR TILE. TURN UP 4" AT WALLS. SCHULTER SYSTEM IS ACCEPTABLE.
D. ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED , STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.	D. DEFORMED REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM#16, GRADE 60, USE EPOXY COATED REBAR IN AREAS SUBJECT TO DE-ICING SALTS AND CONTIGUOUS MOISTURE EXPOSURES.	T. (N/A) PRE-FAB WOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION". SUBMIT SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL.	H. PAINT SHALL BE "BENJAMIN MOORE" , LUSTER AS FOLLOWS: FLAT-SIDED (EXTERIOR LATH) SATIN- FOR TRIM AND DOORS, EGGSHELL LUSTER- WALLS, FLAT- CEILINGS PREP ALL SURFACES PER MANUF. INSTRUCTIONS PERM AND PAINT ALL SCHEDULED SURFACES. PROVIDE SCHEDULED PAINTS AND ACCESSORIES AS REQ'D LOUHI HONEY FINISH FIN. SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER AM SECTION 1700, STRAIGHT, LEVEL AND FREE OF DISTORTION TO ALLOW FOR UNOCCUPED OPERATION. CABINET HARDWARE SHALL COMPLY WITH BHMA A156.9.
E. ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE WRITTEN APPROVAL FROM STEVEN SECON ARCHITECT PRIOR TO INSTALLATION.	E. STANDARD DETAILS FOR REBAR HOOKS, BENDS, AND DEVELOPMENT LENGTHS SHALL BE IN CONFORMANCE WITH THE "CONCRETE REINFORCING STEEL HANDBOOK", THE CRS ENGINEERING PRACTICE COMMITTEE. PROVIDE 2 #6 BARS ADDITIONAL AROUND ALL BENDED ORINGS LARGER THAN 1'-0" AND SMALLER THAN 3'-0" X 3'-0" IN FOUNDATION WALLS. LENGTH OF BARS SHALL EQUAL OPENING PLUS 4'-0", UNLESS NOTED OTHERWISE.	U. PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS, BATH-TUBS OR OTHER HEAVY FIXTURES RUNNING PARALLEL WITH THE JOISTS.	I. PROVIDE 10% ATTIC STOCK TILE & PAINT FOR FUTURE OWNER USE.
F. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES.	F. SMOOTH WIRE FABRIC REINFORCEMENT SHALL BE IN COMPLIANCE WITH ASTM A185. SHEETS ONLY NO ROLLS. PER ACI ASTM A185.	V. FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURAL WOODWORK QUALITY STANDARDS"-PREMIUM QUALITY LEVEL.	10. SPECIALTIES
G. SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.	G. GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 6,000 PSI AT 28 DAYS.	W. MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE CLEAR POPLAR OR PINE. ALLOW WOOD TO SEASON ON SITE. SCARF JOINTS.	TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE BLOCKING AND ANCHORAGE WHERE REQUIRED.
H. CONTRACTOR PROVIDE SHORING, STABILIZATION, AND BRACING AS REQUIRED, PROVIDE PROPERTY , SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE WORK. CONTRACTOR SHALL PROVIDE SIGNED AND SEALED P.E. ENGINEERING DRAWINGS AS REQUIRED BY LOCAL MUNICIPALITY.	H. EXPANSION ANCHORS SHALL BE STAINLESS STEEL "MOM BOLTS" AS MANUFACTURED BY THE HILTI CO. NEW RE-BAR DOWELS SECURED TO EXISTING CONCRETE WITH "HIT C-10" ADHESIVE ANCHORS.	X. (N/A) EXPOSED ENDS OF POSTS, BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLENT PRESERVATIVE CONTAINING 3-1000-2PROPYNYL CARBAMATE COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT.	11. EQUIPMENT 12, 13, 14 NOT USED
I. PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED WORK AND PERSONNEL.	I. PROVIDE REINFORCED CONCRETE UNDERPINNING AS REQUIRED TO 3'-6" BELOW GRADE OR TO EQUALIZE DEPTHS OF NEW AND ADJACENT FOOTINGS TO PREVENT UNDERMINING. SEQUENCE 3" WIDE POURS TO AVOID DAMAGE TO STRUCTURE.	Y. EXTERIOR TRIM BY AZEK OR APPROVED COMPOSITE SUBSTITUTE. INSTALL PER MANUFACTURERS INSTRUCTIONS AND TECHNICAL LITERATURE.	A. INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO : KEGERATOR MODEL TO BE SELECTED. PROVIDE POWER AND CONNECTIONS.
J. ALL MECHANICAL,ELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FIXTURES OR OPERATIONS SHOWN, MECHANICAL,ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED TRADESMAN.	J. K. SLABS ON GRADE FOR WALKS OR PATIOS SHALL BE 4" (6" AT DRIVEWAYS) AIR-ENTRAINED CONCRETE 3500 PSI WITH W/ WF REINFORCEMENT ON 4" COMPACTED GRAVEL BASE-PROVIDE EXPANSION JOINTS AT 5' O.C., TOOLED FLAT CONTROL JOINTS AT 5' O.C. FLOAT FINISH INDOOR EXPOSED SLABS. BROOM FINISH EXTERIOR EXPOSED SLABS. APPLY CURING COMPOUND; FINISH IN ACI 308 EXP. ITS AT 20 O.C. MAX. BASEMENT AND GARAGE SLABS ON GRADE SHALL BE PROVIDED WITH EXP JOINTS AT OUTSIDE FOUNDATION WALL RETURNS OR STRUCTURAL POSTS OR 15' O.C. MAXIMUM.	Z. (N/A) ALL DECKING TO BE FASTENED TO STRUCTURE USING BLIND FASTENERS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. ALL DECKING TO BE EDGED WITH BORDER NO END GRAIN TO BE VISIBLE.	B. BUILT INS AND VANITIES SHALL BE PREM. GRANITE. PROVIDE 3/4" PLYWG FINISH CONCEALED PANEL SHAKER STYLE DOORS, W/ FULL EXTENSION HEAVY DUTY DRAWER GUIDES, RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REQ'D LOUHI HONEY FINISH FIN. SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER AM SECTION 1700, STRAIGHT, LEVEL AND FREE OF DISTORTION TO ALLOW FOR UNOCCUPED OPERATION. CABINET HARDWARE SHALL COMPLY WITH BHMA A156.9.
K. THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM ARCHITECT.	K. CONCRETE MASONRY UNITS TO BE SOLID FILLED AT TOP COURSE. PROVIDE HORIZONTAL TRUSS REINFORCING EVERY OTHER COURSE. LOAD BEARING UNITS (ASTM C-90, GR U-1), FILLED SOLID WITH GROUT FOR FULL HT. AT BEARING POINTS-12" BOTH SIDES OF SUPERIMPOSED LOAD. GROUT SHALL BE LEAN W/ 8 TO 10" SLUMP. WHEN USING CMU AS FOUNDATION WALLS, GROUT ENTIRE TOP COURSE AND BOTTOM COURSE WITH FULLY GROUTED CORES AT VERTICAL REBARS. DO NOT BACKFILL UNTIL MAXIMUM STRENGTH HAS BEEN ATTAINED AND FLOOR JOISTS ARE INSTALLED, RUNNING BOND PATTERN UNLESS NOTED OTHERWISE.	A. BUILDING WRAP BY "HYDROGAP" DRAINABLE HOUSEWRAP BY BENJAMIN OBDYKE OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL PREFORMED FLASHING. SEAL, PROVIDE END DAMS WHERE REQUIRED. USE FLASHING TAPE AT OPENINGS BY "HYDROFLASH" SELF ADHERED FLASHING TAPE.	C. PROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.
L. THE GC SHALL COORDINATE THE WORK OF ALL TRADES, INCLUDING SUBS HIRED BY OWNER.	L. THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL. GC SHALL PROVIDE OWNER A LIST OF "NEED BY DATES" FOR AL ITEMS CITED IN THE "PROVIDED BY OWNERS" SCHEDULE.	B. BATT INSULATION TO BE FIBERGLASS BATTS W/ WITH VAPOR BARRIER, R-21 WALLS, R-40 CEILINGS,PROOF OR FLOORS/CEILINGS W/ UNHEATED SPACES BELOW. VAPOR BARRIER TO WARM SIDE. FIRE-RETARDANT WHERE REQUIRED.	D. COUNTERTOPS TO BE 1 1/4" MED. GREY PIETRO CORDOZA WITH 4" STONE BACKSPLASH. COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGE. BACKSPLASHES SHALL BE TILED ABOVE SONE BACKSPLASH TO BOTTOM OF WALL CABINET. PROVIDE STONE SAMPLES OR SHOWNM SPT FOR APPROVAL. MIN. 3/4" OVERHANG BEYOND BASE. CABINETS. COORDINATE ALL CUTOUTS AND TEMPLATES WITH OTHER TRADES. INSTALL WITH FEWEST SEAMS POSSIBLE.
M. THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL. GC SHALL PROVIDE OWNER A LIST OF "NEED BY DATES" FOR AL ITEMS CITED IN THE "PROVIDED BY OWNERS" SCHEDULE.	M. WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION.	C. RIGID INSULATION TO BE POLYISOCYANURATE: 2" AT SLAB EDGE AND FNDN PERIMETER, 24" DOWN AND 24" IN.	E. PLASTIC LAMINATE CABINETS AND COUNTERTOPS TO COMPLY WITH AM SECTION 400.
N. SUBMIT APPLICATIONS FOR PAYMENT INDICATED IN OWNER-CONTRACTOR AGREEMENT.	N. CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS. OWNERS WILL BE RESPONSIBLE FOR PROPERTY INSURANCE. BASED ON VALUE OF SUBALLING CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION.	D. "CERTASPRAY" SPRAY POLYURETHANE FOM INSULATION SHALL BE CLOSED CELL. TYPE BY CERTANTIED IN MAXIMUM THICKNESS INSULATED PER MANUFACTURER DIRECTIONS. PROVIDE INTUMESCENT COATING IF CAVITY IS NOT ENCLOSED BY GYP BD.	F. SOLID POLYMER SURFACING SHALL BE FABRICATED WITH THE FEWEST POSSIBLE SEAMS AND INSTALLED ON OPEN WEB SUBSTRATE ON 16" CENTERS.
O. ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.	O. WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS.	E. VAPOR BARRIER TO BE 6 MIL POLYETHYLENE, OVERLAP AND TAPE SEAMS.	15. MECHANICAL
P. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. LEAVE PROJECT IN "BROOM-CLAN" CONDITION.	P. CONTRACTORS' INQUIRY AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.	F. FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AND GLASSING TAPE FOR WATERPROOF SEAL. PROVIDE SIMLAR DRIP EDGE. SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED NUD LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL-FLASHED GROOVES AS REQUIRED.	A. PLUMBING - DOMESTIC WATER PIPING SHALL BE PEX, BONDED JOINTS, SANITARY AND VENT TO BE CPVC, STORM UNDERDRAIN SHALL BE BLACK IRON. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ABSORB SHOCK. GAS SERVICE LINES SHALL BE BLACK IRON PER CODE. PROVIDE EJECTOR PUMP AS NEEDED FOR BASEMENT BATHROOM.
Q. WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER.	Q. ALL DEBRIS MUST BE REMOVED DAILY FROM JOBSITE AND PROPERLY DISPOSED OF. ALL FLAMMABLE MATERIALS MUST BE STORED IN UL APPROVED STORAGE CONTAINERS. FIRE EXTINGUISHERS WITH MINIMUM 1 LB CAPACITY RATED A-B SHALL BE PLACED EVERY 1000 SF OF PROPERTY DURING CONSTRUCTION AND BE PLAINLY VISIBLE.	G. PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C920.	B. PROVIDE 3 FROST FREE HOSEBIBS IF NOT CALLED OUT ON PLANS OTHERWISE.
R. PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES.	R. PROVIDE VENEER TO BE 1/4" TH SET ON 2" STONE STUD ON FILTER FABRIC, ON 4" THICK BED OF 3/4" GRAVEL SUB BASE ON COMPACTED SOIL. PROVIDE 6" X 16 GA SPIKED RETAINING EDGING AT BRICKS RUNNING PARALLEL TO PATH.	H. PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES PER ASTM E 814 BY TREMO OR 3M FIRE PRODUCTS.	ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM THE WEATHER AND BLOWER BY MEANS OF FABRIC INSULATION. PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGE, ATTIC, AND UNHEATED AREAS. ACUSTICAL INSULATE DUCTS IN OFFICES, MEETING AND MEDIA ROOMS
S. WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION.	S. PROVIDE LINTELS PER SCHEDULE, MINIMUM 8" BEARING AT BOTH ENDS.	I. PROVIDE AIR SEALING FOR BUILDING THERMAL ENVELOPE PER R402.4.1. AND AIR LEAKAGE RESISTANCE PER N1102.4.	J. GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM. ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS. FLOOR GRILLS TO BE WOOD TO MATCH WOOD FLOOR WHERE APPLICABLE.
T. THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED WORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE. FAILURE TO PROVIDE ADEQUATELY TRAINED TRADESMAN AND SUPERVISION WILL BE GROUNDS FOR TERMINATION.	T. PRECAST CONCRETE UNITS TO BE FABRICATED PER ASTM C 1364, WITH ALL REQUIRED STAINLESS STEEL STRAPS, PINS OR OTHER ANCHORAGE DEVICES. COLOR TO BE NATURAL BUFF. SLOPE HORIZONTAL STRAPS AT LEAST 1:12. PROVIDE DRIPS ON PROJECTING ELEMENTS. PROVIDE FULL SLOPED MORTAR JOINTS.	J. WOOD SIDING TO BE MATCH EX. EXPOSURE TO MATCH EX, FULLY BACKED-UP. USE NO 1, BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND SHINGLE BURED MANUAL.	K. BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT AND COOL EQLY TO THE DESIGN TEMPERATURE SET POINT ON THE THERMOSTAT. PROVIDE EQUIP. MANUALS AND OWNER OPERATION TRAINING MEETING.
U. WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS.	U. BRICKWORK SHALL MATCH EXISTING PATTERN (U.N.O.) WITH TYPE SW STANDARD BRICKS. PROVIDE 2" X 2" MUCKUP FOR APPROVAL OF EACH BRICK TYPE. PROVIDE SPECIAL SHAPES WHERE REQUIRED TO PREVENT CUT SURFACES FROM EXPOSURE. PROVIDE TIES, FLASHING AND WEEPHOLES WHERE REQUIRED.	K. (N/A) PREMIUM VINYL SIDING BY "ALCOA", MASTIC SERIES, CEDAR SHAKE PATTERN CO-70P. INSTALL PER ASTM D3679. 60 MIN. THICKNESS, WITH MATCHING FACTORY FINISHED POLYESTER-COATED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. PROVIDE SAMPLES IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR APPROVAL. USE MAXIMUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO PROJECT.	L. NEW ERYSTATION BY PANASONIC WHISPER COMFORT OR EQUAL. DUCTED PER MANUF. RECOMMENDATIONS. PROVIDE SPORENED WALL JACKS.
V. CONTRACTORS' INQUIRY AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.	V. BRICK VENEER TO BE ANCHORED TO WALL FRAMING AT 16" HORIZ, 16" VERTICALLY MAXIMUM. FASTEN ALL ANCHORS SECURELY TO STUDS.	L. EXTERIOR TRIM TO BE AZEK OR EQUAL, FULLY BACK PRIMED. PROVIDE CAP FLASHING AT WINDOW HEADS AND SILLS, TRIM BOARDS, WATERTABLES, TRANSITIONS BETWEEN SINGLE STYLES.	M. PROVIDE NEW "MITSUBISHI" 18000 BTU COOLING AND HEATING WALL MOUNTED AIR CONDITION SYSTEM 19.0 SEER2 WITH CONDENSER AND WALL, CARTRIDGE UNITS. TEMP. CONTROLS AS REQ'D. ACCESSORIES, LOCATE VENDOR PER OWNERS' DIRECTION AND IN ACCORDANCE WITH MANUF. SETBACK AND NOISE REGULATIONS. RELOCATE EX. MINUSPLIT HEAD IN MASTER BEDROOM AS REQ'D. NEW SYSTEM FOR BASEMENT, 3 HEADS 1 CONDENSER.
W. CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS. OWNERS WILL BE RESPONSIBLE FOR PROPERTY INSURANCE. BASED ON VALUE OF SUBALLING CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION.	W. PROVIDE LINTELS PER SCHEDULE, MINIMUM 8" BEARING AT BOTH ENDS.	M. PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO DRYWELLS (U.I.F). PROVIDE ALUMINUM DRIP EDGE. SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED NUD LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL-FLASHED GROOVES AS REQUIRED.	N. BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT AND COOL EQLY TO THE DESIGN TEMPERATURE SET POINT ON THE THERMOSTAT. PROVIDE EQUIP. MANUALS AND OWNER OPERATION TRAINING MEETING.
X. ALL DEBRIS MUST BE REMOVED DAILY FROM JOBSITE AND PROPERLY DISPOSED OF. ALL FLAMMABLE MATERIALS MUST BE STORED IN UL APPROVED STORAGE CONTAINERS. FIRE EXTINGUISHERS WITH MINIMUM 1 LB CAPACITY RATED A-B SHALL BE PLACED EVERY 1000 SF OF PROPERTY DURING CONSTRUCTION AND BE PLAINLY VISIBLE.	X. (N/A) THIN BRICK VENEER SYSTEM BY "AMBRICO" (800 248 8280) EZ-WALL SYSTEM WITH GALVANIZED 2" X 4" EZ-WALL PANEL, EZ-WALL MASTIC AND 1/2" SEVERE WEATHERING BRICK FRONT AND GROUT FROM BACK. PROVIDE SAMPLES IN COLOR AND FINISH FOR APPROVAL. SUBMIT SAMPLE BRICK AND 2" X 2" MUCKUP FOR APPROVAL.	N. PROVIDE RISE VENT, CAVITY BAFFLES AND EAVE VENTS 3/8 MIN. VENT TO SF RATIO.	PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.
Y. ALL SITE SETBACKS, RELATED DIMENSIONS AND ELEVATIONS SHALL BE CONFIRMED BY SURVEYOR PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING A SURVEYOR TO STAKEOUT THE EXTENTS OF CONSTRUCTION BEFORE COMMENCING WORK.	Y. FLAGSTONE AND SLATE PAVERS TO BE 1 1/2" TH. TO MATCH EX. ON 2" STONE-DUST SETTING BEDS, FILTER FABRIC AT 3" THICK BED OF 3/4" GRAVEL SUB-BASE ON COMPACTED SOIL.	O. ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE" , 40 YEAR, 3 TAB ARCH. ASPHALT ON 30# ROF FELT AT SLOPES 3:12 AND OVER. USE ICE & WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS. BELOW 3:12 USE ICE & WATER SHIELD THROUGHOUT PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A. RESIDENTIAL ASPHALT ROOF MANUAL.	F. PROVIDE MANUAL J. CALCULATIONS AND BLOWER DOOR TESTING IF REQUIRED BY LOCAL BUILDING DEPT.
