

Subject:

Sent from Snipping Tool

on A2020-0854

Parcel 3.80-36-22
21 RIVERSIDE PL
DOBBS FERRY, NY 10522



Application Deck/ Porch
Submitted
A2020-0854



Refresh Move Print Map Help Delete

Dan Roemer - 21 Riverside

to armyjo101@gmail.com, steven@seconarchitect.com

Jul 22, 2020

Submit full sheet site plan and survey (existing). Driveways must have spaces fully on the property (81/2' x 18' each). The portion of the village right of way does not count (you can't park there). This application will need approval from the Zoning board (denial letter attached). The Planning board for the driveway and drainage, change of use (1 family to 2 family) and need for more parking and the AHRB approval for the deck. Please contact: Pharney@DobbsFerry.com for applications to the boards.

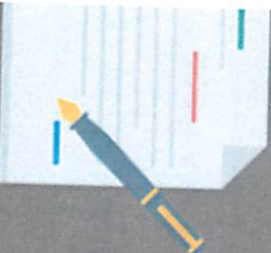
📎 2020_07_22_19_44_33.pdf

John Stone - 21 Riverside Place

to armyjo101@gmail.com, corlgraphix@aol.com, steven@seconarchitect.com

Aug 21, 2020

After reviewing the revised plans, we still have no full size 24"x 36" site plan page Nd the driveway is not large enough for 2 car off the street parking.



View
Contacts (3)
Plans (1 / 3)
Media

Specifications

Financial

Comments (2)

Click Map

Click Calendar(beta)



VILLAGE OF DOBBS FERRY

112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8500

Affidavit of Notice

I _____

Attest to the fact that I have sent via Certified Mail, the attached letter to all the neighboring properties within a 200' radius of the subject property

at: _____

And have attached the mailing list I received from the Tax Assessor's office located at 177 Hillside Ave. White Plains, NY 10607. Contact person Anthony Fabrizzio 914-993-1522 or afabrizzio@greenburghny.com

I have noticed for the following review boards;

- Board of Trustees
- Planning Board
- Zoning Board of Appeals
- Architectural & Historic Review Board

I understand that it is my responsibility to retain Post Office proof of these mailings, should any of the listed properties claim they were aggrieved by this project and believe they were not properly noticed.

Applicant signature:

Witnessed by Notary:

Date _____

Via Certified Mail

Dear Neighbor:

This is a notification that the owner of the property located at:



Has filed an application with the Village of Dobbs Ferry to do the following:



The applicant will present the proposal to the following checked Board/Boards at their next available meeting, please check the calendars and agendas on the village web site for the exact date they will first appear before the board:

- Board Of Trustees; meet 2nd & 4th Tuesdays at 7:30 PM
 - Planning Board; meet 1st Thursday at 8:00 PM
 - Zoning Board of Appeals; meet 2nd Wednesday at 8:00 PM
 - Architectural & Historic Review Board; meet 2nd & 4th Mondays at 8:00 PM
-

The meetings are held in the Village Board room located at 112 Main St and the plans are on file at the Building Department. Any comments or questions pertaining to this application should be voiced at the appropriate board meeting.

Owner name:



VILLAGE OF DOBBS FERRY

Building Department

112 Main Street

Dobbs Ferry, New York 10522

TEL: (914) 231-8511 • Droemer@dobbsferry.com • FAX: (914) 693-3470

10/5/2020

Amy Jo Neill
21 Riverside Place
Dobbs Ferry, NY 10522

Re: 21 Riverside Pl.

S/B/L 3.80-36-22

Dear Ms Neill,

Pursuant to a review of the submitted proposed plans to construct a new deck, the following determinations were made.

The property is located in the MDR-1 Zone. Requiring two variances.

1. The required rear yard setback is 25' the proposed setback is 8.1', Thus requiring a variance for 16.9' at the rear yard.
2. The required front yard setback is 20' the proposed setback is 18.2, Thus requiring a variance for 1.8' at the front yard.
3. The required parking in the MDR-1 zone, for one and two families is two spots per dwelling units. You have one existing and provided one parking spot. Thus requiring a variance from the zoning board or a waiver from the planning board for the one more additional parking spot.

For these reasons your proposal, as submitted, is denied pending zoning board review.

If you have any questions, please contact the Building Department at (914) 231-8511.

Respectfully,

Dan Roemer
Building Inspector



VILLAGE OF DOBBS FERRY

112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8500

Affidavit of Notice

I Amy Jo Neill

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at: 21 Riverside Place

And have attached the mailing list I received from the Tax Assessor's office located at 177 Hillside Ave. White Plains, NY 10607. Contact person Anthony Fabrizzio 914-993-1522 or afabrizzio@greenburghny.com

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Applicant signature:

Witnessed by Notary:

Date 10 19 20

Via Certified Mail

Dear Neighbor:

This is a notification that the owner of the property located at:

❖ 21 Riverside Place

Has filed an application with the Village of Dobbs Ferry to do the following:

🔧 Enlarge / rebuild deck, create additional off-street parking

The applicant will present the proposal to the following checked Board/Boards at their next available meeting, please check the calendars and agendas on the village web site for the exact date they will first appear before the board:

- Board Of Trustees; meet 2nd & 4th Tuesdays at 7:30 PM
 - ☒ Planning Board; meet 1st Thursday at 8:00 PM
 - ☒ Zoning Board of Appeals; meet 2nd Wednesday at 8:00 PM
 - ☒ Architectural & Historic Review Board; meet 2nd & 4th Mondays at 8:00 PM
-

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Owner name:

Amy Jo Neill



VILLAGE OF DOBBS FERRY

112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8500

Affidavit of Notice

I Amy Jo Neill

Attest to the fact that I have sent via Certified Mail, the attached letter to all the neighboring properties within a 200' radius of the subject property

at: 21 Riverside Place

And have attached the mailing list I received from the Tax Assessor's office located at 177 Hillside Ave. White Plains, NY 10607. Contact person Anthony Fabrizzio 914-993-1522 or afabrizzio@greenburghny.com

I have noticed for the following review boards;

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- Planning Board
- Zoning Board of Appeals
- Architectural & Historic Review Board

I understand that it is my responsibility to retain Post Office proof of these mailings, should any of the listed properties claim they were aggrieved by this project and believe they were not properly noticed.

