

GENERAL REQUIREMENTS

1. Related Documents: Drawings, Specifications and General Conditions of the Contract for Construction apply to Work of this Project.
2. Scope of Work: Includes all items described in Drawings & Specifications, verbally & graphically, with more stringent and /or costly items assumed in all cases of discrepancy.
3. All new construction shall adhere to the 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State. Notify Architect of any inadvertent noncompliance with Codes regarding information contained in Drawings and Specifications, with no Work to be performed knowingly in noncompliance with Code.
4. The General Contractor (G.C.) shall coordinate all work procedures w / requirements of Local Authorities. Prior to commencement of Construction, the G.C. shall be responsible for the acquisition of a Building Permit and pay all fees required by Governing Agencies. The G.C. shall be responsible for calling for Inspections and Sign-offs of all Work, including Plumbing & Electrical, as required by Governing Agencies.
5. The G.C., Subcontractors, and all others working for Owner shall comply with National, State, and Local Laws and Regulations relating to insurance for work under this Contract. The following insurance policies shall be in force and copies shall be submitted to Architect prior to signing Agreement Between Owner and Contractor: Workman's Compensation & Unemployment Insurance as required by law, Contractor's Liability Coverage in the amount required by applicable Governing Agencies, & Liability Coverage for damages & uninstalled materials. The G.C. shall submit to the Owners, Insurance Certificates naming Owner as Additional Insured. All insurance shall be at Contractor's expense.
6. All Terms & Conditions laid out in the A.I.A. Standard Form Of General Conditions shall apply to the G.C. & to all of his Sub-Contractors.
7. The G.C. & Subcontractors shall attend regular job meetings as required by the Architect.

DIVISION 01: PROJECT REQUIREMENTS

1. The G.C. shall verify all Dimensions & Conditions in the field prior to Construction. Any discrepancies are to be brought to the attention of the Architect prior to work. The G.C. shall be responsible for Field Fit & Quality of all Work, whether by the G.C. or by Subcontractors. No allowances shall be made on behalf of the G.C. for any error or neglect on his part. Under no circumstances are the Drawings to be scaled for location of Work. G.C. shall verify all clearances & locations prior to installation including requirements for appliances, fixtures, or equipment.
2. Retain licensed Surveyor to mark site before beginning construction and to verify location of foundation and slab-on-grade formwork before pouring concrete. Verify that all work conforms to zoning requirements including all setbacks and yard requirements.
3. The G.C. shall be responsible for the protection of all new & existing Work, Owner's Property, Building, and its Premises from damage & dirt or dust.
4. Plumbing & Electrical Work shall be performed by Contractors licensed in their trade. G.C. shall be licensed to perform the Work as required.
5. The G.C. shall maintain at the Site one Record Copy of all Drawings, Clarification Sketches, Approved Shop Drawings, Approved Samples, and Change Orders continuously updated to record all changes during Construction. G.C. shall fully correct, at no additional expense, all Work wrongly constructed or materials wrongly ordered from obsolete Drawings.
6. Details not usually shown or specified, but necessary for proper construction on any part of the work shall be included as if they were indicated in the Drawings.
7. Architectural Drawings shall be Followed as closely as actual Field Conditions & the work of other trades permit. Any piping, wiring, or materials not specifically shown or specified but required to complete Work shall be deemed to be part of Work & shall be furnished & installed by the G.C.
8. G.C. shall prepare schedule for completion of Work prior to commencement and submit to Architect for approval. Contractor shall follow approved schedule and immediately notify Architect of any deviations from the approved schedule.
9. The G.C. must submit all Engineering & Shop Drawings (including Millwork) & cut sheets of all equipment, plumbing & electrical fixtures, hardware & accessories to the Architect for approval prior to Fabrication, Ordering and /or Construction. Shop Drawings shall be revised per Architect's instruction if required prior to approval.
10. The G.C. shall supervise & be solely responsible for all aspects of the Work, including Site Safety, maintenance of exit clearances & fire extinguishers as required by Code. The G.C. shall have sole responsibility for any damage or injuries caused by or during the execution of the Work.
11. The G.C. shall be responsible for demolition & safe removal from the Site of all materials that must be removed to enable completion of Work and occupation of the Premises. All removed materials shall be disposed of regularly in a legal manner.
12. All piping & wiring to be demolished shall be removed to a point of concealment & shall be properly capped or plugged.
13. The G.C. shall do all cutting, patching & repairing as required to perform all Work required to complete the Job. All patching where new construction occurs shall match existing adjacent or as indicated on the Drawings.
14. All new construction shall be laid-out in field for Architect's approval prior to starting construction.
15. No changes to approved layouts shall be made without Written Consent Of The Architect.
16. When "Approved Equal", "Equal To", "Similar" or other general qualifying terms are used, it shall be subject to final review by the Architect. There shall be no substitutions unless agreed upon in writing by the Architect.
17. The G.C. shall verify all equipment dimensions, locations & hook-ups with Manufacturer's Specifications whether the G.C. or Others supply the equipment.
18. All items noted "Furnished By Owner" shall be installed by the G.C. under this Contract as per Manufacturers' Specifications & industry standards. Wall reinforcement & all other requirements required to incorporate Owner furnished items shall be provided & coordinated by the G.C.
19. G.C. shall employ experienced workers or professional cleaners for final cleaning prior to request of inspection for Certificate of Substantial Completion.

STRETCH ENERGY CODES

1. This design is in compliance with requirements of 2020 Energy Conservation Code of NYS, the 2020 Residential Code of NYS, and the 2020 NYStretch Code.
2. Contractor shall perform all work in accordance with applicable codes listed above.
3. Updated Table R420.1.4 below showing updated values prevails where applicable.
- WESTCHESTER NY: CLIMATE ZONE 4A

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

Table R402.1.2 – Envelope (U-factor Table R402.1.4 changed accordingly, Prescriptive, e.g., can be traded.)

Climate Zone 4	Fen U-Factor	SkyLt U-Factor	SHGC	Ceiling R-Val	Wood Wall R-Value	Mass Wall R-Value	Floor R-Val	Bsmt Wall R-value	Slab R-Value/ Depth	Crawl Sp Wall R-Value
Stretch Code	0.27	0.50	.04	49	21 or 20+5 or 13+10	15/20	30*	15/19	10, 4 ft.	15/19

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*										
CLIMATE ZONE	FENESTRATION U-FACTOR*	SKYLIGHT* U-FACTOR	GLAZED FENESTRATION SHGC*,*	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT* WALL R-VALUE	SLAB* R-VALUE & DEPTH	CRAWL SPACE* WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.32	0.55	0.25	38	20 or 13 + 5 <sup>h</sup>	8/13	19	5/13'	0	5/13
4 except Marine	0.32 0.27	0.55	0.40	49	20 or 13 + 5 <sup>h</sup>	8/13	19	10 /13	10, 2 ft	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13 + 5 <sup>h</sup>	13/17	30*	15/19	10, 2 ft	15/19
6	0.30	0.55	NR	49	20 + 5 <sup>h</sup> or 13 + 10 <sup>h</sup>	15/20	30*	15/19	10, 4 ft.	15/19
7 and 8	0.30	0.55	NR	49	20 + 5 <sup>h</sup> or 13 + 10 <sup>h</sup>	19/21	38*	15/19	10, 4 ft	15/19

- For SI: 1 foot = 304.8 mm.
- NR = Not Required.
- a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
- d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
- e. Reserved.
- f. Reserved.
- g. Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.
- h. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

1. This design is in compliance with requirements of 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State.
2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020 NYS Code Books.



A CEDAR STREET - Looking down toward Palisade Street  
Scale: Not to Scale

GENERAL CONDITIONS

1. APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.
2. LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT

HIGH WIND CONNECTIONS

PROVIDE STRAPPING AS REQUIRED TO RESIST HIGH WIND AND UPLIFT FORCES TO BE IN COMPLIANCE WITH TABLE R802.11 OF THE NY STATE RESIDENTIAL CODE. USE TENSION TIES EQUAL TO SIMPSON MODEL # H2 OR AS INDICATED AT ALL POST-PLATE-RAFTER CONNECTIONS.

PRE-ENGINEERED WOOD PLACARDING

CONTRACTOR SHALL PROVIDE PLACARD AS REQUIRED BY CODE, 6" DIA. CIRCLE WITH RED REFLECTIVE PRINT ON WHITE BACKGROUND, INDICATING THAT PRE-ENGINEERED WOOD HAS BEEN USED IN CONSTRUCTION. PLACARD SHALL BE PLACED AT EXTERIOR ON OR NEAR ELECTRIC METER IN PLAIN VIEW AND INDICATE THAT PRE-ENGINEERED WOOD HAS BEEN USED FOR ROOF AND FLOOR SUPPORT IN THE BUILDING OF TYPE-V CONSTRUCTION.

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

2020 INTERNATIONAL RESIDENTIAL CODE

CHAPTER 3 - BUILDING PLANNING

SECTION R301 DESIGN CRITERIA

WESTCHESTER, NY: CLIMATE ZONE 4

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
						WEATHERING	FROST DEPTH	TERMITE					
30 PSF	115-120	NO	YES	NO	C	SEVERE	36"	MODERATE/ HEAVY	15°F	YES	NO	2000	51.6°F

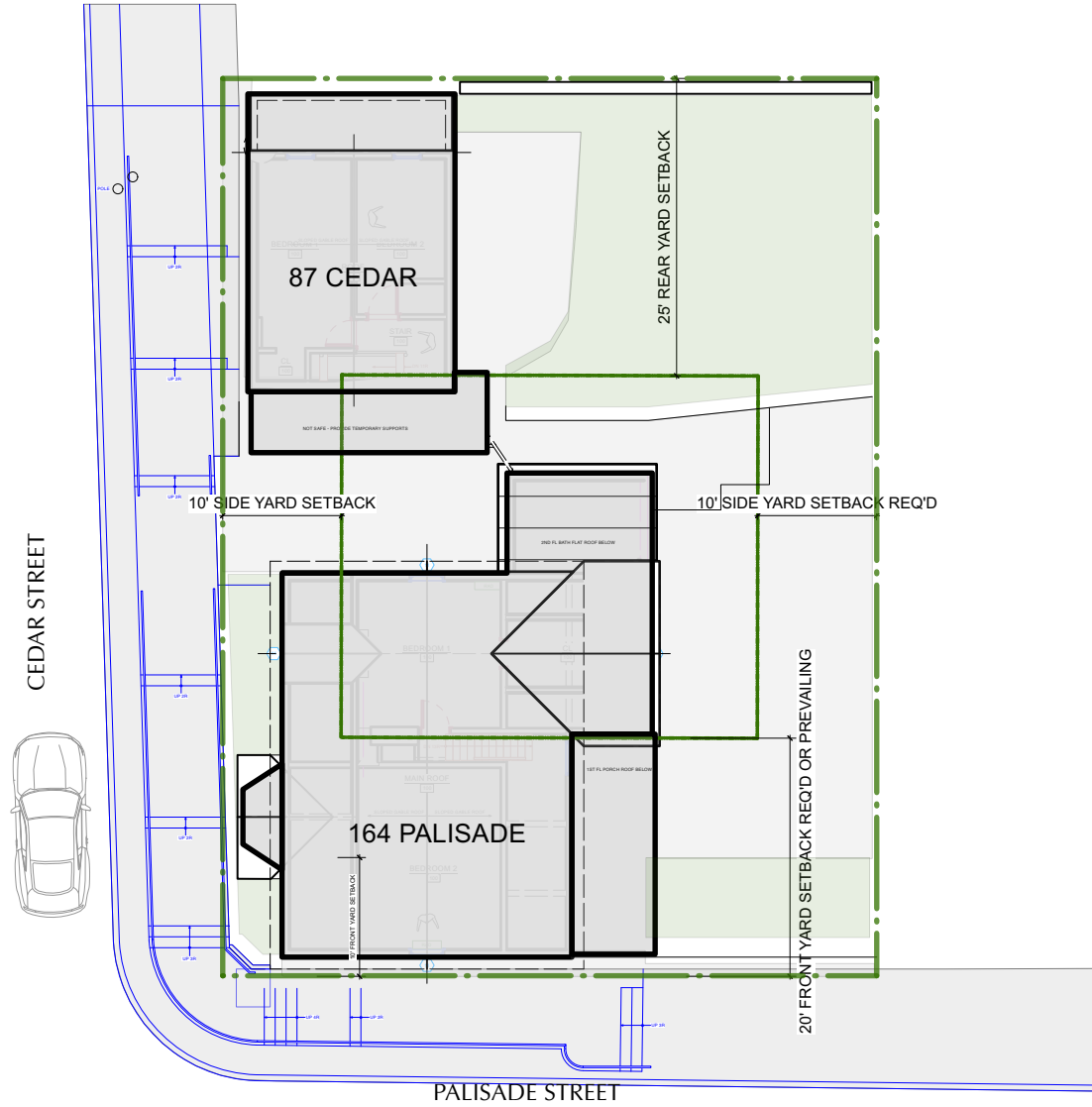
STRUCTURAL & LOADING NOTES

- Soil Bearing Capacity:**  
Design bearing capacity of soil shall be 2,000 PSI in accordance with 2020 Residential Code of New York State R401.4.1 for Sand, Silty Sand, Clayey Sand
- Concrete Compressive Strength**  
Shall be Min. 3,000 PSI at exposed exterior walls; shall be Min. 2,500 PSI at basement slabs; and shall be Min. 3,500 PSI at horizontal surfaces exposed to the weather including porches, steps, walks, and garage floor slabs, all to be in compliance with the 2020 Residential Code of New York State
- Required Placard**  
Provide exterior placard as required by code indicating that engineered lumber is used for roof support in a Class V structure. Placard is to be permanently mounted for display as required near electrical meter or as directed in field by Architect.
- High Wind Connections**  
Provide strapping as required to resist high wind and uplift forces to be in compliance with table R802.11 of the Code. Use tension tie equal to Simpson model # HTT22 at all footing-post connections and equal to Simpson model #H2 at all post-plate-rafter connections.

Modifications to 164 PALISADE STREET

APPLICATION # A 2022 - 0449

164 Palisade Street - 87 Cedar Street  
DOBBS FERRY, NY 10522



1 EXISTING PLOT PLAN  
Scale: 1/16" = 1'-0"

164 PALISADE STREET  
DOBBS FERRY, NY. 10522  
SECTION: 3.80 - 40.31  
BLOCK:  
LOT: 23, 24  
ZONING: MDR-2 + Character Guidelines for Palsade Street  
SITE SURVEY:  
by SUMMIT LAND SURVEYING PC - DATED: 8/21/2020  
OWNERS OF RECORD: PALISADES 164 LLC

NOTE ON SURVEY:  
SURVEY OF PORTION OF LOTS NUMBERS 23 and 24 AS SHOWN ON A CERTAIN MAP ENTITLED MAP OF THE VILLAGE OF LIVINGSTON'S LANDING LOCATED AT VILLAGE OF DOBBS FERRY - TOWN OF GREENBURGH, WESTCHESTER COUNTY, NEW YORK.