Z. (N/A) THIN BRICK VENEER SYSTEM BY "AMBRICO" (800 248 8280) EZ-WALL SYSTEM WITH GALVANIZED 2" X 4" EZ-WALL PANEL, EZ-WALL MASTIC AND 1/2" SEVERE WEATHERING BRICK FRONT AND GROUT FROM BACK. PROVIDE SAMPLES IN COLOR AND FINISH FOR APPROVAL. SUBMIT SAMPLE BRICK AND 2" X 2" MUCKUP FOR APPROVAL.	Z. BRICK TO BE 2 1/4" TH SET ON 2" STONE STUD ON FILTER FABRIC, ON 4" THICK BED OF 3/4" GRAVEL SUB BASE ON COMPACTED SOIL. PROVIDE 6" X 16 GA SPIKED RETAINING EDGING AT BRICKS RUNNING PARALLEL TO PATH.	P. PROVIDE WATER-PROOFING AT THE OUTSIDE OF THE FOUNDATION WALLS CONSISTING OF "BITUTHENE" 4000 (OR EQUAL) 60 MIL. SHEET WITH 1/4" ASPHALTIC PROTECTION BOARD AND Dimpled DRAINAGE BOARD.	G. PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.
1. (N/A) THIN BRICK VENEER SYSTEM BY "AMBRICO" (800 248 8280) EZ-WALL SYSTEM WITH GALVANIZED 2" X 4" EZ-WALL PANEL, EZ-WALL MASTIC AND 1/2" SEVERE WEATHERING BRICK FRONT AND GROUT FROM BACK. PROVIDE SAMPLES IN COLOR AND FINISH FOR APPROVAL. SUBMIT SAMPLE BRICK AND 2" X 2" MUCKUP FOR APPROVAL.	L. N/A	Q. APPLY COLD-APPLIED ASPHALT EMULSION DAMPROOFING TO THE CAVITY FACE OF MASONRY BACKUP FOR MASONRY CAVITY WALLS. USE PRIMER PLUS ONE COAT AT A RATE OF 1 GALLON/100 SF.	H. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT.
2. SITEWORK	M. N/A	R. FILL ALL SMALL CAVITIES IN FRAMING, AND ANNULAR PIPE PENETRATIONS WITH "GREAT STUFF" EXPANDABLE URETHANE FOAM FOAM.	I. DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIGIDLY INSTALLED WITH REQUIRED BRACING AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATERS AND BLOWER BY MEANS OF FABRIC INSULATION. PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGE, ATTIC, AND UNHEATED AREAS. ACUSTICAL INSULATE DUCTS IN OFFICES, MEETING AND MEDIA ROOMS
A. PROVIDE PROTECTION OF ALL TREES AND PLANTING THAT MAY BE AFFECTED BY THE CONSTRUCTION ACTIVITIES.	N. N/A	S. PROVIDE FIRE PUTTY SEALANT AT HOLES FOR PIPES, CONDUITS AND SIMILAR PENETRATIONS.	J. GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM. ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS. FLOOR GRILLS TO BE WOOD TO MATCH WOOD FLOOR WHERE APPLICABLE.
B. PROVIDE SILT FENCE AT ADJACENT AREAS TO EXCAVATION & , GRADING AND CONSTRUCTION. GC WILL BE RESPONSIBLE FOR FINAL GRADING. TOP SOIL INSTALLATION AND RESEEDING WITH APPROPRIATE SEED AND HAY COVER. WATERING AND MAINTENANCE OF THE SEED AND GROWTH IS BY OWNER. AT STEEP AREAS WITH SLOPE ABOVE 6%, SOD SHALL BE USED AND PROVIDED WITH 3 MONTHLY WATERING.	O. DAMPROOFING: FOUNDATION WALL SHALL BE DAMPROOFED WITH (2) COATS OF ASPHALTIC FOUNDATION COATING BY HENRY PR176084 OR EQUAL.	T. (N/A) LOW SLOPE ROOFING SYSTEM TO BE BY "FIRESTONE" OR EQUAL, 60 MIL BLACK FULLY ADHERED EPDM INSTALLED PER MANUF INSTRUCTIONS WITH 20 YEAR NDL WARRANTY. PROVIDE 3% POLYISOCYANURATE ROOF INSULATION WITH COATED FIBERGLASS FASER SHEETS CONSISTING OF 2 LAYERS, A 1/8" LAYER ON THE DECK WITH A 2" TOP LAYER, 2 X 4 P.T. BLOCKING AT PERIMETER OF ROOF. EDGE TRIM .04" ALUMINUM WITH KYNAR FINISH. EDGING AT FRONT OF THE ROOF CUSTOM FABRICATED TO FIT TIGHTLY AND SECURLY OVER SHINGLES TO REMAIN.	K. BALANCING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS HEAT AND COOL EQLY TO THE DESIGN TEMPERATURE SET POINT ON THE THERMOSTAT. PROVIDE EQUIP. MANUALS AND OWNER OPERATION TRAINING MEETING.
C. STOCKPILE ALL TOPSOIL AS DIRECTED BY OWNER. REGRADE, AND RE-SEED ALL DISTURBED AREAS.	P. WATERPROOFING BY BITUTHENE 60ML MIN. OVER 8" CEMENT PARGE (BLOCK WALL) OR CEMENT WASH (POURED WALL). PROVIDE 4" PERFORATED PIPE FOOTING DRAIN IN 16" D STONE WITH LAYER OF SONE WITH OVER 18" QUANTITY OF 1/2" GRAVEL ABOVE GROUND OR STONE DRYWELL. WHERE CONDITIONS WARRANT AND ARE APPROVED BY THE ARCHITECT, FULLY ADHED WATERPROOFING MAY BE USED AS MANUFACTURED BY SONDERBORN HLM 5000-1 WITH APPROPRIATE PROTECTION BOARD	U. INSULATE MECHANICAL SERVICE LINES AND EQUIP. IN ACCORDANCE WITH BEST INDUSTRY AND TRADE PRACTICES.	L. NEW ERYSTATION BY PANASONIC WHISPER COMFORT OR EQUAL. DUCTED PER MANUF. RECOMMENDATIONS. PROVIDE SPORENED WALL JACKS.
D. ASSURE MINIMUM 1/4" PER 1'-0" POSITIVE DRAINAGE AWAY FROM STRUCTURE.	Q. ALL DEBRIS MUST BE REMOVED DAILY FROM JOBSITE AND PROPERLY DISPOSED OF. ALL FLAMMABLE MATERIALS MUST BE STORED IN UL APPROVED STORAGE CONTAINERS. FIRE EXTINGUISHERS WITH MINIMUM 1 LB CAPACITY RATED A-B SHALL BE PLACED EVERY 1000 SF OF PROPERTY DURING CONSTRUCTION AND BE PLAINLY VISIBLE.	V. INSULATE MECHANICAL SERVICE LINES AND EQUIP. IN ACCORDANCE WITH BEST INDUSTRY AND TRADE PRACTICES.	PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.
E. SOIL SHALL BE EXCAVATED AS REQUIRED, FIELD VERIFY 2 TON/SF BEARING CAPACITY, AND BE FREE OF DEBRIS, WASTE, FLOWING WATER, VEGETATION OR OTHER DELETERIOUS MATTER. NOTIFY ARCHITECT OF SUBSTANDARD SOIL CONDITIONS.	R. L. GRAVEL FOR DRAINAGE, TO BE CLEAN BANK-RUN 1" STONE KEEP EXCAVATION CLEAR OF WATER BY PUMPING OR OTHER APPROVED MEANS.	W. INSULATE MECHANICAL SERVICE LINES AND EQUIP. IN ACCORDANCE WITH BEST INDUSTRY AND TRADE PRACTICES.	F. PROVIDE MANUAL J. CALCULATIONS AND BLOWER DOOR TESTING IF REQUIRED BY LOCAL BUILDING DEPT.
F. SUBSTANDARD SOIL CONDITIONS MUST BE REMOVED TO A DEPTH OF ADEQUATE BEARING CAPACITY AND THEN REPLACED WITH ENGINEERED COMPACTED FILL WHICH SHALL CONSIST OF CLEAN WASH GRADED SAND AND GRAVEL COMPACTED TO 95% DENSITY, PLACED IN 8" LIFTS WITH EACH LAYER AND BASE EARTH LAYER THOROUGHLY COMPACTED BY MAKING 4 PASSES WITH A VIBRATORY PLATE.	S. LOCATE UNDERGROUND UTILITIES BEFORE EXCAVATION, OBTAIN REQUIRED APPROVALS AND INSPECTIONS. CALL BEFORE YOU DIG, 811, OR EXCAVATE 1-800-862-7962. CONFIRMATION NUMBER MUST BE PROVIDED.	X. (N/A) THIN BRICK VENEER SYSTEM BY "AMBRICO" (800 248 8280) EZ-WALL SYSTEM WITH GALVANIZED 2" X 4" EZ-WALL PANEL, EZ-WALL MASTIC AND 1/2" SEVERE WEATHERING BRICK FRONT AND GROUT FROM BACK. PROVIDE SAMPLES IN COLOR AND FINISH FOR APPROVAL. SUBMIT SAMPLE BRICK AND 2" X 2" MUCKUP FOR APPROVAL.	G. PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.
G. AREAS WITHIN 6' OF EXISTING CONSTRUCTION (WHOSE SOIL HAS NOT BEEN DISTURBED WITHIN 30 YEARS) SHALL BE CONSIDERED BACKFILL AND REQUIRES ADDITIONAL SOIL TAMPING TO DEMONSTRATE 95% COMPACTION AT SOIL BEARING FACE.	T. TRENCHES SHALL BE BACK FILLED IN 6" LIFTS, BEDDED WITH GRAVEL. COORDINATE WITH ALL TRADES. PLACE SUBGRADE PLASTIC WATERING TAPE ABOVE LINES 1" BELOW GRADE.	Y. FLAGSTONE AND SLATE PAVERS TO BE 1 1/2" TH. TO MATCH EX. ON 2" STONE-DUST SETTING BEDS, FILTER FABRIC AT 3" THICK BED OF 3/4" GRAVEL SUB-BASE ON COMPACTED SOIL.	H. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT.
H. PROVIDE CLEAN NON-TOXIC FILL WHERE REQUIRED TO MATCH ADJACENT GRADES AS REQUIRED, OR AS SHOWN ON THE DRAWINGS. BACKFILLING SHALL BE PERFORMED IN 8" LIFTS AND COMPACTED TO ACHIEVE RECOMMENDED AO DENSITIES.	U. BRICKWORK SHALL MATCH EXISTING PATTERN (U.N.O.) WITH TYPE SW STANDARD BRICKS. PROVIDE 2" X 2" MUCKUP FOR APPROVAL OF EACH BRICK TYPE. PROVIDE SPECIAL SHAPES WHERE REQUIRED TO PREVENT CUT SURFACES FROM EXPOSURE. PROVIDE TIES, FLASHING AND WEEPHOLES WHERE REQUIRED.	Z. BRICK TO BE 2 1/4" TH SET ON 2" STONE STUD ON FILTER FABRIC, ON 4" THICK BED OF 3/4" GRAVEL SUB BASE ON COMPACTED SOIL. PROVIDE 6" X 16 GA SPIKED RETAINING EDGING AT BRICKS RUNNING PARALLEL TO PATH.	I. DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIGIDLY INSTALLED WITH REQUIRED BRACING AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATERS AND BLOWER BY MEANS OF FABRIC INSULATION. PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGE, ATTIC, AND UNHEATED AREAS. ACUSTICAL INSULATE DUCTS IN OFFICES, MEETING AND MEDIA ROOMS



