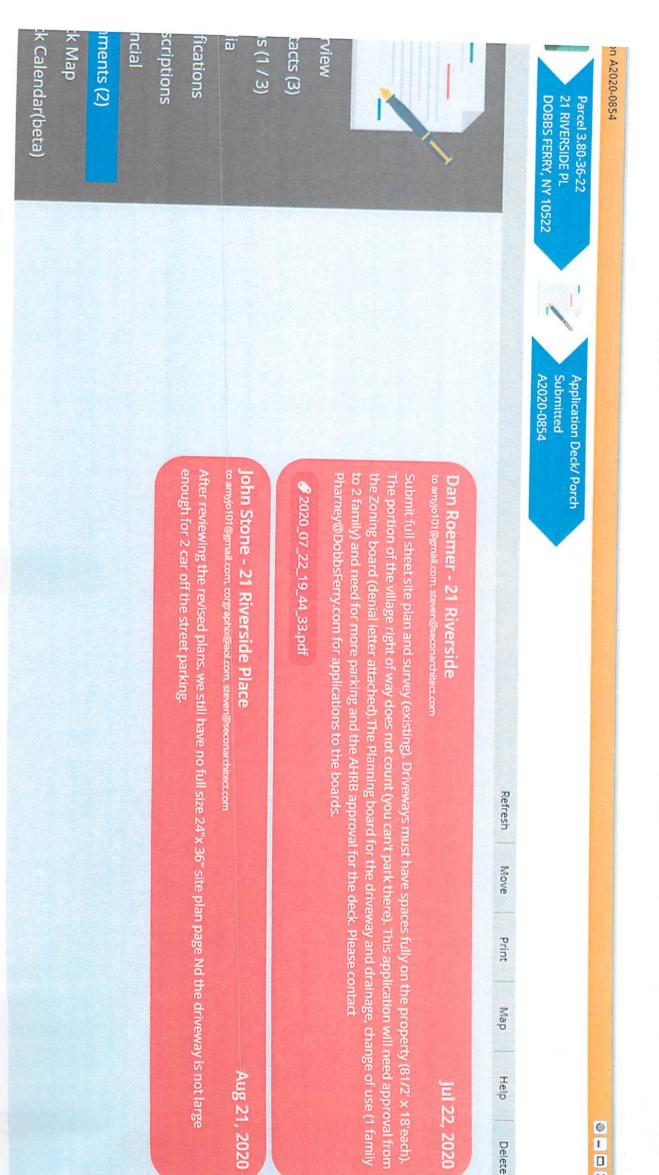
Subject:

Sent from Snipping Tool





112 Main Street Dobbs Ferry, New York 10522 TEL: (914) 231-8500

Affidavit of Notice

I
Attest to the fact that I have sent via Certified Mail, the attached letter to all the
neighboring properties within a 200' radius of the subject property
at:
And have attached the mailing list I received from the Tax Assessor's office
located at 177 Hillside Ave. White Plains, NY 10607. Contact person Anthony
Fabrizzio 914-993-1522 or afabrizio@greenburghny.com
I have noticed for the following review boards; O Board of Trustees O Planning Board O Zoning Board of Appeals O Architectural & Historic Review Board
I understand that it is my responsibility to retain Post Office proof of these mailings, should any of the listed properties claim they were aggrieved by this project and believe they were not properly noticed.
Applicant signature: Witnessed by Notary:

Date
Via Certified Mail
Dear Neighbor:
This is a notification that the owner of the property located at:
*
Has filed an application with the Village of Dobbs Ferry to do the following:
The applicant will present the proposal to the following checked Board/Boards at their next available meeting, please check the calendars and agendas on the village web site for the exact date they will first appear before the board:
 Board Of Trustees; meet 2nd & 4th Tuesdays at 7:30 PM Planning Board; meet 1st Thursday at 8:00 PM Zoning Board of Appeals; meet 2nd Wednesday at 8:00 PM Architectural & Historic Review Board; meet 2nd & 4th Mondays at 8:00 PM
The meetings are held in the Village Board room located at 112 Main St and the plans are on file at the Building Department. Any comments or questions pertaining to this application should be voiced at the appropriate board meeting.
Owner name:

.



Building Department
112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8511 • <u>Droemer@dobbsferry.com</u> •FAX: (914) 693-3470

10/5/2020

Amy Jo Neill 21 Riverside Place Dobbs Ferry, NY 10522

Re: 21 Riverside Pl.

S/B/L 3.80-36-22

Dear Ms Neill,

Pursuant to a review of the submitted proposed plans to construct a new deck, the following determinations were made.

The property is located in the MDR-1 Zone. Requiring two variances.

- 1. The required rear yard setback is 25' the proposed setback is 8.1', Thus requiring a variance for 16.9' at the rear yard.
- 2. The required front yard setback is 20' the proposed setback is 18.2, Thus requiring a variance for 1.8' at the front yard.
- 3. The required parking in the MDR-1 zone, for one and two families is two spots per dwelling units. You have one existing and provided one parking spot. Thus requiring a variance from the zoning board or a waiver from the planning board for the one more additional parking spot.

For these reasons your proposal, as submitted, is denied pending zoning board review.

If you have any questions, please contact the Building Department at (914) 231-8511.

Respectfully,

Dan Roemer

Building Inspector



112 Main Street Dobbs Ferry, New York 10522 TEL: (914) 231-8500

Affidavit of Notice

IAmy Jo Neill
Attest to the fact that I have sent via Certified Mail, the attached letter to all the neighboring properties within a 200' radius of the subject property at: 21 Riverside Place
And have attached the mailing list I received from the Tax Assessor's office located at 177 Hillside Ave. White Plains, NY 10607. Contact person Anthony Fabrizzio 914-993-1522 or afabrizio@greenburghny.com
I have noticed for the following review boards; O Board of Trustees O Planning Board O Zoning Board of Appeals O Architectural & Historic Review Board
I understand that it is my responsibility to retain Post Office proof of these mailings, should any of the listed properties claim they were aggrieved by this project and believe they were not properly noticed.
Applicant signature: Witnessed by Notary:

Date
Via Certified Mail
Dear Neighbor:
This is a notification that the owner of the property located at:
❖ 21 Riverside Place
Has filed an application with the Village of Dobbs Ferry to do the following:
Enlarge / rebuild deck, create additional off-street parking
The applicant will present the proposal to the following checked Board/Boards at
their next available meeting, please check the calendars and agendas on the village web site for the exact date they will first appear before the board:
o Board Of Trustees; meet 2 nd & 4 th Tuesdays at 7:30 PM
Planning Board; meet 1 st Thursday at 8:00 PM Thursday
 Zoning Board of Appeals; meet 2nd Wednesday at 8:00 PM Architectural & Historic Review Board; meet 2nd & 4th Mondays at 8:00 PM
Architectural & Historic Review Board, Meet 2 & 4 Wondays at 8:00 PM
The meetings are held in the Village Board room located at 112 Main St and the plans are on file at the Building Department. Any comments or questions pertaining to this application should be voiced at the appropriate board meeting.
Owner name:
Amy Jo Neill

.;