Said map is filed in the County Clerk's office, Division of Land Records, Westchester County, New York, on May 08, 1869 as map Number 539.

DRAWING INDEX

NO.	SHEET	ISSUE DATE	REV. DATE
	TITLE SHEET, SITE PLANS, ZONING	12/6/22	
T-000.00	Title Sheet, Plot Plan, General Notes	12/6/22	
T-000.01	Site + Street Photos	12/6/22	
A-001.00	Site Plans - Existing + Proposed, Zoning	12/6/22	
	FLOOR PLANS		
A-101.00	Cellar Floor Plans - Existing and Proposed	12/6/22	
A-102.00	Basement Floor Plans - Existing and Proposed	12/6/22	
A-103.00	1st Floor Plans - Existing and Proposed	12/6/22	
A-104.00	2nd Floor Plans - Existing and Proposed	12/6/22	
A-105.00	3rd Floor Plans - Existing and Proposed	12/6/22	
A-106.00	Roof Plans - Existing and Proposed	12/6/22	
	ELEVATIONS		
A-500.00	North Elevations (Cedar St) - Existing and Proposed	12/6/22	
A-501.00	West Elevations - (Palisade St) Existing and Proposed	12/6/22	
A-502.00	South Elevations - Existing and Proposed	12/6/22	
A-503.00	East Elevations - Existing and Proposed	12/6/22	

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NO. REVISIONS DATE

NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
2A	ZONING BOARD OF APPEALS	12/6/22

APPLICATION # A 2022 - 0449

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PROJECT:  
164 PALISADE STREET  
DOBBS FERRY, NY 10522

DRAWING TITLE:  
TITLE SHEET & NOTES

FILE NAME:

DRAWN BY:	PG	DRAWING NUMBER
SCALE:	As Noted	T-000.00
DATE:	12/6/22	
PROJECT ID:	2213A	



# Modifications to 164 PALISADE STREET

APPLICATION # A 2022 - 0449      164 Palisade Street - 87 Cedar Street  
DOBBS FERRY, NY 10522



A Corner of Cedar and Palisade  
Scale: Not to Scale



B Palisade Street - Looking uphill toward Main St  
Scale: Not to Scale



C Palisade Street  
Scale: Not to Scale



D Looking toward Cedar St  
Scale: Not to Scale



E Looking toward Palisade and the Hudson River  
Scale: Not to Scale

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NO. REVISIONS		DATE
		
NO.	ISSUE	DATE
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APPLICATION # A 2022 - 0449		
Michael Lewis Architects PC 145 Palisade St. Suite #307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com		
PROJECT: 164 PALISADE STREET DOBBS FERRY, NY 10522		
DRAWING TITLE: EXISTING SITE PHOTOS		
FILE NAME:		
DRAWN BY:	PG	DRAWING NUMBER
SCALE:	As Noted	T-000.01
DATE:	12/6/22	
PROJECT ID:	2213A	









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**DEMOLITION PLAN LEGEND**

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- EXISTING EXTERIOR WALL TO BE REMOVED
- EXISTING INTERIOR WALL TO BE REMOVED
- EXISTING OBJECT TO BE REMOVED

**NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.**

**CONSTRUCTION PLAN LEGEND**

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
- NEW C.I.P. CONCRETE WALL
- NEW EXTERIOR FRAME WALL
- NEW INTERIOR FRAME WALL
- OBJECTS ABOVE
- WINDOW ID
- DOOR ID
- WALL TYPE ID
- BUILDING SECTION KEY
- EXTERIOR ELEVATION KEY
- DETAIL KEY
- INTERIOR ELEVATION KEY

**NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION**

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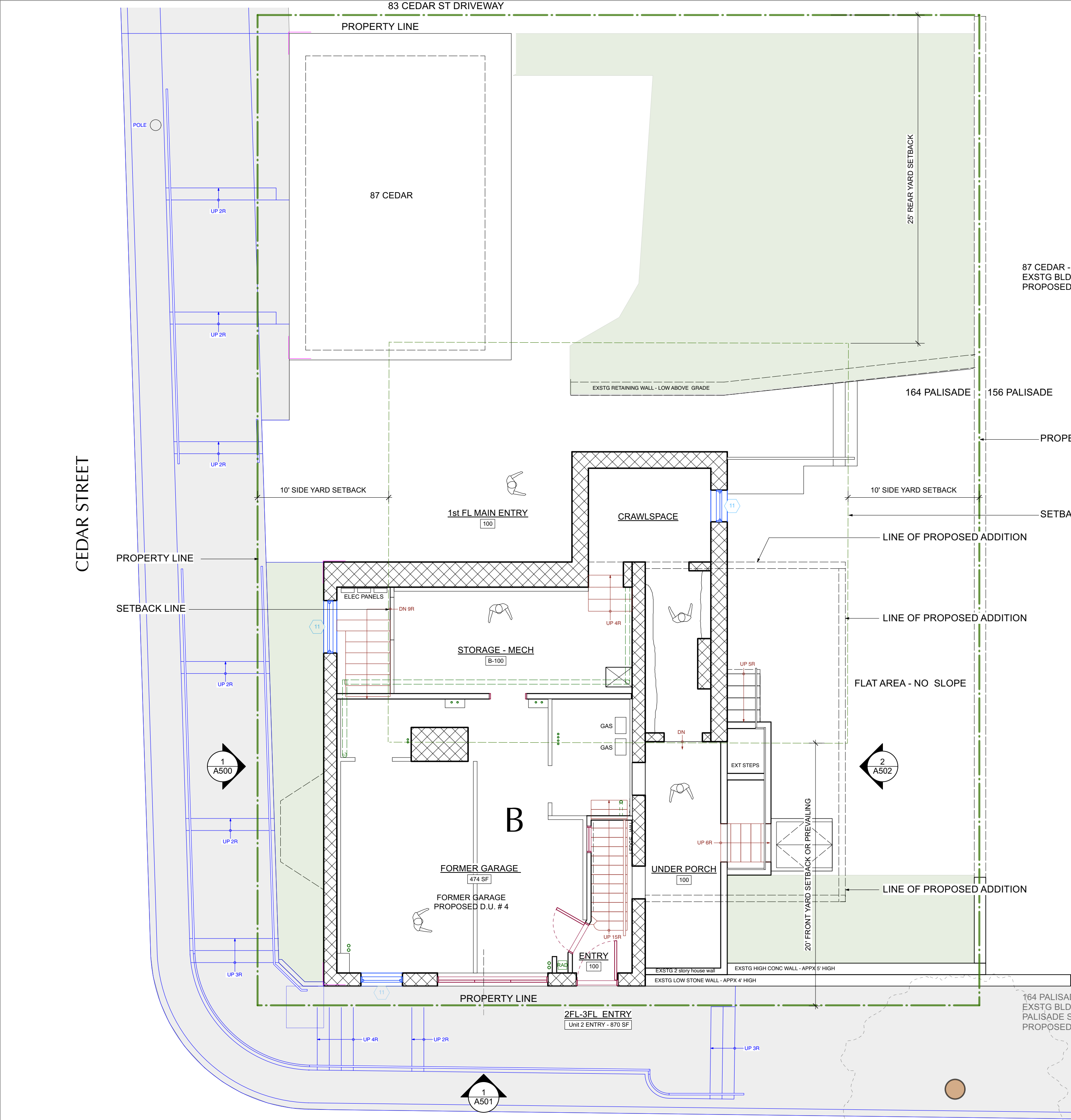
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164 PALISADE STREET  
DOBBS FERRY, NY 10522

**DRAWING TITLE:**  
CELLAR FLOOR PLANS

**FILE NAME:**

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DATE:	12/6/22	
PROJECT ID:	2213A	



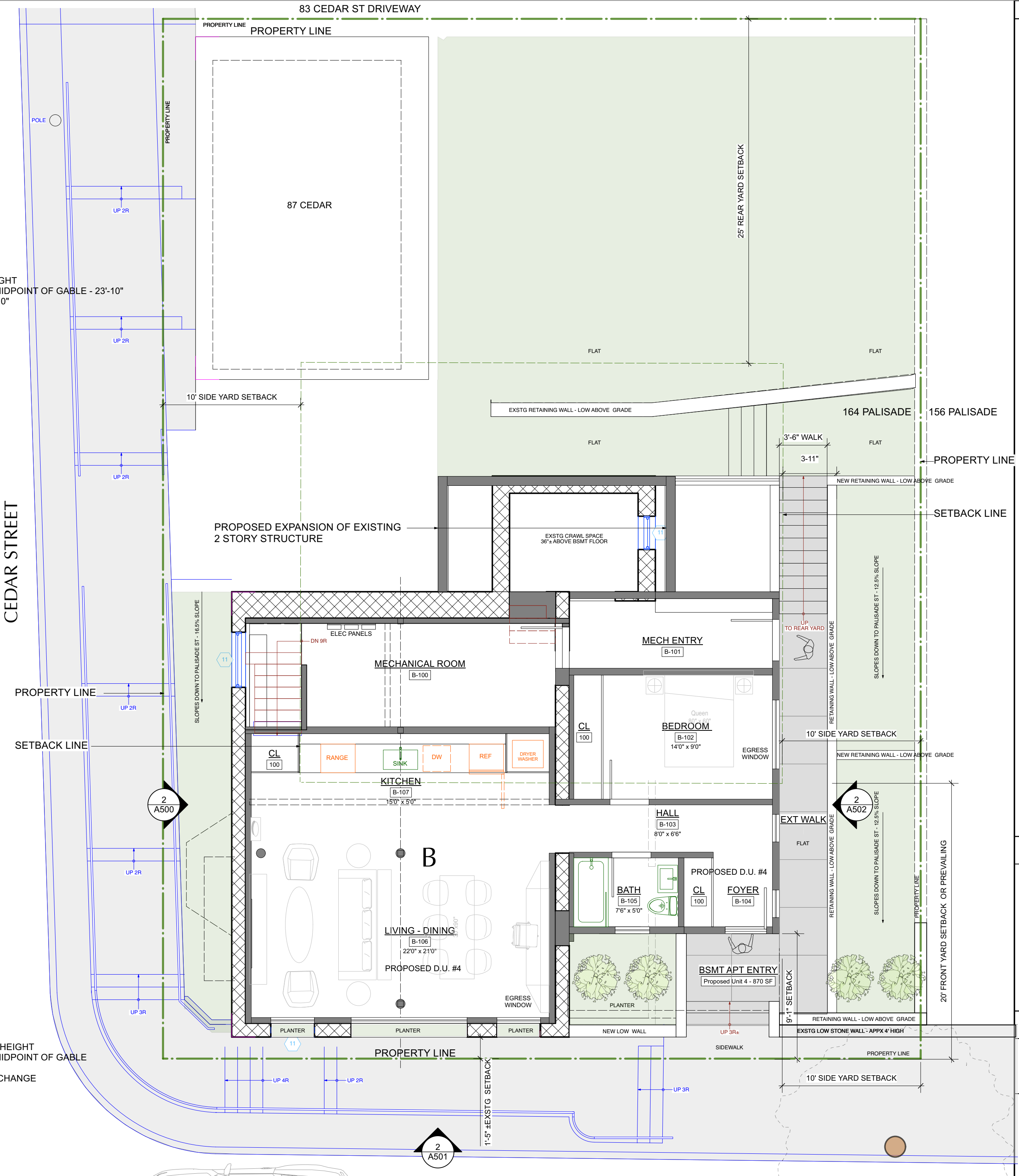


PALISADE STREET

1 EXISTING BASEMENT PLAN  
Scale: 3/16" = 1'-0"



4 EXISTING WEST ELEVATION - PALISADE STREET  
Scale: 3/32" = 1'-0"



PALISADE STREET

2 PROPOSED BASEMENT PLAN - PALISADE  
Scale: 3/16" = 1'-0"



3 PROPOSED WEST ELEVATION - PALISADE STREET  
Scale: 3/32" = 1'-0"

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**DEMOLITION PLAN LEGEND**

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- EXISTING EXTERIOR WALL TO BE REMOVED
- EXISTING INTERIOR WALL TO BE REMOVED
- EXISTING OBJECT TO BE REMOVED

**NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.**

**CONSTRUCTION PLAN LEGEND**

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
- NEW C.I.P. CONCRETE WALL
- NEW EXTERIOR FRAME WALL
- NEW INTERIOR FRAME WALL
- OBJECTS ABOVE
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- DOOR ID
- WALL TYPE ID
- BUILDING SECTION KEY
- EXTERIOR ELEVATION KEY
- DETAIL KEY
- INTERIOR ELEVATION KEY

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NO. ISSUE DATE

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**PROJECT:**  
164 PALISADE STREET  
DOBBS FERRY, NY 10522

**DRAWING TITLE:**  
BASEMENT FLOOR PLANS

**FILE NAME:**

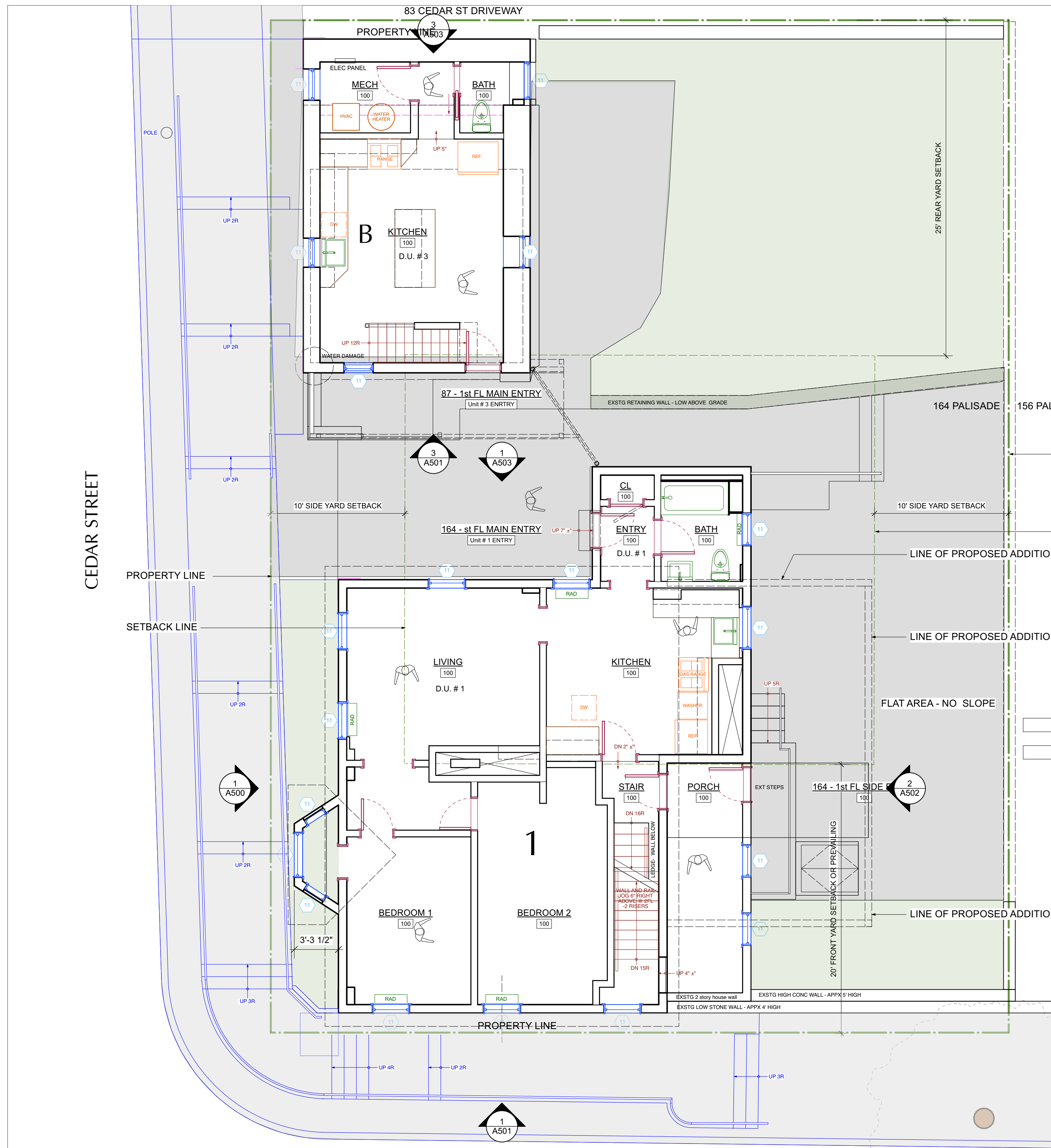
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**DATE:** 12/6/22