1 EXISTING 1ST FLOOR PLAN
1/8"=1'-0"



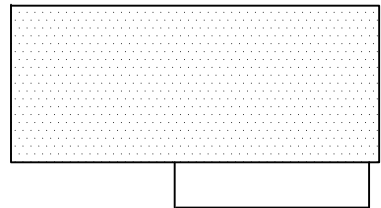
2 EXISTING 2ND FLOOR PLAN
1/8"=1'-0"

SPRINKLER CALCULATIONS

SPRINKLER REQUIRED IF EXISTING ALTERED SPACE >50% OF EXISTING CONDITIONED SPACE

EXISTING

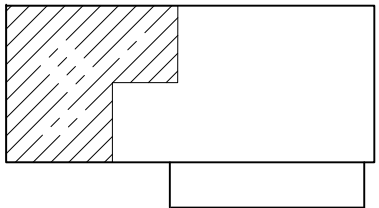
1580 EX. CONDITIONED SPACE (ECS)



2ND

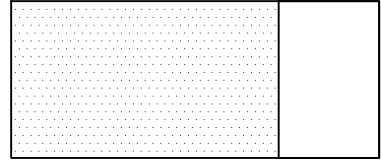
PROPOSED

593 EX. ALTERED SPACE (EAS)



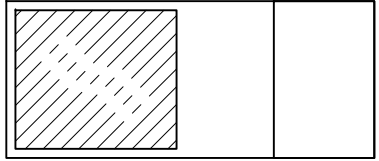
2ND

1150 ECS (GARAGE EXCLUDED)



1ST

611 EX. ALTERED SPACE (EAS)



1ST

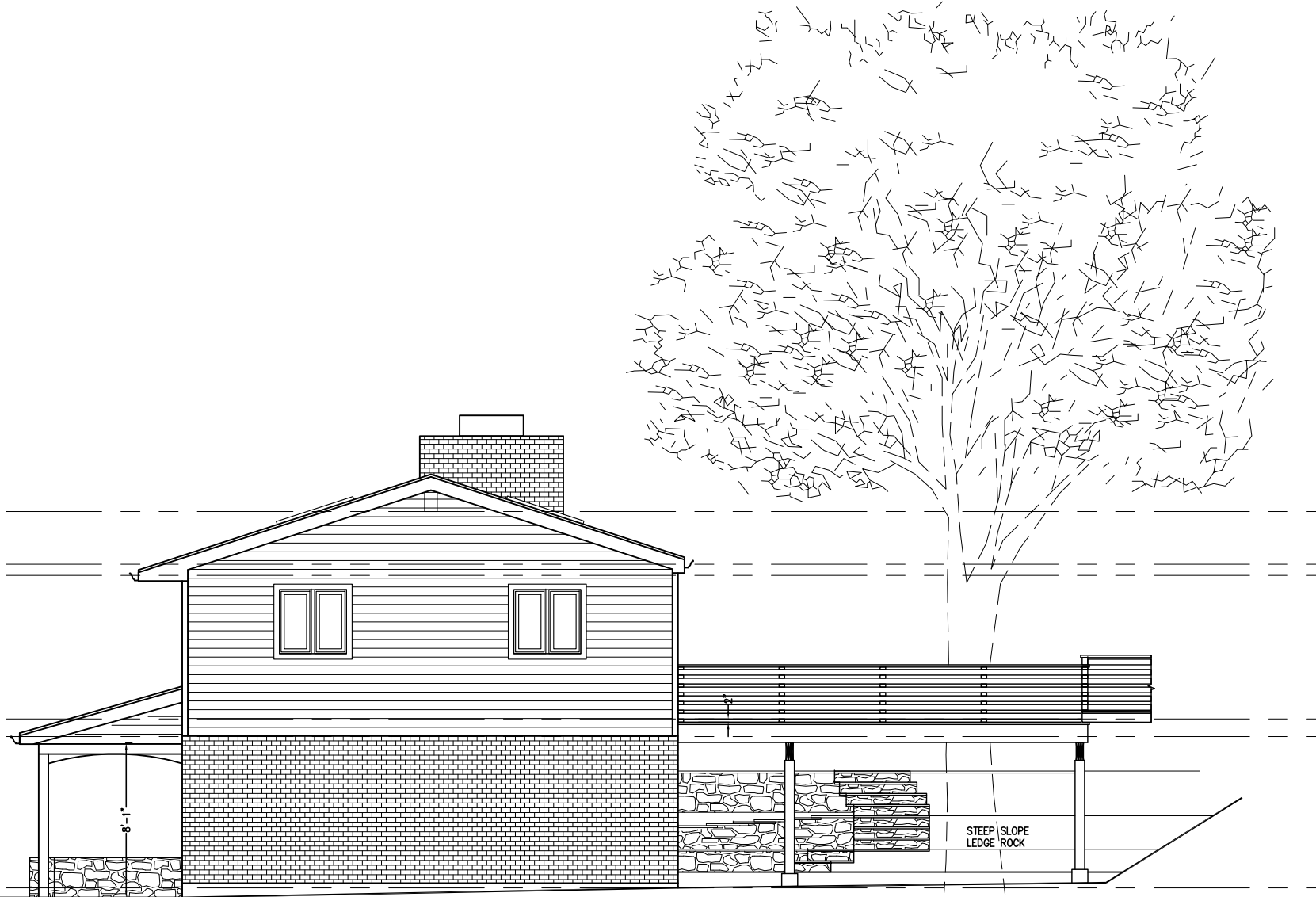
ECS TOTAL = 2730 SQFT

TOTAL EAS= 1204 SQFT
1204 EAS/2730 ECS = .44

44%<50% SPRINKLER NOT REQUIRED



3 EXISTING WEST ELEVATION
1/8"=1'-0"



4 EXISTING SOUTH ELEVATION
1/8"=1'-0"

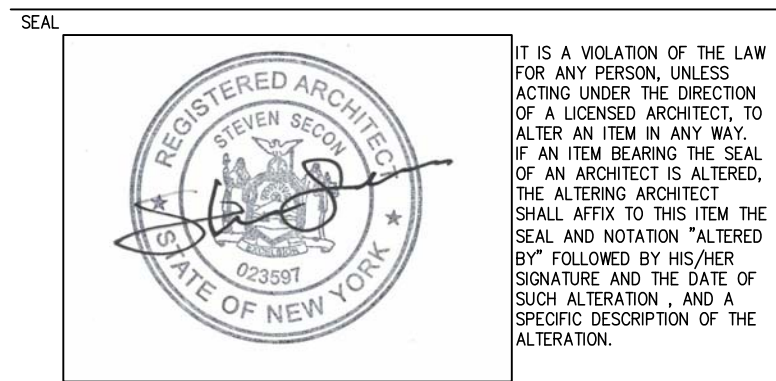


5 EXISTING EAST ELEVATION
1/8"=1'-0"



6 EXISTING NORTH ELEVATION
1/8"=1'-0"

3	04 11 24	AHRB SUBMISSION
2	01 26 24	BIDG DEPT & BID
1	01 19 24	PRE-FILING
NO.	DATE	REVISION/ISSUE



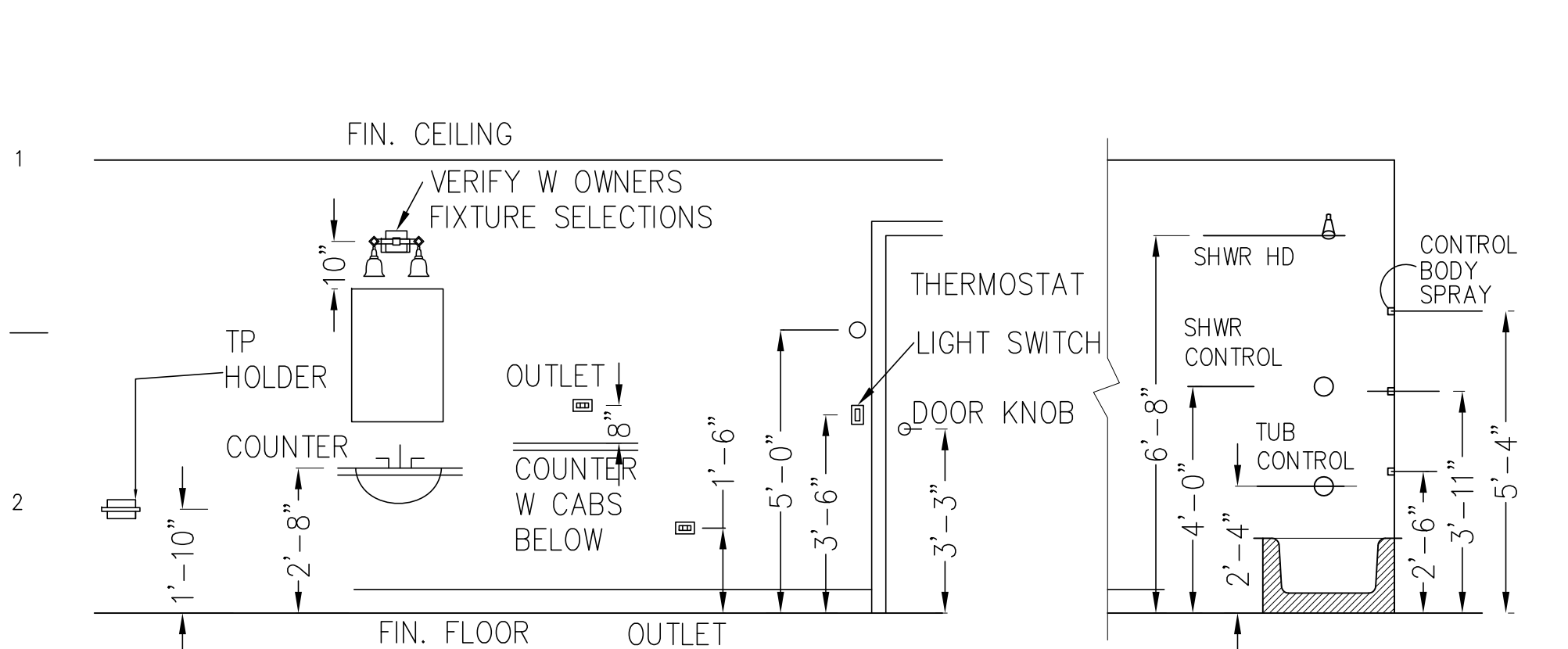
PROJECT
BLY RESIDENCE
INTERIOR ALTERATIONS
231 JUDSON AVE
DOBBS FERRY NY 10522
SHEET: 3.170 BLOCK: 151 LOT: 14

DRAWING TITLE
EXISTING PLANS AND ELEVATIONS
& SPRINKLER CALCULATIONS

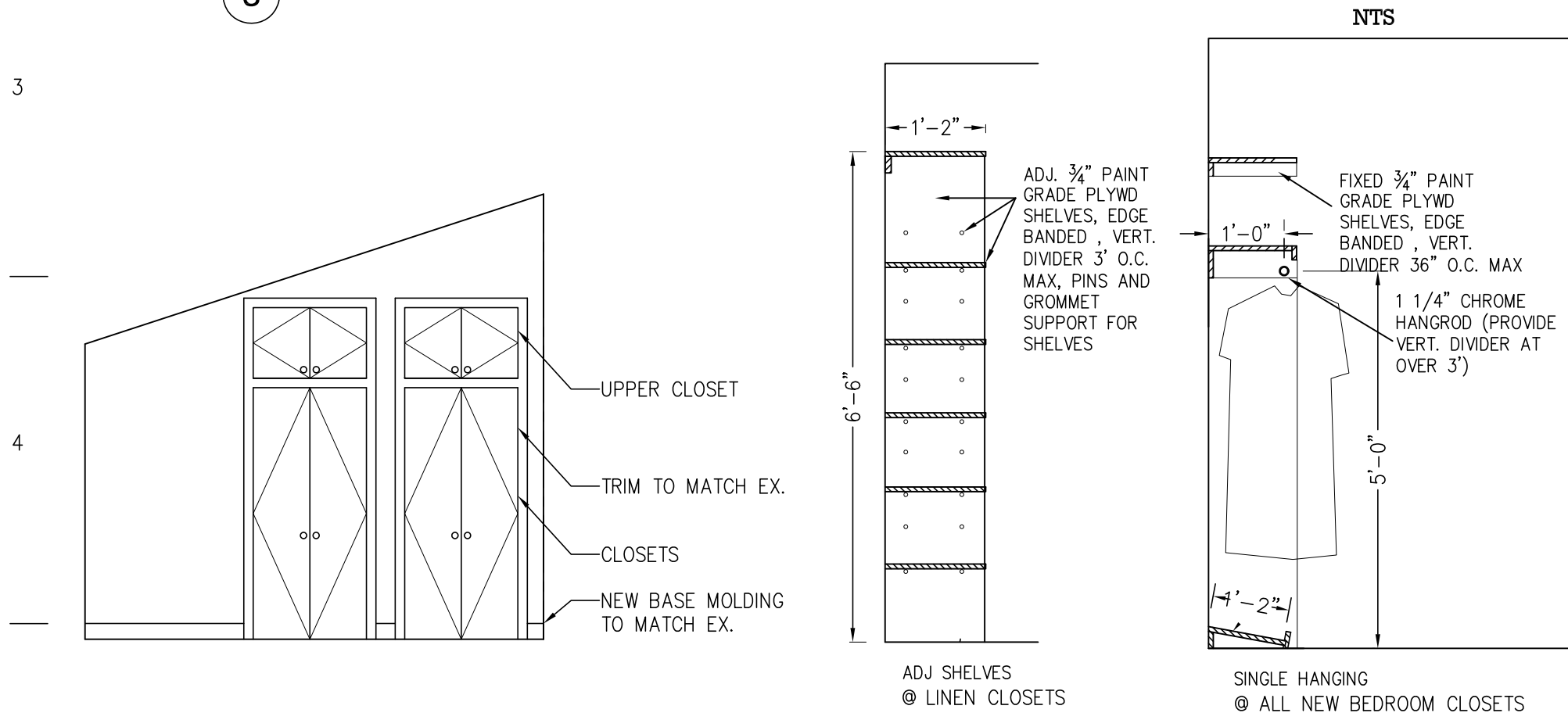
DATE
1/8"=1'-0"

SCALE
1/8"=1'-0"

STEVEN SECON ARCHITECT, PC
145 Palisade Street, Suite #403
Dobbs Ferry, New York 10522
Tel. (914) 674-2850 Fax (914) 693-1537
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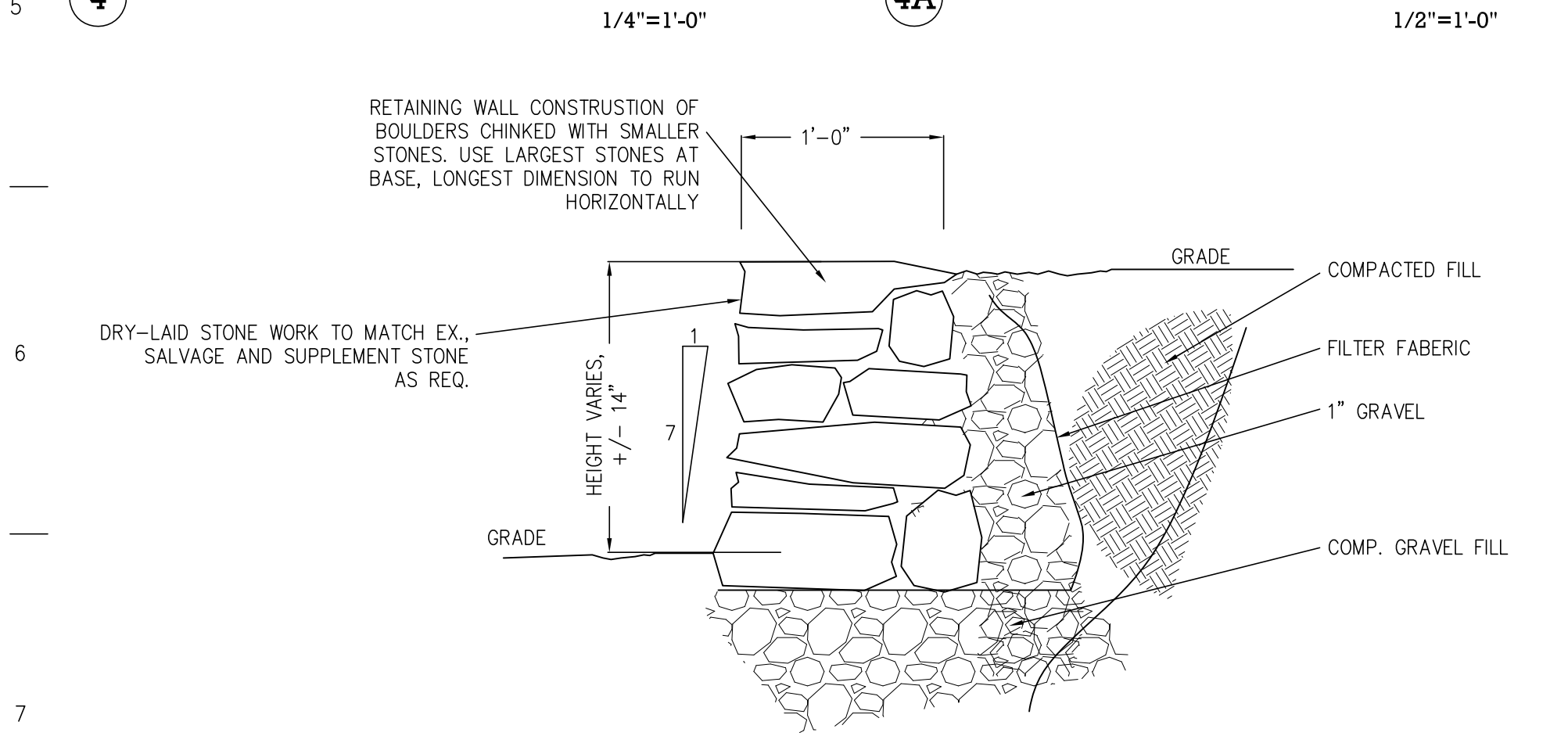


