

April 17, 2024

Honorable Stephen Hunter, Chairman
Village of Dobbs Ferry Planning Board
112 Main Street
Dobbs Ferry, New York 10522

Re: Site Plan Application - Resubmission
Greenburgh Hebrew Center
515 Broadway
Dobbs Ferry, New York
Tax I.D.: Section: 3.40, Block: 4, Lot: 11

Dear Chairman Hunter and Members of the Planning Board:

Enclosed please find the following information regarding the above referenced project:

- Village of Dobbs Ferry Tree Permit
- Cover Sheet (w/Existing Conditions), SP-1.1, dated October 5, 2023, last revised April 17, 2024
- Site Plan (Proposed Conditions), SP-2.1, dated October 5, 2023, last revised April 17, 2024
- Construction Details & Notes, DT-3.1, dated October 5, 2023, last revised April 17, 2024

The enclosed information is being submitted in response to the Nelson Pope Voorhis review memorandum dated March 1, 2024 and the AI Engineers review memorandum dated February 26, 2024 and the discussions with the Planning Board at the March 7, 2024 and April 4, 2024 meetings. Below are responses to each of the review memorandums:

NELSON POPE VOORHIS REVIEW MEMORANDUM DATED MARCH 1, 2024

GENERAL AND PROCEDURAL COMMENTS

1. **Ownership.** We note the driveway along the northern portion of the side extends over the property line. Will there be improvements, such as resealing the driveways? If so, we question whether the owner of the neighboring property should also be on the application.

Response: The site plan has been revised to propose the removal of the existing asphalt over the property line.

2. **SEQR.** This application is categorized as a Type II action under SEQR because it consists of the "maintenance or repair involving no substantial changes in an existing structure or facility." No additional SEQR review is necessary.

Response: Noted.

3. **Site Plan Approval.** This application requires Site Plan approval by the Planning Board per Section 300-52 of the Zoning chapter. A public hearing will be required for Site Plan approval.

Response: Noted.

4. **County Board Referral.** This project requires a notification to the Westchester County Planning Board per section 239 L, M, and N of the New York State General Municipal Law because the project is within 500 feet of NYS Route 9.

Response: Noted.

5. **Agency Permits.** The Applicant is proposing to work in the NYS DOT Route 9 Right-of-Way. A permit may be needed.

Response: A DOT Highway Work Permit will be applied for and obtained prior to any work within the NYSDOT right-of-way.

6. **Zoning.** The Applicant provided a zoning table for the OF-1 district. We note the following:

- a. The use of the house of worship is an existing nonconforming use. A similar application was seen before the Planning Board in 1992, at which point the Board waived site plan review allowing for a proposed playground area. The Board at that point had clarified that the playground was solely for the use of the Greenburgh Hebrew Center. It appears that the applicant did complete the work associated with the previous proposal. See GoogleEarth snip below.

We note §300-47D(1) of the code states “nonconformities must be maintained to be safe and in good repair. Incidental repairs and normal maintenance necessary to keep a nonconformity in sound condition are permitted, consistent with all permit or approval requirements of this chapter.” We believe the proposed project is not an alteration or expansion but rather needed maintenance for the project site and is therefore allowed under the code.

Response: Noted.

- b. Building coverage. The permitted amount of building coverage is 15%, however the existing building presents 27% coverage. We note the Applicant is proposing the removal of an existing shed. Was this structure included as part of the building coverage calculation? If so, the change should be shown.

Response: It was found the shed (73 sf) was not considered in the building coverage calculation so the 16,590 sf has been revised to now include the shed and now totals 16,663 sf.

- c. Impervious coverage. The OF-1 zoning district permits a maximum of 30% impervious coverage, however the lot presents 74% coverage. The Applicant has indicated a slight decrease in the impervious coverage. We are unsure of how this is possible given the increase in coverage presented by the playground area. We also note the Board should consider asking the applicant to implement the use of pervious pavers on the site, as the applicant is proposing to replace/create sidewalk along the southern portion of the side. This may reduce the overall impervious coverage and make it more conforming.

