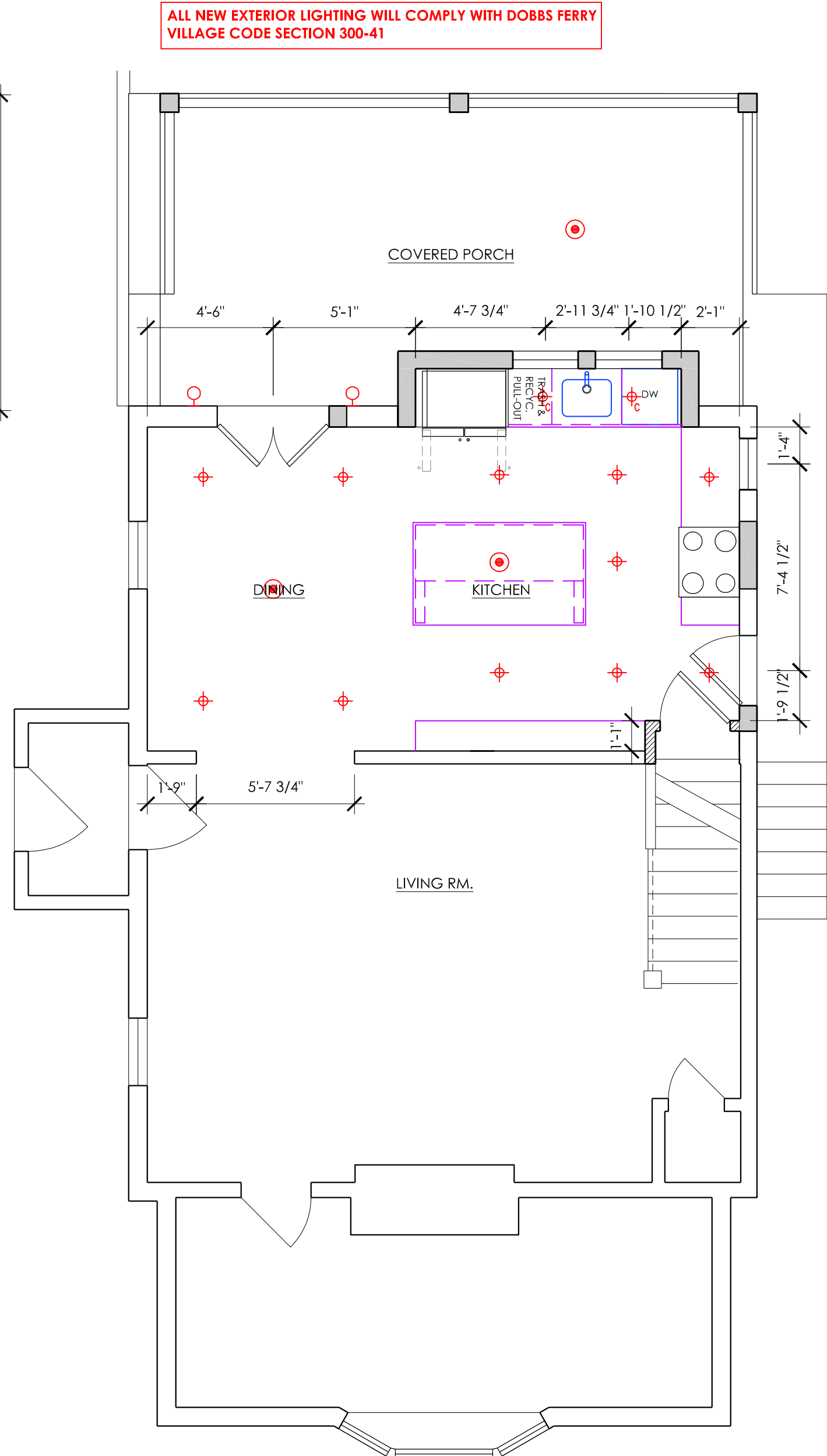
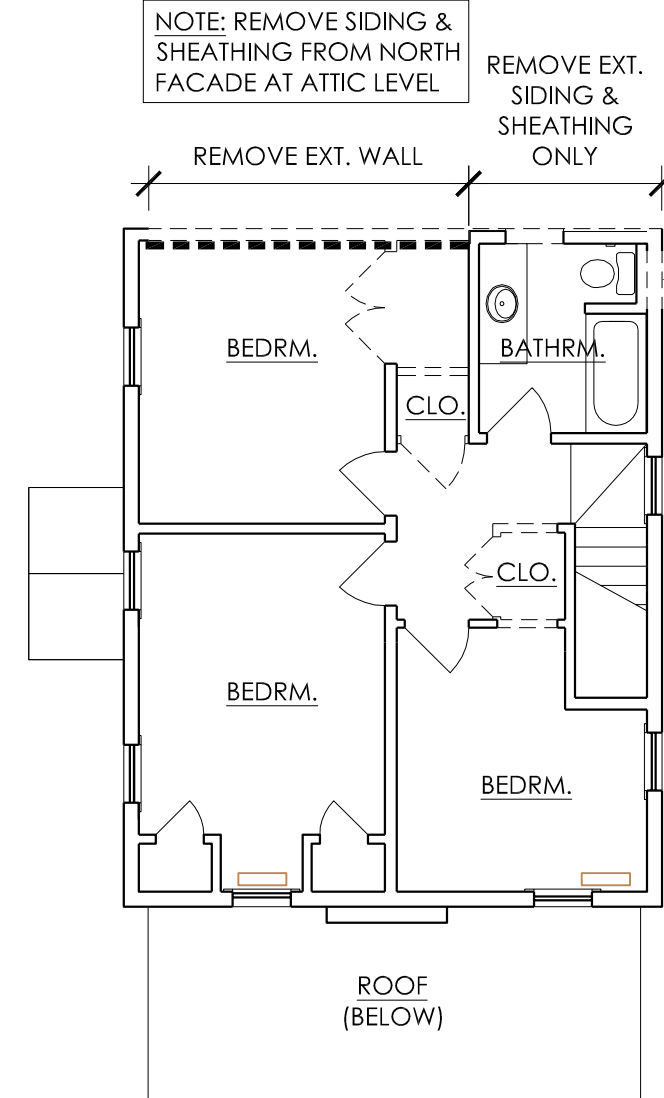