3 TYP. MOUNTING HEIGHTS

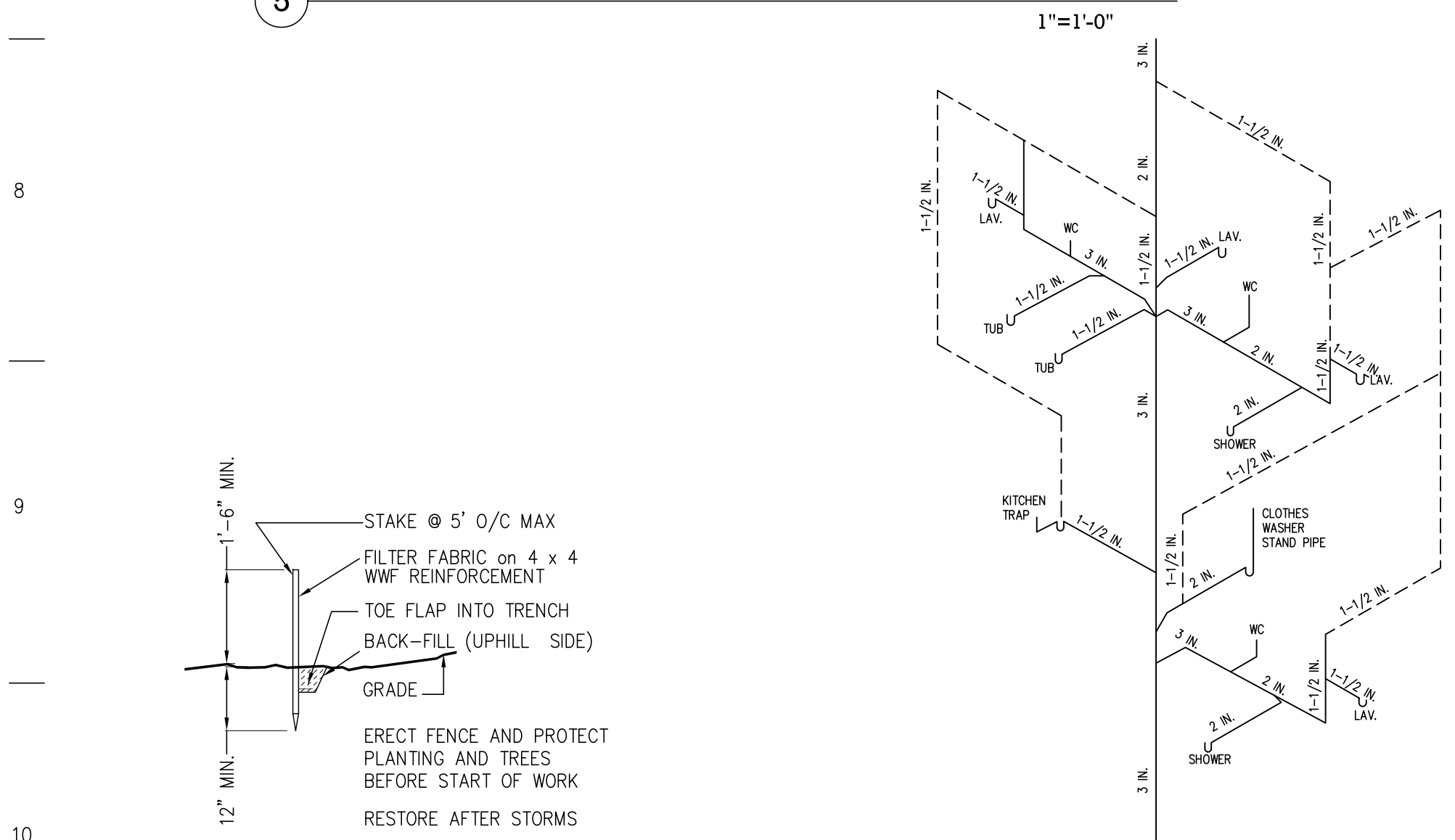


4 MASTER BEDROOM CLOSETS

4A TYP. CLOSET DETAILS

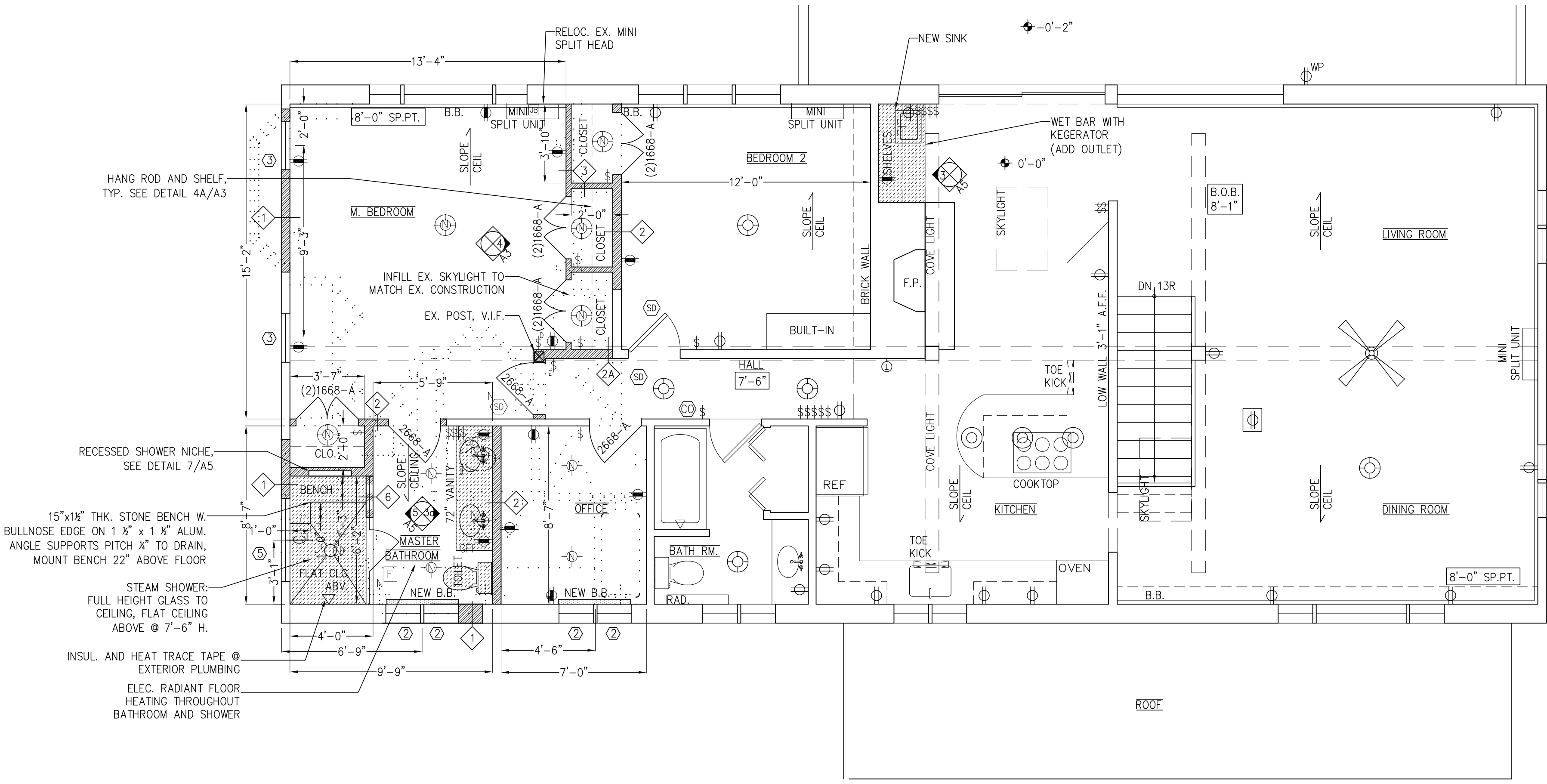


5 RETAINING WALL DETAIL

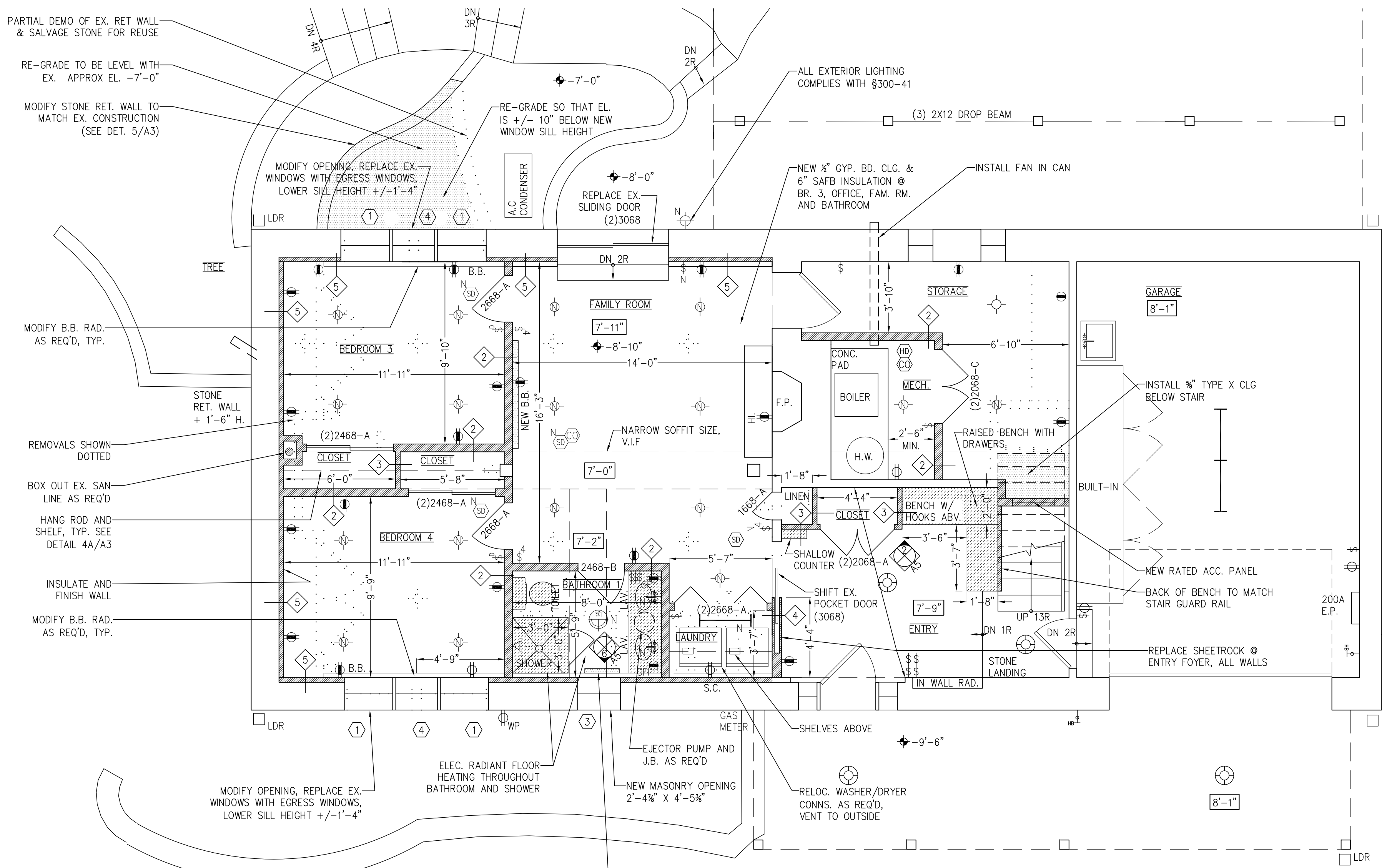


6 SILT FENCE DETAIL

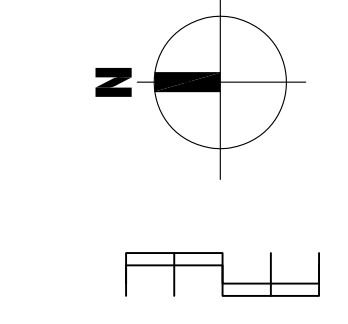
7 PLUMBING RISER DIAGRAM



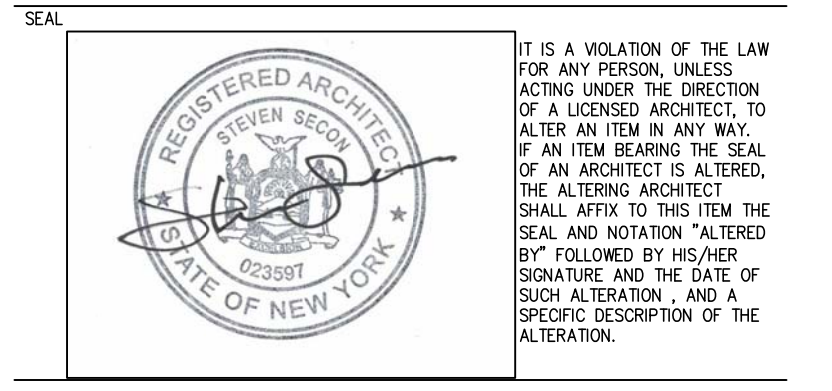
1 PROPOSED 2ND FLOOR PLAN



2 PROPOSED 1ST FL PLAN



3	04 11 24	AHRB SUBMISSION
2	01 26 24	BLDG DEPT & BID
1	01 19 24	PRE-FILING
NO.	DATE	REVISION/ISSUE



PROJECT
**BLY RESIDENCE
INTERIOR ALTERATIONS
231 JUDSON AVE
DOBBS FERRY NY 10522**
SHEET: 3.170 BLOCK: 151 LOT: 14

DRAWING TITLE
**PROPOSED FIRST FLOOR PLAN
AND SECOND FLOOR PLAN**

DATE
1/18" = 1'-0"

SCALE
1/4" = 1'-0"

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A-3

1

2

3

4

5

6

7

8

9

10

REPAINT AFFECTED
AREAS, TYP.

B.O.B.

B.O.B.
FLAT

8'-11"

7'-6"

EL. 0'-0"

FIRST FLOOR

7'-11"

BASEMENT

EL. 8'-10"

NEW NEW

NEW NEW

(EGRESS) NEW

(FIXED) NEW

(EGRESS) NEW

NEW

MODIFY MASONRY OPENING

CHECK SOFFIT
CONFLICT (V.I.F.)
@ WINDOW

1

PROPOSED WEST ELEVATION

1/4"=1'-0"

2

PROPOSED NORTH ELEVATION

1/4"=1'-0"

3

PROPOSED EAST ELEVATION

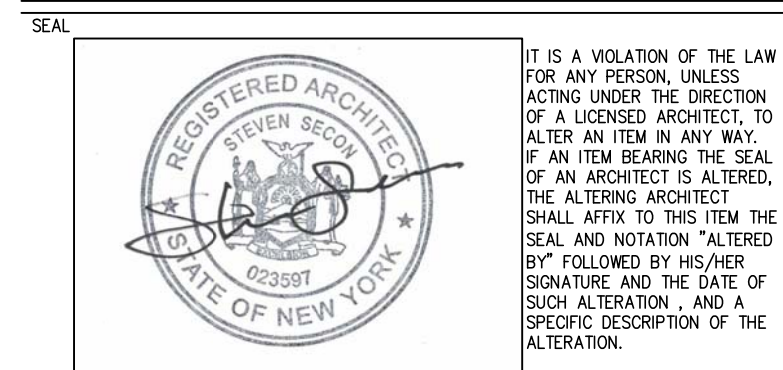
1/4"=1'-0"

4

PROPOSED SOUTH ELEVATION

1/4"=1'-0"

3	04 11 24	AHRB SUBMISSION
2	01 26 24	BLDG DEPT & BID
1	01 19 24	PRE-FILING
NO.	DATE	REVISION/ISSUE



PROJECT
**BLY RESIDENCE
INTERIOR ALTERATIONS
231 JUDSON AVE
DOBBS FERRY NY 10522**
SHEET: 3.170 BLOCK: 151 LOT: 14

DRAWING TITLE
PROPOSED ELEVATIONS

DATE	SCALE
1/4" = 1'-0"	1/4" = 1'-0"
STEVEN SECCON ARCHITECT, PC	
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www.secconarchitect.com	

A-4

FINISH SCHEDULE

	AREA	FLOOR	BASE	WALL	CEILING	MOLDINGS	REMARKS
1ST FLOOR	ENTRY FOYER	—	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	FAMILY ROOM	LVP	MATCH EXISTING	P-1	P-2	MATCH EXISTING	ACCOUSTIC INSUL AND CLG.
	BATHROOM 1	MCT	MCT	CT-1/P-3	P-3	MATCH EXISTING	ELEC. RAD. FL. HEATING, ACCOUSTIC INSUL AND CLG.
	BEDROOM 3	LVP	MATCH EXISTING	P-1	P-2	MATCH EXISTING	ACCOUSTIC INSUL AND CLG.
	BEDROOM 4	LVP	MATCH EXISTING	P-1	P-2	MATCH EXISTING	ACCOUSTIC INSUL AND CLG.
	MECH	—	—	—	—	—	
	LAUNDRY	LVP		P-1	P-2		
	STORAGE	LVP	—	P-1	P-2	—	
2ND FLOOR	LIVING ROOM	—	—	—	—	—	
	DININING ROOM	—	—	—	—	—	
	KITCHEN	—	—	—	—	—	
	HALL	REFIN. WD.	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	BATHROOM	—	—	—	—	—	
