2. Scope of Work: Includes all items described in Drawings & Specifications, verbally & graphically, with more stringent and/or costly items assumed in all cases of discrepancy.

3. All new construction shall adhere to the 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State. Notify Architect of any inadvertent noncompliance with Codes regarding information contained in Drawings and Specifications, with no Work to be performed knowingly in noncompliance with Code.

4. The General Contractor (G.C.) shall coordinate all work procedures w/requirements of Local Authorities. Prior to commencement of Construction, the G.C. shall be responsible for the acquisition of a Building Permit and pay all fees required by Governing Agencies. The G.C. shall be responsible for calling for Inspections and Sign-offs of all Work, including Plumbing & Electrical, as required by Governing Agencies.

5. The G.C., Subcontractors, and all others working for Owner shall comply with National, State, and Local Laws and Regulations relating to insurance for work under this Contract. The following insurance policies shall be in force and copies shall be submitted to Architect prior to signing Agreement Between Owner and Contractor: Workman's Compensation & Unemployment Insurance as required by law, Contractor's Liability Coverage in the amount required by applicable Governing Agencies, & Liability Coverage for damages & uninstalled materials. The G.C. shall submit to the Owners, Insurance Certificates naming Owner as Additional Insured. All insurance shall be at Contractor's expense.

6. All Terms & Conditions laid out in the A.I.A. Standard Form Of General Conditions shall apply to the G.C. & to all of his Sub-Contractors.

7. The G.C. & Subcontractors shall attend regular job meetings as required by the Architect.

DIVISION 01: PROJECT REQUIREMENTS

materials wrongly ordered from obsolete Drawings.

1. The G.C. shall verify all Dimensions & Conditions in the field prior to Construction. Any discrepancies are to be brought to the attention of the Architect prior to work. The G.C. shall be responsible for Field Fit & Quality of all Work, whether by the G.C. or by Subcontractors. No allowances shall be made on behalf of the G.C. for any error or neglect on his part. Under no circumstances are the Drawings to be scaled for location of Work. G.C. shall verify all clearances & locations prior to installation including requirements for appliances, fixtures, or equipment.

2. Retain licensed Surveyor to mark site before beginning construction and to verify location of foundation and slab-on-grade formwork before pouring concrete. Verify that all work conforms to zoning requirements including all setbacks and yard requirements.

3. The G.C. shall be responsible for the protection of all new & existing Work, Owner's Property, Building, and its Premises from damage & dirt or dust.

4. Plumbing & Electrical Work shall be performed by Contractors licensed in their trade. G.C. shall be licensed to perform the Work as required.

5. The G.C. shall maintain at the Site one Record Copy of all Drawings, Clarification Sketches, Approved Shop Drawings, Approved Samples, and Change Orders continuously updated to record all changes during Construction. G.C. shall fully correct, at no additional expense, all Work wrongly constructed or

6. Details not usually shown or specified, but necessary for proper construction on any part of the work shall be included as if they were indicated in the Drawings.

7. Architectural Drawings shall be Followed as closely as actual Field Conditions & the work of other trades permit. Any piping, wiring, or materials not specifically shown or specified but required to complete Work shall be deemed to be part of Work & shall be furnished & installed by the G.C.

8. G.C. shall prepare schedule for completion of Work prior to commencement and submit to Architect for approval. Contractor shall follow approved schedule and immediately notify Architect of any deviations from the approved schedule.

9. The G.C. must submit all Engineering & Shop Drawings (including Millwork) & cut sheets of all equipment, plumbing & electrical fixtures, hardware & accessories to the Architect for approval prior to Fabrication, Ordering and/or Construction. Shop Drawings shall be revised per Architect's instruction if required prior to approval.

10. The G.C. shall supervise & be solely responsible for all aspects of the Work, including Site Safety, maintenance of exit clearances & fire extinguishers as required by Code. The G.C. shall have sole responsibility for any damage or injuries caused by or during the execution of the Work.

11. The G.C. shall be responsible for demolition & safe removal from the Site of all materials that must be removed to enable completion of Work and occupation of the Premises. All removed materials shall be disposed of regularly in a legal manner.

12. All piping & wiring to be demolished shall be removed to a point of concealment & shall be properly capped or plugged.

13. The G.C. shall do all cutting, patching & repairing as required to perform all Work required to complete the Job. All patching where new construction occurs shall match existing adjacent or as indicated on the Drawings.