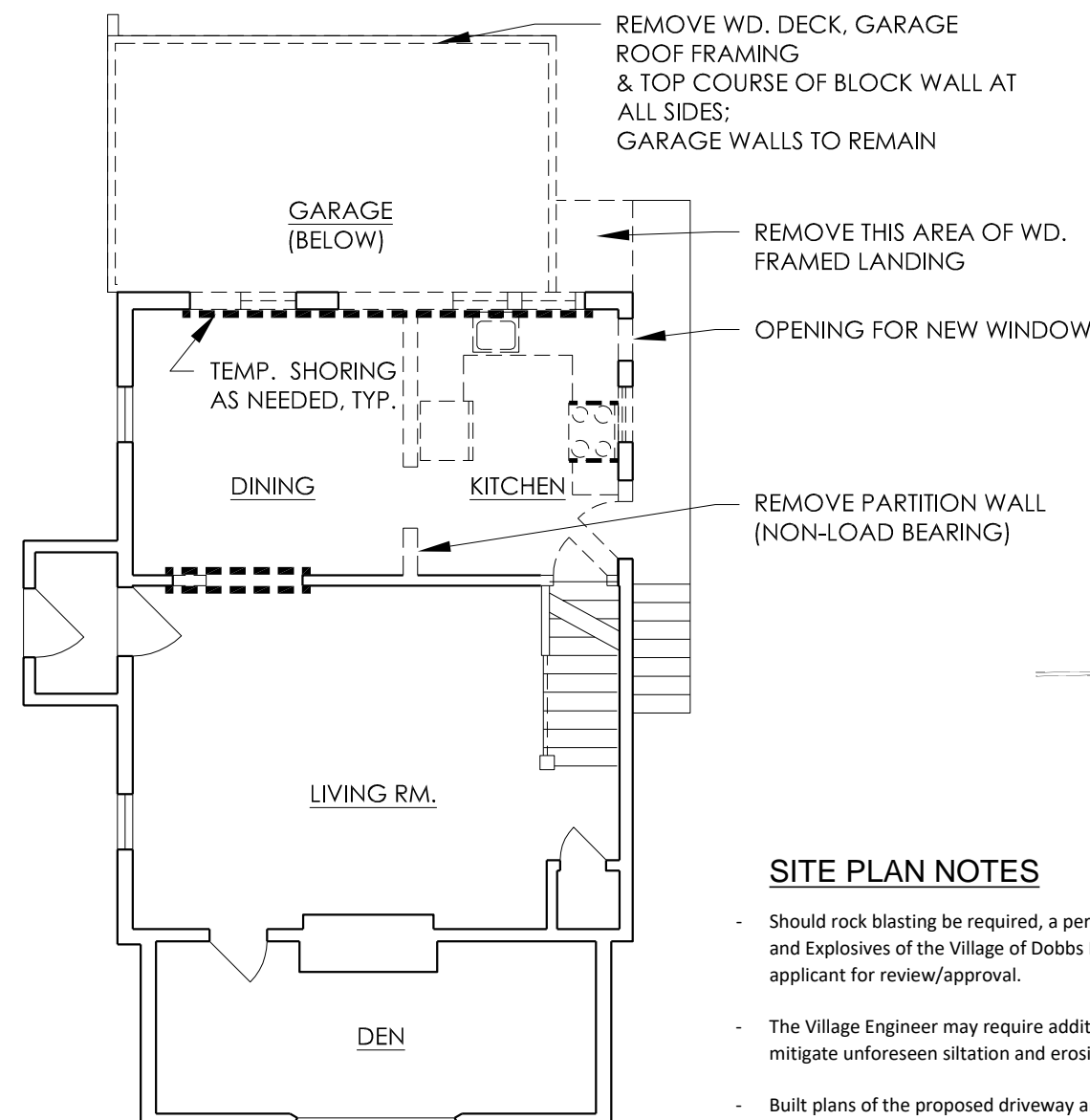
4 2ND FLOOR CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"