**PROJECT ID:** 2213A



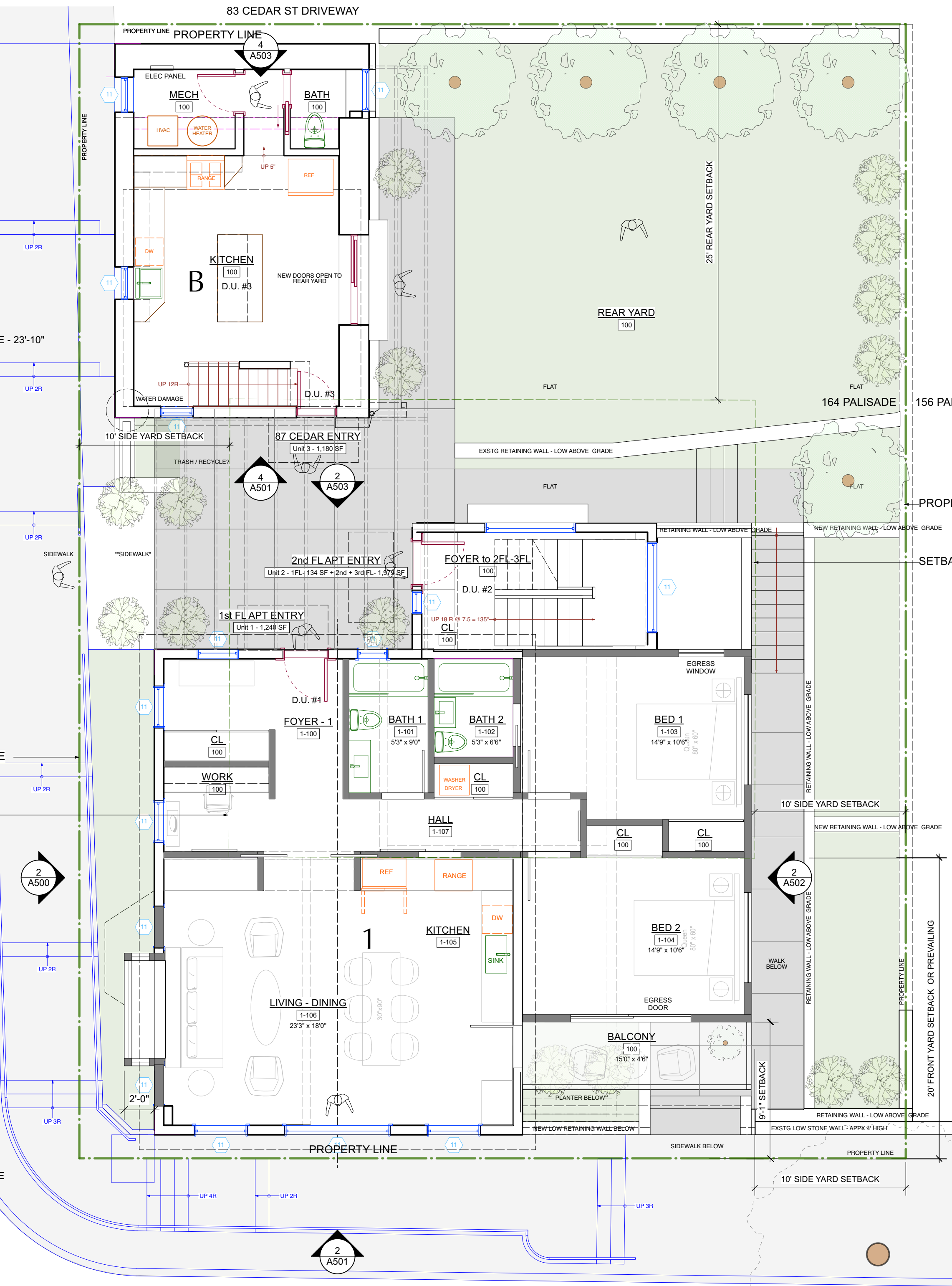


PALISADE STREET

1 EXISTING 1ST FLOOR PLAN  
Scale: 3/16" = 1'-0"

87 CEDAR - BUILDING HEIGHT EXSTG BLDG HEIGHT @ MIDPOINT OF GABLE - 23'-10" PROPOSED HEIGHT - 24'-10"

CEDAR STREET

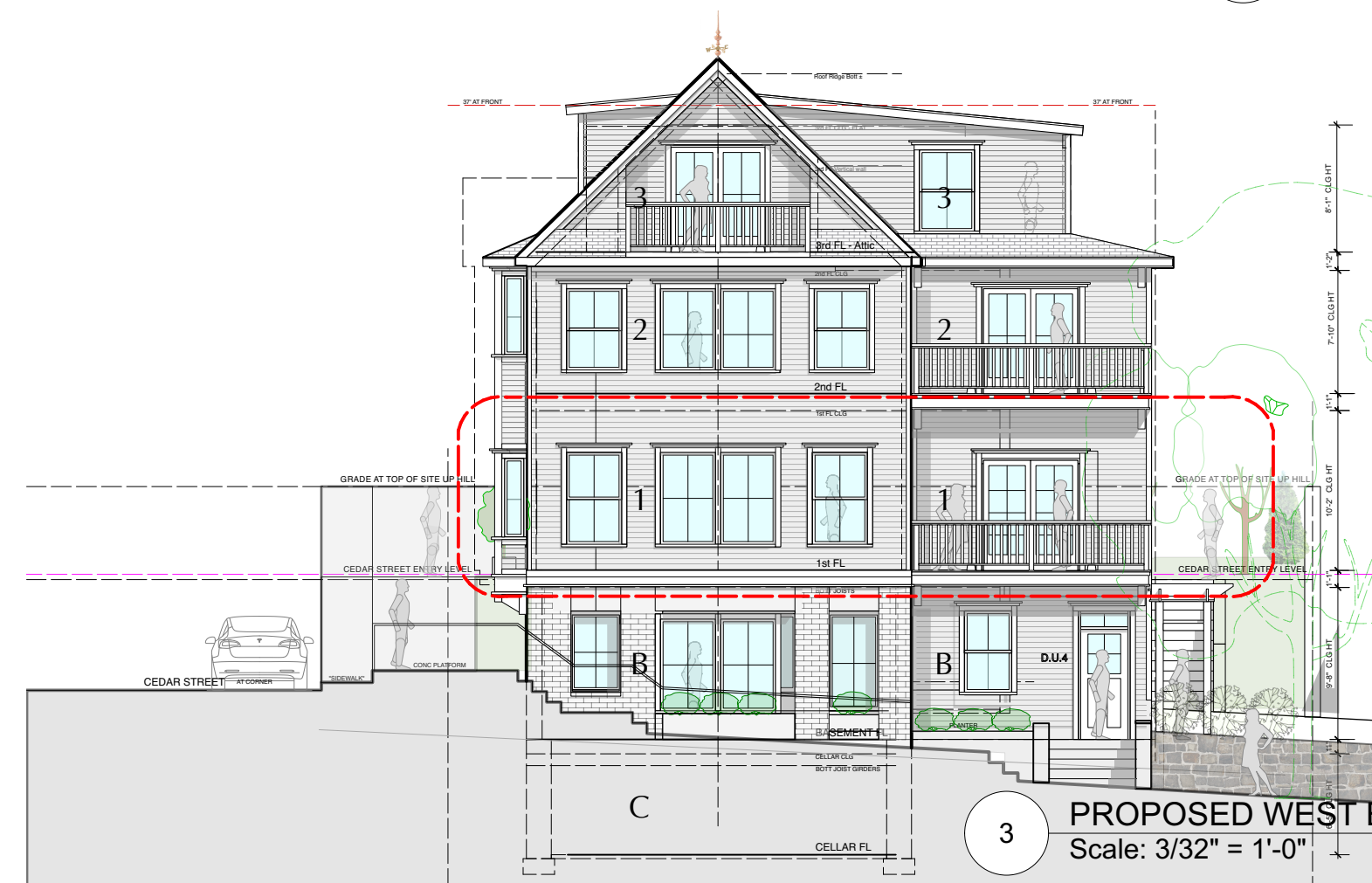


PALISADE STREET

2 PROPOSED 1ST FLOOR PLAN - PALISADE  
Scale: 3/16" = 1'-0"



4 EXISTING WEST ELEVATION - PALISADE STREET  
Scale: 3/32" = 1'-0"



3 PROPOSED WEST ELEVATION - PALISADE STREET  
Scale: 3/32" = 1'-0"

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	EXISTING INTERIOR WALL TO BE REMOVED
	EXISTING OBJECT TO BE REMOVED

NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.

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	EXISTING STONE WALL TO REMAIN
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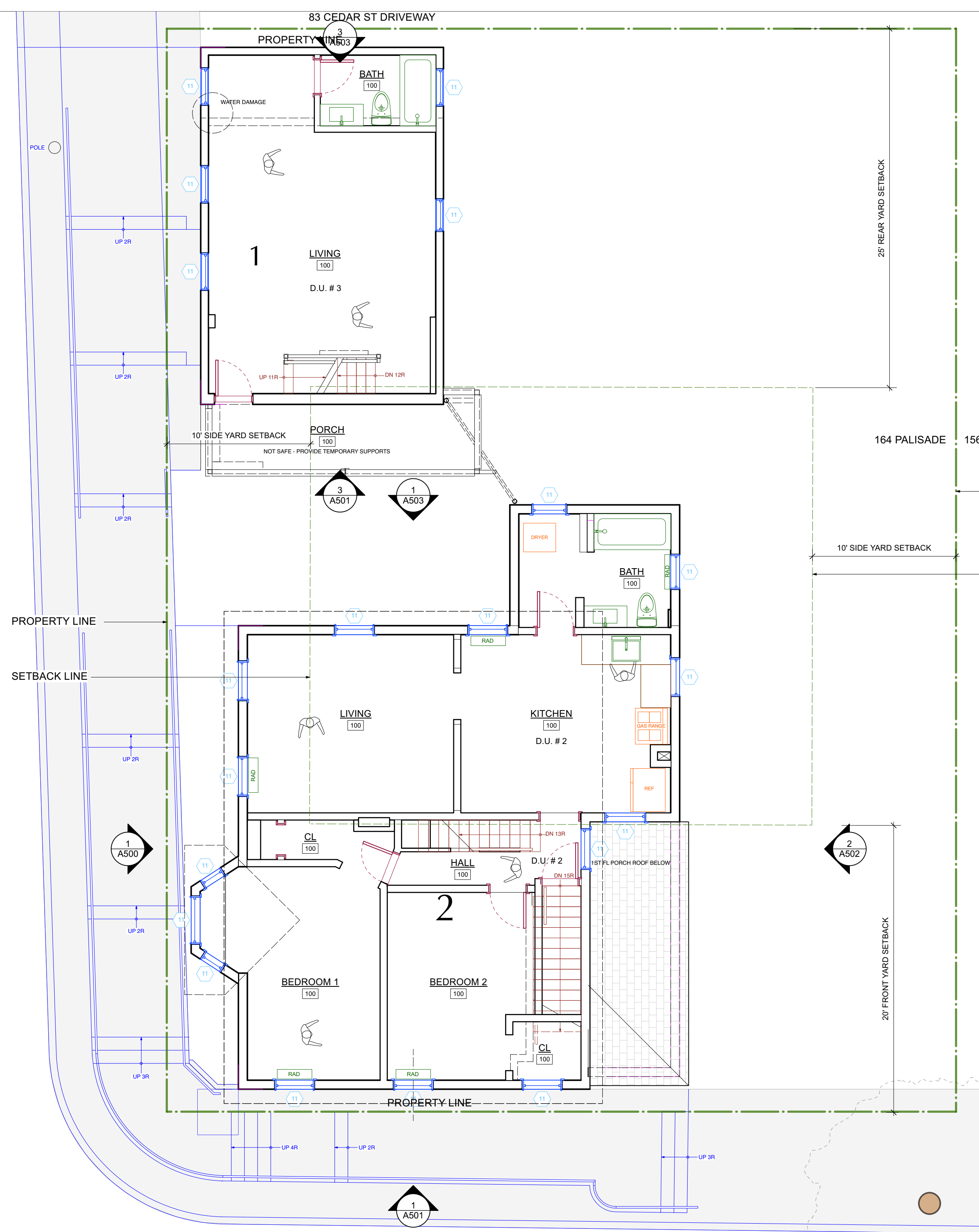
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DOBBS FERRY, NY 10522