14. All new construction shall be laid-out in field for Architect's approval prior to starting construction.

15. No changes to approved layouts shall be made without Written Consent Of The Architect

16. When "Approved Equal", "Equal To", "Similar" or other general qualifying terms are used, it shall be subject to final review by the Architect. There shall be no substitutions unless agreed upon in writing by the Architect.

17. The G.C. shall verify all equipment dimensions, locations & hook-ups with Manufacturer's Specifications whether the G.C. or Others supply the

18. All items noted "Furnished By Owner" shall be installed by the G.C. under this Contract as per Manufacturers' Specifications & industry standards. Wall reinforcement & all other requirements required to incorporate Owner furnished items shall be provided & coordinated by the G.C.

19. G.C. shall employ experienced workers or professional cleaners for final cleaning prior to request of inspection for Certificate of Substantial Completion.

STRETCH ENERGY CODES

1. This design is in compliance with requirements of 2020 Energy Conservation Code of NYS, the 2020 Residental Code of NYS, and the 2020 NYStretch Code.

2. Contractor shall perform all work in accordance with applicable codes listed above.

3. Updated Table R420.1.4 below showing updated values prevails where applicable.

WESTCHESTER NY: CLIMATE ZONE 4A

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

Table R402.1.2 – Envelope (U-factor Table R402.1.4 changed accordingly. Prescriptive, e.g., can be traded.)

Climate Zone 4	Fen U-Factor	SkyLt U-Factor	SHGC	Ceiling R-Val	Wood Wall R-Value	Mass Wall R-Value	Floor R-Val	Bsmt Wall R-value	Slab R-Value/ Depth	Crawl Sp Wall R-Value
Stretch Code	0.27	0.50	.04	49	21 or 20+5 or 13+10	15/20	30°	15/19	10, 4 ft.	15/19

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT^a

CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING <i>R</i> -VALUE	WOOD FRAME WALL <i>R</i> -VALUE	MASS WALL <i>R</i> -VALUE	FLOOR <i>R</i> -VALUE	BASEMENT° WALL <i>R</i> -VALUE	SLAB ^d <i>R</i> -VALUE & DEPTH	CRAWL SPACE ^c WALL <i>R</i> -VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.32	0.55	0.25	38	20 or 13 + 5 ^h	8/13	19	5/13 ^f	0	5/13
4 except Marine	0.32 0.27	0.55	0.40	49	20 or 13 + 5 ^h	8/13	19	10 /13	10,2 ft	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13 + 5 ^h	13/17	30 ^g	15/19	10,2 ft	15/19
6	0.30	0.55	NR	49	$20 + 5^{\rm h}$ or $13 + 10^{\rm h}$	15/20	30^{g}	15/19	10,4 ft	15/19
7 and 8	0.30	0.55	NR	49	$20 + 5^{\rm h}$ or $13 + 10^{\rm h}$	19/21	38 ^g	15/19	10,4 ft	15/19

For SI: 1 foot = 304.8 mm.

NR = Not Required. a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the

insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table. b. The fenestration *U*-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means

R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.

d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.

e. Reserved.

 Reserved g. Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.

h. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation

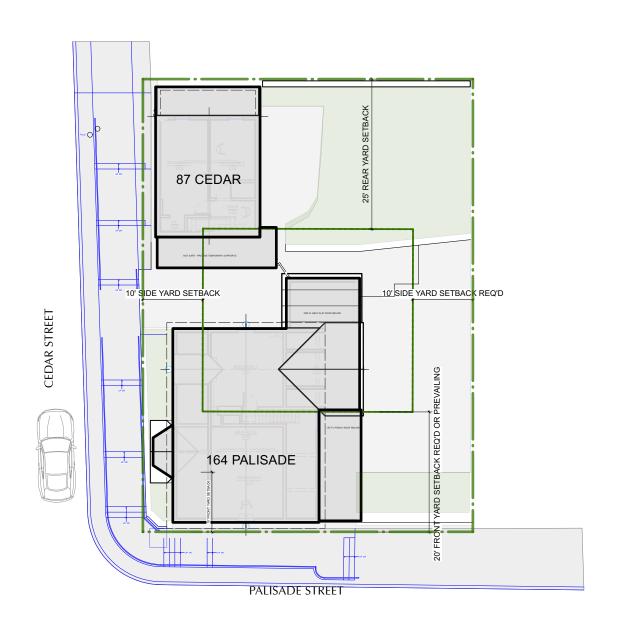
i. Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass

1. This design is in compliance with requirements of 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State.

2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020 NYS Code Books.

