



1 NORTHEAST VIEW FROM DEVOE STREET (PROJECT LOCATION)



2 NORTHWEST VIEW FROM DEVOE STREET (PROJECT LOCATION)



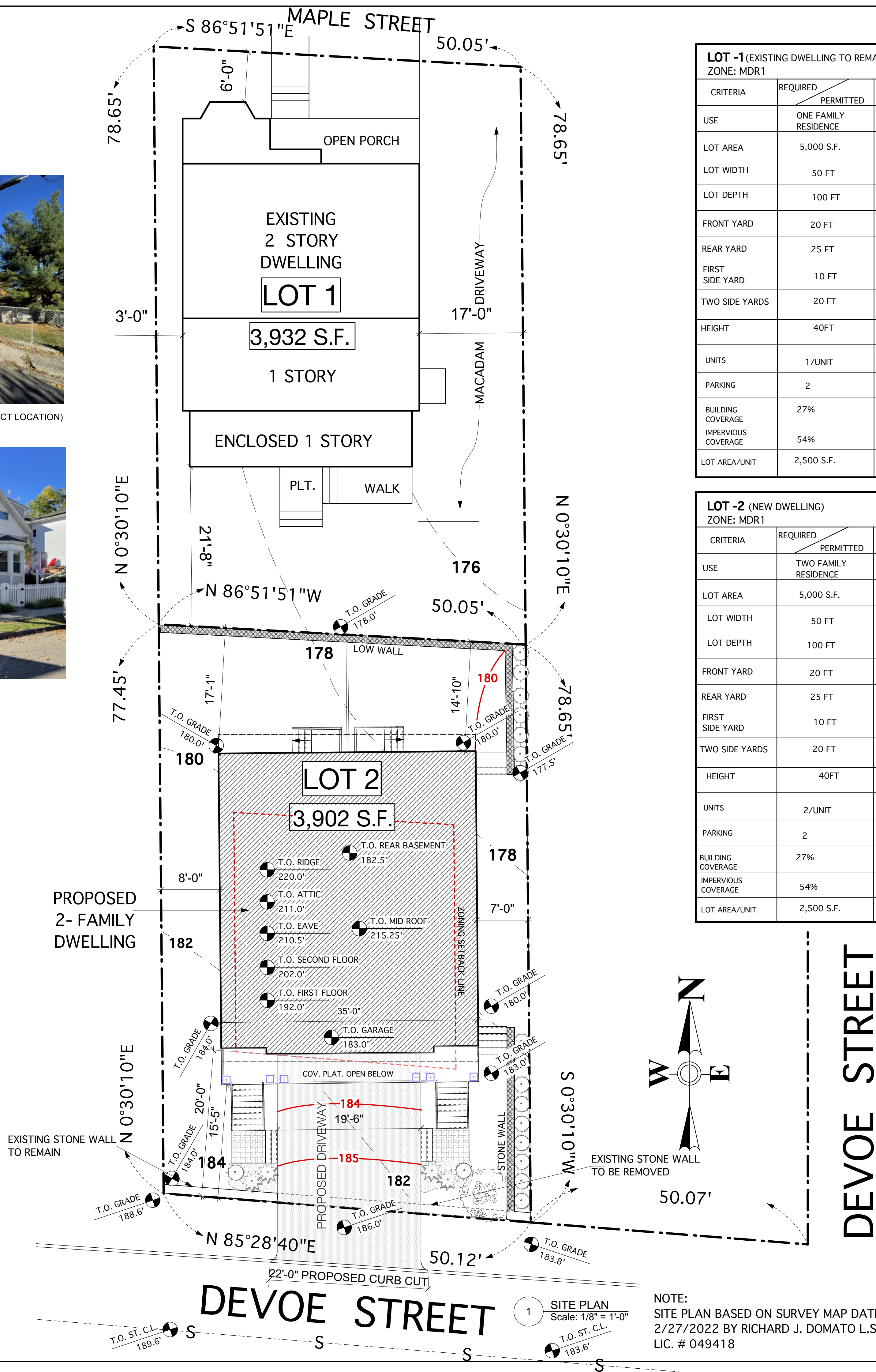
3 WEST VIEW FROM DEVOE STREET



4 86 MAPLE STREET (DWELLING TO REMAIN)