3 1ST FLOOR CONSTRUCTION PLAN  
SCALE: 1/4" = 1'-0"



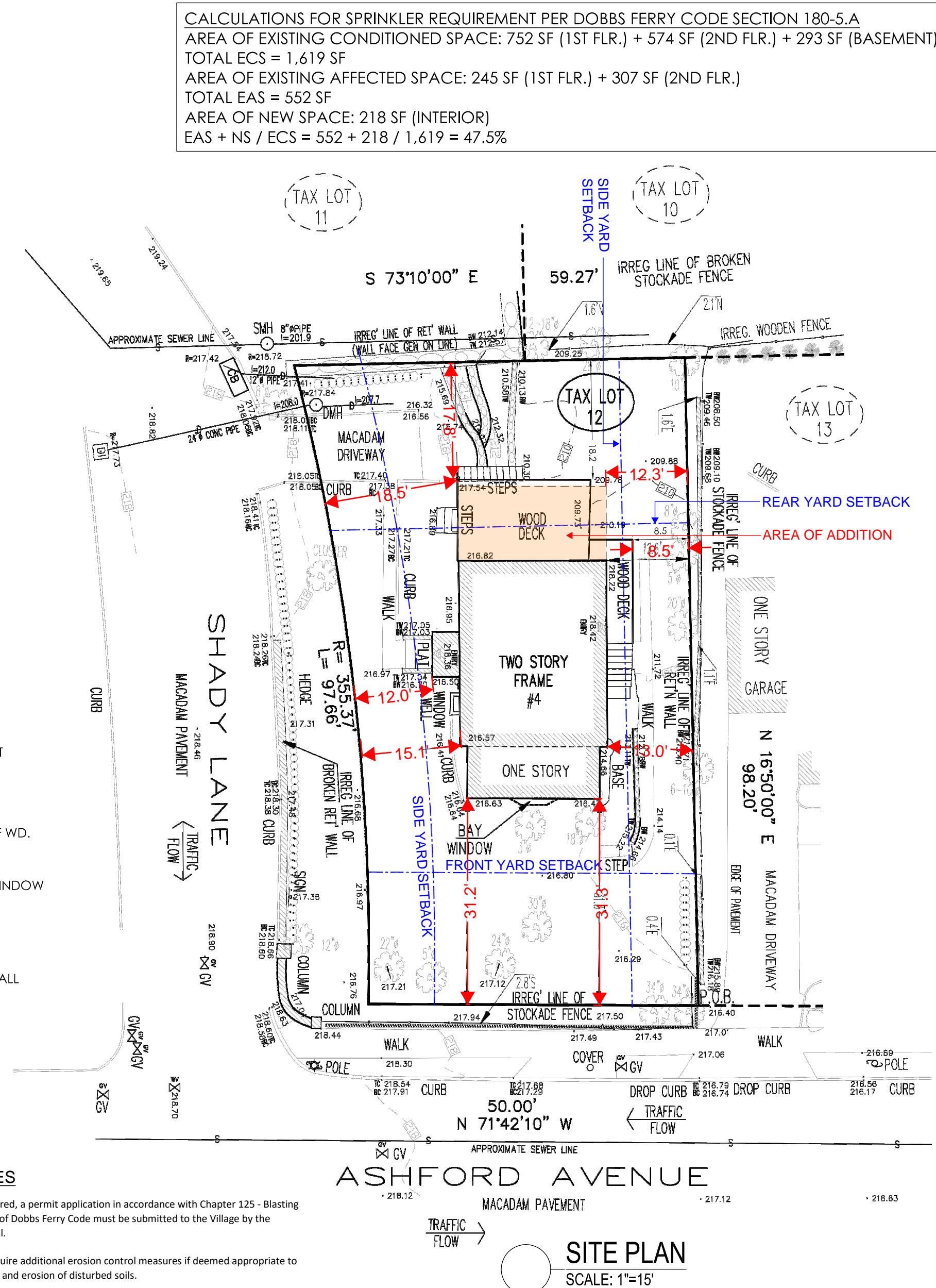
2 2ND FL. DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