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1ST FLOOR PLANS

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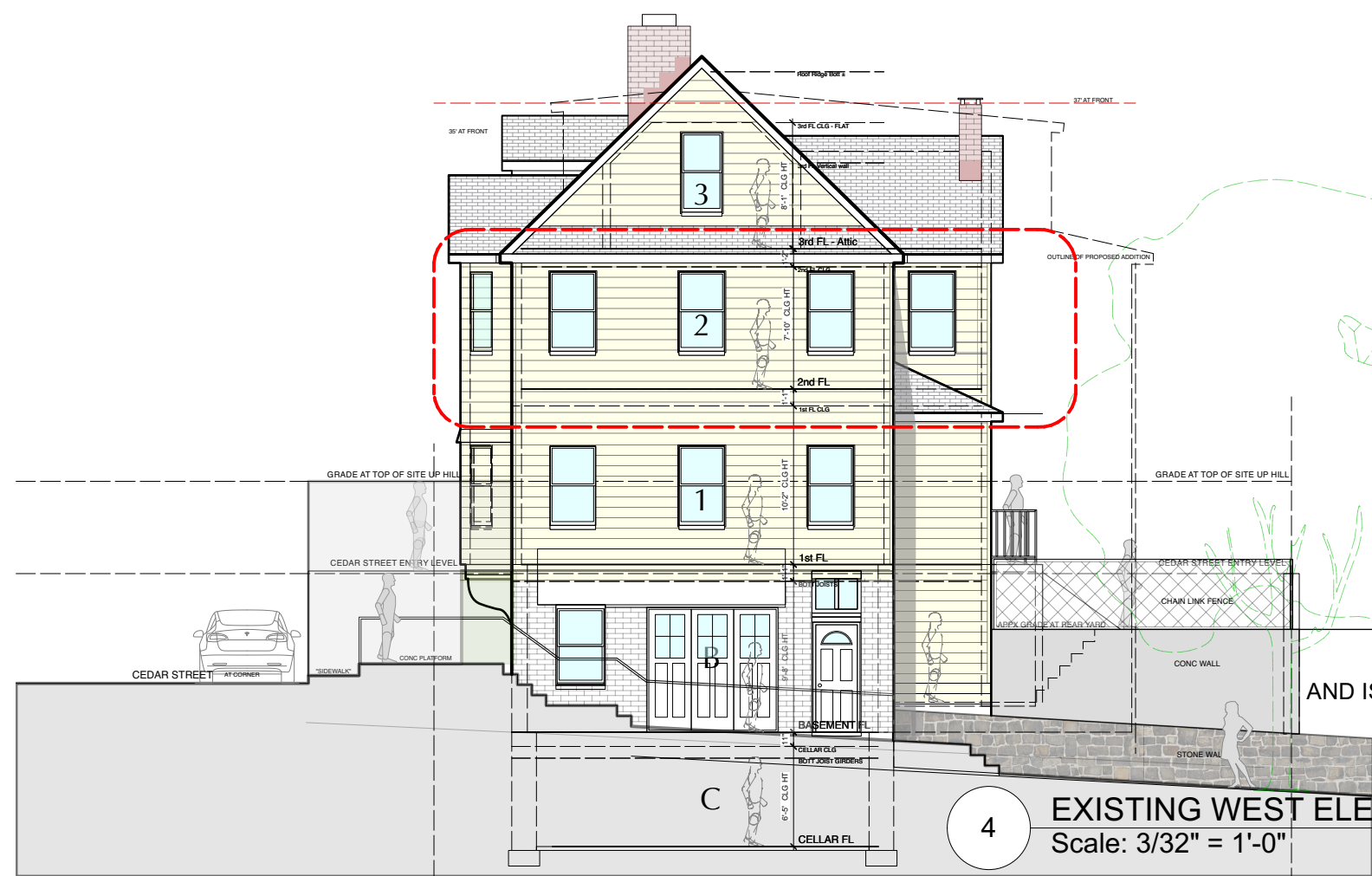


CEDAR STREET



PALISADE STREET

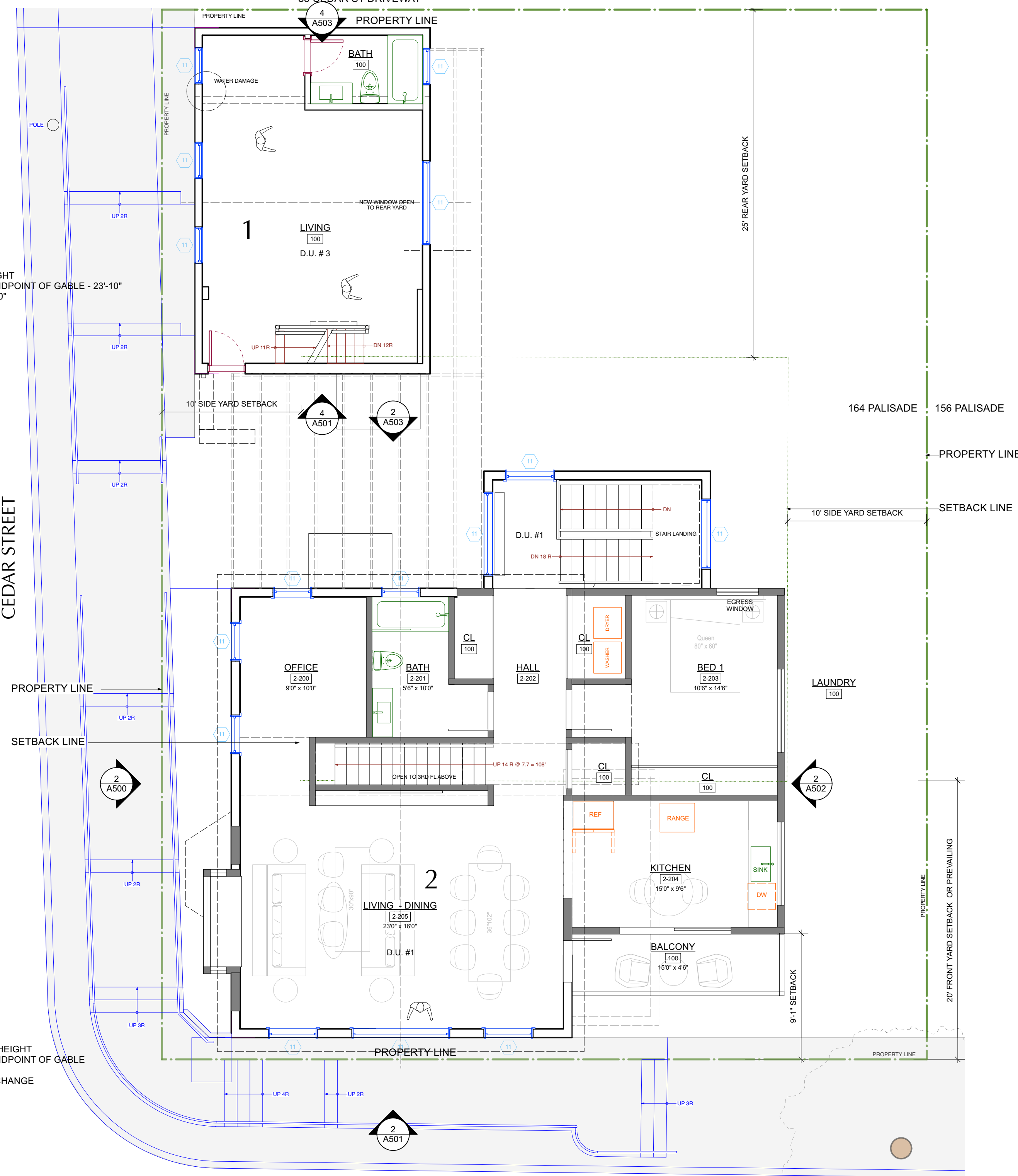
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Scale: 3/16" = 1'-0"



4 EXISTING WEST ELEVATION - PALISADE STREET  
Scale: 3/32" = 1'-0"

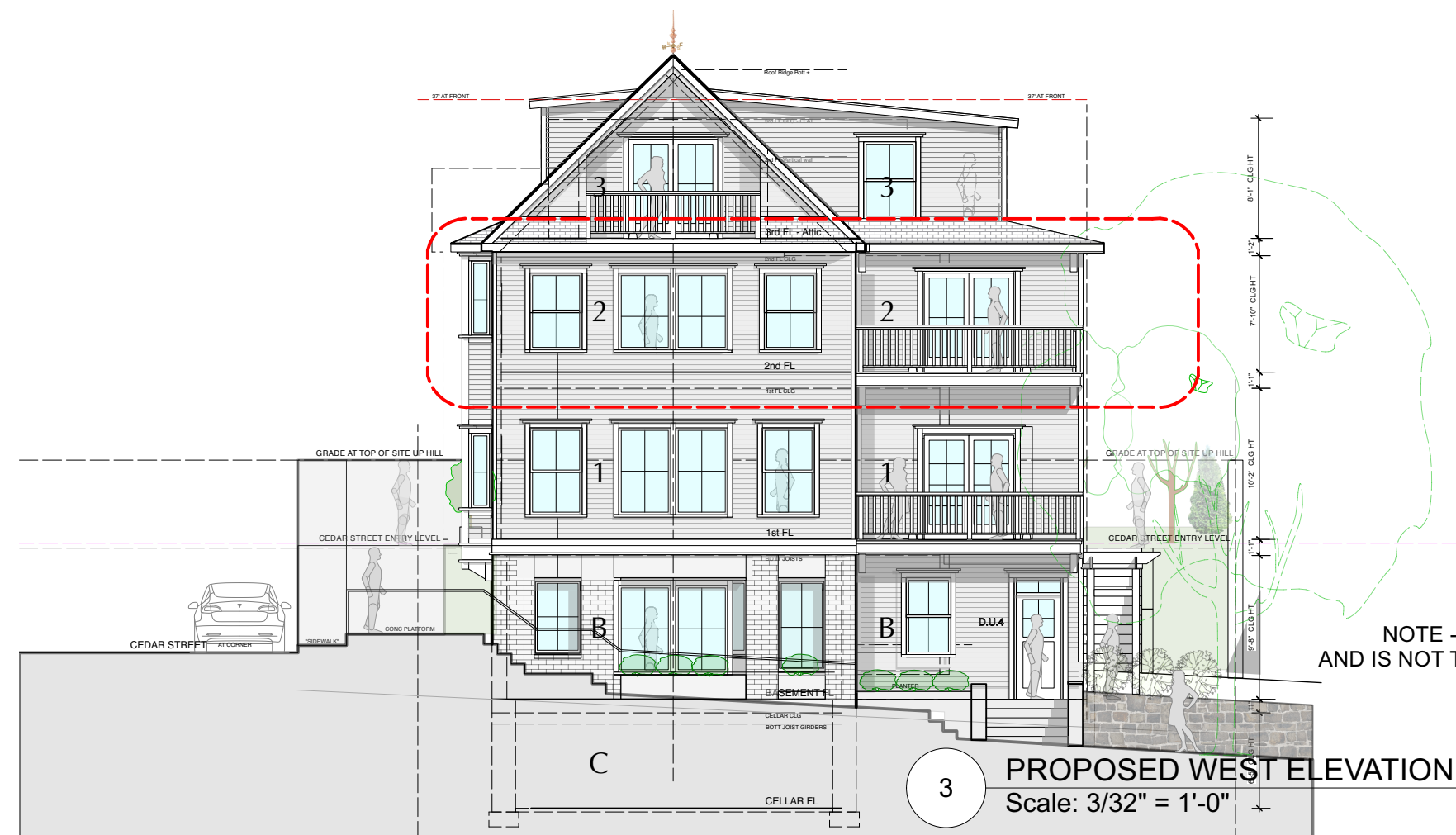
87 CEDAR - BUILDING HEIGHT  
EXSTG BLDG HEIGHT @ MIDPOINT OF GABLE - 23'-10"  
PROPOSED HEIGHT - 24'-10"

CEDAR STREET



PALISADE STREET

2 PROPOSED 2ND FLOOR PLAN - PALISADE  
Scale: 3/16" = 1'-0"



3 PROPOSED WEST ELEVATION - PALISADE STREET  
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DEMOLITION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- EXISTING EXTERIOR WALL TO BE REMOVED
- EXISTING INTERIOR WALL TO BE REMOVED
- EXISTING OBJECT TO BE REMOVED

NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.

CONSTRUCTION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
- NEW C.I.P. CONCRETE WALL
- NEW EXTERIOR FRAME WALL
- NEW INTERIOR FRAME WALL
- OBJECTS ABOVE
- WINDOW ID
- DOOR ID
- WALL TYPE ID
- BUILDING SECTION KEY
- EXTERIOR ELEVATION KEY
- DETAIL KEY
- INTERIOR ELEVATION KEY

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

NO. REVISIONS DATE



NO. ISSUE DATE

1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
2A	ZONING BOARD OF APPEALS	12/6/22

APPLICATION # A 2022 - 0449

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PROJECT:

164 PALISADE STREET  
DOBBS FERRY, NY 10522

DRAWING TITLE:

2ND FLOOR PLANS

FILE NAME:

DRAWN BY: PG DRAWING NUMBER

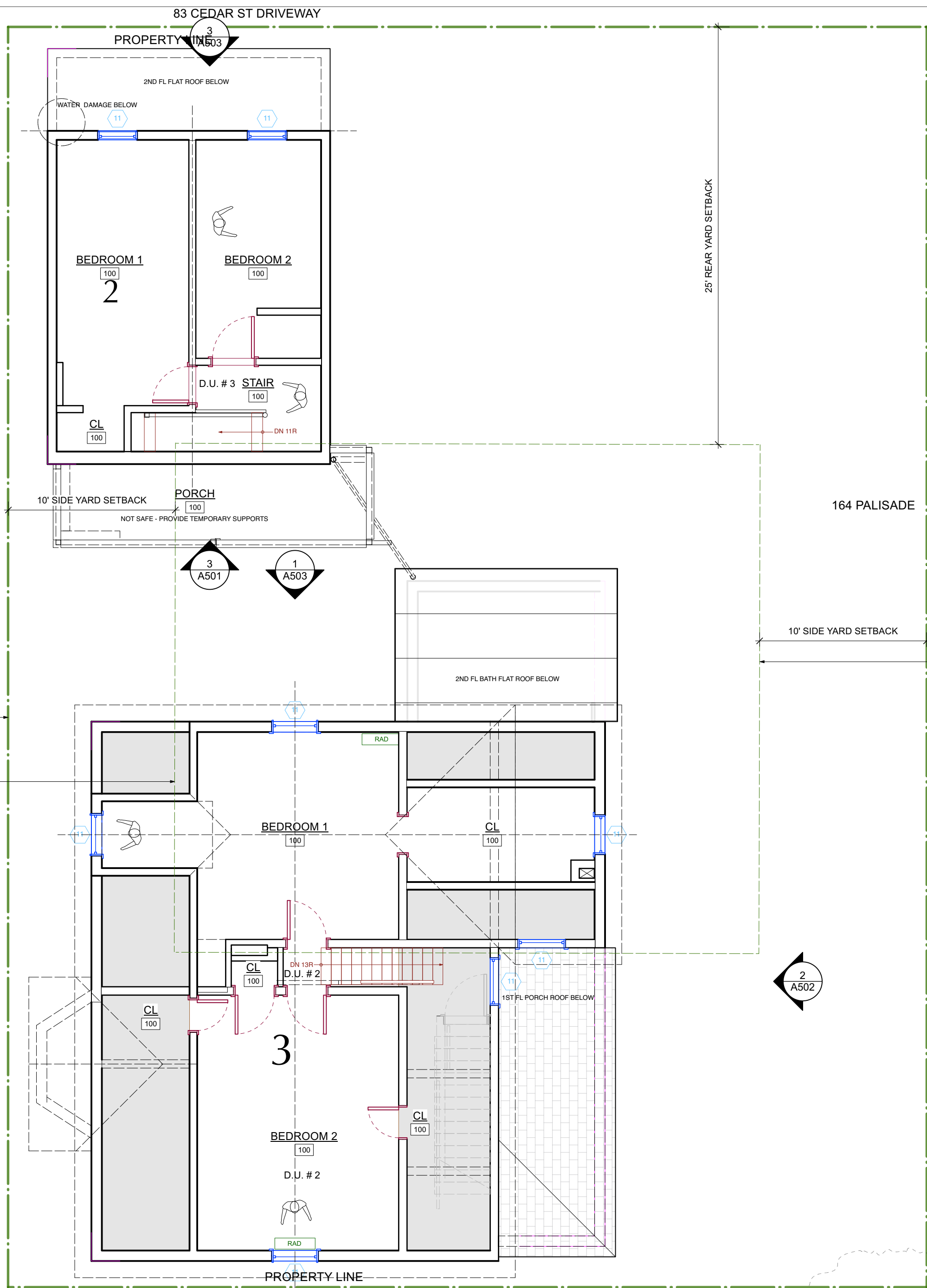
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DATE: 12/6/22