GIS MAP VIEW

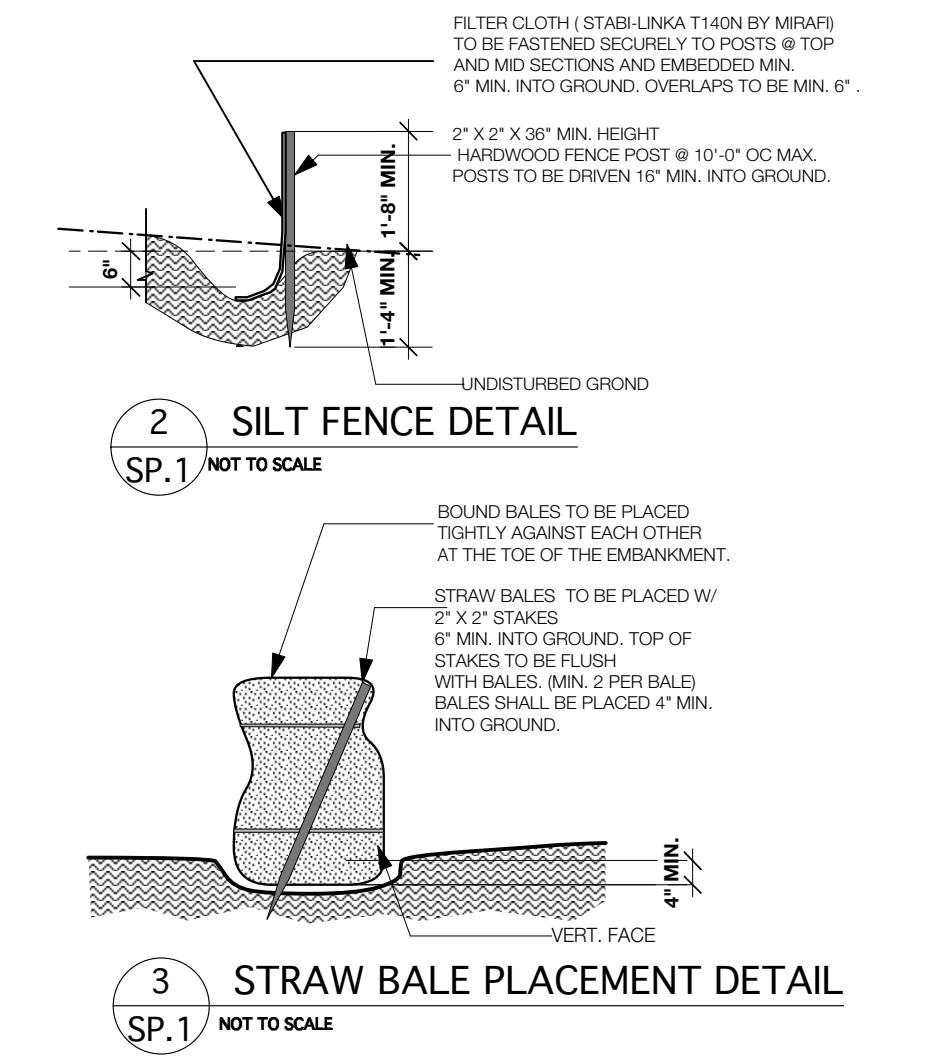


| LOT -1 (EXISTING DWELLING TO REMAIN) |                      |                      |               |
|--------------------------------------|----------------------|----------------------|---------------|
| ZONE: MDR1                           |                      |                      |               |
| CRITERIA                             | REQUIRED             | PROPOSED             | VARIANCE REQ. |
| USE                                  | ONE FAMILY RESIDENCE | ONE FAMILY RESIDENCE | PERMITTED     |
| LOT AREA                             | 5,000 S.F.           | 3,932 S.F.           | YES           |
| LOT WIDTH                            | 50 FT                | 50.05 FT             | PERMITTED     |
| LOT DEPTH                            | 100 FT               | 78.65 FT             | YES           |
| FRONT YARD                           | 20 FT                | 6'-0"                | NO CHANGE     |
| REAR YARD                            | 25 FT                | 21'-8"               | YES           |
| FIRST SIDE YARD                      | 10 FT                | 3'-0"                | NO CHANGE     |
| TWO SIDE YARDS                       | 20 FT                | 20'-0"               | NO CHANGE     |
| HEIGHT                               | 40FT                 | -----                | NO CHANGE     |
| UNITS                                | 1/UNIT               | 1/UNIT               | PERMITTED     |
| PARKING                              | 2                    | 2                    | PERMITTED     |
| BUILDING COVERAGE                    | 27%                  | +/- 35.9%            | YES           |
| IMPERVIOUS COVERAGE                  | 54%                  | +/- 65.1%            | YES           |
| LOT AREA/UNIT                        | 2,500 S.F.           | 1,966 S.F.           | YES           |