Response: The impervious coverage does actually decrease with the removal of 987 sf of existing asphalt pavement that is being removed for the increased playground area and the existing shed at 73 sf. Existing impervious area = 46,056 sf, proposed impervious area = 45,713 sf. We have added a chart showing the overall net **decrease** of impervious area to the Site Plan.

7. Architectural and Historic Review Board. This application will require Architectural and Historic Review

Response: Noted.

8. **Local Waterfront Revitalization Consistency.** The Planning Board will need to make a consistency determination with the Village's LWRP per §300-52 (D) as part of its final Site Plan approval. The Applicant has provided a Coastal Consistency Form.

Response: Noted.

SITE PLAN COMMENTS

6. **Site Plan.** It appears that the site plan base is from a survey however there has been no survey submitted. Given the location of the northern driveway extending onto the adjoining property, we believe a proper survey should be provided. We also note that Applicant should indicate the location of existing buildings on adjoining properties.

Response: We have requested signed and sealed copies of the survey from the surveyor Gabriel E. Senor, P.C. but have not received them yet. We will submit the official survey upon receipt.

7. **Parking Area Design.** In accordance with § 300-48D of the Village Zoning Code, the following requirements must be met. It appears the application does not meet some of the requirements and it appears that the proposed striping will be different than what is existing on-site. Below we have outlined the requirements and indicated what we believe not be compliant with this section.

- *Location. Off-street parking spaces must be located on the same lot as the use served except as allowed in Subsection H, Alternative parking requirements, below. Where*

practicable, parking should be located behind the front facade of the principal building on a lot. We note the applicant has existing spots on the front portion of the project site.

Response: The Hebrew Center would like to keep the three (3) existing H/C accessible spaces that are in close proximity to the front entrance even though they are located in front of the front building façade as this appears to be typical of properties to the north and south.

- *Parking dimensions. Each off-street parking space for nonresidential use shall measure a minimum of nine feet in width by 18 feet in length. Each off-street parking space for residential use shall measure a minimum of eight feet six inches in width by 18 feet in length. Accessible parking spaces shall meet standards of the Americans with Disabilities Act. The applicant appears to be proposing 14 noncompliant spaces. See the highlighted spots below.*

Response: The site plan has been revised to indicate all parking spaces meet the minimum requirements of nine (9) feet width by eighteen (18) feet length.

- *Parking aisles. The width of all aisles providing direct access to individual parking stalls shall be in accordance with the requirements specified below, with varying aisle widths based on the angle of the parking stalls and the direction of traffic on the aisles.*

The western portion of the southern aisle does not appear to be compliant with this requirement. See the highlighted location below.

Response: Although we adjusted all of the parking spaces to meet the minimum dimensional requirements we cannot avoid a short location where the aisle width is 22-ft. vs the 24-ft. required without pushing the existing southern curb 2-ft. to the south. We believe parking maneuvers will not be an issue for the few parking spaces in this area.

Lighting. Is exterior lighting proposed for the site? If so, the Applicant should provide a lighting plan, and all proposed lighting must comply with §300-41 of the Zoning chapter.

Response: There is no proposed exterior lighting as part of this project.

1. **Trees.** It appears that there will be tree removal required for the project. Please confirm that tree removal is required and submit a planting plan that meets §300-51(i), Tree Valuation, by providing the total aggregate diameter of trees proposed for removal and the total aggregate diameter of trees proposed to be planted.

Response: The Village has issued the Tree Removal Permit (see attached).

2. **Fence.** As part of the AHRB review, the applicant should provide materials/samples for the proposed fencing. We note during the 1992 review, the Board stated the fence would be a five-foot high dark brown, black, or forest green chain link fence. This appears to currently be in place.

Response: Photos of the proposed fence have been added to sheet SP-2.1.

3. **Stormwater Management Plan.** The Applicant has not yet provided a Stormwater Management Plan. Once provided, the Village Engineer will review the plan and comment on this information.

Response: It is our understanding that the existing stormwater infrastructure is sufficient since we are not increasing the amount of impervious area and we in fact have a reduction.

4. **Erosion and Sediment Control.** The Applicant has provided soil erosion and sediment control notes. We defer to the Village Engineer to review and provide comments on this information.