112 Main Street Dobbs Ferry, New York 10522 TEL: (914) 231-8500

Affidavit of Notice

IAmy Jo Neill
Attest to the fact that I have sent via Certified Mail, the attached letter to all the neighboring properties within a 200' radius of the subject property at: 21 Riverside Place
And have attached the mailing list I received from the Tax Assessor's office located at 177 Hillside Ave. White Plains, NY 10607. Contact person Anthony Fabrizzio 914-993-1522 or afabrizio@greenburghny.com
I have noticed for the following review boards; O Board of Trustees O Planning Board O Zoning Board of Appeals O Architectural & Historic Review Board
I understand that it is my responsibility to retain Post Office proof of these mailings, should any of the listed properties claim they were aggrieved by this project and believe they were not properly noticed.
Applicant signature: Witnessed by Notary:

Date
Via Certified Mail
Dear Neighbor:
This is a notification that the owner of the property located at:
❖ 21 Riverside Place
Has filed an application with the Village of Dobbs Ferry to do the following:
Enlarge / rebuild deck, create additional off-street parking
change single family house to two-family house
The applicant will present the proposal to the following checked Board/Boards at
their next available meeting, please check the calendars and agendas on the
village web site for the exact date they will first appear before the board:
o Board Of Trustees; meet 2 nd & 4 th Tuesdays at 7:30 PM
Planning Board; meet 1 st Thursday at 8:00 PM Thursday
The meetings are held in the Village Board room located at 112 Main St and the
plans are on file at the Building Department. Any comments or questions
pertaining to this application should be voiced at the appropriate board meeting.
Owner name:
Amy Jo Neill

RULES OF THE ZONING BOARD OF APPEALS VILLAGE OF DOBBS FERRY, NEW YORK

- 1. Regular meetings of the Board are held on the second Wednesday of each month. Three members constitute a quorum for the transaction of any business.
- 2. Special meetings may be called by the Chairman at any time. Notice of such Special Meeting shall be given by mailing a notice thereof, addressed to each member at the address within the Village furnished by him for that purpose, at least three days before such meeting.
- 3. Any application to the Zoning Board of Appeals shall be made on forms prescribed by this Board. Four copies of the application must be filed with the Clerk of the Board, no later than 2:00 p.m., twenty-one (21) days prior to the date of the meeting at which the application shall be considered. The applicant shall be required to notify all owners of property within two hundred (200) feet of the subject property by certified mail, return receipt requested, at least ten (10) days prior to the meeting. Certification of noticing must be submitted to the Village Clerk's Office no later than 2:00 p.m. on the Friday preceding the meeting.
- 4. Every application or appeal must be accompanied by:
 - a. An accurate plot plan to scale, showing location of all existing structure.
 - b. Drawings showing the exact location, dimension and nature of construction of all proposed structures.

These requirements will ordinarily be best met with surveys and architect's drawings. The Board may require that surveys and/or drawings be prepared and signed by duly accredited surveyors, engineers, or architects.

- 5. The applicant is required to show proof of title to or legal interest in the premises by deed, or contract of sale, or other document.
- 7. The applicant is required to submit a completed Environmental Assessment Form in accordance with the State Environmental Quality Review Act (SEQR). The Department of Environmental Conservation has made this form available on its website -- www.dec.state.ny.us.
- 8. The applicant shall pay all fees and charges as prescribed from time to time by the Board of Trustees. By resolution of the Board of Trustees adopted on November 1, 1983, said fees and charges are as follows:
 - a. Two hundred dollars (\$200) upon filing the application.
 - b. Other expense reasonably necessary for review or processing of the application.

APPLICATION TO ZONING BOARD OF APPEALS VILLAGE OF DOBBS FERRY

Note:	Eight copi	ies of the ap ity-one (21)	plication days prio	must be filed r to the date o	with the Cler of the meeting	k of the Bo	ard, no later than 2:00
Date F	iled:	10 28 2	0		_		
Applic	ant's Name:	Steven S	Secon.	Arch	_Telephone:_	914 674	2950
_							5
The un		oplicant requ	ests a hear	ing before the	Zoning Board	of Appeals	based on the following:
	x_ A	ppeals decisi	on of Buil	ding Inspector	;	Sp	ecial Permit
propose The B engine	sed structure to and may recers, or archior contract rization contract	s. These require that surtects. Appli- of sale, or ained in the I	uirements veys and/ cant is req other do- Building Z	will ordinarily or drawings be puired to show cument. This coning Ordinar	prepared and proof of title to application ace:	signed by do or legal in or appeal i	s, and the nature of all and architect's drawings. buly accredited surveyors, attrest in the premises, by a made pursuant to the
	Article:_	300b	Section:_	Sch A S	ıbdivisions:	<u>Append</u> i	x b
The t	pasis of the nance is as fo	relief sough llows: (Set fe	at by the porth briefly	undersigned p	pursuant to the facts and use a	e provisions dditional she	of the Building Zoning eets if necessary).
				Applicant			
COU	TE OF NEW INTY OF W	YORK ESTCHEST) ER) ss	:	٠		
On 1 who there	this d came duly s eof and that t	ay of twom depose he same is tr	, 20 es and say ue to his/h	before messions that he/she refer own knowledge	e personally control of the personally control of the foregoing control of the personal of the	ame ing applicat	ion and knows the conten
					Notary Public		

PROJECT	LD.	NUMBER		

617.21 Appendix C State Environmental Quality Review SHORT ENVIRONMENTAL ASESSMENT FORM For UNLISTED ACTIONS Only

PART I-PROJECT INFORMATION (To be completed by Applicant or Project sponsor)
1. APPLICANT/SPONSOR Steven Secon, Arch. 2. PROJECT NAME Neill Residence Additions and Alterations
3. PROJECT LOCATION: Dobbs Ferry County Westchester
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc. or provide map)
21 Riverside Place.
5. IS PROPOSED ACTION: New Expansion Modification/Alteration
6. DESCRIBE PROJECT BRIEFLY:
Rebuild and expand rear deck, create additional off-street parking by
driveway expansion, change 1-family res into 2-family residence
7. AMOUNT OF LAND AFFECTED: Initially .001 acres Ultimately .001 acres
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS?
Yes Q No If No, describe briefly. variances required
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? Residential Industrial Commercial Agriculture Park/Forest/Open Space Other Describe:
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL
AGENCY (FEDERAL, STATE OR LOCAL)? State
bldg dept, eng dept, zoning bd, planning bd, arch. review bd
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL?
Yes Ok No If Yes, list agency name and permit/approval
The Carlot and the control of the co
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION?
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION?
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION?

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

PART II-ENVIRONMENTAL ASSESSMENT (To be completed by	
A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, P. FULL EAF.	ART 617.4? If yes, coordinate the review process and use the
O Yes O No_	•
WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED F negative declaration may be superseded by another involved ag U Yes U No	
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIA	TED WITH THE FOLLOWING: (Answers may be handwritten, if
legible) C1. Edisting air quality, surface or groundwater quality or production or disposal, potential for erosion, drainage or (r quantity, noise levels, existing traffic patterns, solid waste flooding problems? Explain briefly:
 C2. Aesthetic, agricultural, archaeological, historic or other character? Explain briefly. 	natural or cultural resources; or community or neighborhood
C3. Vegetation or fauna, fish, shellfish or wildlife species, sign briefly.	nificant habitats, or threatened or endangered species? Explain
C4. A community's existing plans or goals as officially adopted resources? Explain briefly.	d, or a change in use or intensity of use of land or other natural .
CS. Growth, subsequent development, or related activities like	ely to be induced by the proposed action? Explain briefly.
C6. Long term, short term, cumulative, or other affects not ide	entified in C1-C5? Explain briefly.
Other impacts (including changes in use of either quantity	or type of energy)? Explain briefly.
D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENT. A CEA? No	AL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF
E. 15 THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATION OF THE PROPERTY.	ED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
PART III—DETERMINATION OF SIGNIFICANCE (To be comple INSTRUCTIONS: For each adverse effect identified above, deb significant. Each effect should be assessed in connection with its (duration; (d) irreversibility; (e) geographic scope; and (f) magnit materials. Ensure that explanations contain sufficient detail to sho adequately addressed. If question D or Part II was checked yes, impact of the proposed action on the environmental characteristics of	remine whether it is substantial, large, important or otherwise (a) setting (i.e. urban or rural); (b) probability of occurring; (c) rude. If necessary, add attachments or reference supporting ow that all relevant adverse impacts have been identified and the determination and significance must evaluate the potential of the CFA.
Oneck this box if you have identified one or more potentially proceed directly to the FULL EAF and/or prepare a positive decision this box if you have determined based on the information.	large or significant adverse impacts which MAT occur. Then aration.
Name of Lead	d Agency .
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (If different from responsible officer)
Date	