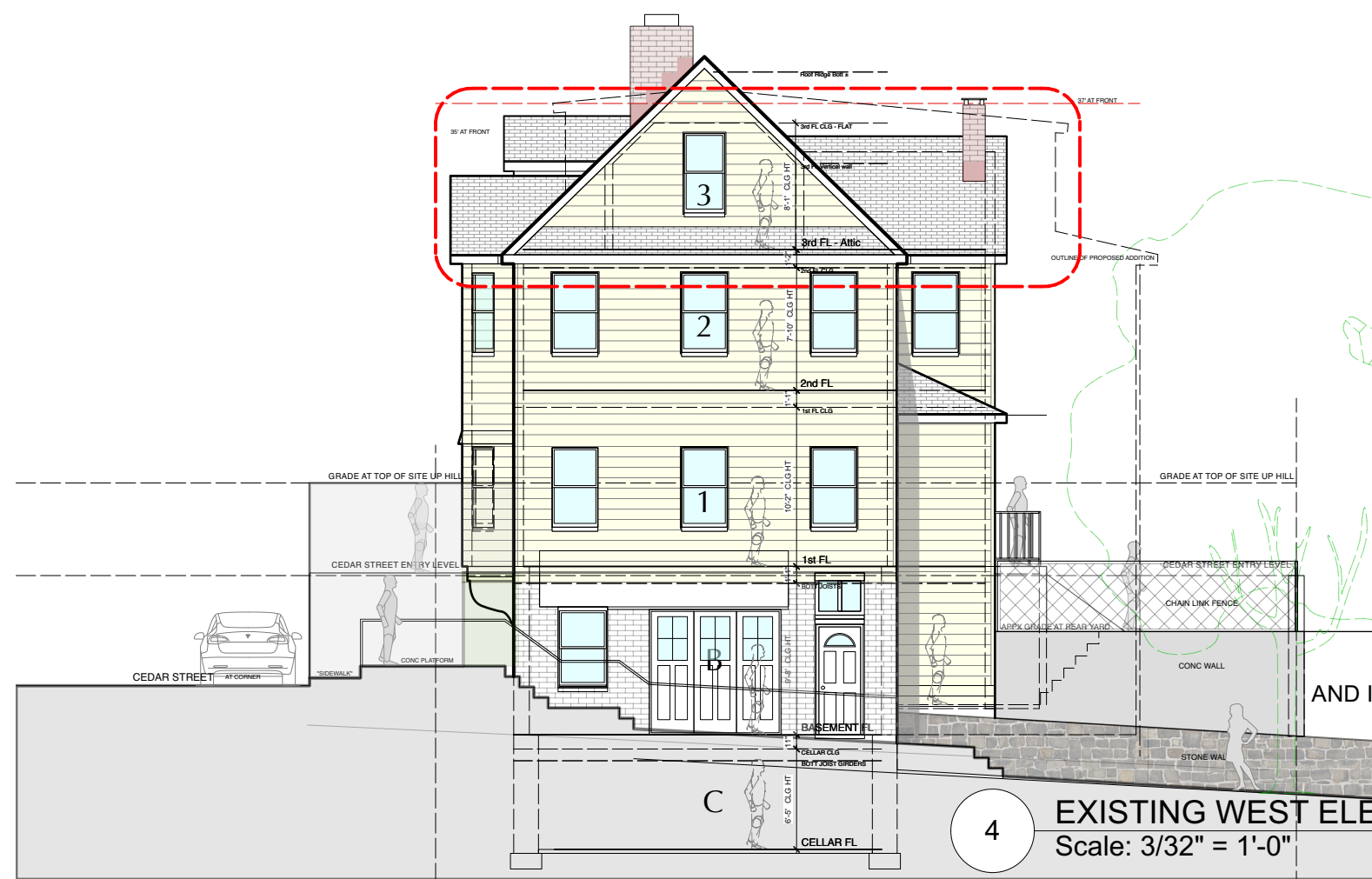
PROJECT ID: 2213A

A-104.00

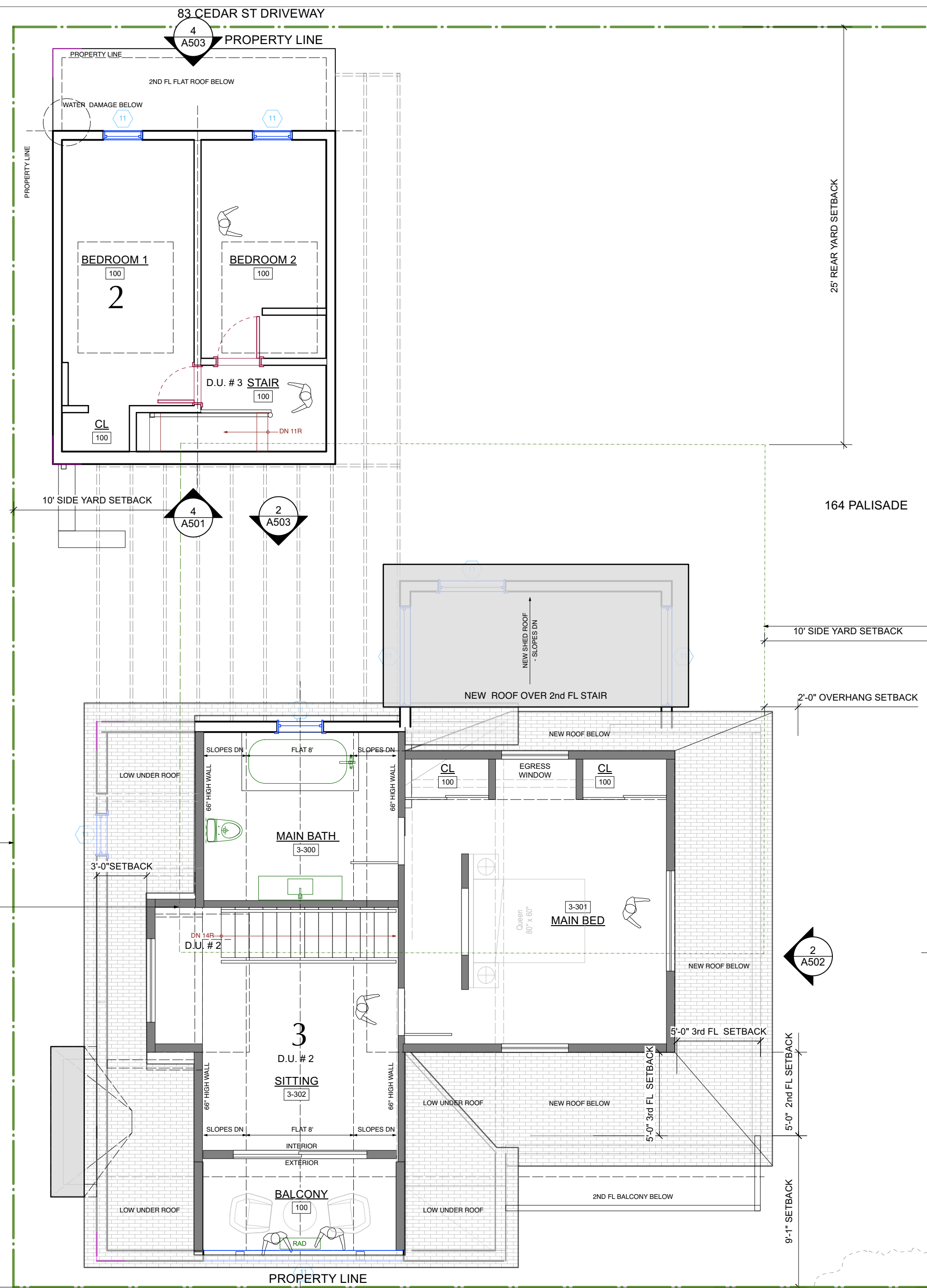




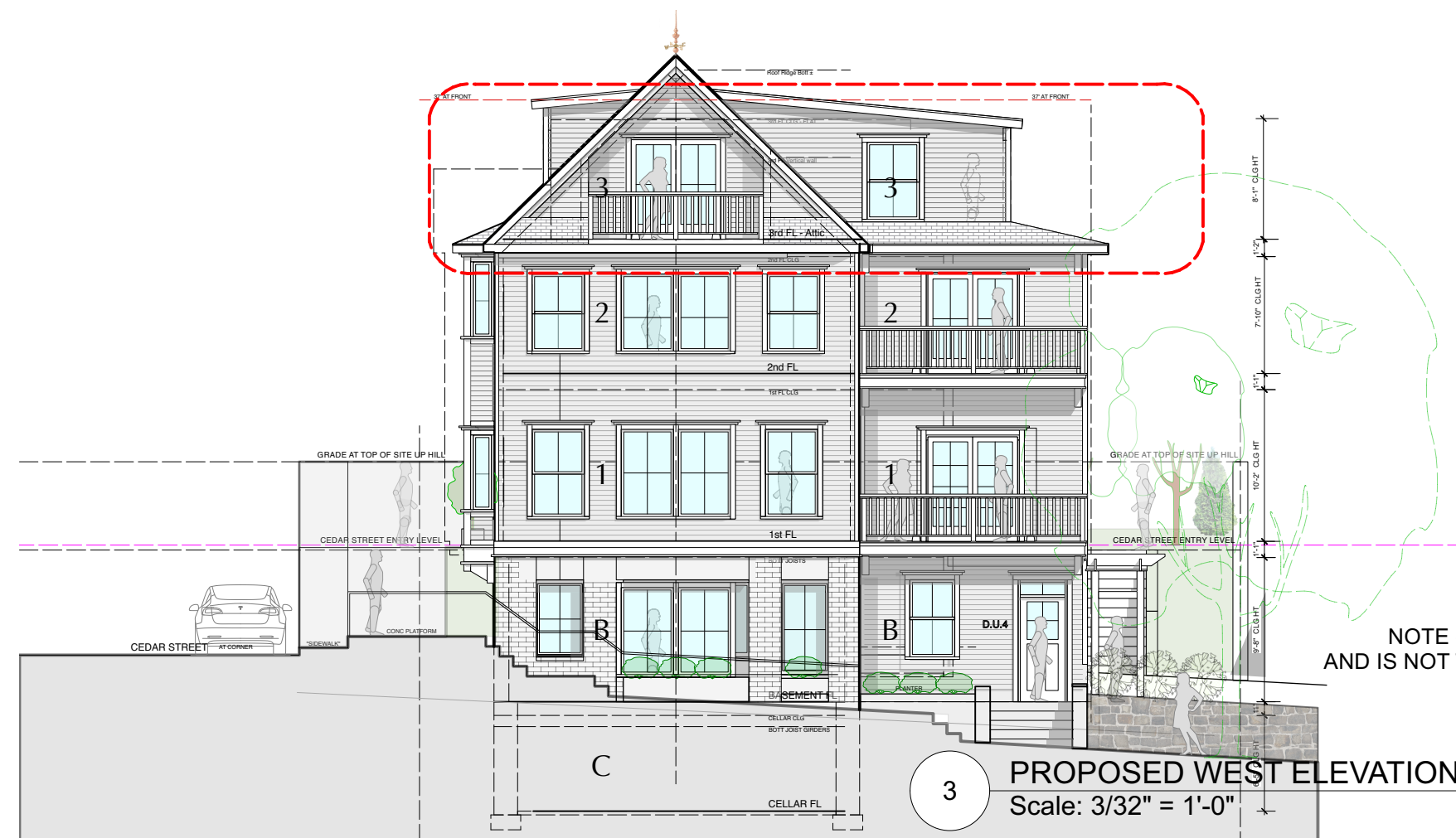
2 EXISTING 3RD FLOOR PLAN  
Scale: 3/16" = 1'-0"



4 EXISTING WEST ELEVATION - PALISADE STREET  
Scale: 3/32" = 1'-0"



1 PROPOSED 3RD FLOOR PLAN  
Scale: 3/16" = 1'-0"



3 PROPOSED WEST ELEVATION - PALISADE STREET  
Scale: 3/32" = 1'-0"

87 CEDAR - BUILDING HEIGHT  
EXSTG BLDG HEIGHT @ MIDPOINT OF GABLE - 23'-10"  
PROPOSED HEIGHT - 24'-10"

164 PALISADE - BUILDING HEIGHT  
EXSTG BLDG HEIGHT @ MIDPOINT OF GABLE  
PALISADE ST ONLY - 36'-8"  
PROPOSED HEIGHT - NO CHANGE

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DEMOLITION PLAN LEGEND	
	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	EXISTING EXTERIOR WALL TO BE REMOVED
	EXISTING INTERIOR WALL TO BE REMOVED
	EXISTING OBJECT TO BE REMOVED

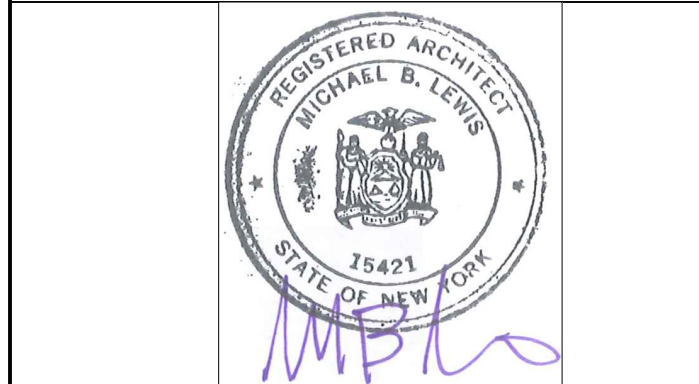
NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.