Response: We have addressed the Village Engineer's comments regarding erosion and sediment control notes, etc.

AI ENGINEERS REVIEW MEMORANDUM DATED FEBRUARY 26,2024

General Comments

8. Provide a signed and sealed topographic survey of the property.

Response: The applicant is in the process of trying to obtain the signed and sealed topographic survey. In the meantime, we have attached a copy of the survey used as the basis for the Site Plan.

9. A NYSDOT permit for work within the ROW will be required.

Response: We acknowledge that a NYSDOT Highway Work Permit will be required and ask that this be a condition of the approval in order to obtain the building permit. We anticipate preparing and submitting the NYSDOT HWP application within the next 2 weeks.

3. Proposed wall/fence height should be confirmed with the Building Department for conformance under zoning.

Response: We ask that the Building Inspector review this comment and if it does not comply we will reduce the height of the fence in order to comply. We ask that this be a condition of approval.

Proposed parking space dimensions and aisles widths do not all comply with minimum requirements.

Response: Although we adjusted all of the parking spaces to meet the minimum dimensional requirements we cannot avoid a short location where the aisle width is 22-ft. vs the 24-ft. required without pushing the existing southern curb 2-ft. to the south. We believe parking maneuvers will not be an issue for the few parking spaces in this area.

10. A stabilized construction entranceway must be added to the plan. The existing driveway may be used as the stabilized construction entranceway. The following note must be added to the plan, "The paved street adjacent to the site entrance shall remain clear and will be swept daily to remove an excess dirt, mud or rock tracked offsite."

Response: It is acknowledged that a stone stabilized construction entrance is not appropriate in this case and that the existing asphalt driveway can be utilized. We have added the requested note to the "Village Notes" on sheet DT-3.1.

11. Show erosion and sediment controls and any corresponding details in the project location near the proposed playground, i.e. Inlet protection, stockpile locations, and concrete washout if applicable.

Response: We have added erosion and sediment controls (i.e. silt fence, soil/material stockpile, concrete washout) to the Site Plan. Their corresponding details can be found on sheet DT-3.1.

12. Show the overall net increase/decrease of impervious area on the plans. If the surface of the playground area is considered impervious, provisions should be included for stormwater detention and drainage as appropriate.

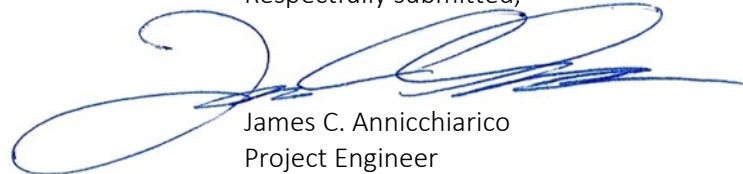
Response: The impervious coverage does actually decrease with the removal of 987 sf of existing asphalt pavement that is being removed for the increased playground area and the existing shed at 73 sf. Existing impervious area = 46,056 sf, proposed impervious area = 45,713 sf. We have added a chart showing the overall net **decrease** of impervious area to the Site Plan. The surface of the playground area is a rubber-type mulch over soil that will not create any runoff.

13. Drainage for the retaining wall that is shown in the details must also be included on the proposed site plan, as well as the discharge location.

Response: We have added the drain for the retaining wall to the Site Plan along with the discharge location.

We look forward to discussing the application further at the May 2, 2024 Planning Board meeting. In the meantime, if you have any questions or require additional information, please do not hesitate to contact me. Thank you for your time and consideration in this matter.

Respectfully submitted,



James C. Annicchiarico
Project Engineer

enclosures

cc: Robin Rosenberg & Paul Bialowas, Greenburgh Hebrew Center, Property Owner/Applicant
Dan Roemer, Building Inspector, Village of Dobbs Ferry
Valeria Monastra, AICP, Nelson Pope Voorhis, Village Consulting Planner
Anthony Olivieri, P.E., AI Engineers, Village Consulting Engineer
Dan Pozin, Village Planning Board Attorney
File: Greenburgh Hebrew Center-515 Broadway-Dobbs Ferry-Site Plan-Response Letter-Planning Board-20240417