FOUR PACKETS WITH ONE EARLY OF DOCUMENTS BÉLOW

(Note: In the event of joint tenancy, the singular will be construed as necessary)
The following documents <u>must</u> be submitted or the application will not be accepted:

1.	Copy of deed or contract of sale	X
2.	Application completely filled out	X
3.	Environmental Assessment form	X
4.	Survey of property	_ <u>x</u> _
5	Plans showing profiles of proposed alteration/addition	x4 COPIES + 1 DIFITAL
6.	Copy of denial from Building Inspector or Architectural Board of Review	<u>x</u>

Note: Certification of noticing to area property owners must be submitted to the Village Clerk's Office no later than 2:00 p.m. on the Friday preceding the meeting.

2 FRONT VIEW = 143 Fansade Street, Suite #403	MINI SPLIT SYSTEM WITH CONDENSER AND WALL CARTRIDGE UNITS, TEMP CONTROLS AND REQ. ACCESSORIES. LOCATE CONDENSER PER OWNER'S DIRECTION BUGTS ALL BUGTS STALL BE FARBICATED AND BISBLY INSTALLED WITH BEQUIDED BRASHS	DRAWINGS). OR JELDWEN INSULATED PREFINISHED DESIGN—PRO FIBERGLASS DOORS. SEE DOOR TYPES A INTERIOR DOORS ARE BASED ON "IELDWEN" INT. CRADE 1 3/8" THICK DANE!	18. MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR DIM. LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.	CKENED APRON.		
= ARCHITECT =	SPECIFIED. PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT.	ACTURERS ASSOCIATION OF ACTURERS ASSOCIATION OF ACTURED OF ACTUAL	17. PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL PARTITIONS.	ON 4" COMPACTED GRAVEL PER NATIONAL ASPHALT PAVEMENT ASSOCIATION STANDARDS. PAVING MIXTURE ASTM D351—5. AMBIENT TEMPERATURE TO BE ABOVE 40'T WHEN LAYING ASPHALT COURSES. PROVIDE BELGIAN BLOCK CURB SET IN FULL 6" MORTAR BED, TOOLED JOINTS. PROVIDE OPEN JOINTS WHERE NEEDED FOR DRAINAGE. DEPRESS CURB		
AS NOTED	TOOMS, KITCH	"YALE", SELF-CLODING HINGES-"BOMMER", SLIDING DOOR SETS & POCKET SLIDERS-"HAGER", WEATHERSTRIPING & THRESHOLDS-"PEMKO", DOOR STOPS & BIFOLD DOOR SETS- "STANLEY", FINISH AS SELECTED OR AS REQUIRED TO MATCH EXISTING.		ARCHITECT BEFORE PROCEEDIN ONE FOOT VERTICAL ASPHALT DRIVEWAY TO BE BUI	CEILING REGISTER (RETURN), WHITE	10
TE SCALE	NLERS BY NAVIE	CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW BEFORE PURCHASE 2. HARDWARE AS MANUFACTURED BY: HINGES-"STANLEY", LOCKSETS AND LATCHSETS-	TERMITE SHIELD AT BASE OF SILL PLATES. FULLY INSULATE RIM JOST CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACI	10. YEMPT CONCRETE HAS NOT EXCEEDED MAXIMUM ALLOWABLE MOISTORE CONTENT BY PRESCRIBED MOISTURE TESTING PER FLOORING MANUFACTURER DIRECTION. 17. BOTTOM OF CONCRETE FOOTINGS TO BE MIN. 12" BELOW LOCAL FROSTLINE AND BEAR ON 2 TON PSF MIN. UNDISTURBED SOIL. IF FIELD CONDITIONS ARE NOT SUFFICIENT, NOTIFY	CEILING DIFFUSER (SUPPLY), WHITE	
OUTLINE SPECIFICATIONS, SITE PLAN ZONING DATA, NOTES & LEGEND	SETBACKS ON PRECAST CONCRETE PADS. LOCATE REFRIGERANT LINES WITHIN EXTRA DEDICATED NON-FUNCTIONAL GUTTER LEADER. PROVIDE RUPTURE PANS AND ALARM AT EACH AHU. MINIMUM A/C SEER VALUE 16. CONDENSOR UNITS MUST MEET APPLICABLE NOISE DB	REQUIRED TO MATCH EXISTING. WINDOW HARDWARE FINISH AS SELECTED BY OWNER. TEMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW BEFORE PURCHASE. ALL WINDOWS TO BE WEATHER STRIPPED, FLASHED AND CAULKED. SIMULATED DIVIDED LITES UNLESS OTHERWISE SHOWN. PROVIDE TEMPERED GLASSS PER	14. INSTALL PRESSURE TREATED SILL PLATES AT TOP 1/2" DIA, 8" LONG ANCHOR BOLTS AT 6' O.C. MAX. C	GUIDELINES / COORDINATE RELATED FOR	HOSE BIB (FROST FREE)	
MUNI 1.D. # 3.80-36-22	PROVIDE 2 NEW HYDRO-AIR SYSTEMS BY CARRIER. 4 TON UNIT IN BASEMENT AND 3 TON UNIT IN ATTIC. SEPARATELY ZONE 1ST FL AND 2ND FL. PROVIDE WIFI ENABLED, SPROGRAMMABLE "NEST" THERMOSTATS. HVAC UNIT CAPACITIES ARE PRELIMINARY AND SHOULD SERVICE CONTRACTOR LOCATE CONTRACTOR LINE WITHIN BROBERTY LINE	 MINDOWS ARE MARVINOR ANDERSEN 400 SERIES WINDOWS, WOOD W/ VINYL CLAD ,ARGON INSUL. , LOW E (.28 U MAX., .18 SHGC) GLAZING WITH SCREENS, EXTENSION JAMBS AS REQ'D, (NOTE DIFFERENT WALL THK.'S). FINISH AS SELECTED BY OWNER OR A: 	13. DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRANCIS CHAIL BE IN ACCORDANCE WITH MANUE BECOMMENDATIONS	APPLY CURING COMPOUND. FINISH IN ACCORDANCE WITH ACI 318. 12. OBSERVE MINIMUM REBAR CONCRETE COVER PER ACI STANDARDS. 13. CONCRETE SHALL POSSESS A MAXIMUM SLUMP OF 3.5.". 14. PROVIDE ADECLIATE WEATHER PROTECTION FROM FXCESS COID. HEAT OR WIND PER A CI	FIRE EXTINGUISHER, A-B-C RATED 5 LB	HB
21 RIVERSIDE PLACE DOBBS FERRY, NY 10522	IO CONDITION THE NEW AND EXISTING SPACES TO 72 DEGREES INDOORS WHEN OUTSIDE TEMPERATURE REACHES 90 DEGREES, AND 70 DEGREES WHEN OUTSIDE TEMPERATURE REACHES 0 DEGREES. PROVIDE FLUSHABLE STEAM HUMIDIFIER.	8. OPENINGS (WINDOWS AND DOORS)	RUS-JOIST MCMILLAN INSTALLED PER M PLACARD WHERE REQUIRED BY AHJ	ENTRAINED 3 PROVIDE EXP	NIERCONNECIEU	