1 1ST FL. DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

SITE PLAN NOTES

- Should rock blasting be required, a permit application in accordance with Chapter 125 - Blasting and Explosives of the Village of Dobbs Ferry Code must be submitted to the Village by the applicant for review/approval.
- The Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.
- Built plans of the proposed driveway and drainage improvements shall be submitted to the Village Engineer for review prior to issuance of Certificate of Occupancy.
- Fill material imported to the site shall be certified in writing by a New York Licensed Professional Engineer as clean, non-contaminated fill suitable for the intended use.
- "Before the site plan is signed by the Chairman of the Planning Board, the applicant shall be required to post a performance bond or other type of acceptable monetary guaranty which shall be in an amount determined by the Planning Board and the Village Engineer and in a form satisfactory to the Village Attorney."



SITE PLAN  
SCALE: 1"=15'



5 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



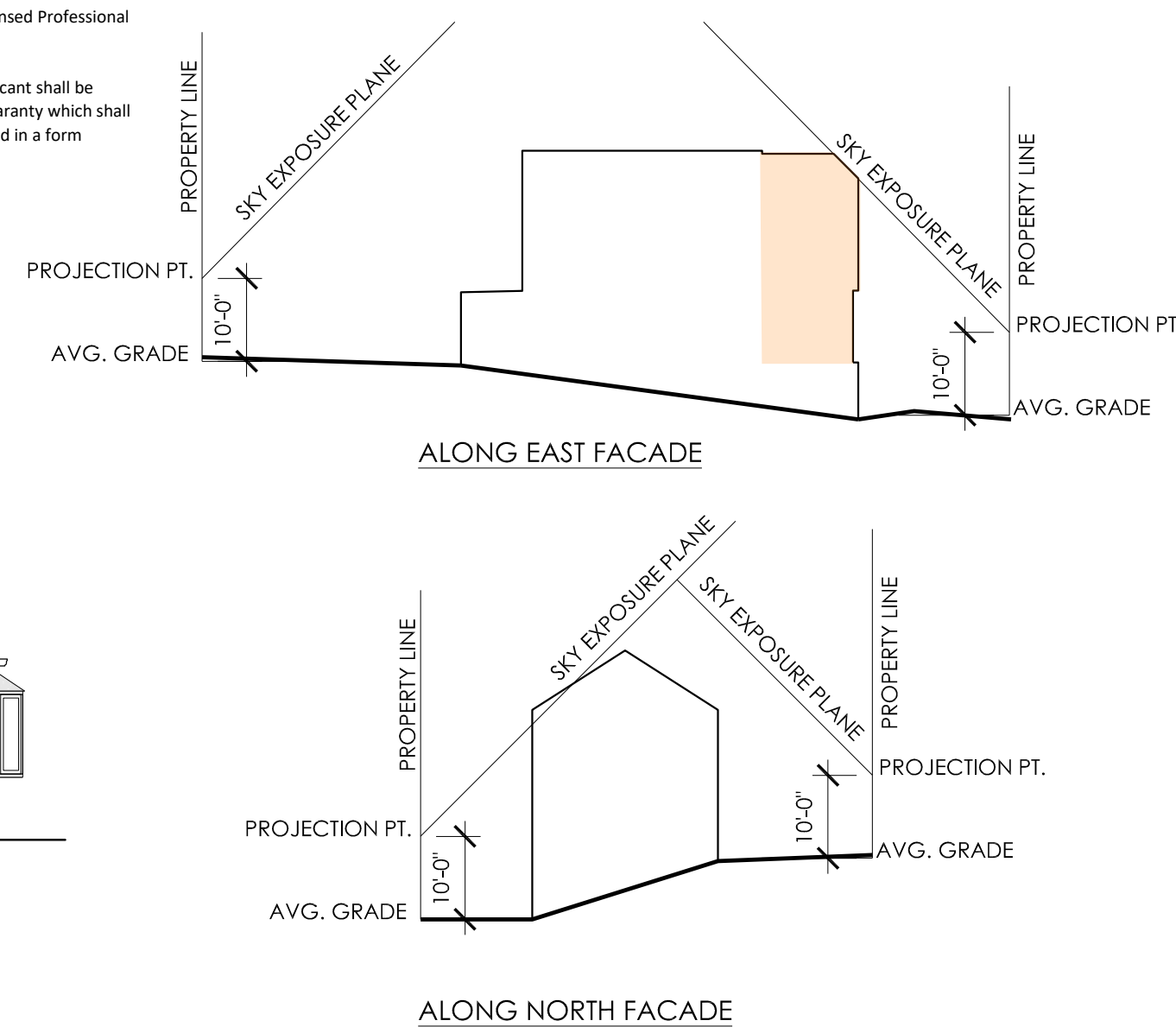
6 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