| LOT -2 (NEW DWELLING) |                      |                      |           |
|-----------------------|----------------------|----------------------|-----------|
| ZONE: MDR1            |                      |                      |           |
| CRITERIA              | REQUIRED             | PROPOSED             | REMARKS   |
| USE                   | TWO FAMILY RESIDENCE | TWO FAMILY RESIDENCE | PERMITTED |
| LOT AREA              | 5,000 S.F.           | 3,902 S.F.           | YES       |
| LOT WIDTH             | 50 FT                | 50.12 FT             | PERMITTED |
| LOT DEPTH             | 100 FT               | 77.45 FT             | YES       |
| FRONT YARD            | 20 FT                | 20 FT                | PERMITTED |
| REAR YARD             | 25 FT                | 14.83'               | YES       |
| FIRST SIDE YARD       | 10 FT                | 7 FT                 | YES       |
| TWO SIDE YARDS        | 20 FT                | 15 FT                | YES       |
| HEIGHT                | 40FT                 | 33.25 FT             | PERMITTED |
| UNITS                 | 2/UNIT               | 2/UNIT               | PERMITTED |
| PARKING               | 2                    | 4                    | PERMITTED |
| BUILDING COVERAGE     | 27%                  | 40.3%                | YES       |
| IMPERVIOUS COVERAGE   | 54%                  | 53.6%                | PERMITTED |
| LOT AREA/UNIT         | 2,500 S.F.           | 1,951 S.F.           | YES       |

| LEGEND |                      |  |
|--------|----------------------|--|
| ---    | PROPERTY LINE        |  |
| ---    | EXISTING CONTOUR     |  |
| ---    | PROPOSED CONTOUR     |  |
| ---    | ZONING SETBACK LINES |  |
| ---    | ITEMS TO BE REMOVED  |  |


- SOIL EROSION NOTES:**
- PRIOR TO STARTING ANY CONSTRUCTION, TEMPORARY SILT TRAPS, SEDIMENTATION FENCES AND OTHER APPROVED SOIL CONTROL MEASURES SHALL BE PLACED AS REQUIRED. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED WHERE DEEMED NECESSARY TO SUPPLEMENT THE EROSION CONTROL DETAILS AS SHOWN ON THIS DRAWING.
  - CONTRACTOR SHALL TAKE EXTRA CARE WITH RESPECT TO LAND EXPOSED DURING DEVELOPMENT. THE EXPOSED LAND AREA SHALL BE KEPT TO A MIN. TIME PERIOD. PERMANENT SITE IMPROVEMENT METHODS AND STRUCTURES SHALL TAKE PLACE AT THE EARLIEST POSSIBLE OPPORTUNITY.
  - CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SOIL EROSION FENCES AS PER REQUIREMENTS OF MUNICIPAL AUTHORITIES HAVING JURISDICTION THEREOF.
  - CONTRACTOR SHALL KEEP ALL PUBLIC AND PRIVATE ADJOINING AREAS CLEAR OF SEDIMENTATION DEBRIS. HE SHALL BRUSH CLEAN ALL DEBRIS FROM SIDEWALKS AND STREETS AT THE END OF EACH WORK DAY.
  - METHODS FOR OPEN EXCAVATION EMBANKMENTS NOT REQUIRING SILT FENCES OR STRAW BALES CAN BE EMPLOYED SUBJECT TO SOIL CONDITIONS AND WHERE SLOPES DO NOT EXCEED A PITCH OF 8" IN 12". LOOSE STONE AND ROCK SHALL BE REMOVED FROM SITE, COMPACTED AND SEED TOP SOIL SHALL BE INSTALLED FOR SOIL PROTECTION.
  - THIS ARCHITECT AND OR ENGINEER HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION RELATED TO THE WORK THEREOF.
  - ALL WORK SHALL MEET THE WESTCHESTER COUNTY REQUIREMENTS