PROJECT NEILL RESIDENCE - ADDITION & ALTERATIONS -	IFFUSERS, DAMPERS AS REQUIR	TO FIT NEATLY AND SECURLY OVER SHINGLES TO REMAIN. 17. INSULATE MECHANICAL SERVICE LINES AND EQUIP IN ACCORDANCE WITH BEST INDICATES AND TRADE PRACTICES.	ZIP WALL WALL/ROOF SYSTEMS MAY BE USED IN LIEU IF INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.	10. PROVIDE REINFORCED CONCRETE UNDERPINNING AS REQUIRED TO 3'-6"BELOW GRADE.OR TO EQUALIZE DEPTHS OF NEW AND ADJACENT FOOTINGS TO PREVENT UNDERMINING. SEQUENCE 3' WIDE POURS TO AVOID DAMAGE TO STRUCTURE. 11 SLARS ON GRADE FOR WALKS OR PATIOS SHALL BE 4" (6" AT DRIVEWAYS) AIR-	HEAT DETECTOR HARDWIRED & INTERCONNECTED CARBON MONOXIDE DETECTOR, HARDWIRED &	°
4A 0.35 0.55 0.4 49 20 OR 13+5 8/13 19 10/13 10, 2FT 10/13 TABLE R402.1.4 EQUIVALENT U-FACTORS - 0.026 0.06 0.098 0.047 0.059 0.065	CESSED RADIATORS TO MATCH EXISTING. PROJECTION OF IT NITH INST	WARRANIY, PROVIDE: 3½" POLYISOCYANURAIE ROOF INSULAIION WIH COAIED FIBERGLASS FACER SHEETS CONSISTING OF 2 LAYERS; A 1½" LAYER ON THE DECK WITH A 2" TOP LAYER, 2 X 4 P.T. BLOCKING AT PERIMETER OF ROOF, EDGE TRIM .04" ALUMINUM WITH KYNAR FINISH. EDGING AT FRONT OF THE ROOF CUSTOM FABRICATED	ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA AFG-01. WARMBOARD FLOORS ARE SUITABLE FLOOR SHEATHING WHERE HYDRO-RADIANT HAS REFN SPECIFIED.	9. EXPANSION A THE HILTI CC ADHESIVE AN	SMOKE DETECTOR, DUAL SENSING PHOTO-VOLTAIC AND IONIZATION DETECTING, HARDWIRED & INTERCONNECTED) (<u>(</u>)
CUMATE FENESTRATION VALUE FENESTRATION AND FENESTRATION REQUIREMENTS BY COMPONENT TABLE R402.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT	23. HEATING VENTILATION AND AIR CONDITIONING (HVAC) ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED PROVIDE ACCESSIBLE SHUTOFF	16. LOW SLOPE ROOFING SYSTEM TO BE BY "FIRESTONE" OR EQUAL, 60 MIL BLACK FULLY ADHERED EPDM INSTALLED PER MANUF INSTRUCTIONS WITH 20 YEAR NDL FULLY ADHERED FOR THE STOCKHOLD	3 11. PLYWOOD SHEATHING SHALL BE $5/8$ " THICK RADIANT BARRIER CDX AT ROOFS $1/2$ " THICK CDX AT WALLS INDICATED, AND $3/4$ " THICK CDX AT FLOORS. ALL PLYWOOD SHALL BE APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION	7. SMOOTH WRE FABRIC REINFORMET SHALL BE IN COMPLIANCE WITH ASTM A185. SHEETS ONLY NO ROLLS, PER ACI ASTM A185. 8. GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 5,000 PSI.	ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES 3—WAY SWITCH) COORDINATE LOCATION WITH TRIM.	-
ECCC 2020 ECCC 2020 ECCL 2020 ECCL 2020	T TOP. CONTACT OWNER FOR	"GREAT STUFF" EXPANDABLE URETHANE SEALANT FOAM. 15. PROVIDE FIRE PUTTY SEALANT AT HOLES FOR PIPES, CONDUITS AND SIMILAR PENETTA TONS	REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSED WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185 PROCESS.	DEFORMED REINFORCING STE STANDARD DETAILS FOR HOW CONFORMANCE WITH THE "CONFORMANCE WITH "CONFORMANCE WITH THE "CONFORMANCE WITH "CONFORMANCE WITH "CONFOR	"PANASONIC" MODEL ### SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42"	÷ (
WEATHERING TERMITE FROST UNDERLAYT INDEX LINE DEPTH REQUIRED MODERATE TO 42" YES WAP 1 2000	JILT OF PERFORATED 4" PERFORATED PVC WRAPPED	OF MASONRY BACKUP FOR MASONRY CAVITY WALLS. USE PRIMER PLUS ONE COAT AT A RATE OF 1 GALLON/100 SF. 14. FILL ALL SMALL CAVITIES IN FRAMING, AND ANNULAR PIPE PENETRATIONS WITH	NAILS 4" O/C @ PANEL EDGES; MIN 16D NAILS 10. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TREATED PRESERVATIVE PRESSURF TREATMENT SHALL RE IN ACCORDANCE WITH THE	SHALL CONFORM TO ASTM C33; THE COARSE COMPONENT EITHER VENUSHED STONE. FINE AGGREGATE SHALL BE CLEAN NATURAL SAND MENT SHALL BE IN COMPLIANCE WITH ASTM C150, TYPE I	FANLIGHT, DUCT TO EXTERIOR, WET LOCATION	
CLIMATIC & GEOGRAPHIC DESIGN CRITERIA-CLIMATE ZONE 4A NO. DATE FLOOD BARRIER HAZARDS FREEZING ANNUAL NO. DATE FLOOD ARRAGE FROM BARRIER HAZARDS FREEZING ANNUAL	OWERED SUMP PUMP BY LIBERTY SJ10 OR EQUAL IN SUITABLE ESSORIES, PIPING. CONNECT TO PERIMETER FRENCH DRAIN AND CODE APPROVED DRAINAGE OUTLET. 1 PIT AND PUMP PER 1000	CONSISTING OF "BITUTHENE" 4000 (OR EQUAL) 60 MIL SHEET WITH 1/4" ASPHALTIC PROTECTION BOARD AND DIMPLED DRAINAGE BOARD. 13. APPLY COLD—APPLIED ASPHALT EMULSION DAMPPROOFING TO THE CAVITY FACE	 NAILING SCHEDULES SHALL BE AS FOLLOWS; UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS: PLYWOOD OVER JOISTS - 6" O/C; MIN 16D NAILS PLYWOOD OVER WALL STUDS - 6" O/C @ INTERIOR MEMBERS; MIN 16D 	1. THE DESIGN, MIXING, TRANSPORTING, AND CURING OF ALL STRUCTURAL CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", THE ACI. 2. STRUCTURAL CONCRETE SHALL POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3,000	TOURENCENT LIGHT FIX LAKEN WHITE TO LAMEN	
I.R.C. CODE INFORMATION 1	TO BE WHITE. FAUCETS	N WALLS	SIMPSON, USE COMPATIBLE NAILS AS RECOMENDED BY MANUF.		CLINDECOENT LICHT FIVTIDE WADA WHITE TO LAMBO	-
FOUNDATION WALLS FOUNDATION WALLS 10 X 50 SF. + .34 X 12 =:15 STEVEN SECON A I A	PROVIDE NEW KINNAI JANKLESS GAS WAIEK HEAIEK, HIGH EFFICIENCY POINT OF USE "RHEEM" ELECTRIC WATER HEATER, SIZED MIN 2.5 GPM. OR EQUAL. PROVIDE RECIRCULATING PUMP AS REQUIRED WITH THERMOSTATIC VALVE.	11. ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE", 40 YEAR, 3 TAB ARCH. ASPHALT ON 30# ROOF FELT AT SLOPES 3:12 AND OVER, USE ICE & WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS. BELOW 3:12 USE ICE & WATER SHIELD THROUGHOUT PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A.	ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION. 6. PLYWOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL I INT-DFPA" 7. PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL I EXT-DFPA" 8. JOIST VRAFTER HANGERS SHALL RE #18 GAGE GAI VANIZED STEEL LIND BY TECO OR	IF DI POSEI	SURFACE INCANDESCENT LIGHTING FIXTURE "REJUVENATION", MORELAND, #CC865, SHADE #018CE BRUSHED NICKEL FINISH, LED LAMPS	 ⊕