APPLICATION # A 2022 - 0449

164 Palisade Street - 87 Cedar Street DOBBS FERRY, NY 10522



164 PALISADE STREET DOBBS FERRY, NY. 10522 SECTION: 3.80 - 40.31 BLOCK: LOT: 23, 24 ZONING: MDR-2 + Character Guidelines for Palsade Street by SUMMIT LAND SURVEYING PC - DATED: 8/21/2020 OWNERS OF RECORD: PALISADES 164 LLC

SURVEY OF PORTION OF LOTS NUMBERS 23 and 24 AS SHOWN ON A CERTAIN MAP ENTITLED MAP OF THE VILLAGE OF LIVINGSTON"S LANDING, LOCATED AT VILLAGE OF DOBBS FERRY - TOWN OF GREENBURGH, WESTCHESTER COUNTY, NEW YORK.

Said map is filed in the County Clerk's office, Division of Land Records, Westchester County, New York, on May 08, 1869 as map Number 539.

DRAWING INDEX

ANNUAL

TEMP

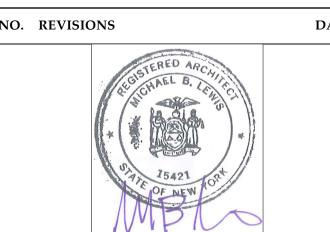
51.6°F

INDEX

2000

NO.	SHEET	ISSUE DATE	REV. DATE
	TITLE SHEET, SITE PLANS, ZONING	12/6/22	
T-000.00	Title Sheet, Plot Plan, General Notes	12/6/22	
T-000.01	Site + Street Photos	12/6/22	
A-001.00	Site Plans - Existing + Proposed, Zoning	12/6/22	
	FLOOR PLANS		
A-101.00	Cellar Floor Plans - Existing and Proposed	12/6/22	
A-102.00	Basement Floor Plans - Existing and Proposed	12/6/22	
A-103.00	1st Floor Plans - Existing and Proposed	12/6/22	
A-104.00	2nd Floor Plans - Existing and Proposed	12/6/22	
A-105.00	3rd Floor Plans - Existing and Proposed	12/6/22	
A-106.00	Roof Plans - Existing and Proposed	12/6/22	
	ELEVATIONS		
A-500.00	North Elevations (Cedar St) - Existing and Proposed	12/6/22	
A-501.00	West Elevations - (Palisade St) Existing and Proposed	12/6/22	
A-502.00	South Elevations - Existing and Proposed	12/6/22	
A-503.00	East Elevations - Existing and Proposed	12/6/22	

2022 Michael Lewis Architects P.C.



NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/2
2A	ZONING BOARD OF APPEALS	12/6/22

APPLICATION # A 2022 - 0449

Michael Lewis Architects PC 145 Palisade St. Suite #307 Dobbs Ferry, NY 10522

tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com

PROJECT:

DATE:

PROJECT

164 PALISADE STREET DOBBS FERRY, NY 10522

DRAWING TITLE:

TITLE SHEET & NOTES

FILE NAME:	
DRAWN BY:	
SCALE:	As No

DRAWING NUMBER	PG	BY:
T-000.00	As Noted	
1-000.00	12/6/22	
	2213A	ID:

Modifications to 164 PALISADE STREET

164 PALISADE STREE

CEDAR STREET - Looking down toward Palisade Street

GENERAL CONDITIONS

1. APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.

2. LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT

HIGH WIND CONNECTIONS

2020 INTERNATIONAL RESIDENTIAL CODE

PROVIDE STRAPPING AS REQUIRED TO RESIST HIGH WIND AND UPLIFT FORCES TO BE IN COMPLIANCE WITH TABLE R802.11 OF THE NY STATE RESIDENTIAL CODE. USE TENSION TIES EQUAL TO SIMPSON MODEL # H2 OR AS INDICATED AT ALL POST-PLATE-RAFTER CONNECTIONS.