CONSTRUCTION PLAN LEGEND	
	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	NEW MASONRY WALL
	NEW C.I.P. CONCRETE WALL
	NEW EXTERIOR FRAME WALL
	NEW INTERIOR FRAME WALL
	OBJECTS ABOVE

	WINDOW ID
	DOOR ID
	WALL TYPE ID
	BUILDING SECTION KEY
	EXTERIOR ELEVATION KEY
	DETAIL KEY
	INTERIOR ELEVATION KEY

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

NO. REVISIONS DATE



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PROJECT:  
164 PALISADE STREET  
DOBBS FERRY, NY 10522

DRAWING TITLE:  
3RD FLOOR PLANS

FILE NAME:

DRAWN BY: PG DRAWING NUMBER

SCALE: 3/16" = 1'-0"

DATE: 12/6/22

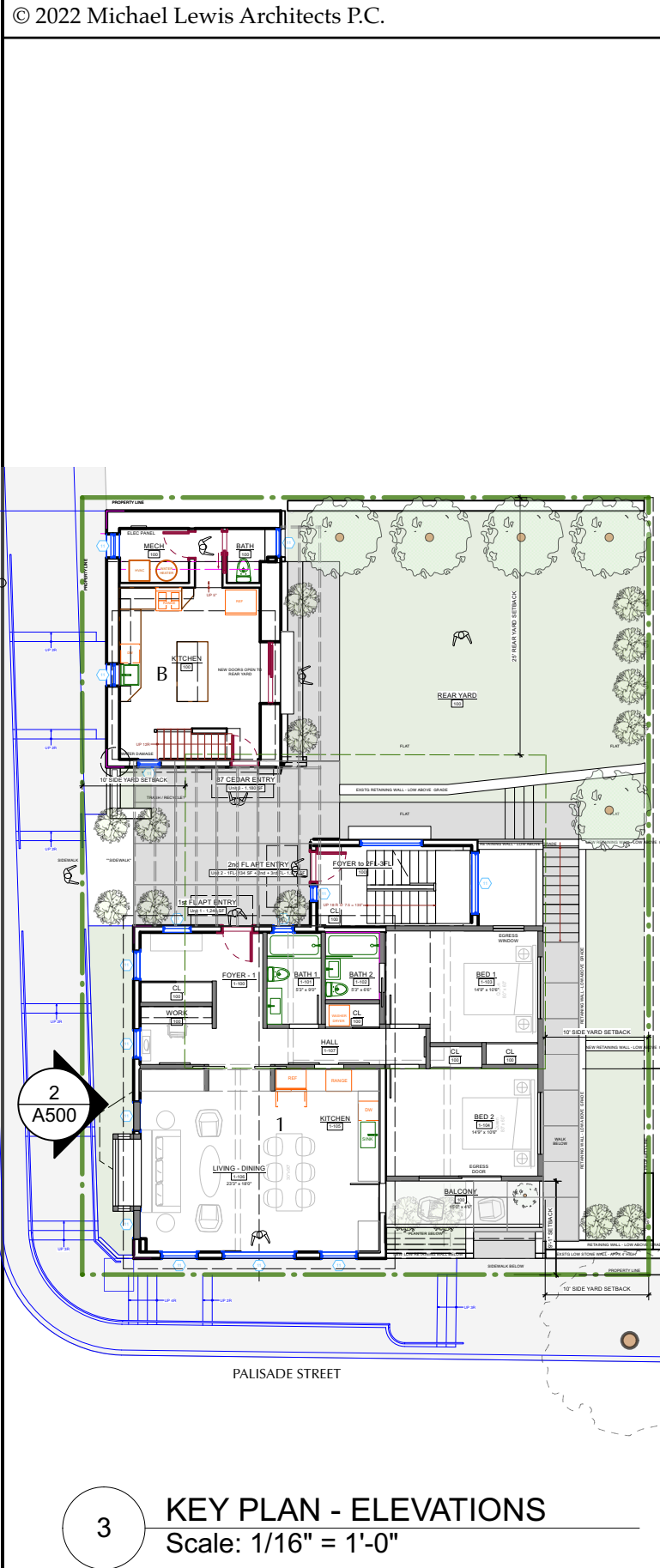
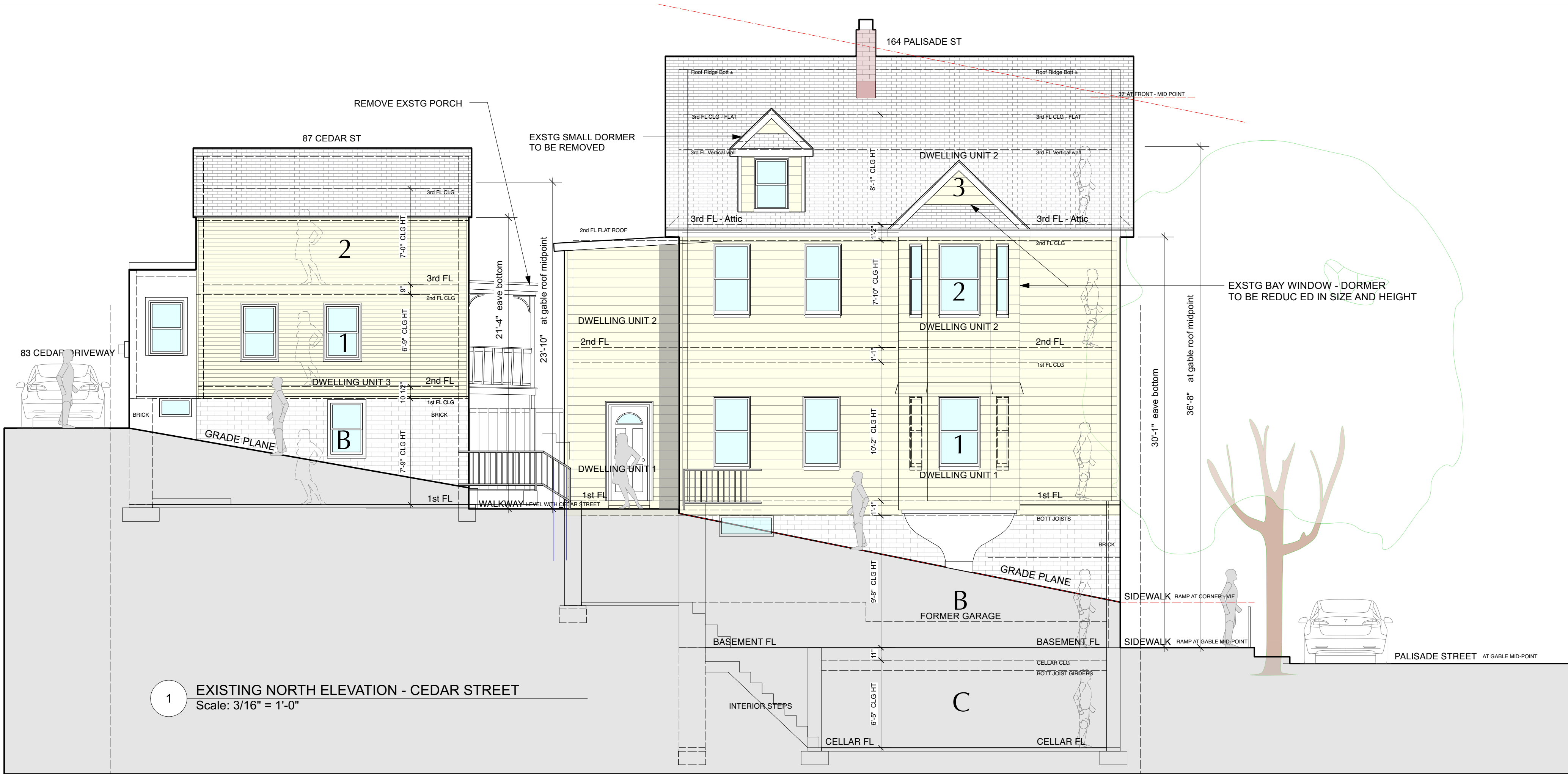
PROJECT ID: 2213A

A-105.00



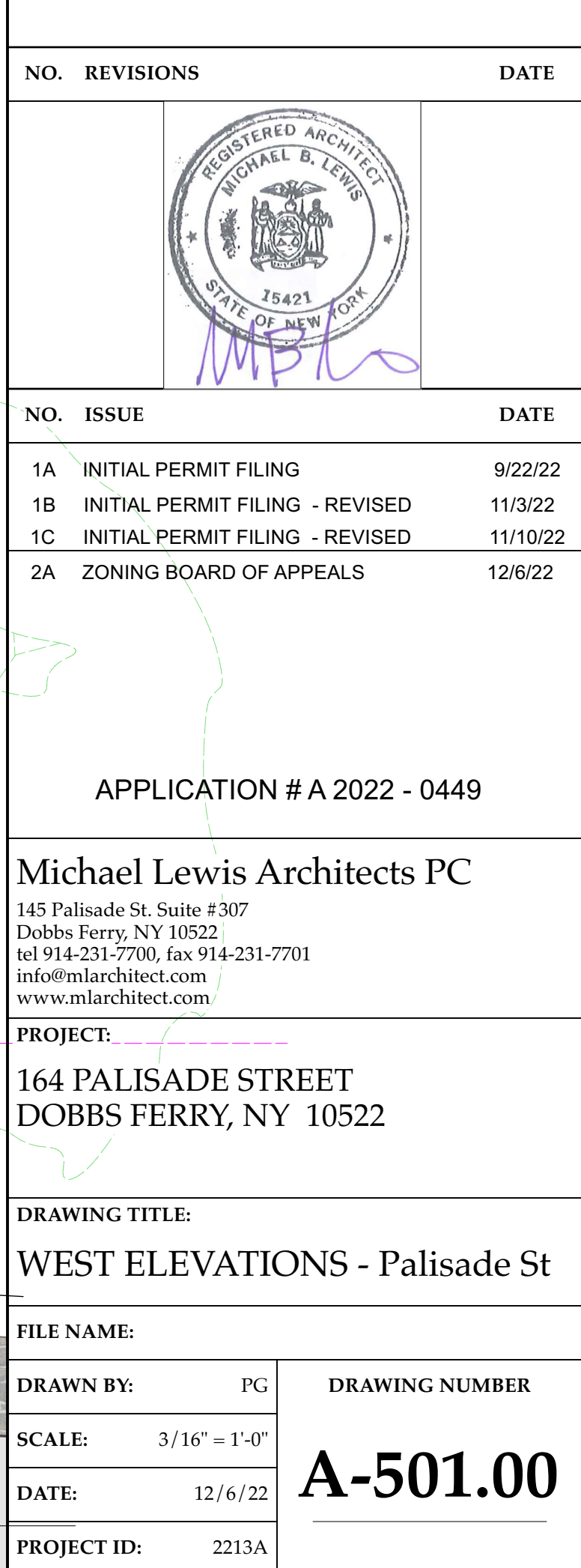
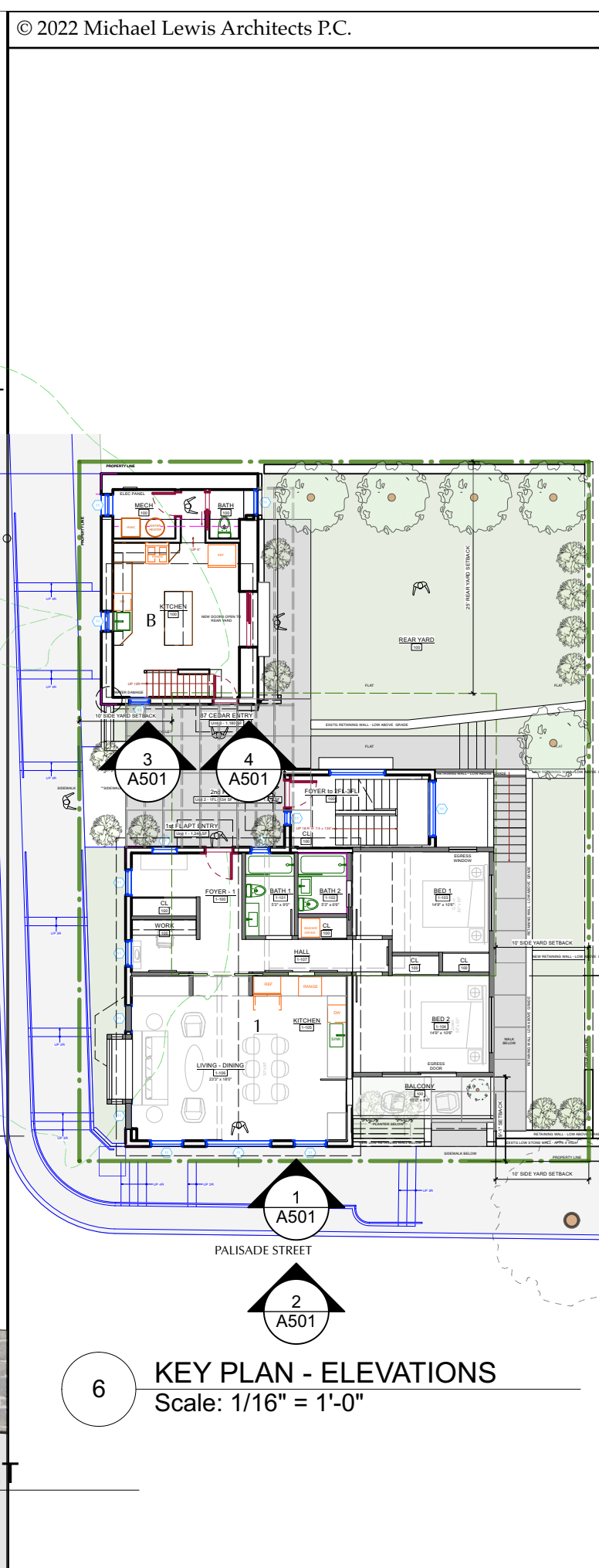