PROJECT COMPLIES WITH THE NEW YORK STATE ENERGY AND ERVATION CODE.	AND THE TANK I FEE CAS WATER HEATER, COORD. TANK I FEE CAS WATER HEATER, COORD. TANK I FEE CAS WATER HEATER HEATER TANK I FEE CAS WATER HEATER HEATER HEATER TANK I FEE CAS WATER HEATER HEATER HEATER HEATER TANK I FEE CAS WATER HEATER HEA	10. PROVIDE RIDGE VENT, CAVITY BAFFLES AND EAVE VENTS. $\frac{1}{300}$ MIN. VENT TO SF RATIO.	F(C) = 325 PSI(PERPEN) F(C) = 825 PSI(PARA) 3. ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%. 4. SILLS, NAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE. 5. THE DESIGN TRANSPORTATION AND EDECTION OF ALL DESIGNOR SHALL BE IN	AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE WORK. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION. ITEMS TO BE SALVAGED FOR RE-USE OR KEEPSAKE SHALLBE PENOVED. TO THE FILL EYENT BOSSIBLE IN CAREFULL NOW, DESTRUCTIVE MANNIER	RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE, "PROGRESS" OR EQ., 1500 MIN. LUMEN LAMP, 3000 K WHITE TRIM	Q
OUNDATION WALL .15 .047 THE REST OF MY KNOWLEDGE RELIEF AND DROFFSSIONAL	ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED IF NEEDED. PROVIDE ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES.	9. PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO DRYWELLS (V.I.F.) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS. PROVIDE CORRUGATED HDPF BOOT AT GRADE TO JOIN SURGRADE PIPING	FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST EDITION. 2. ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES: E/E/S = 1.750 BSI E/(X) = 75 BSI E = 1.750 DOO BSI E/(X) = 875 BSI	CONN	FLOOD LIGHT WITH 150 W PAR LAMPS	7
OR U=.1 IR-6.5 (IR-3 (BE BLACK IRON PER CODE. ALL LINES SHALL BE FULLY AND SUCCESSFULLY TESTED BEFORE CONCEALMENT. INSULATE ALL LINES PER CODE. PROVIDE 3 FROST FREE HOSEBIBS IF NOT CALLED OUT ON PLANS OTHERWISE.	POLYESTER-COATED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. PROVIDE SAMPLES IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR APPROVAL. USE MAXIMUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP N SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO PROJECT.	ATION AND ERECTION OF ALL STRUCTURAL	REMOVE EXISTING CONSTRUCTION IOWN ON THE DRAWINGS. PATCH IRFACES, READY FOR APPLICATION	EXIERIOR INCANDESCENT SCONCE LIGHTING FIXTURE PROGRESS P5671—50 WITH W/ LED CANDELABRA LAMPS MILLSTONE (DULL SILVER FINISH)	⊕ext.
RGY CODE INFORMATION (BASED ON NYS RES-CHECK VALUES.) INSULATION= R-30 OR U=.03 INSULATION= R-30 OR U=.03 INSULATION= R-30 OR U=.03 INSULATION= R-30 OR U=.03	ALL HORIZONTAL DRAIN LINES SHALL BE CAST IRON ABOVE HABITABLE SPACES, VERTICAL SANITARY AND DRAIN SHALL BE PVC OR CAST IRON, STORM UNDERGR. SHALL BE PVC. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE ROTTOM OF FACH LINE TO ARSORB SHOCK GAS SERVICE LINES SHALL	SHINGLE BUREAU MANUAL. PREMIUM VINYL SIDING BY "ALCOA", MASTIC SERIES, CEDAR SHAKE PATTERN CD-70P. INSTALL PER ASTM D367906 MIN. THICKNESS. WITH MATCHING FACTORY FINISHED	13. PROVIDE 1/2" TH STEEL STIFFENER PLATES AT POINT LOADS. PROVIDE 1/2" TH STEEL BEARING AND BASEPLATES AT COLUMN LOCATIONS, BEAM POCKETS AT FOUNDATION WALLS. 14. STEEL FOR FLITCHPLATES SHALL BE A-50, PRE-DRILLED AND CONTINUOUS IN LENGTH	3. DEMOLITION OR EXCAVATION REVEALING UNFORSEEN OR CONCEALED CONDITIONS CONFLICTING WITH THE DRAWINGS OR INFLUENCING PROPOSED CONSTRUCTION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AS SOON AS POSSIBLE	SCONCE FOR BAIHROOMS BY REJUVENATION SHETE #5/8, WITH SHADE 143 L, 2 LED LAMPS, WET LOCATION	<u> </u>
SUMMIT LAND SURVEYING PC ADDRESS: 21 RÍVERSIDE PL 22, 2018	PLUMBING - DOMESTIC WATER PIPING SHALL BE PEX B WITH SUITABLE FITTINGS OR COPPER, SOLDERED JOINTS, SANITARY AND VENT TO BE PVC OR CAST IRON. NOTE THAT	FIRE-RATED ASSEMBLIES PER ASTM E 814 BY TREMCO OR 3M FIRE PRODUCTS. 8. WOOD SIDING TO BE REBUTTED AND REJOINTED RED CEDAR SIDING, 7" EXPOSURE, FILLY RACK-PRIMFD LISE NO 1 BILLE LAREL ONLY INSTALL PER CEDAR SHAKE AND	ESS STEEL TUBING PER ASTM A554, SUBMIT AL OF EACH. FINISH CLEAR ANODIC AAMA 60 "RAMING SHALL BE IN ACCORDANCE WITH AM ICATIONS.	FOO	WITH WHITE TRIM, 1500 MIN LUMEN LAMP, 3000 K CRI, LOWERCASE LETTER DESCRIBES CIRCUIT AND SWITCH CONTROL WHERE SHOWN	(N) NEW