PRE-ENGINEERED WOOD PLACARDING

CONTRACTOR SHALL PROVIDE PLACARD AS REQUIRED BY CODE, 6" DIA. CIRCLE WITH RED REFLECTIVE PRINT ON WHITE BACKGROUND, INDICATING THAT PRE-ENGINEERED WOOD HAS BEEN USED IN CONSTRUCTION. PLACARD SHALL BE PLACED AT EXTERIOR ON OR NEAR ELECTRIC METER IN PLAIN VIEW AND INDICATE THAT PRE-ENGINEERED WOOD HAS BEEN USED FOR ROOF AND FLOOR SUPPORT IN THE BUILDING OF TYPE-V CONSTRUCTION.

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

REGION

_		NG PLANNING N CRITERIA										
WESTCHES	WESTCHESTER , NY: CLIMATE ZONE 4											
TABLE R	TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA											
GROUND	WIND	TOPOGRAPHIC	SPECIAL	WIND-BORNE	SEISMIC	SUBJECT	TO DAMAC	GE FROM	WINTER	ICE BARRIER	FLOOD	AIR
SNOW	SPEED	EFFECTS	WIND	DEBRIS	DESIGN	WEATHERING	FROST	TERMITE	DESIGN	UNDERLAYMENT	HAZARDS	FREEZING

SEVERE

DEPTH

3'6"

MODERATE/

HEAVY

TEMP

15°F

REQUIRED

STRUCTURAL & LOADING NOTES

Design bearing capacity of soil shall be 2,000 PSI in accordance with 2020 Residential Code of New York State R401.4.1 for Sand, Silty Sand, Clayey Sand

ZONE

CATEGORY

(MPH)

115-120

Shall be Min. 3,000 PSI at exposed exterior walls; shall be Min. 2,500 PSI at basement slabs; and shall be Min. 3,500 PSI at horizontal surfaces exposed to the weather including porches, steps, walks, and garage floor slabs, all to be in compliance with the 2020 Residential Code of New York State

LOAD

30 PSF

Provide exterior placard as required by code indicating that engineered lumber is used for roof support in a Class V structure. Placard is to be permanentlymounted for display as required near electrical meter or as directed in field by

High Wind Connections

Provide strapping as required to resist high wind and uplift forces to be in compliance with table R802.11 of the Code. Use tension tie equal to Simpson model # HTT22 at all footing-post connections and equal to Simpson model #H2 at all post-plate-rafter connections.

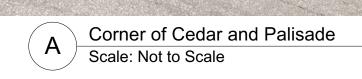
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Modifications to 164 PALISADE STREET

APPLICATION # A 2022 - 0449

164 Palisade Street - 87 Cedar Street DOBBS FERRY, NY 10522







B Palisade Street - Looking uphill toward Main St Scale: Not to Scale



C Palisade Street
Scale: Not to Scale



D Looking toward Cedar St Scale: Not to Scale



E Looking toward Palisade and the Hudson River
Scale: Not to Scale

NO. REVISIONS

DATE

NO. ISSUE

DATE

NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
2A	ZONING BOARD OF APPEALS	12/6/22

APPLICATION # A 2022 - 0449

Michael Lewis Architects PC 145 Palisade St. Suite #307

145 Palisade St. Suite #307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com

PROJECT:

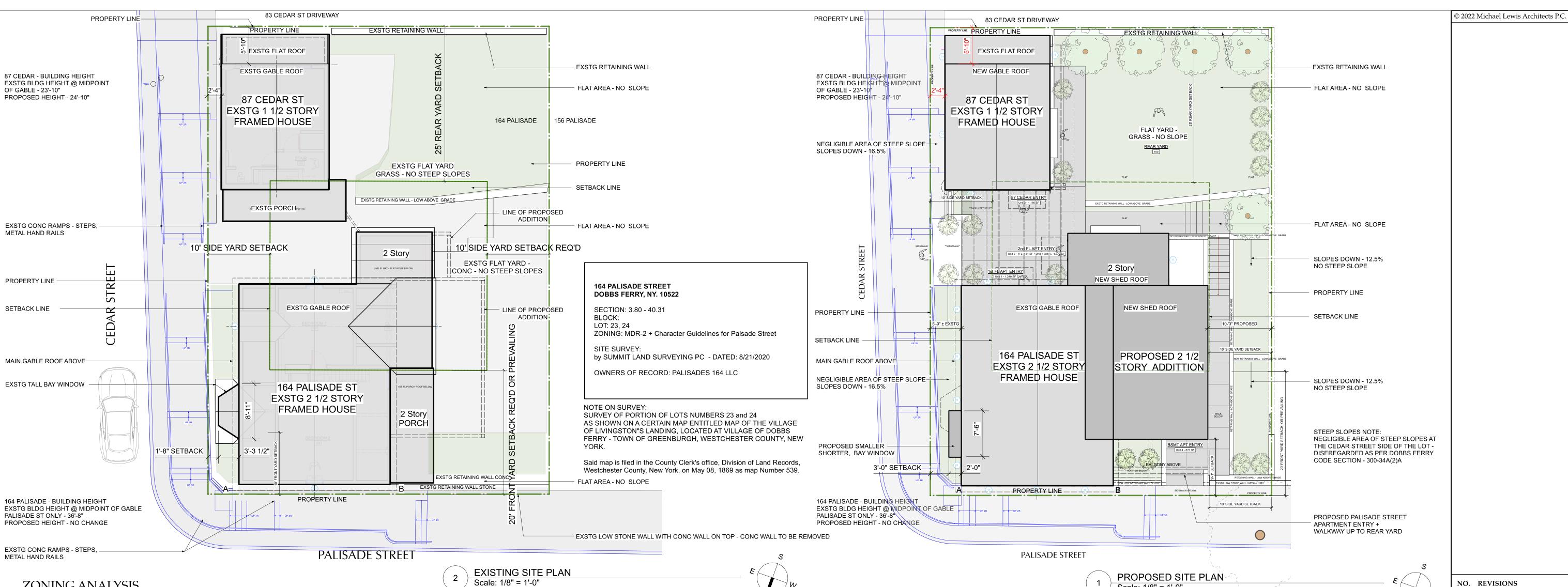
164 PALISADE STREET DOBBS FERRY, NY 10522

DRAWING TITLE:

EXISTING SITE PHOTOS

FILE NAME:	
DRAWN BY:	PG
SCALE:	As Noted
DATE:	12/6/22
PROJECT ID:	2213A

T-000.01



LOT AND ZONING INFORMATION 164 PALISADE STREET - 87 CEDAR STREET DOBBS FERYY, NY 10522 SECTION - 3.80-40-31 LOT - 23 + 24 BLOCK -ZONING DISTRICT: MRD-2 (Mixed Density Residential - 2) GENERAL LOT DIMENSIONS EXISTING REQUIRED/ALLOWED COMPLIANT LOT AREA 5,000 SF MIN 4,150 SF NO CHANGE LOT WIDTH NO CHANGE YES LOT DEPTH NO CHANGE 100'0" YARD SETBACKS (PRINCIPAL STRUCTURE - 2 1/ 2 Story framed house)

REQUIRED/ALLOWED **EXISTING** PROPOSED COMPLIANT 20'0" (Or Prevailing - 6'-6" ±) YES 33'5" SIDE ONE (NORTH) SIDE TWO (SOUTH) YES TOTAL OF TWO SIDES **BUILDING HEIGHT** EXISTING REQUIRED/ALLOWED PROPOSED COMPLIANT MAIN HOUSE 164 Palisade St STORIES (above grade plane) NO CHANGE YES (3rd fl must be setback 5' at fron FEET (above grade plane) to roof midpoi 36'8" NO CHANGE YES YES NO CHANGE "GARAGE" - 87 Cedar St NO CHANGE YES (3rd fl must be setback 5' at front STORIES (above grade plane) YES FEET (above grade plane) to roof midpoir NO CHANGE YES LOT COVERAGE REQUIRED/ALLOWED **EXISTING** PROPOSED COMPLIANT 5,000 SF MIN 4,150 SF NO CHANGE BUILDING COVERAGE (164+87) MAX 40 % of 4,150 = 1,660 SF 1,628 SF (39%) 1,738 SF (41.8%) COVERAGE, IMPERVIOUS SURFACES MAX 60% of 4,150 = 2,490 SF (60%) 1,628 SF + 1,519 SF = 3,147 SF (76%) 1,738 SF + 657 SF = 2,395 SF (58%) See Note 1 - re: Steep Slopes (Buildings + Impervious Hardscapes) OCCUPANCY AND USE REQUIRED/ALLOWED EXISTING PROPOSED COMPLIANT **CURRENT USE** MULTIPLE FAMILY MULTIPLE FAMILY NO CHANGE NO CHANGE Existing - Current Property is 3 Family with 2 units in 164 Plalisade St and 1 unit in 87 Cedar St Proposed - 4 Family with 3 units in 164 Plaisade St and 1 unit in 87 Cedar St MAIN HOUSE 164 Palisade St YES 2 D.U.'s + former Garage- See Note 2 CELLAR FLOOR AREA BASMENT FLOOR AREA 1,170 SF Former Garage - Proposed UNIT 1ST FLOOR AREA 1,109 SF 1,307 SF 2ND FLOOR AREA 1.307 SF 995 SF ATTIC FLOOR AREA UNIT 2 609 SF MAIN HOUSE TOTAL 4,156 SF 4,953 SF "GARAGE" - 87 Cedar St BASEMENT FLOOR AREA NO CHANGE 1ST FLOOR AREA 421 SF NO CHANGE 2ND FLOOR AREA (1 1/2 FL) 338 SF NO CHANGE GARAGE TOTAL 1,180 SF 1,180 SF - NO CHANGE 5,336 SF GROSS FLOOR AREA -164 Pal + 87 Ced YES TOTALS B D.Ų.'s + former garage at Basement - See N NOTES
1 - Steep Slopes - Negligible area of steep slopes at the Cedar Street side of the lot - diseregarded as per Dobbs Ferry Code Section - 300-34A(2)a