- DEMOLITION:**
- CONTRACTOR SHALL DO ALL DEMOLITION REQUIRED FOR THE COMPLETION OF WORK SHOWN ON DRAWINGS.
  - HE SHALL ALLOW NO DEBRIS TO ACCUMULATE AND SHALL HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE.
  - HE SHALL PROVIDE PROTECTION OF ALL ADJACENT OR NEIGHBOURING PROPERTY FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST. HE SHALL PROTECT UTILITY LINES AS REQUIRED.
- SHORING AND BRACING:**
- CONTRACTOR SHALL PROTECT SITE FROM CAVING AND SOIL MOVEMENT. HE SHALL LOCATE SYSTEMS TO CLEAR PERMANENT CONSTRUCTION AND TO PERMIT FORMING AND FINISHING OF CONCRETE SURFACES.
  - CONTRACTOR SHALL LOCATE BRACING TO CLEAR COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER PERMANENT WORK. INSTALL NEW BRACE PRIOR TO REMOVING OLD BRACE.

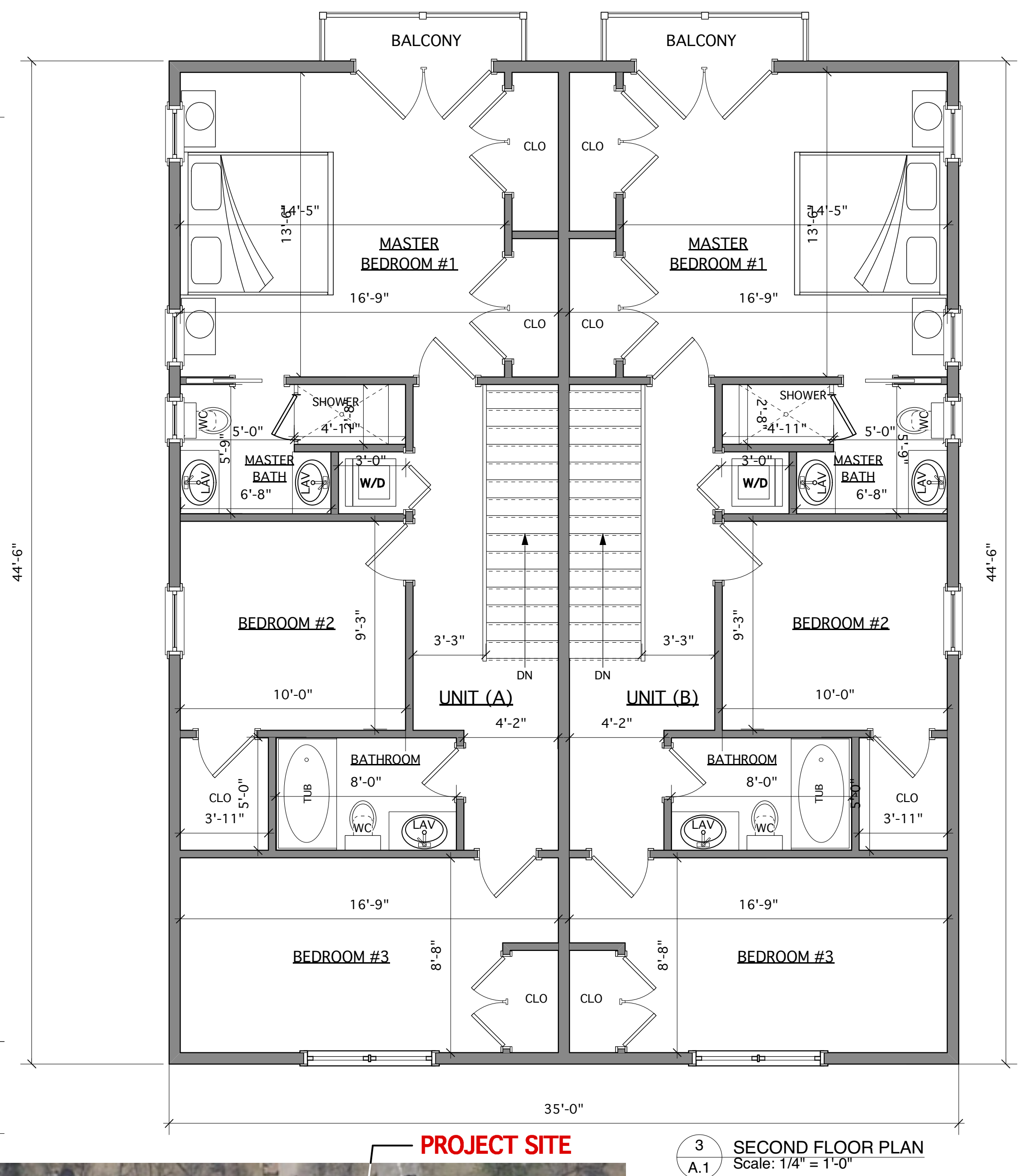
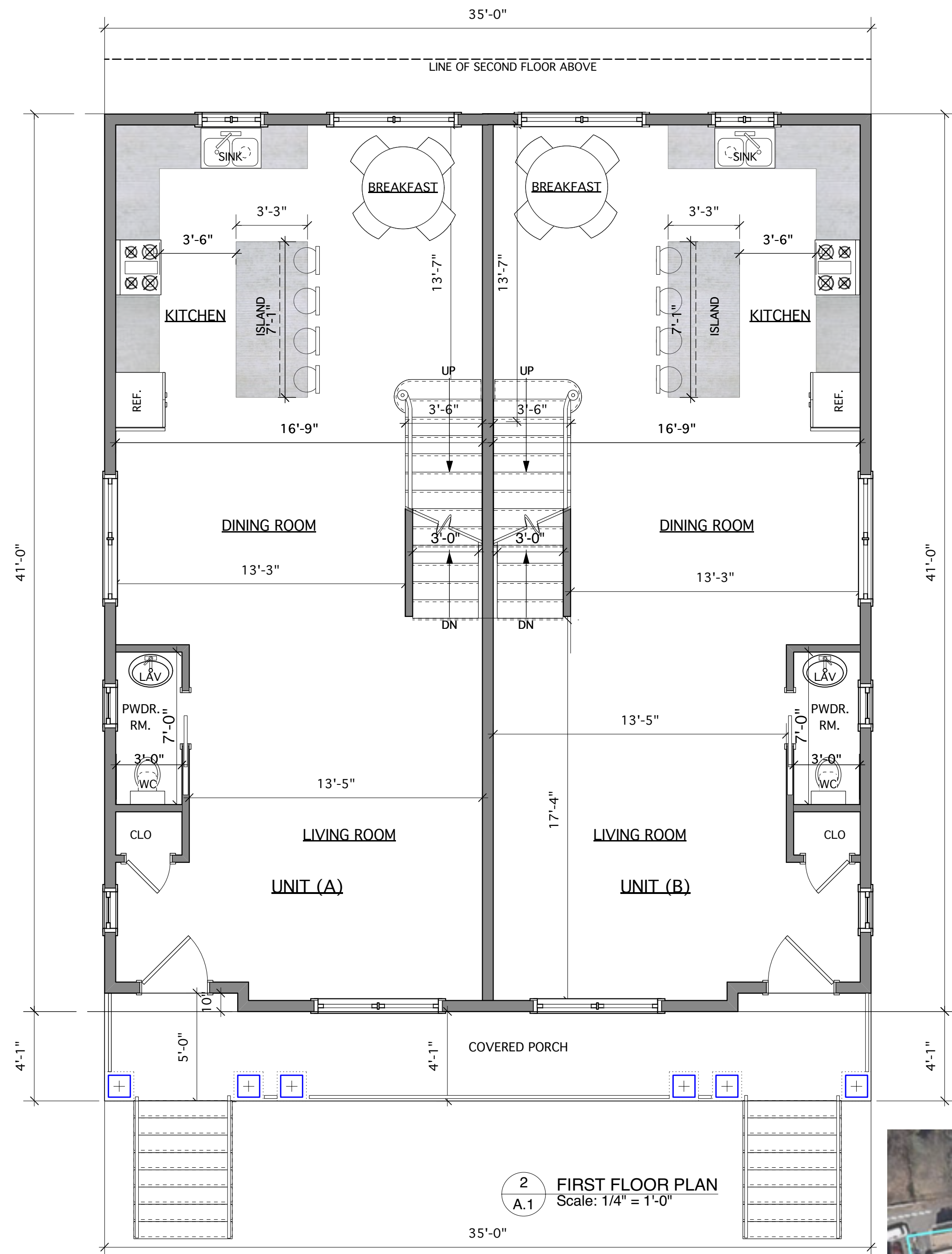
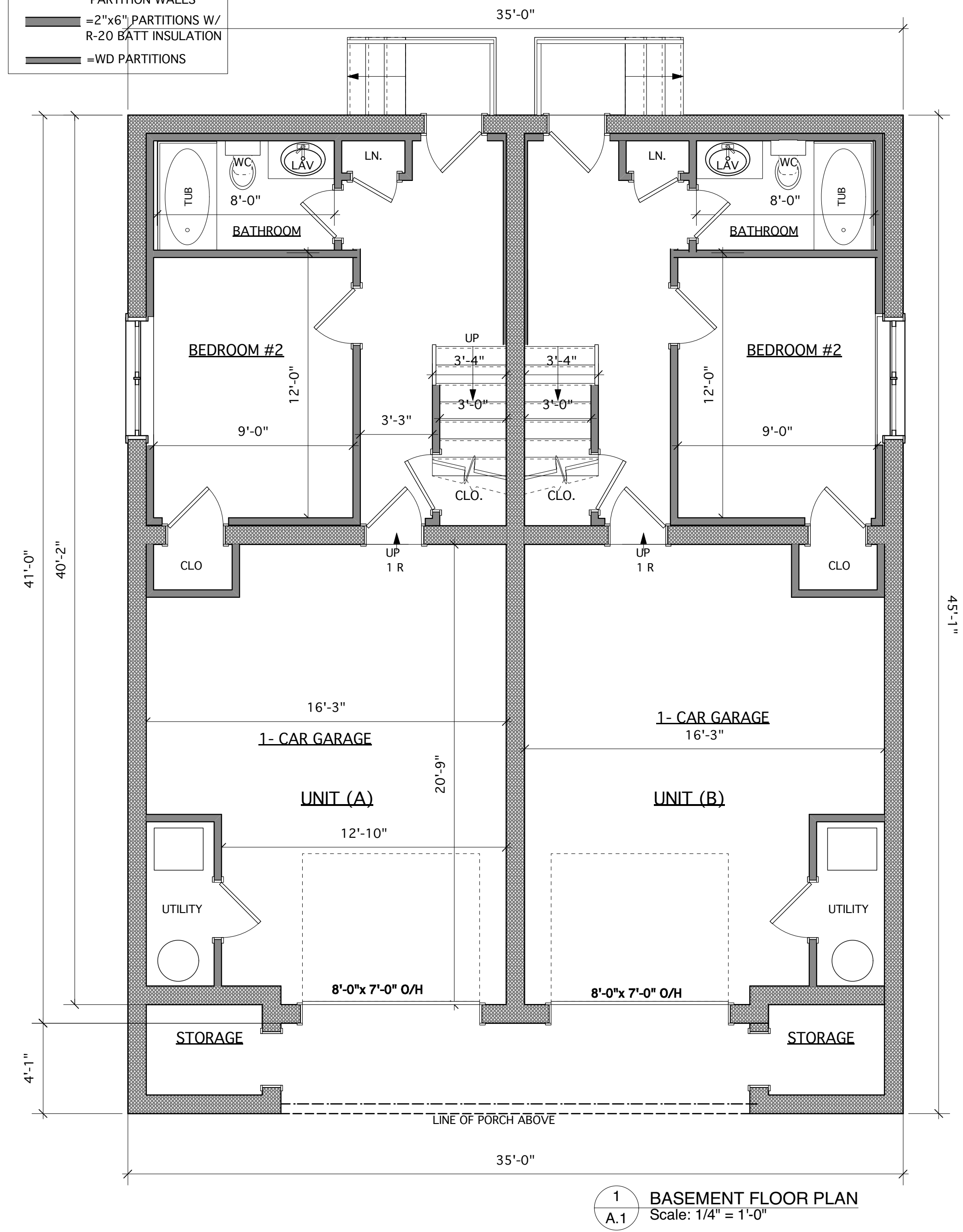