7 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



8 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



SKY EXPOSURE PLANE DIAGRAM

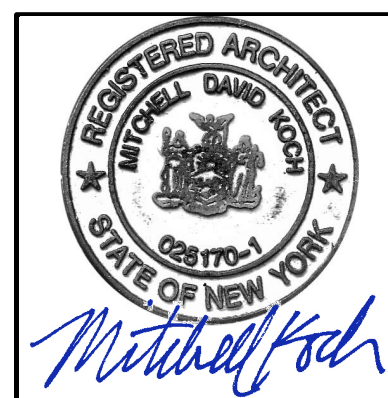
NOTE: THE EAST WALL AND ROOF OF THE ADDITION WILL MATCH THIS EXISTING NON-CONFORMING CONDITION.

A1.0

CALCULATIONS FOR SPRINKLER REQUIREMENT PER DOBBS FERRY CODE SECTION 180-5.A  
AREA OF EXISTING CONDITIONED SPACE: 752 SF (1ST FLR.) + 574 SF (2ND FLR.) + 293 SF (BASEMENT)  
TOTAL ECS = 1,619 SF  
AREA OF EXISTING AFFECTED SPACE: 245 SF (1ST FLR.) + 307 SF (2ND FLR.)  
TOTAL EAS = 552 SF  
AREA OF NEW SPACE: 218 SF (INTERIOR)  
EAS + NS / ECS = 552 + 218 / 1,619 = 47.5%

REVISION	
11/18/22	BUILDING PERMIT APPLIC.
3/16/23	REV. PER BLDG. INSPECTOR
4/19/23	ZBA SUBMISSION
6/14/23	PB-AHRB SUBMISSION

TRADES LEGEND BY COLOR	
CARPENTRY	CASEWORK
CASEWORK	ELECTRICAL
ELECTRICAL	PLUMBING
PLUMBING	HVAC
HVAC	EVERYONE



ADDITIONS AND ALTERATIONS

O'MEARA RESIDENCE  
4 SHADY LANE  
DOBBS FERRY, NY 10522  
SBL: 3.100-85-12

SITE PLAN, DEMO. PLANS  
EXISTING EXT. ELEVATIONS  
SKY EXPOSURE PLANE DIAG.