BASED ON SURVEY PROVIDED BY OWNER, SECTION/BLOCK/LOT:	PROVIDE SHOP DRAWINGS. CONFIRM ADEQUATE WATER SUPPLI AND PRESSURE TEST	6.PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C920. 7. PROVIDE THROUGH—WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROUGH	AT BALUSTERS, 2" SQ. TUBE NEWELS, 2" SHAPED HANDRAILINGS, BALL CAPS AT NEWELS PROVIDE EPOXY GROUT SLEEVE ANCHORAGE WITH 8" MIN. EMBEDMENT. RAILINGS MUST WITHSTAND 200#/LF AS GUARDRAILS,, 50#/LF AS HANDRAILS. 11. ALUMINUM RAILINGS MADE OF EXTRUDED BAR OR TUBE PER ASTM B221, ALLOY	02-EXISTING CONDITIONS 1. CONTRACT DOCUMENTS HAVE BEEN PREPARED USING INFORMATION AVAILABLE AT THE TIME OF CONTRACT PREPARATION. SUBSURFACE EXPLORATIONS AND DATA DISCOVERED WILL	RECESSED 6" DIAMETER LED LIGHTING FIXTURE "PROGRESS" OR EQ.,	о Ш
100' 64.58 64.58 EXISTING NON-COI PLANE 10'H,45' 90' 90' EXISTING NON CON	FIRE EXINGUISHERS SHALL BE PROVIDED I PER HOUSE OR DWELLING UNIT, UNLESS SHOWN OTHERWISE, TYPE ABC MOUNTED AT 4' AFF TO TOP, 5 LB BY KIDDE OR EQUAL FIRE SPRINKLER SYSTEM WHERE REQUIRED SHALL CONFORM WITH NFPA 13, LIGHT HAZARD.	ASTENERS TO RESIST REQUIRE A.C.N.A. STANDARDS, PROVIDE	R TOOL CLEANING. RUCTURAL STEEL SHALL BE "4–55 VERSARE HE TNEMEC CO. FABRICATED PER ASTM A500 & ASTM A53 F	FLAMMABLE MATERIALS MUST BE STORED IN UL APPROVED STORAGE CONTAINERS. FIRE EXTINGUISHERS WITH MINIMUM 10 LBS CAPACITY, RATED ABC TO BE PLACED EVERY 1000 SF OF PROPERTY DURING CONSTRUCTION.		
SURFACES COVERAGE 54% 32.6% 40.9% NIN BLDG 40' 25.5 25.5	21. FIRE SUPPRESION	5. VAPOR BARRIER TO BE 6 MIL POLYETHELENE. OVERLAP AND TAPE SEAMS. 5. FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AND FLASHING TAPE FOR WATERPROOF SEAL PROVING SMILLAR DRIP FORE SECURE TO	6. STRUCTURAL TUBING SHALL BE IN CONFORMANCE WITH ASTM ASOO, GRADE B. 7. STRUCTURAL BOLTS SHALL BE MANUFACTURED TO ASTM A307, GRADE B. 8. ALL STRUCTURAL STEEL SHALL RECEIVE SURFACE PREPARATION IN ACCORDANCE WITH	. , EN	TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR	\triangleleft
50' 110 110 27% 17.3% 21.6%	14. CONVEYING HANDICAPPED LIFT, DUMBWAITER, ELEVATOR	TYPE BY CERTAINTEED IN MAXIMUM THICKNESS. INSTALLED PER MANUFACTURER DIRECTIONS. MINIMUM R7 PER INCH. PROVIDE INTUMESCENT COATING IF NOT OR CONCEALED BY GYPSUM BOARD.	R HOT ROLLED PLATES,ANGLES,CHANNELS SHALL BE ASTM DR W SECTION BEAMS SHALL BE 50 KSI A-992. ES SHALL BE IN COMPEIANCE WITH ASTM ASO1. WHERE USI		ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE WHERE REQ'D (GFI— DENOTES GROUND FAULT INTERRUPTER)	
CK 10' 0 0 EXISTING NON BACKS 20' 65.55 59.7' CONFORMS	1. INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO : DISHWASHER, M.W. OVEN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL.	POLYISOCYANURATE: 2" AT SLA 24" IN. DLYURETHANE FOAM INSULATION	WELDING CODE", THE AWS; D1.13. WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW HYDROGEN. 3. WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW HYDROGEN FOR FIELD WELDING	21. CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.		
20' 17' 18.2 1 25' 14.2 8.1' 1	13. SPECIAL CONSTRUCTION	TREASO BALLS W/ WITH VALUE BANKEN FINE-RETARDANT WHERE REQUIRED.	 THE DESIGN, FABRICATION, TRANSPORTATION, AND ERECTION OF ALL STRUCTURAL STEE SHALL BE IN CONFORMANCE WITH THE "STEEL CONSTRUCTION MANUAL", THE AISC. WELDING OF STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STRUCTURAL 		NEW CONSTRUCTION WALL REFERENCE, LETTER WITHIN DIAMOND CORRESPONDS TO CONSTRUCTION DETAIL OR SPECIFICATIONS	55
ENT ALLOWED EXISTING PROPOSED COMMENT 5000 SF MIN 6786 6786 CONFORMS	APPROVAL. MIN. 3/+ OVERTHAND BETOOND BASE CADINETS. COORDINATES WITH OTHER TRADES. INSTALL WITH FEWEST SEAMS POSS SURFACING SHALL BE FABRICATED WITH THE FEWEST POSSIBLE SEAMS OPEN WER SURSTRATE ON 16" CENTERS	SHING	OR EQUAL		SWNGING DOOR WITH SIZE—TYPE IDENTIFICATION (2068—A DENOTES 2'—0" X 6'—8" TYPE A DOOR)	1,090°L
SITE PLAN 1"=15'-0" 0'	KITCHEN COUNTERTOPS TO BE 1 1/4IN. MED. GREY PIETRO CORDOZA WITH 4" STONE BACKSPLASH. COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGE. BASKSPLASH SHALL BE TILED ABOVE SONE BACKSPLASH TO BOTTOM OF WALL CABINET. PROVIDE STONE SAMPLES OR SHOWEN VISIT FOR ARBEDOVAL MIN. 3.1/3" OVERBLANC BEYOLDING BASE CABINETS. COORDINATE	1. BUILDING WRAP BY "HYDROGAP" DRAINABLE HOUSEWRAP BY BENJAMIN OBDYKE OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH MFTAL PREFORMED ELASHING. SEAL PROVIDE END DAMS WHERE REQUIRED LISE	14. PROVIDE 4" PVC PERFORATED PIPE FOOTING DRAIN LAID IN 16" STONE LAYER WITH LAYER OF FILTER FABRIC OVER. PITCH TO DAYLIGHT AND GRAVEL SPREADER OR IF SITE CONDITIONS BECLIEFE DITCH FOOTING DRAIN TO 50 CAL STONE DESWELL (A'Y A'' OF	. WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION FORMANCE GUIDELINES" CURRENT EDITION.	EXISTING CONSTRUCTION TO REMAIN	
(MACADAM PAVEMENT)	PROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.	24. EXTERIOR TRIM BY AZEK OR APPROVED SUBSTITUTE. INSTALL PER MANUFACTURERS INSTRUCTIONS AND TECHNICAL LITERATURE. 7. THERMAL AND MOISTLIBE PROTECTION	ASPHALT	16. WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER. 17. PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES.	WINDOW SYMBOL	\square