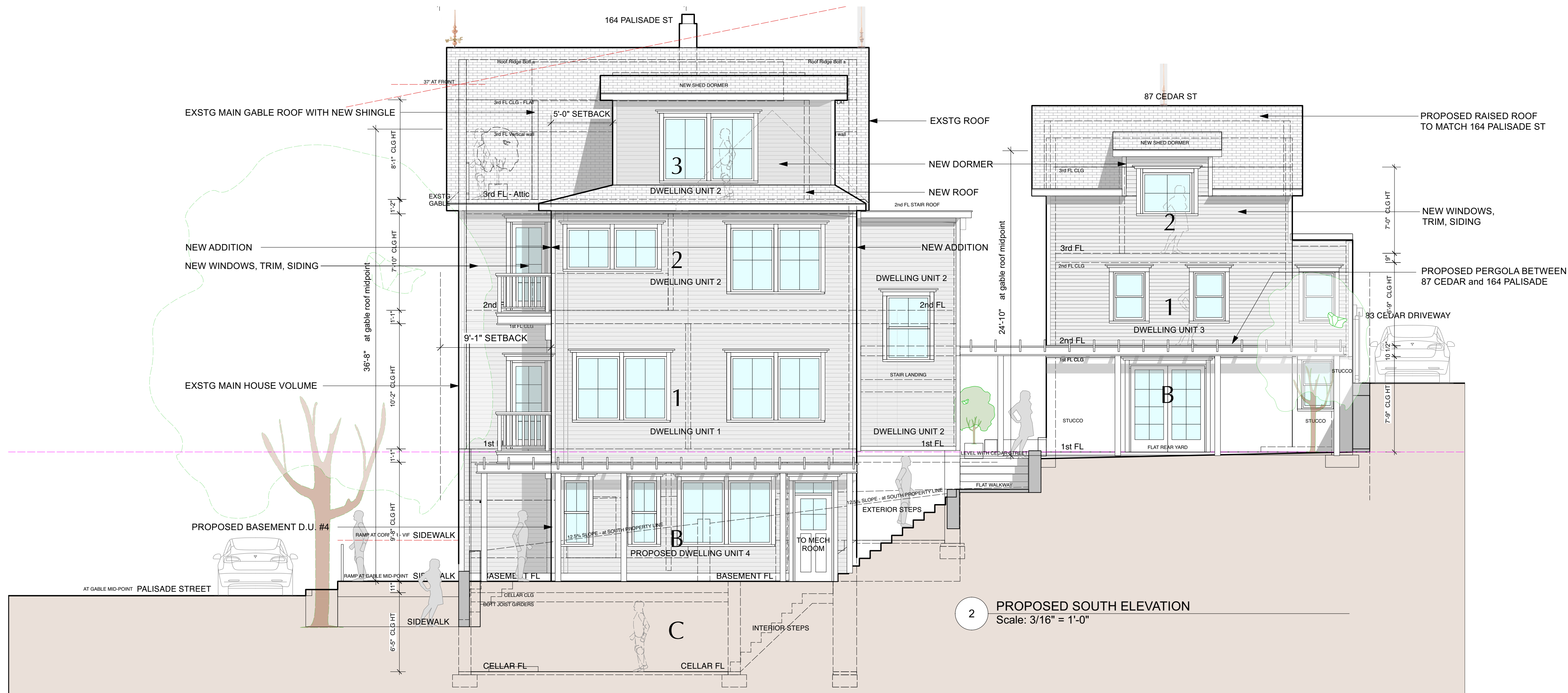
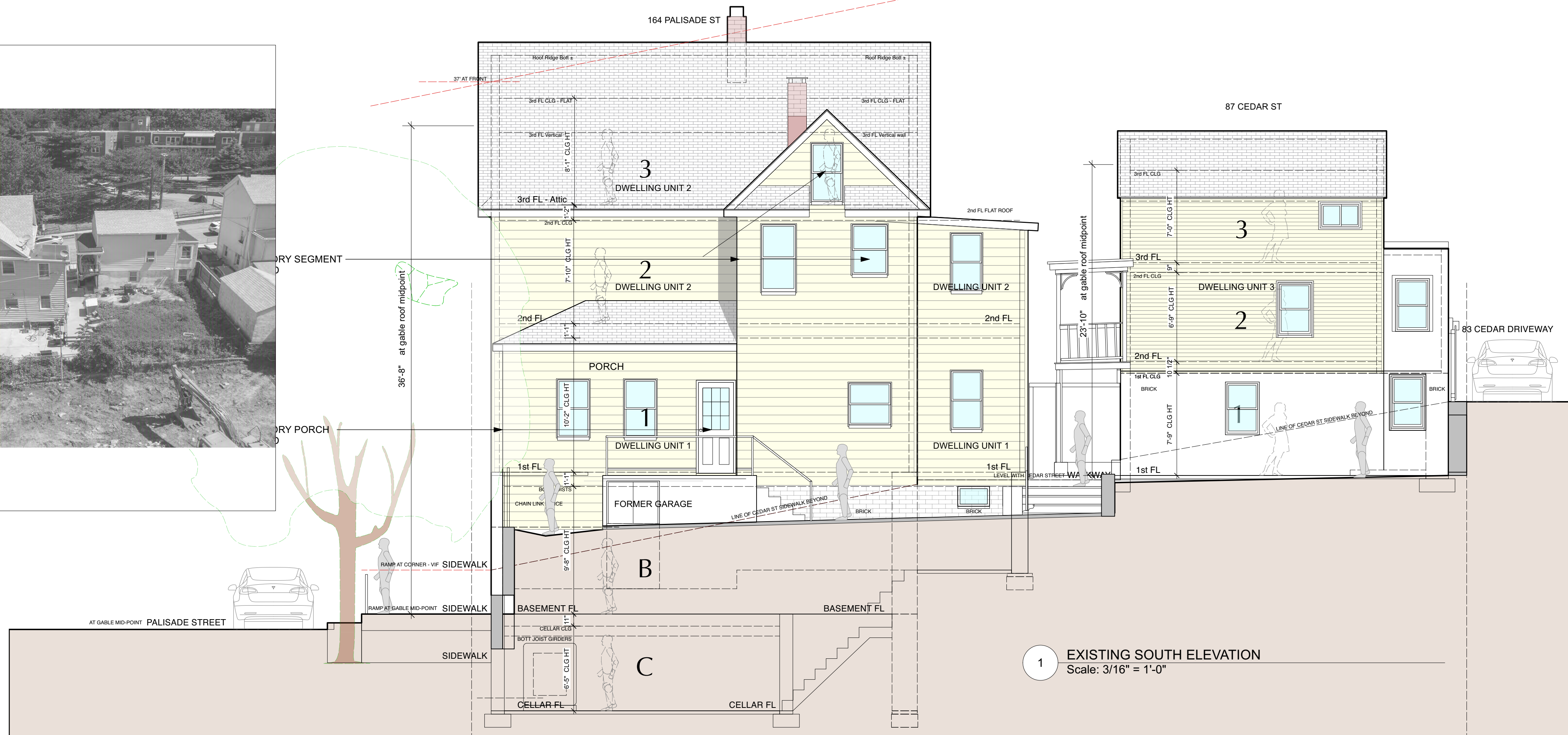


NO. REVISIONS		DATE
NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
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APPLICATION # A 2022 - 0449		
Michael Lewis Architects PC 145 Palisade St. Suite #307 Dobbs Ferry, NY 10522 tel 914-231-7700, fax 914-231-7701 info@mlarchitect.com www.mlarchitect.com		
PROJECT: 164 PALISADE STREET DOBBS FERRY, NY 10522		
DRAWING TITLE: NORTH ELEVATIONS - Cedar St		
FILE NAME:		
DRAWN BY:	PG	DRAWING NUMBER
SCALE:	3/16" = 1'-0"	A-500.00
DATE:	12/6/22	
PROJECT ID:	2213A	

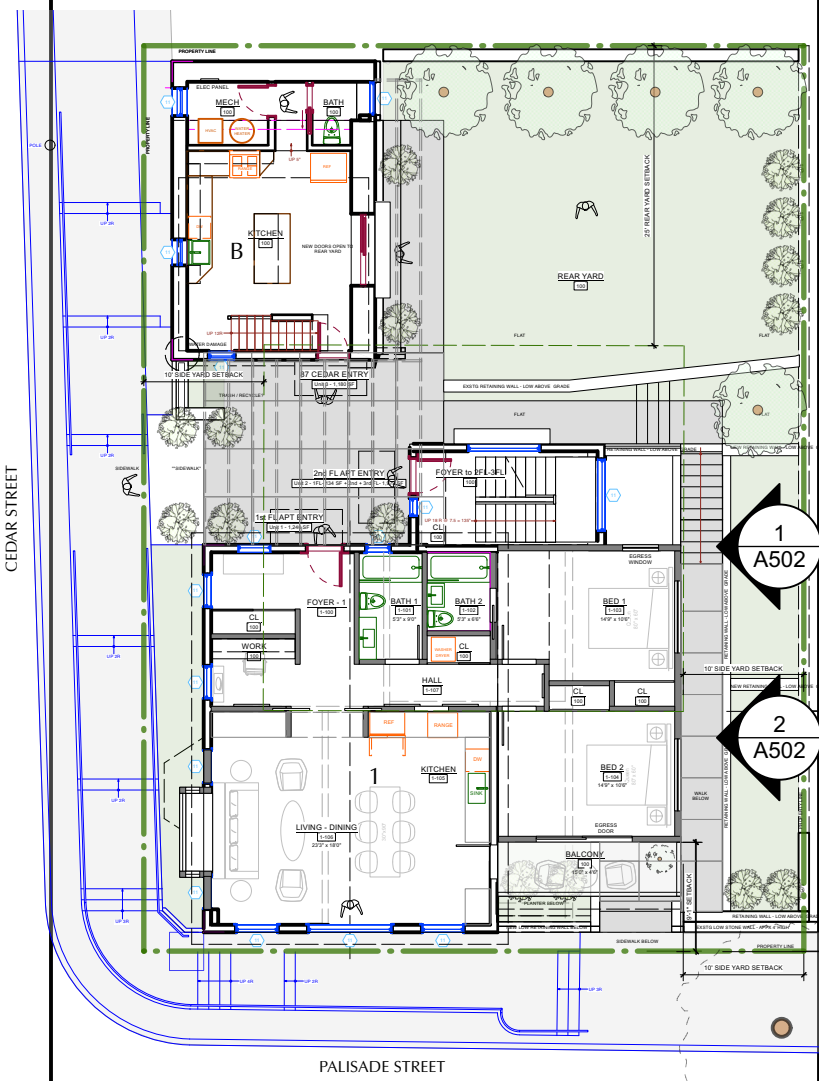








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6 KEY PLAN - ELEVATIONS  
Scale: 1/16" = 1'-0"

NO. REVISIONS DATE



NO.	ISSUE	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
2A	ZONING BOARD OF APPEALS	12/6/22