**TWO LOT SUBDIVISION**  
**(NEW 2-FAMILY DWELLING)**  
86 MAPLE STREET  
DOBBS FERRY, NY 10522  
SECTION: 3.90 BLOCK: 51 LOT(S): 2 ZONE: MDR1

|                                |          |      |                                                                                                                                                     |
|--------------------------------|----------|------|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| SITE PLAN, NOTES, &<br>DETAILS |          |      | <br>SEAL                                                       |
| ZONING PLAN                    |          |      |                                                                                                                                                     |
| NO.                            | REVISION | DATE | PROJECT ID/DATE: 2209 / 3.18.22<br>SHEET SCALE: AS NOTED<br><br><b>SP.1</b><br><br>DRAWN BY: <u>AM</u> CHECKED BY: <u>MM</u><br>PLOT DATE: 10/26/22 |
|                                |          |      |                                                                                                                                                     |
|                                |          |      |                                                                                                                                                     |
|                                |          |      |                                                                                                                                                     |
|                                |          |      |                                                                                                                                                     |
|                                |          |      |                                                                                                                                                     |
|                                |          |      |                                                                                                                                                     |



| PARTITION LEGEND |                                           |
|------------------|-------------------------------------------|
|                  | =MASONRY WALL                             |
|                  | =BEARING WD PARTITION WALLS               |
|                  | =2"x6" PARTITIONS W/ R-20 BATT INSULATION |
|                  | =WD PARTITIONS                            |



1 33 DEVOE ST



2 41 & 43 DEVOE ST



3 40 DEVOE ST



4 46 DEVOE ST



**COMMUNITY DESIGNS**  
ENGINEERING D.P.C.  
439 WHITE PLAINS RD  
EASTCHESTER NY 10709  
(914) 346-5616  
CDESIGNSENGINEERING@GMAIL.COM

**TWO LOT SUBDIVISION**  
**(NEW 2-FAMILY DWELLING)**  
86 MAPLE STREET  
DOBBS FERRY, NY 10522  
SECTION: 3.90 BLOCK:51 LOT(S):2 ZONE: MDR1

ZONING PLAN

SEAL

| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |
|     |          |      |
|     |          |      |
|     |          |      |