RASH AREA CURB 58.00 DIVENDENTIONS OF THE PROPERTY OF THE PROP	SIOCK SIZES WIH FILLER PANELS AS REQ. (KRAY IMAID OR EQUAL) SOLID RECESSED PANEL SHAKER STILE DOORS, W/ FULL EXTENSION HEAVY DUTY DRAWER GLIDES., RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REQ'D LIGHT HONEY FINISH PINE, SUBMIT SAMPLE DOOR APPROVAL. INSTALL CABINETS PER AWI SECTION 1700, STRAIGHT, LEVEL AND FREE DOOR FORTON AND ALLOW FOR INSTALL CABINETS OF DOOR TO STRAIGHT, LEVEL AND FREE DOOR FORTON AND ALLOW FOR INSTALL CABINETS OF DOOR TO STRAIGHT, LEVEL AND FREE DOOR FORTON AND ALLOW FOR INSTALL CABINETS OF DOOR TO STRAIGHT, LEVEL AND FREE DOOR FORTON AND ALLOW FOR INSTALL CABINETS OF DOOR TO STRAIGHT, LEVEL AND FREE DOOR FORTON AND ALLOW FOR INSTALL CABINETS OF DOOR TO STRAIGHT OF THE STRAIGHT O	23 EXPOSED ENDS OF POSTS, BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT PRESERVATIVE CONTAINING 3—IODO—2PROPYNYL CARBAMATE COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT.	COUE. FIRPLACE SHALL BE METAL PRETED. NOTE 2" CLEARANCE WHERE REQU	. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. MINING SRUPTION DURING DEMOLITION. LEAVE PROJECT IN "BROOM-CLEAN" CONDITIONS OF ALL WASTE. MINING DEMOLITION.		4
X	12. FUHNISHINGS KITCHEN CABINETS AND VANITIES SHALL BE PREMI. GRADE, 3/4" PLYWD FINISH CONSTR. IN KITCHEN CABINETS AND VANITIES SHALL BE PREMI. GRADE, 3/4" PLYWD FINISH CONSTR. IN	22. INTERIOR TRIM AND MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE CLEAR POPLAR OR PINE. ALLOW WOOD TO SEASON ON SITE. SCARF JOINTS.	11. PRE FAB CHIMNEY AND FIREPLACE: INSTALLATION OF PREFAB FLUES AND FIREPLACES SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATION. INSTALL FIRENCES AS REQUIRED BY CODE FIRENCES SHALL BE METAL BREFAR WITH COMPATIBLE	= :	EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED	A
	ELECTRICAL INLET PER 600 SF OF FLOOR AREA. SYSTEM MINIMUM REQUIREMENTS INCLUDE: 110 CFM SUCTION, 95' WATER COLUMN HEIGHT. PROVIDE ALL REQUIRED HOSES, ELECTRICAL CONNECTIONS, ADAPTERS, AND FITTINGS.	JOISTS. 21. FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURA! WOODWORK QUALITY STANDARDS"—PREMIUM QUALITY LEVEL.	CAST IRON DAMPER, AS PIT AND CLEAN—OUT DOORS. PROVIDE FOR PROPER CLEARANCES WITH COMBUSTIBLE CONSTRUCTION. FIRE STOP AT ALL CLEARANCES WITH NON—COMBUSTIBLE MATERIAL. CONTRACTOR SHALL ENSURE PROPER CLEARANCES OF CHIMNEY AND FIREPLACE PER N.Y.S. BUILDING AND ENERGY CODES.	≥ 30 ' 6	DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION.	
EX. MACADAI DRIVEWAY 19.7 19.7 19.7 19.7 19.7 19.7 19.7	ANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO : EN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL. SYSTEM BY "EUREKA" DROP DOWN FABRIC FILTER SYSTEM. PROVI	"NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" SUBMIT SHOP DRAWINGS FOR APPROVAL. 20. PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE	TO BE FIRE CLAY SIZE SHOWN ON THE	SUBCONTRACTORS. 12. THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAIOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR AWARD ADDROVAL		
OV.P COMOUAXES NEW A UP TO STEP TO SEE SAO A4 TO SEE SAO A4 TO SEE SAO A4	ANCHORAGE WHERE REQUIRED. 11. EQUIPMENT 12, 13, 14 NOT USED	G SHALL BE 4" ON MASONRY AND 1 1/2" ON COMMENDED BY ENGINEERED LUMBER MANUF. TRUSSES SHALL COMPLY WITH THE TRUSS PLA	10. BRICK PAVERS TO BE 2 $1/4$ TH SET ON 2" STONE DUST ON FILTER FABRIC, ON 4" THICK BED OF $3/4$ " GRAVEL SUB BASE ON COMPACTED SOIL. PROVIDE 6" X 16 GA SPIKED RETAIINING EDGING AT BRICKS RUNNING PARALLEL TO PATH.	CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM ARCHITECT.	REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE	\
WINDOW WINDOW AND	90P\$\$P\$ENALTHES ATTIC STOCK TILE & PAINT FOR FUTURE OWNER USE. TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE BLOCKING AND	OISTS AND HEADERS AT FLOOR OPE	9. FLAGSTONE AND SLATE PAVERS TO BE 1 $1/2$ " TH. TO MATCH EX. ON 2" STONE-DUST SETTING BEDS, FILTER FABRIC ON 4" THICK BED OF $3/4$ " GRAVEL SUB-BASE ON COMPACTED SOIL.		SECTION OR ELEVATION REFERENCE	3
TWO STORY	SATIN- TRIM AND DOORS. PREP ALL SURFACES PER MANUF. INSTRUCTIONS PRIME AND PAINT ALL SCHEDULED SURFACES 2 COATS MIN. COLORS TO BE SELECTED. PROVIDE 2'X 2' MOCKUP FOR APPROVAL OF EACH COLOR. APPLY PAINT WITHIN AREAS LIGHTED AT A MINIMUM 100 FOOTCANDLES.	SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS. 16. FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS AND WHERE REQUIRED BY CODE.	7. BRICK VENEER TO BE ANCHORED TO WALL FRAMING AT 16" HORIZ, 16" VERTICALLY MAXIMUM. FASTEN ALL ANCHORS SECURELY TO STUDS. 8. PROVIDE LINTELS PER SCHEDULE, MINIMUM 8" BEARING AT BOTH ENDS.	MATERIALS, INSTALLED WORK AND PERSONNEL. 9. ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL INSTALL ATOMS SHALL NOT COMPLETE WITH FIXTURES OF CONSTRUCTION	DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET	
MOVE EX. ONE STORY ON	TILE. TURN UP 4" AT WALLS. 8. PAINT SHALL BE "PRATT AND LAMBERT" EXTERIOR LATEX, FLAT-SIDING SATIN- FOR TRIM AND DOORS, INTERIOR GWB: EGGSHELL LUSTER- WALLS	1/2" DIA, 8" LONG ANCHOR BOLTS AT 6' O.C. MAX. OVER SILL SEAL. PROVIDE METAL TERMITE SHIELD AT BASE OF SILL PLATES. 15. CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PROVIDE	BRICKS: PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH BRICK TYPE, PROVIDE SPECIAL SHAPES WHERE REQUIRED TO PREVENT CUT SURFACES FROM EXPOSURE. PROVIDE TIES, FLASHING AND WEEPHOLES WHERE REQUIRED.		LEGEND DESCRIPTION	SYMBOL SYMBOL