2 - Former Garage at Palisade St - Basement - and 87 Cedar St driveway - both blocked off (unusable) after the town put sidewalk ramps, steps and railings in front of them

PARKING ANALYSIS

DOBBS FERRY MULTI-FAMILY PARKING REQUIREMEN	NTS	EXISTING	PROPOSED		
FOR EXSTG DWELLING UNIT 1 - 164 Palisade	1 PARKING SPOT	0 SPOTS	DRIVEWAY SPOTS	0	
+ .25 Parking Spots for Each Bedroom (2)	.50 PARKING SPOT		PROPOSED PARKING	0	
FOR EXSTG DWELLING UNIT 2 - 164 Palisade	1 PARKING SPOT	0 SPOTS	DRIVEWAY SPOTS	0	
+ .25 Parking Spots for Each Bedroom (3)	.75 PARKING SPOT		PROPOSED PARKING	0	
FOR EXSTG DWELLING UNIT 3 - 87 Cedar	1 PARKING SPOT	0 SPOTS	DRIVEWAY SPOTS	0	
+ .25 Parking Spots for Each Bedroom (2)	.50 PARKING SPOT		PROPOSED PARKING	0	
FOR PROPOSED DWELLING UNIT 4 - 164 Palisade	1 PARKING SPOT	0 SPOTS	DRIVEWAY SPOTS	0	
+ .25 Parking Spots for Each Bedroom (1)	.25 PARKING SPOT		PROPOSED PARKING	0	
	6.00 (6) SPOT'S REQ'D	0 SPOTS - See Note 1	0 SPOTS - See Note 2		
NOTES					
2 - Due to existing physical limitations of the site and town					

NOTES:

SITE PLAN NOTES:

1. SURVEY INFORMATION TAKEN FROM SURVEY DATED 8/29/201, BY SUMMIT LAND SURVEYING.

2. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO

MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

VILLAGE NOTES:

1. ALL WORK TO CONFORM TO THE SATISFACTION OF THE BUILDING INSPECTOR

2. PROVIDE RETAINING WALLS ON ALL SLOPES EXCEEDING (1) FOOT VERTICAL ON (1 1/2) FEET HORIZONTAL.

3. THE BUILDER SHALL FURNISH 6" PERFORATED CMP ENCASED IN STONE WHEREVER DIRECTED BY THE BUILDING INSPECTOR. 4. SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.

5. ALL GRADING TO BE PERFORMED TO CREATE POSITIVE DRAINAGE.

6. ALL DRIVEWAYS SLOPING DOWN TO GARAGES SHALL HAVE A DRAIN INLET WITH A PIPE EXTENDING BEYOND THE REAR OF THE HOUSE TO CARRY RAIN RUN-OFF.

7. ALL DRIVEWAYS SLOPING DOWN SHALL RISE 6" THE FIRST 5' AND THEN SLOPE DOWN. 8. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAING

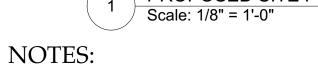
CERTIFICATE OF OCCUPANCY.

9. OWNER OR CONTRACTOR SHALL NOTIFY BUILDING INSPECTOR PRIOR TO CHANGES OR MODIFICATIONS TO THE APPROVED PLANS. 10. ROCK REMOVAL BY BLASTING SHALL BE IN ACCORDANCE WITH CHAPTER 125 OF THE VILLAGE CODE.