PROJECT ID/DATE : 2209 / 3.18.22  
SHEET SCALE: AS NOTED  
**A-1**  
DRAWN BY: AM CHECKED BY: MM  
PLOT DATE: 10/26/22





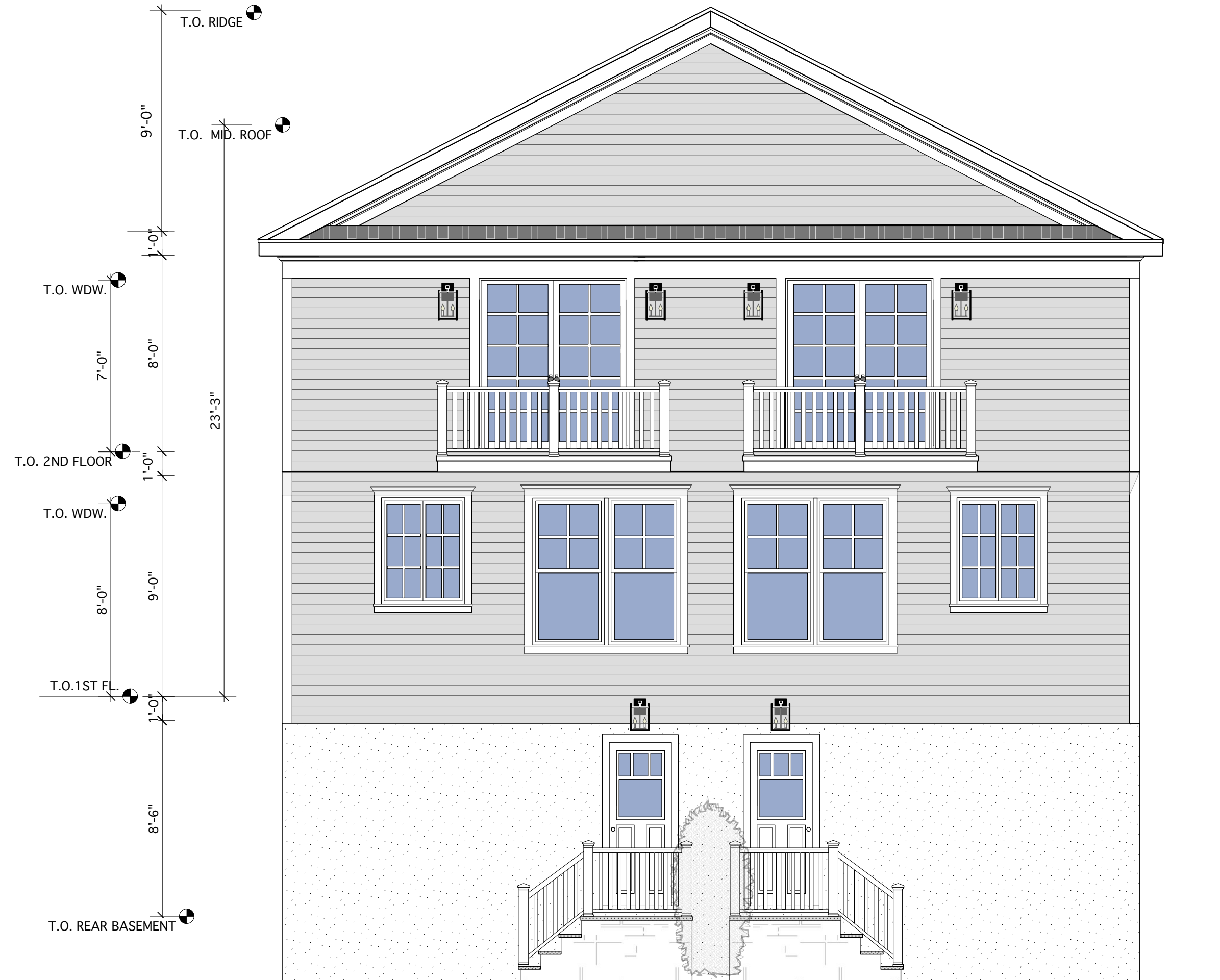
2 RIGHT SIDE ELEVATION  
A.2 Scale: 1/4" = 1'-0"



4 LEFT SIDE ELEVATION  
A.2 Scale: 1/4" = 1'-0"



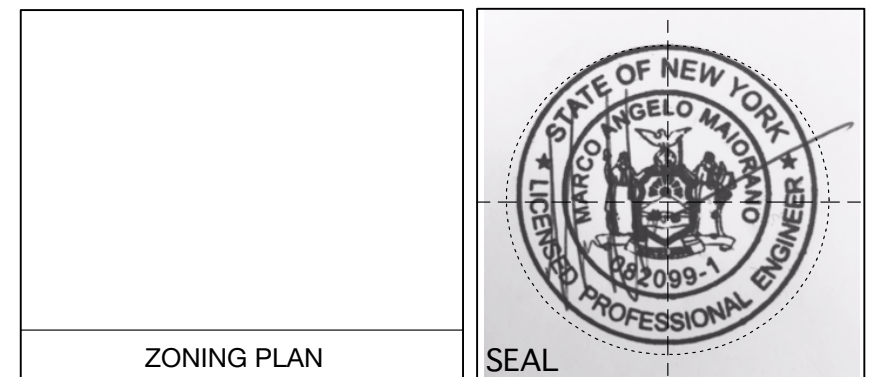
1 FRONT ELEVATION  
A.2 Scale: 1/4" = 1'-0"



3 REAR ELEVATION  
A.2 Scale: 1/4" = 1'-0"



**TWO LOT SUBDIVISION  
(NEW 2-FAMILY DWELLING)**  
86 MAPLE STREET  
DOBBS FERRY, NY 10522  
SECTION: 3.90 BLOCK:51 LOT(S):2 ZONE: MDR1



| NO. | REVISION | DATE |
|-----|----------|------|
|     |          |      |
|     |          |      |
|     |          |      |
|     |          |      |
|     |          |      |
|     |          |      |
|     |          |      |
|     |          |      |
|     |          |      |

PROJECT ID/DATE : 2209 / 3.18.22  
SHEET SCALE: AS NOTED  
**A.2**  
DRAWN BY: AM CHECKED BY: MM  
PLOT DATE: 10/26/22