	BEDROOM 2	REFIN. WD.	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	OFFICE	WD-1	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	MASTER BEDROOM	WD-1	MATCH EXISTING	P-1	P-2	MATCH EXISTING	
	MASTER BATH	MCT	MCT	CT-1/P-3	P-3	MATCH EXISTING	ELEC. RAD. FL. HEATING
EXTERIOR							
	EXTERIOR	—	—	—	—	—	SEE EXTERIOR ELEVATIONS
	STUCCO	—	—	—	—	—	PAINT
	RAILINGS	—	—	—	—	—	PAINT
	PORCH						

MCT MOSAIC CERAMIC TILE
WD-1 2 1/4 T& G OAK STRIP WOOD FLOORING
CT-1 GLAZED CERAMIC WALL TILE
P-1 EGGSHELL LUSTER LATEX PAINT
P-2 FLAT, NO-D RIP LATEX PAINT
P-3 SATIN LUSTER LATEX PAINT
QT-1 QUARRY TILE
ST-1 SLATE
CPT-1 CARPET
LVP LUXURY VINYL PLANK FL

PROVIDED BY OWNER
SELECT, BRUCE OR EQ., STAINED & SEALED
PROVIDED BY OWNER
BENJAMIN MOORE
BENJAMIN MOORE
BENJAMIN MOORE

WINDOW SCHEDULE

NO.	MODEL	TYPE	SIZE	R.O.	REMARKS
①	CX145	CASEMENT	2'-7½" X 4'-4¼"	2'-8" X 4'-5½"	EGRESS (MULLED)
2	CN135	CASEMENT	1'-8½" X 3'-4¾"	1'-9" X 3'-5½"	FROSTED TEMP. GL. @ BATHRM.
3	CW145	CASEMENT	2'-4¾" X 4'-4¾"	2'-4¾" X 4'-5¾"	EGRESS FROSTED TEMP. GL. @ BATHRM.
4	CX145	STATIONARY	2'-4¾" X 4'-4¾"	2'-4¾" X 4'-5¾"	(MULLED)
5	G42	GLIDING	3'-11¼" X 1'-10¼"	4'-0" X 1'-11"	FROSTED TEMP. GL. @ BATHRM.
6	—	—	—	—	—
7	—	—	—	—	—
8	—	—	—	—	—
9	—	—	—	—	—

- SEE A1 FOR SPEC'S
- CONFIRM R.O. W/ MANUF. PRIOR TO ORDER
- PROVIDE SCREENS, HARDWARE, EXT. JAMBS AS REQ.
- PROVIDE TEMP. GL. PER CODE FOR WINDOWS & DOORS
- ALL BEDROOM WINDOWS MUST HAVE AT LEAST ONE EGRESS COMPLIANT-SIZED WINDOW OR DOOR

HEADER SCHEDULE

R.O. WIDTH	HEADER
UP TO 4'-0"	(2) 2 X 6
UP TO 6'	(2) 2 X 10
UP TO 8'	(3) 2 X 10
8'-10'	FLITCH BEAM 1

- PROVIDE DOUBLE STUDS AT DOUBLE HEADERS
- PROVIDE TRIPLE STUDS AT TRIPLE HEADERS
- FUR OUT WALL TO FLUSH CONDITION

FLITCH BEAM 1: (2) 2 X 10 WITH(1) 1/2" TH X 9" STL PLATES W/ 1/2" THRU BOLTS AT 16" OC STAGGERED WITH NUTS AND WASHERS

WHERE HEADERS PROJECT (NOT FLUSH WITH WALL)



FLITCH BEAM 2: (3) 2 X 10 WITH(2) 1/2" TH X 9" STL PLATES W/ 1/2" THRU BOLTS AT 16" OC STAGGERED WITH NUTS AND WASHERS

OWNER PROVIDED ITEMS

ALL OTHER REQUIRED LABOR AND MATERIALS SHALL BE BY THE GC

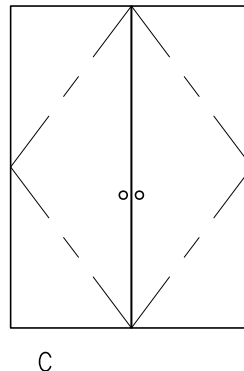
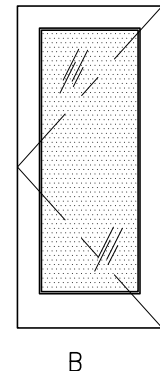
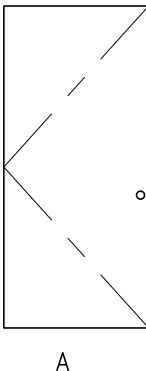
COMPONENT	OWNER FURNISH	OWNER INSTALL	REMARKS
COUNTERTOPS	X	X	
CABINETS	X		
APPLIANCES	X		
CARPETING	X	X	
LANDSCAPE RESTORATION	X	X	
SECURITY WIRING & DEVICES	X	X	
DECORATIVE LIGHTING	X		SCONCES, CHANDELIERS
TILES	X		
PAINTING	X		
BATHROOM FIXTURES AND ACC.	X		
LUXURY VINYL PLANK FL	X		

★ NOTE: SELECTIVE DEMO BY OWNER @ FIRST FL. (INCLUDES FL, WALLS, CLG, FINISHES TO BE REMOVED)

TO MATCH EX.