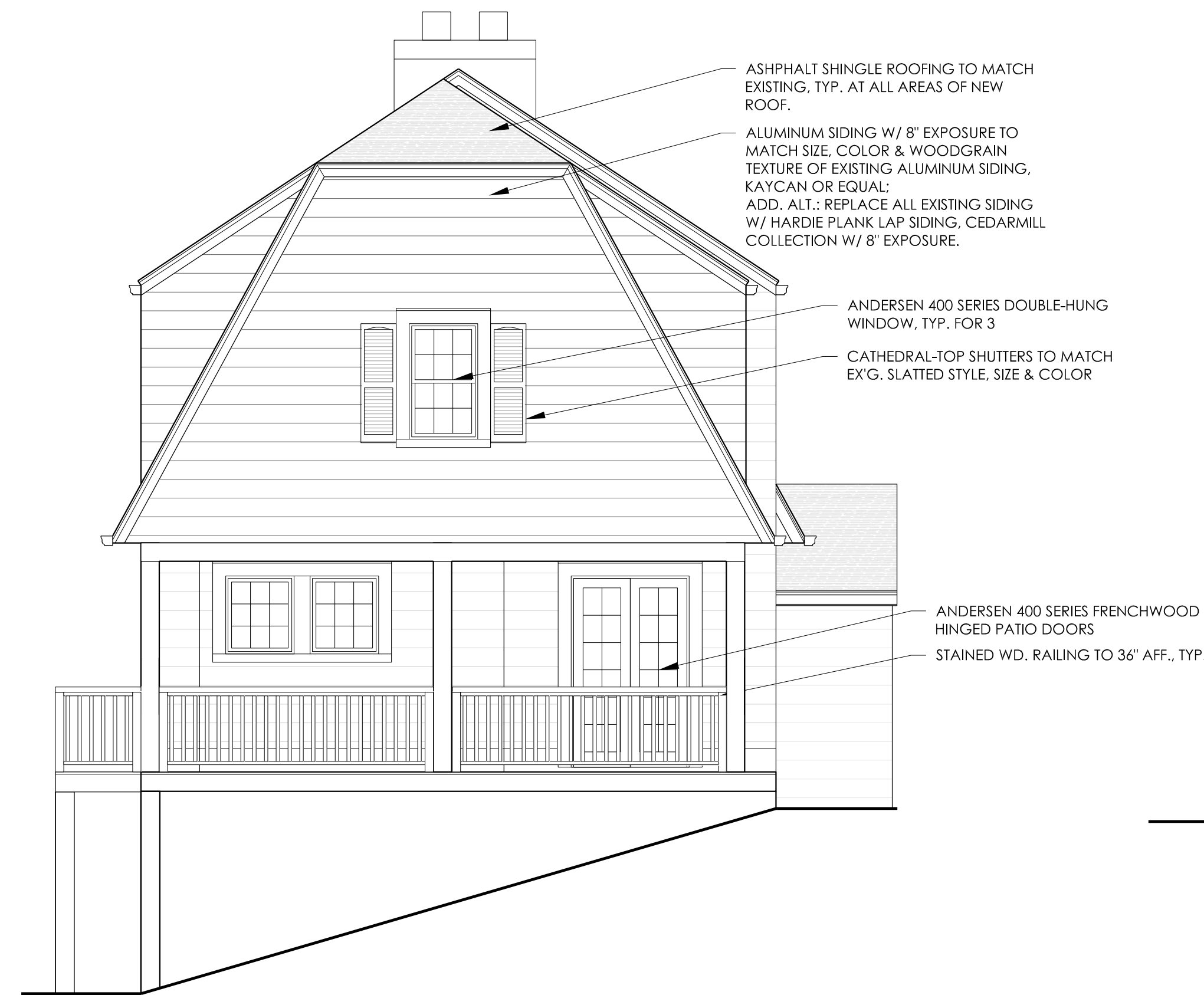
mitchell koch architects

76 main street ivington new york 10533

tel 914.623.0230 fax 914.301.3020

email mail@mkastudio.com





1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

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TRADES LEGEND BY COLOR	
CARPENTRY	
CASEWORK	
CASEWORK	
ELECTRICAL	
PLUMBING	
HVAC	
EVERYONE	



**ADDITIONS AND ALTERATIONS**  
O'MEARA RESIDENCE  
4 SHADY LANE  
DOBBS FERRY, NY 10522  
SBL: 3.100-85-12

PROPOSED EXT. ELEVATIONS

A2.1