APPLICATION # A 2022 - 0449

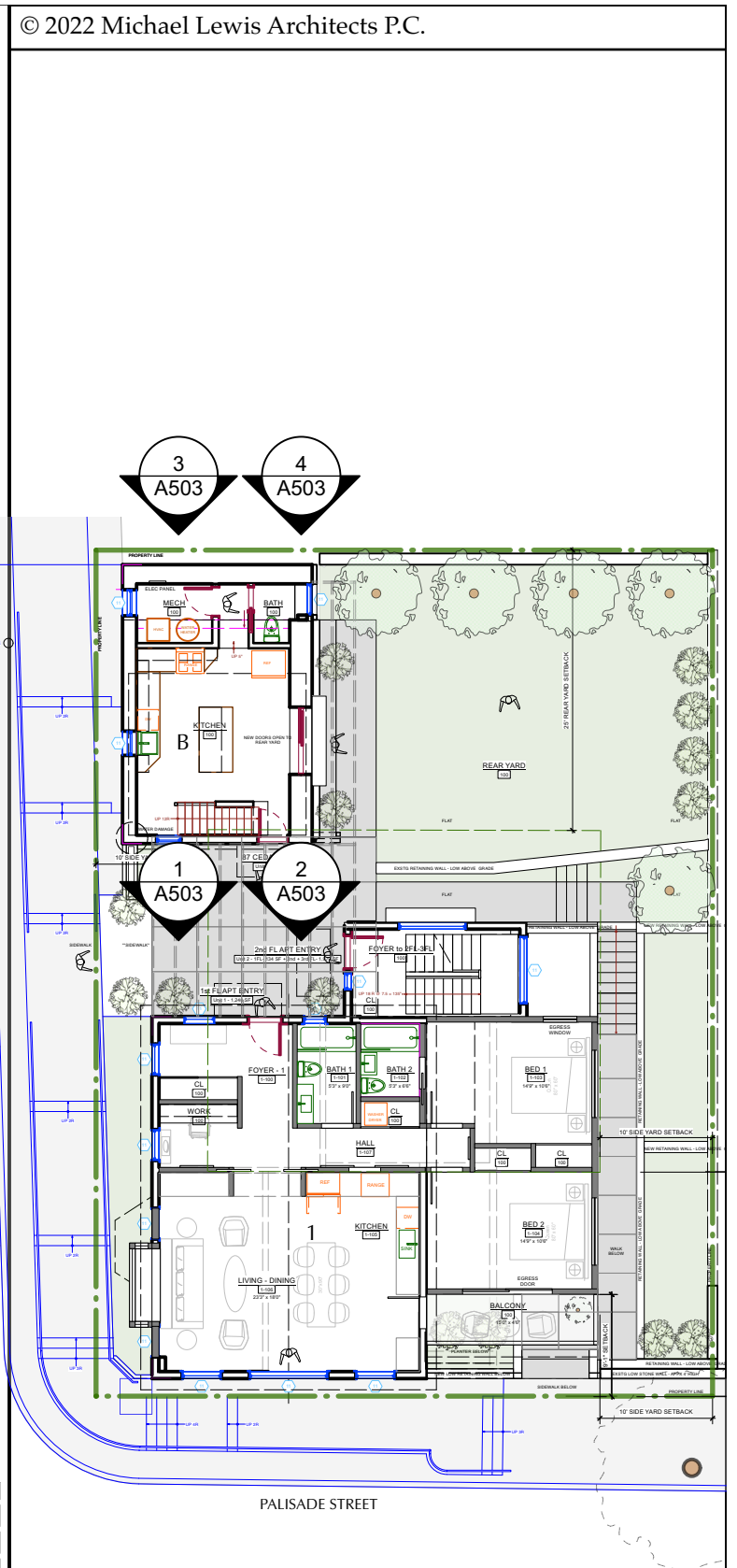
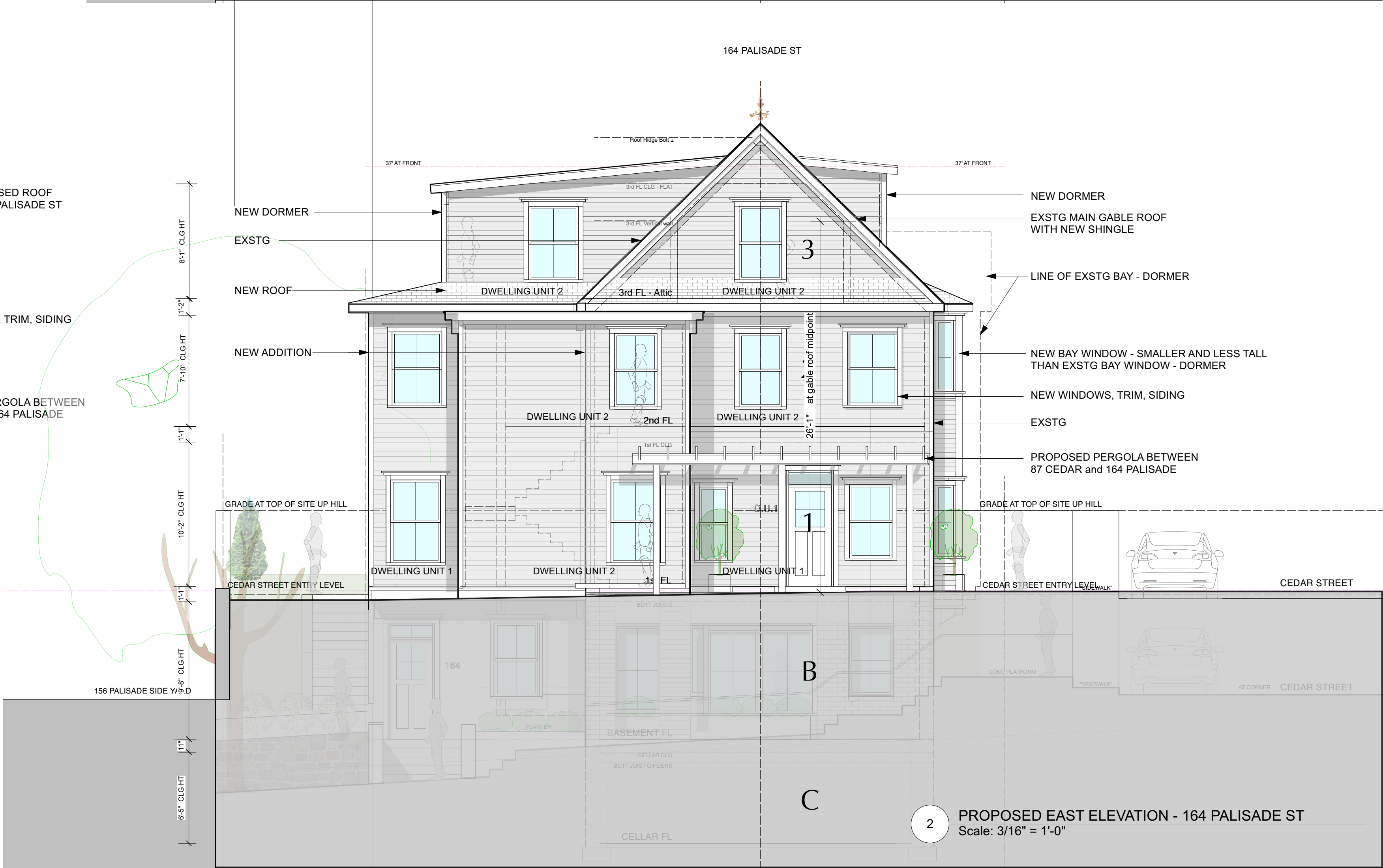
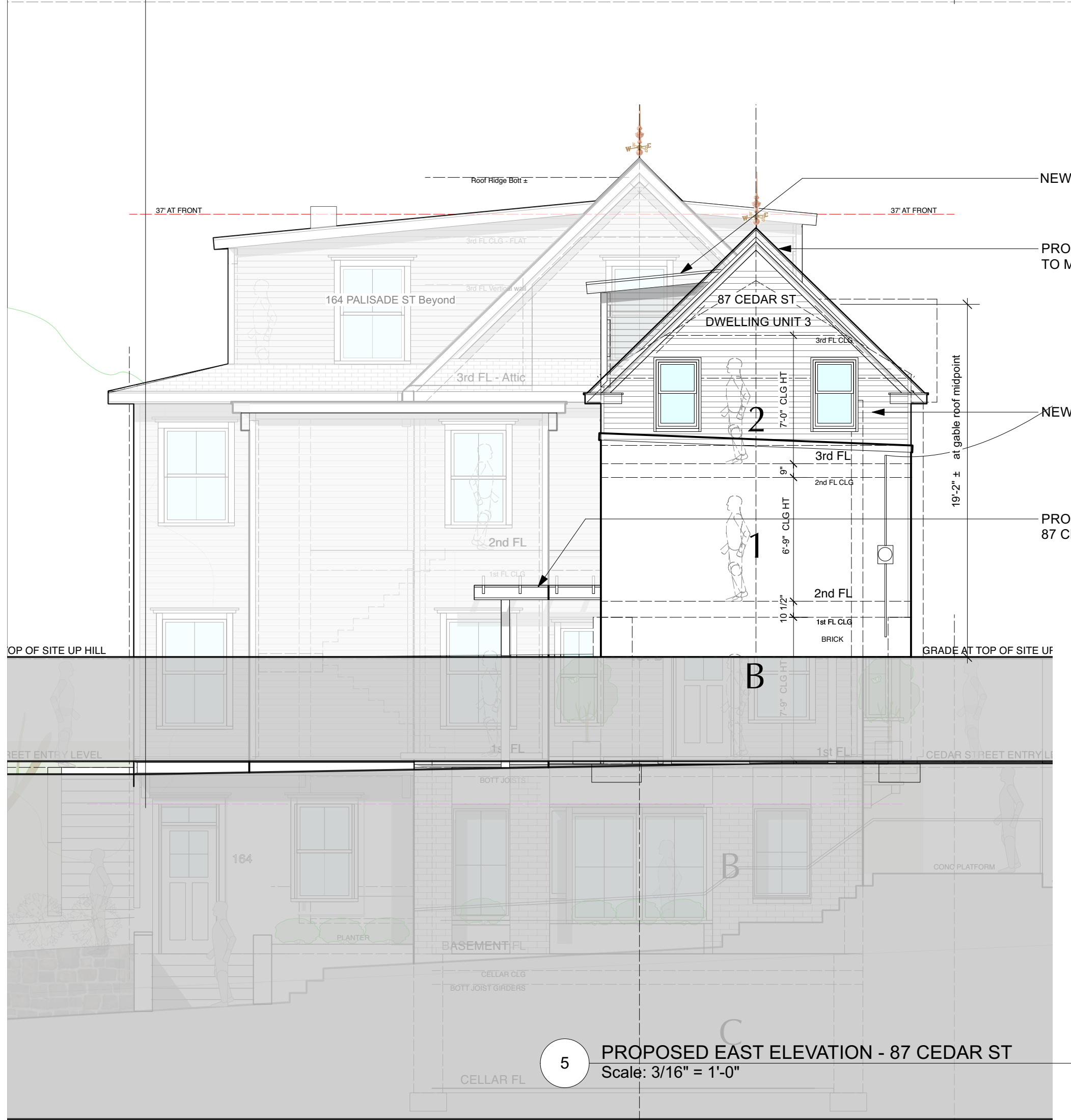
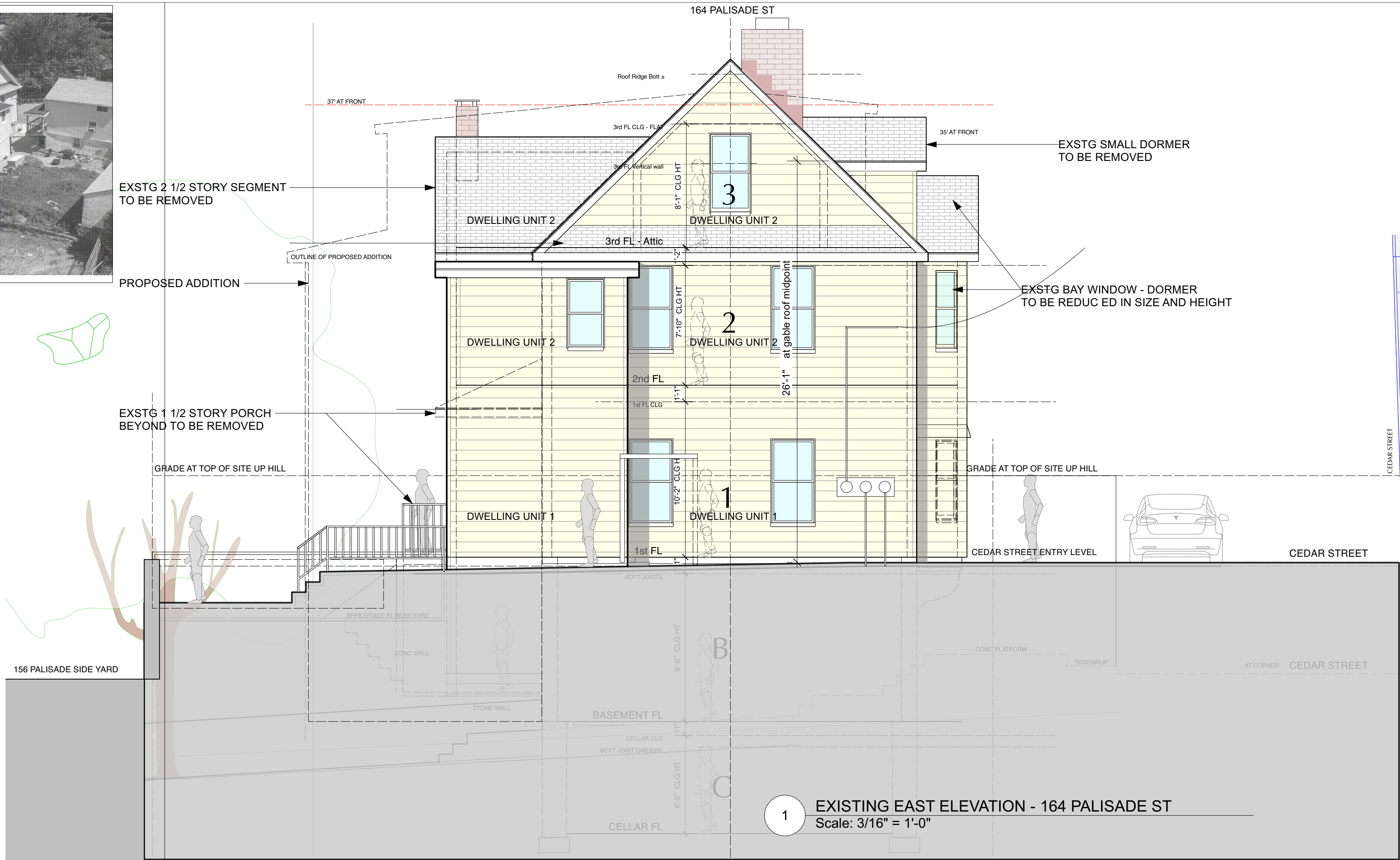
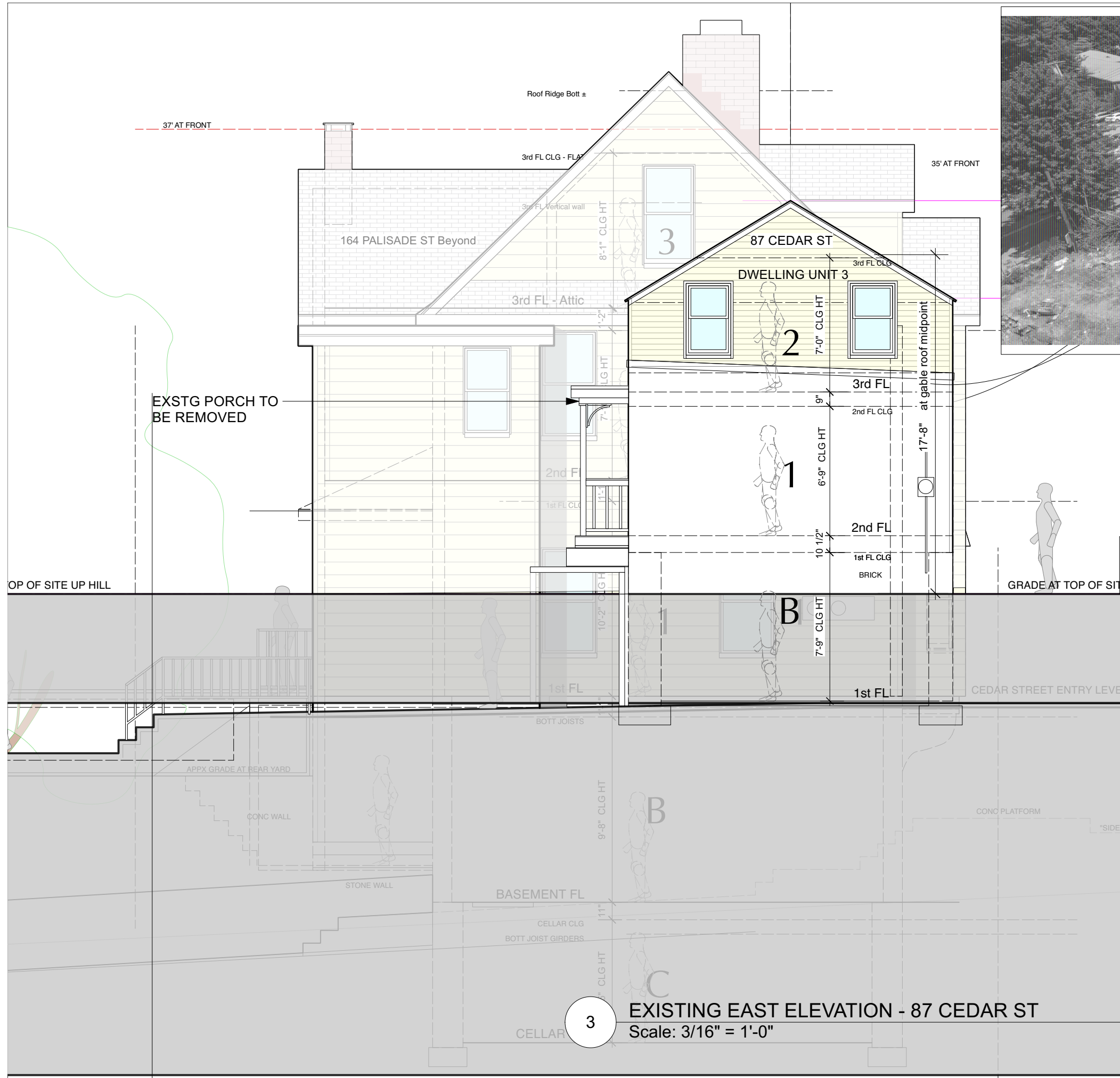
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PROJECT:  
164 PALISADE STREET  
DOBBS FERRY, NY 10522

DRAWING TITLE:  
SOUTH ELEVATIONS

FILE NAME:	
DRAWN BY:	PG
SCALE:	3/16" = 1'-0"
DATE:	12/6/22
PROJECT ID:	2213A
DRAWING NUMBER	<b>A-502.00</b>





6 KEY PLAN - ELEVATIONS  
Scale: 1/16" = 1'-0"

NO.	REVISIONS	DATE
1A	INITIAL PERMIT FILING	9/22/22
1B	INITIAL PERMIT FILING - REVISED	11/3/22
1C	INITIAL PERMIT FILING - REVISED	11/10/22
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PROJECT:  
164 PALISADE STREET  
DOBBS FERRY, NY 10522

DRAWING TITLE:  
EAST ELEVATIONS

FILE NAME:	DRAWN BY:	PG	DRAWING NUMBER
SCALE:	3/16" = 1'-0"		A-503.00
DATE:	12/6/22		
PROJECT ID:	2213A		