FROSTED TEMP. GLASS

METAL F.P.S.C



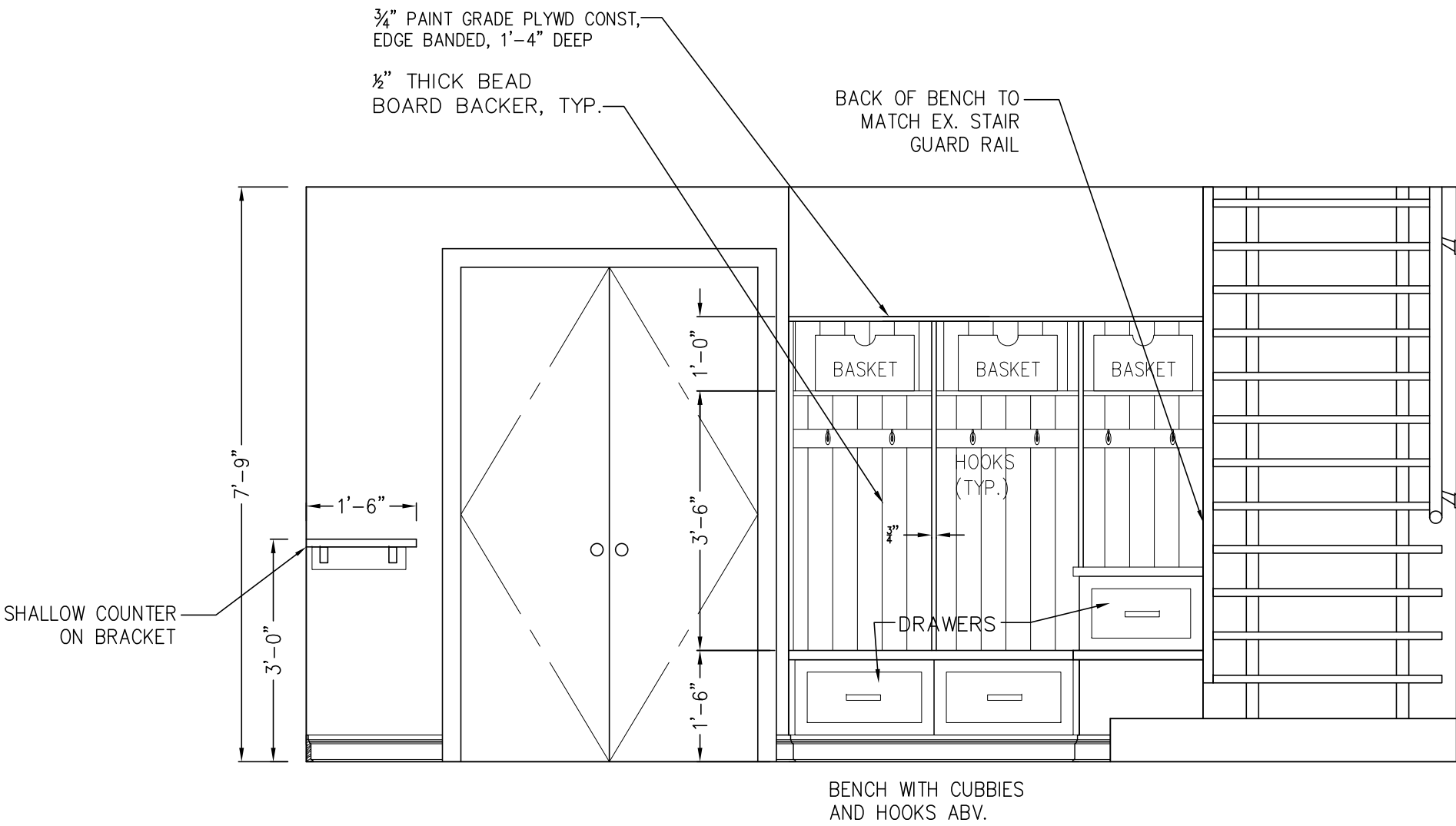
4

DOOR TYPES

1/4"=1'-0"

MUDROOM ELEVATION

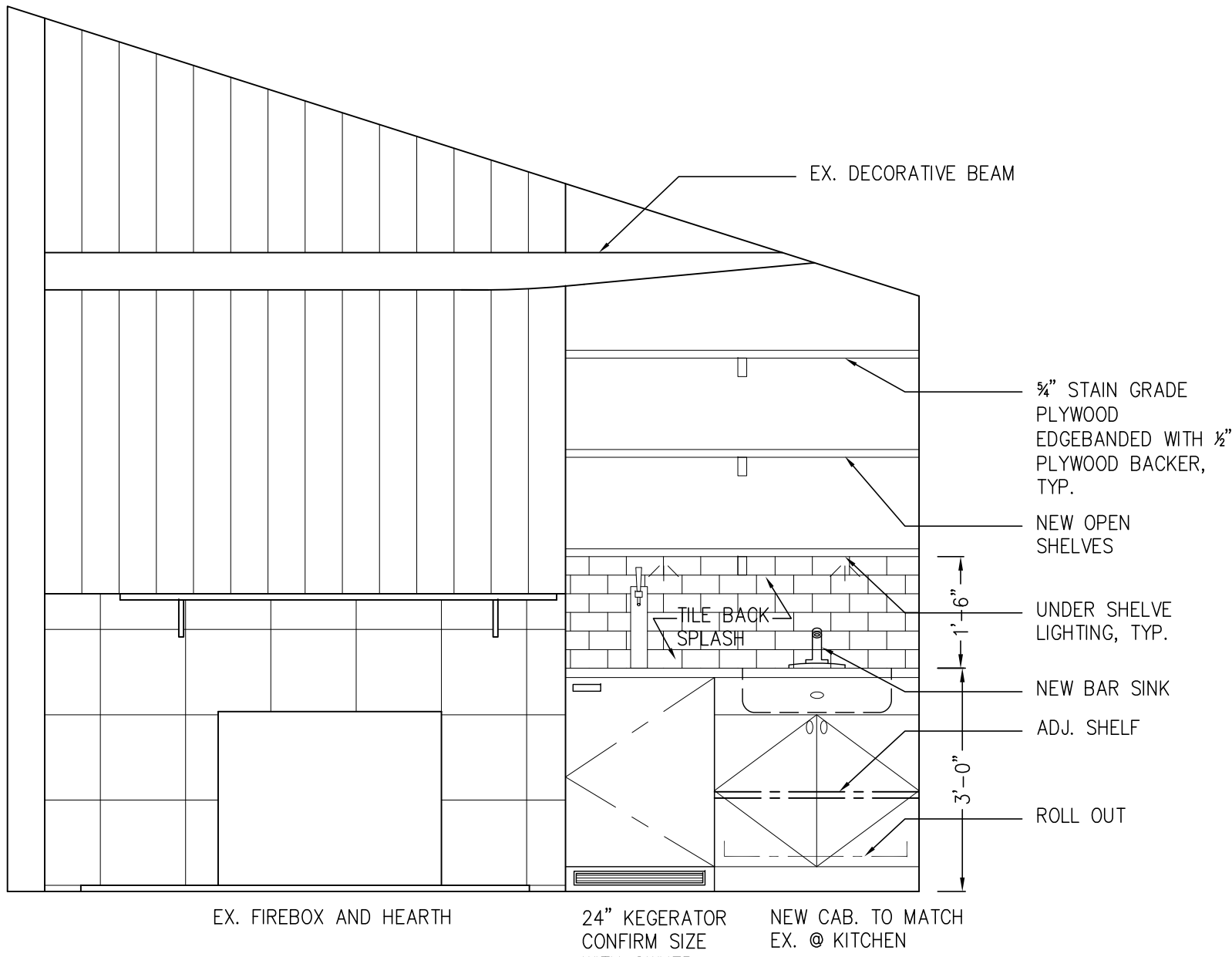
1/2"=1'-0"



2

DRY BAR ELEVATION

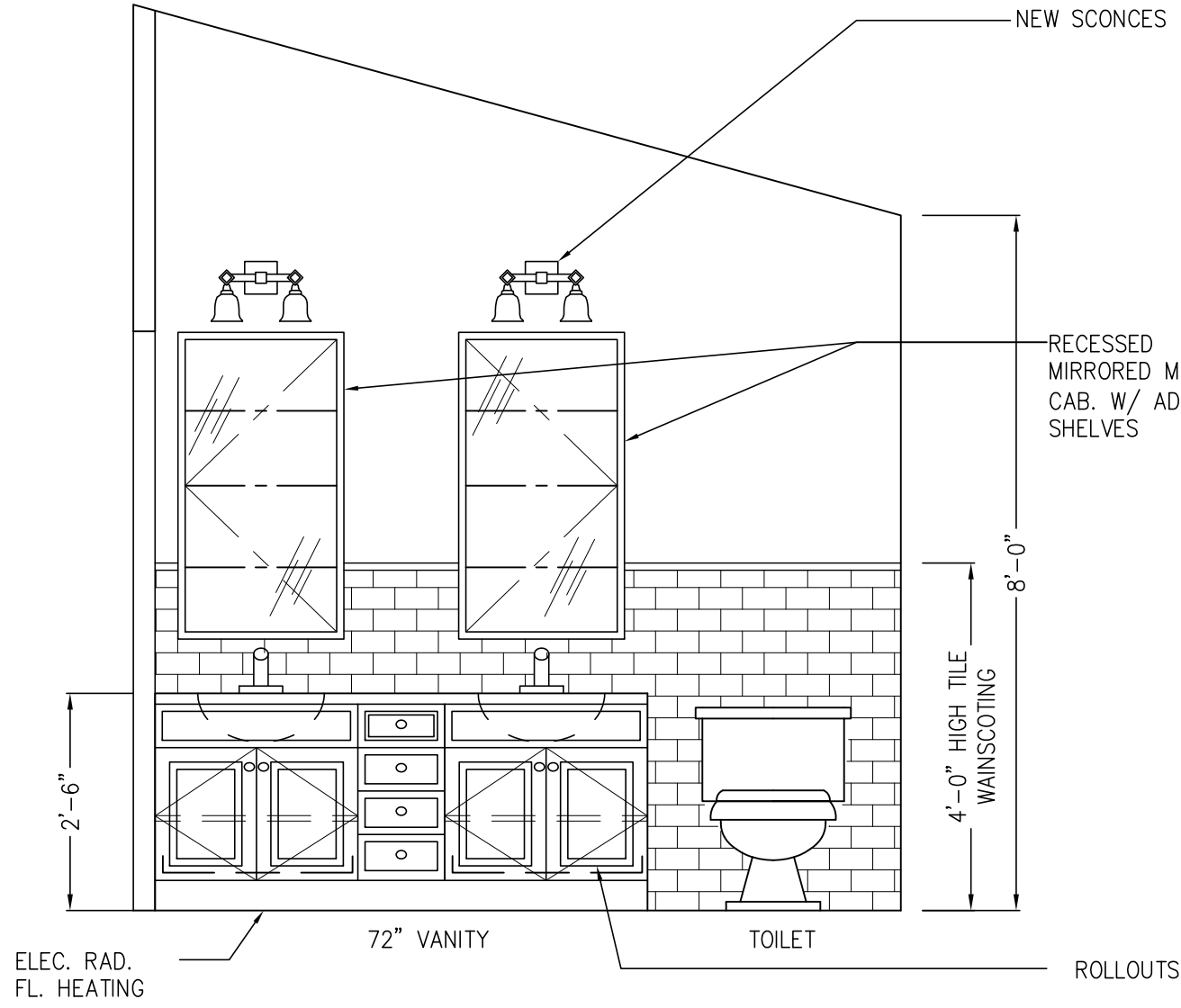
1/2"=1'-0"