ORL CONN TO EX	6. USE 1/2" CEMENT BACKER BOARD BEHIND CER. TILE AT TUB/SHWR SURROUNDS. 7. PROVIDE WATERPROOF VINYL MEMBRANE (OR EQUAL) BELOW CER. & MARBLE FLOOR	CE WITH MANUF, RECOMMENDATIONS. SILL PLATES AT TOP OF FOUNDATION	FLUES TO NEW HEIGHT. PROVIDE CAP AND SCREEN. 6. BRICKWORK SHALL MATCH EXISTING PATTERN (U.N.O.) WITH TYPE SW STANDARD	PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.		• •
1.7 23.3' SIEP SIGNES DE O 60.0 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -	FL. TILE USE	13. DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTOCIFE IN ENCONFERENCE.	ELEMENTS. PROVIDE FULL TOOLED MORTAR JOINTS. 5. EXTEND CHIMNEY WITH MATCHING BRICK (NOTE TEXTURE AND COLOR). PROVIDE ANCHORS WHERE REQUIRE A MORTAR PROVIDE MORTAR WASH AT TOP EXTEND	- TO	GYPSUM WALL BOARD WD. WOOD GLASS	GWB GYPSU
STONE SFF 2/A4	5. CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS. PROVIDE COVE, BULLNOSED AND SPECIAL SHAPED TILE. GROUT AND SEAL. USE GROUT AS RECOMMENDED BY TILE MANUF. COLOR TO BE SELCTED. SEAL GROUT.	ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. 12. ENGINEERED LUMBER BY TRUS-JOIST MCMILLAN INSTALLED PER MANUFACTURERS INSTRUCTIONS. PROVIDE PLACARD WHERE REQUIRED BY AHJ	4. PRECAST CONCRETE UNITS TO BE FABRICATED PER ASTM C 1364, WITH ALL REQUIRED STAINLESS STEEL STRAPS, PINS OR OTHER ANCHORAGE DEVICES. COLOR TO BE NATURAL BUFF. SLOPE HORIZONTAL SURFACES AT LEAST 1:12. PROVIDE DRIPS ON PROJECTING	5. 6. WR	CONTRACTOR V.I.F. VERIFY IN FIELD	
W N 69°36 10 W 30.12' PROPOSED DECK 45.77' AND STAIR 45.77' AND STAIR	4. WOOD FLOOR TO BE 3/4"X 2 1/4" T &G SELECT OAK TO MATCH EXIST'G (SEE FIN. SCHED.)W/ BLDG FELT AND CAVITY INSUL WHERE REQ. ALLOW WOOD FLOOR MATERIAL TO SEASON ON SITE PER MANUF. GUIDELINES, ALLOW GAP AT EDGES FOR EXPANSION PER MANUFACTURERS RECOMMENDATION.	SHALL BE APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA AFG-01. ZIP WALL WALL /ROOF SYSTEMS MAY BE USED IN LIEU IF INSTALLED IN	3. USE TYPE M MORTAR FOR BELOW GRADE MASONRY. TYPE N ELSEWHERE. MORTAR SHALL BE SUFFICIENTLY PLASTIC AND MASONRY UNITS SAHLL BE PLACED TO FORM A TIGHT JOINT OF APPROX. 3/8" OR TO MATCH EXISTING.	4. , STC OTH	TE	FIXT. FIXTURE CONC. CONCRETE
A-4. PROPOSED AND DET	NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREEDS, CORNER BEADS, AND ACESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.DOUBLE TYVEK LAYER FOR EXTERIOR APPLICATIONS AND EXPANDED DIAMOND MESH.	PROCESS. 11. PLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2" THICK CDX AT WALLS INDICATED AND 3/4" THICK CDX AT FLOORS ALL PLYWOOD	USING CMU AS FOUNDATION WALLS, GROUT ENTIRE TOP COURSE AND BOTTOM COURSE FULL. PROVIDE FULLY GROUTED CORES AT VERTICAL REBARS. DO NOT BACKFILL UNTIL MAXIMUM STRENGTH HAS BEEN ATTAINED AND FLOOR JOISTS ARE INSTALLED, RUNNING BOND PATTERN UNI ESS NOTED OTHERWISE.	AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED.	MASONRY UNIT TYP.	C.M.U. CONCRETE —— EL. ELEVATION
SITE PLAN & ZONING DATA A-2. PROPOSED FLOOR PLANS A-3. PROPOSED ELEVATIONS	ALL JOINTS, 3 COATS, FEATHERED. 3. STUCCO PORTLAND CEMENT PLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH, BROWNE CONTROL JOINTS AT 20' MAY AND AT FLOOR LEVEL HINCTHEF ALICN WITH	FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TREATED PRESERVATIVE. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSED WITH PRESSURF TREATED WOOD SHALL BE STAINLESS STIFFLOR GALVANIFFD G-185	2. CONCRETE MASONRY UNITS TO BE SOLID FILLED AT TOP COURSE. PROVIDE HORIZONTAL TRUSS REINFORCING EVERY OTHER COURSE. LOAD BEARING UNITS (ASTM C-90, GR. U-1), FILLED SOLID WITH GROUT FOR FULL HT. AT BEARING POINTS-12" BOTH SIDES OF SUBFRIMPOSED LOAD GROUT SHAIL BE LEAN WITH 8 TO 10" SULIMP WHEN	ALL CONTACT STEVEN SECON / NFLICTING WITH THE DRAWNGS.		
A-1. EXISTING FLOOR PLANT PARKING SPACE ON SITE	CLUED PER LEVELS 6 GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUBGRADE LEVELS AND NON-CONDITIONED SPACES (MOLD-TOUGH BY USG OR EQUAL). 2. PROVIDE CORNER BEADS. CASING BEADS AND TRIM AS REQUIRED TAPE AND SPACKLE	PLYWOOD OVER JOISTS — 6" O/C; MIN 16D NAILS PLYWOOD OVER WALL STUDS — 6" O/C @ INTERIOR MEMBERS; MIN 16D NAILS 4" O/C @ PANEL EDGES; MIN 16D NAILS 10. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE	MASONRY WORK. MASONRY WORK SHALL NOT PROCEED WHERE WEATHER CONDITIONS ARE, OR ARE EXPECTED TO PRODUCE AMBIENT TERMPERATURES BELOW 40°F WITHOUT PROPER TENTING/HEATING OR OTHER MEANS OF PROTECTION.	ID BUILT COMPONE GENERAL CONTRA	O.C. ON CENTER	
REMOVE AND REPLACE EX. WOOD DECK W LARGER WOOD DECK.	9. FINISHES 1. UNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARD TO BE 1/2 TYPE X. USE WR	6. WOOD AND PLASTICS (CONT.) 9. NAILING SCHEDULES SHALL BE AS FOLLOWS; UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS:	4. MASONRY 1 COMPLY WITH PUBLICATIONS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR ALL	- PROCUREMENT & GENERAL F	FINISHED FLOOR MTD. MOUNTED	A.F.F. ABOVE FIN
SCOPE LIST OF DRAWINGS		PECIFICATIONS	OUTLINE SI		ABBREVIATIONS	