11. FILL MATERIAL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NY LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.

12. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A

PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY WARRANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.



CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE & OTHER PROTECTIVE MEASURES AS REQUIRED AT LIMITS OF CONSTRUCTION.

2. AREAS OF PROPOSED STORMWATER MANAGEMENT SYSTEM SHALL BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION. AREAS SHALL BE FENCED OFF DURING CONSTRUCTION OR THE AREA SHOULD BE DE-COMPACTED PRIOR TO

INSTALLATION OF THE INFILTRATION UNITS. 3. EXCAVATE FOR FOOTINGS AND SWRS, PREPARE GRADE FOR SLAB.

4. INSTALL SWRS, REINFORCING & FORMWORK FOR FOOTINGS.

INSTALL C.I.P. CONCRETE FOOTINGS.

6. CONSTRUCT PROPOSED PORTE-COCHERE, GARAGE, AND BUILDING ADDITIONS.

7. COMPLETE ALL FINISHES, DOORS, WINDOWS, FIXTURES, HARDWARE & EQMT. 8. PROPOSED GUTTER LEADERS SHALL BE CONNECTED TO SWRS.

NOTE: THE SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

1. CONTRACTOR TO VERIFY LOCATION OF PUBLIC UTILITIES AND PROVIDE PROTECTION IF /AS REQ'D.

2. CONTRACTOR TO COORDINATE SHUT OFF AND/OR DISCONNECTION OF UTILITIES IF / AS REQUIRED. 3. NO EXTG UTILITIES TO BE IMPACTED. NO EXTG UTILITIES RUN THROUGH AREA OF NEW WORK.

4. A CODE 53 WILL BE CALLED IN PRIOR TO CONSTRUCTION FOR SURVEY OF EXTG UNDERGROUND UTILITIES.

LANDSCAPING NOTES

1. ALL LANDSCAPING OUTSIDE OF WORK AREA IS EXISTING TO REMAIN. ALL PLANTINGS INDICATED ON SITE PLAN ARE EXISTING TO REMAIN UNLESS NOTED

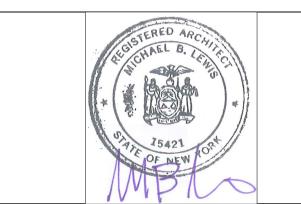
LAWN AS NEEDED. 3. NO TREES ARE PROPOSED TO BE REMOVED UNDER THIS APPLICATION EXCEPT AS INDICATED. EXCAVATE BY HAND WHERE

REQUIRED TO PROTECT ROOT SYSTEMS OF EXISTING TREES.

4. UNLESS OTHERWISE DIRECTED, REMOVE EXISTING PLANTINGS AND SHRUBS BY HAND AND PROPERLY STORE ON SITE FOR REPLANTING UNDER SEPARATE APPLICATION

GENERAL SITE PLAN NOTE:

1. PREPARATION OF STORMWATER MANAGEMENT PLAN, EROSION CONTROL, LOCATION OF CONSTRUCTION LIMITS, SILT FENCE, SOIL STOCKILE, ANTI-TRACKING PAD, AND OTHER SITE PROTECTION DETAILS CURRENTLY UNDERWAY BY HUDSON ENGINEERING & CONSULTING PC. TO BE SUBMITTED AS PART OF PUBLIC HEARING PLANNING BOARD DRAWING SET AND SUBMITTAL. 2. ALL EXISTING TREES AND LANDSCAPING TO REMAIN UNLESS OTHERWISE NOTED



NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
2A	ZONING BOARD OF APPEALS	12/6/22

APPLICATION # A 2022 - 0449

Michael Lewis Architects PC 145 Palisade St. Suite #307

Dobbs Ferry, NY 10522 2. REMOVE TOPSOIL AT DISTURBED WORK AREA AND STORE ON SITE. REPLACE REFURBISH TOPSOIL AT COMPLETION AND RE-SOD tel 914-231-7700, fax 914-231-7701 nfo@mlarchitect.com www.mlarchitect.com

PROJECT:

164 PALISADE STREET DOBBS FERRY, NY 10522

SITE PLANS - ZONING

FILE NAME:

DRAWN BY: **SCALE:** DATE: PROJECT ID: 2213A

DRAWING NUMBER