3

MASTER BATHROOM ELEVATION

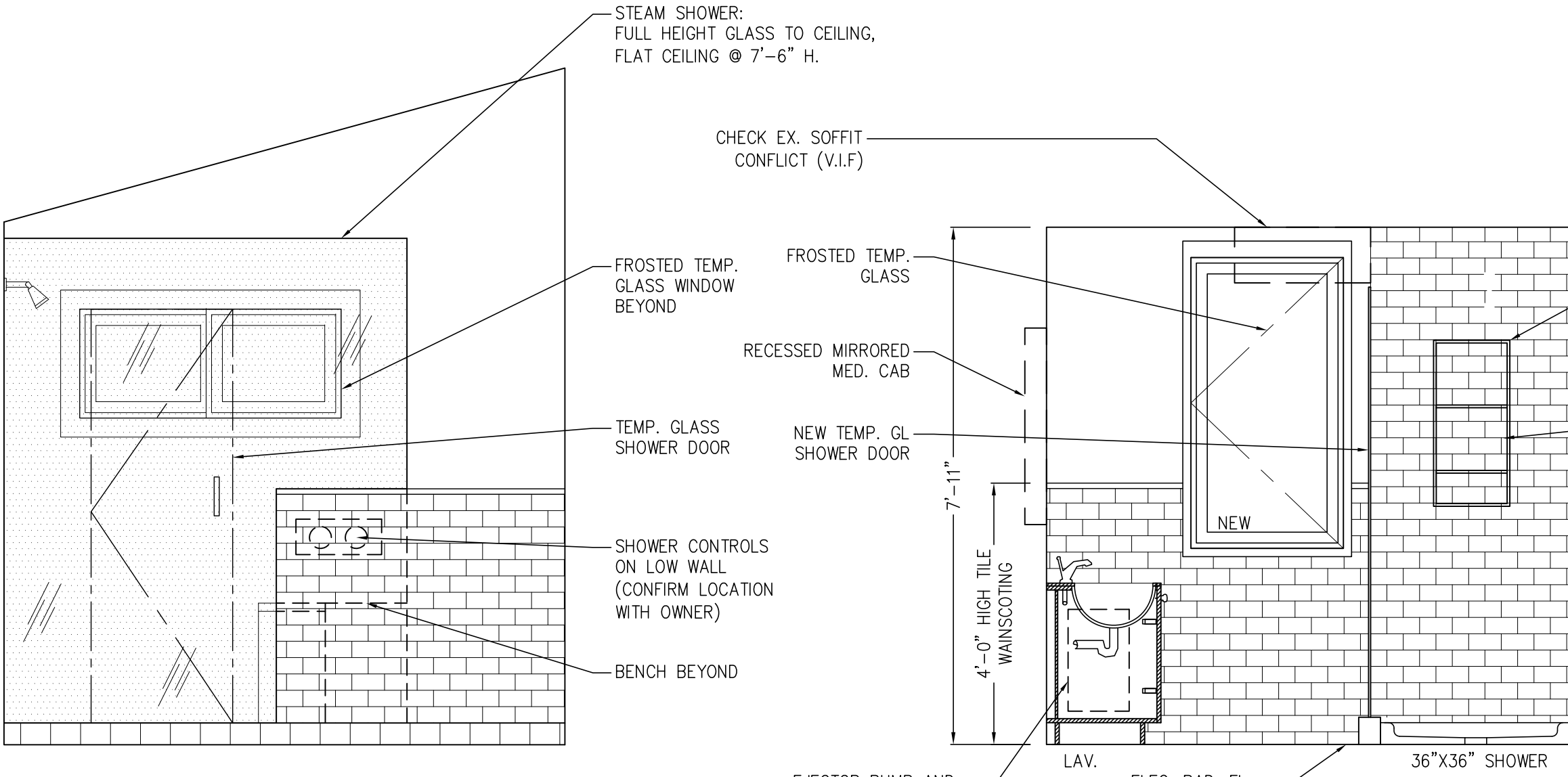
1/2"=1'-0"



3A

SHOWER ELEVATION

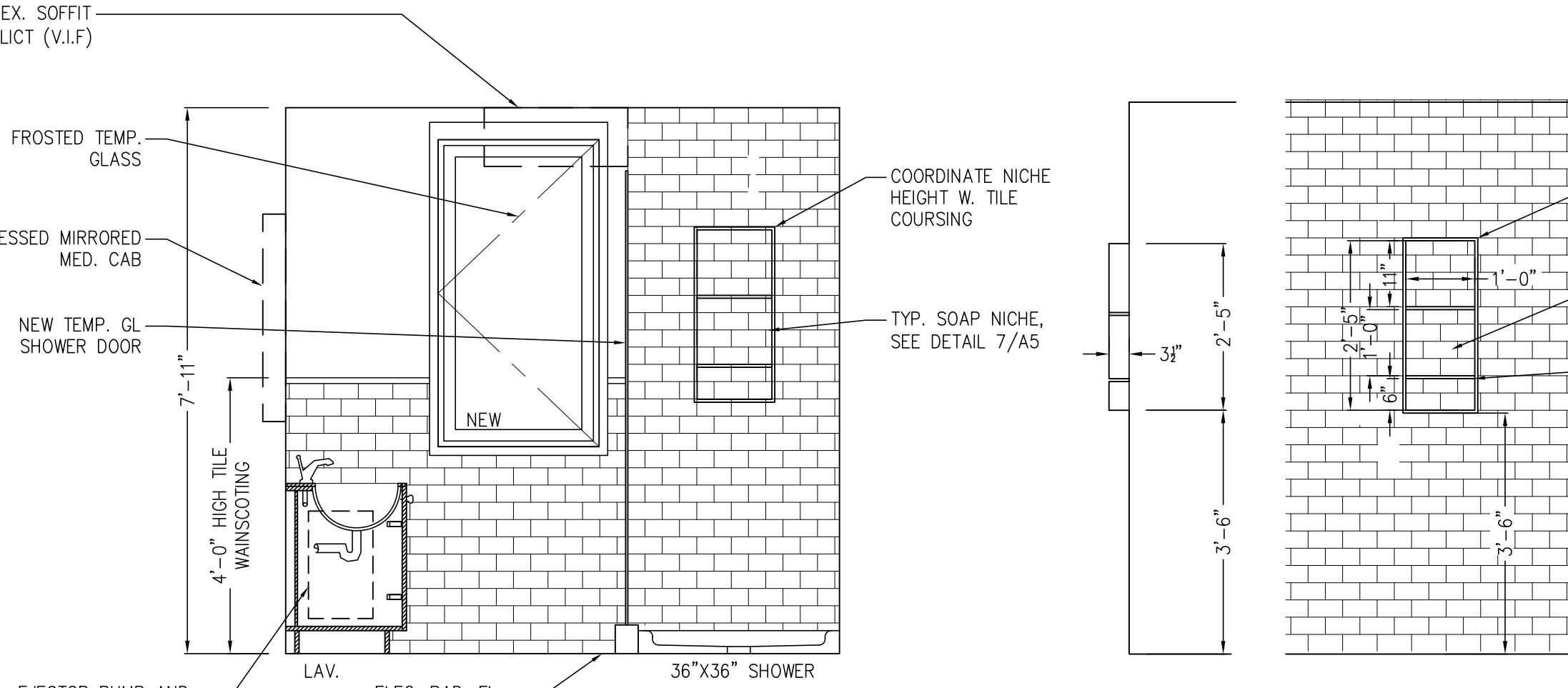
1/2"=1'-0"



5

BATHROOM 1 ELEVATION

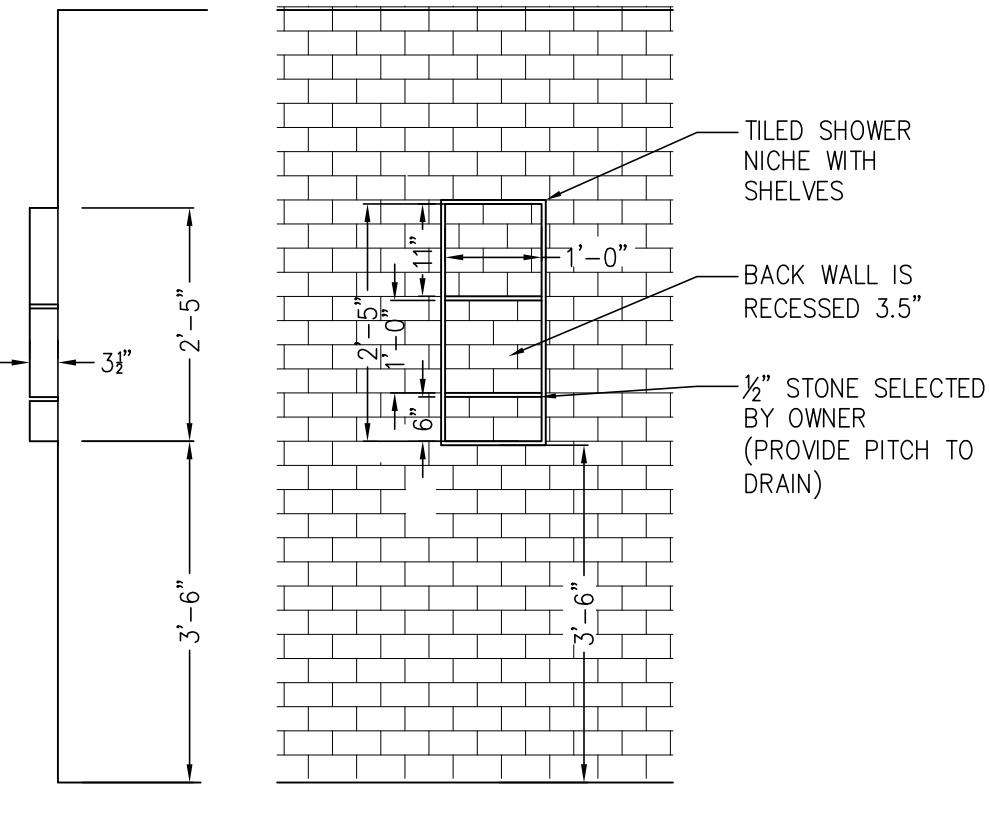
1/2"=1'-0"



6

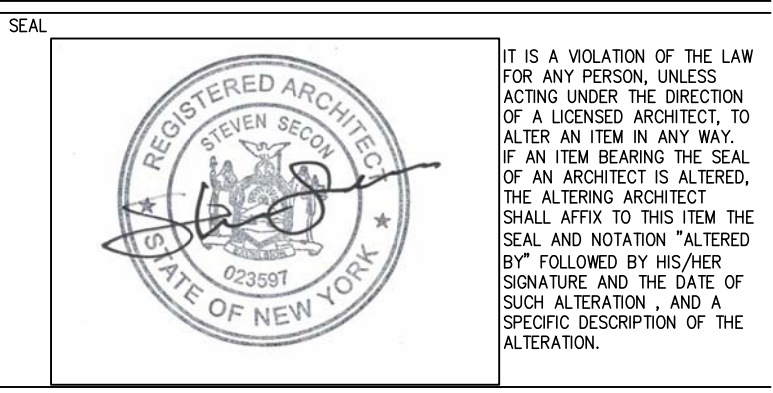
TYPICAL SHOWER NICHE DETAIL

1/2"=1'-0"



7

3	04 11 24	AHRB SUBMISSION
2	01 26 24	BLDG DEPT & BID
1	01 19 24	PRE-FILING
NO.	DATE	REVISION/ISSUE



PROJECT
BLY RESIDENCE
INTERIOR ALTERATIONS
231 JUDSON AVE
DOBBS FERRY NY 10522
SHEET: 3.170 BLOCK: 151 LOT: 14

SCHEDULES AND DETAILS

DATE	SCALE
1/2"=1'-0"	1/2"=1'-0"
STEVEN SECON ARCHITECT, P.C.	145 Palisade Street, Suite #403
Doobs Ferry, New York 10522	Tel. (914) 874-2950 Fax (914) 893-1537
www.seconarchitect.com	

A-5