Applicant signature:

Witnessed by Notary:

Date 10 19 20

Via Certified Mail

Dear Neighbor:

This is a notification that the owner of the property located at:

❖ 21 Riverside Place

Has filed an application with the Village of Dobbs Ferry to do the following:

✎ Enlarge / rebuild deck, create additional off-street parking
change single family house to two-family house

The applicant will present the proposal to the following checked Board/Boards at their next available meeting, please check the calendars and agendas on the village web site for the exact date they will first appear before the board:

- Board Of Trustees; meet 2nd & 4th Tuesdays at 7:30 PM
 - ☒ Planning Board; meet 1st Thursday at 8:00 PM
 - ☒ Zoning Board of Appeals; meet 2nd Wednesday at 8:00 PM
 - ☒ Architectural & Historic Review Board; meet 2nd & 4th Mondays at 8:00 PM
-

The meetings are held in the Village Board room located at 112 Main St and the plans are on file at the Building Department. Any comments or questions pertaining to this application should be voiced at the appropriate board meeting.

Owner name:

Amy Jo Neill

**RULES OF THE ZONING BOARD OF APPEALS
VILLAGE OF DOBBS FERRY, NEW YORK**

1. Regular meetings of the Board are held on the second Wednesday of each month. Three members constitute a quorum for the transaction of any business.
2. Special meetings may be called by the Chairman at any time. Notice of such Special Meeting shall be given by mailing a notice thereof, addressed to each member at the address within the Village furnished by him for that purpose, at least three days before such meeting.
3. Any application to the Zoning Board of Appeals shall be made on forms prescribed by this Board. ~~Four~~ copies of the application must be filed with the Clerk of the Board, no later than 2:00 p.m., twenty-one (21) days prior to the date of the meeting at which the application shall be considered. The applicant shall be required to notify all owners of property within two hundred (200) feet of the subject property by certified mail, return receipt requested, at least ten (10) days prior to the meeting. Certification of noticing must be submitted to the Village Clerk's Office no later than 2:00 p.m. on the Friday preceding the meeting.
4. Every application or appeal must be accompanied by:
 - a. An accurate plot plan to scale, showing location of all existing structure.
 - b. Drawings showing the exact location, dimension and nature of construction of all proposed structures.

These requirements will ordinarily be best met with surveys and architect's drawings. The Board may require that surveys and/or drawings be prepared and signed by duly accredited surveyors, engineers, or architects.
5. The applicant is required to show proof of title to or legal interest in the premises by deed, or contract of sale, or other document.
7. The applicant is required to submit a completed Environmental Assessment Form in accordance with the State Environmental Quality Review Act (SEQR). The Department of Environmental Conservation has made this form available on its website -- www.dec.state.ny.us.
8. The applicant shall pay all fees and charges as prescribed from time to time by the Board of Trustees. By resolution of the Board of Trustees adopted on November 1, 1983, said fees and charges are as follows:
 - a. Two hundred dollars (\$200) upon filing the application.
 - b. Other expense reasonably necessary for review or processing of the application.

**APPLICATION TO ZONING BOARD OF APPEALS
VILLAGE OF DOBBS FERRY**

Note: Eight copies of the application must be filed with the Clerk of the Board, no later than 2:00 p.m., twenty-one (21) days prior to the date of the meeting.

Date Filed: 10 28 20

Applicant's Name: Steven Secon, Arch Telephone: 914 674 2950

Property Location: 21 Riverside Place, Dobbs Ferry NY

Sheet: 3.90, Block: 51, Lots/Parcel: 5

The undersigned applicant requests a hearing before the Zoning Board of Appeals based on the following:
(check one)

X Appeals decision of Building Inspector Special Permit

Every application or appeal must be accompanied by an accurate plot plan to scale showing location of all existing structures, and also drawings showing the exact location, dimensions, and the nature of all proposed structures. These requirements will ordinarily be best met with surveys and architect's drawings. The Board may require that surveys and/or drawings be prepared and signed by duly accredited surveyors, engineers, or architects. Applicant is required to show proof of title to or legal interest in the premises, by deed or contract of sale, or other document. This application or appeal is made pursuant to the authorization contained in the Building Zoning Ordinance:

Article: 300b Section: Sch A Subdivisions: Appendix b

The basis of the relief sought by the undersigned pursuant to the provisions of the Building Zoning Ordinance is as follows: (Set forth briefly all pertinent facts and use additional sheets if necessary).

Applicant

STATE OF NEW YORK)
COUNTY OF WESTCHESTER) ss:

On this ____ day of _____, 20 ____ before me personally came _____,
who came duly sworn deposes and says that he/she read the foregoing application and knows the content thereof and that the same is true to his/her own knowledge.

Notary Public

PROJECT I.D. NUMBER

617.21
Appendix C
State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I-PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT/SPONSOR <u>Steven Secon, Arch.</u>	2. PROJECT NAME <u>Neill Residence Additions and Alterations</u>
3. PROJECT LOCATION: Municipality <u>Dobbs Ferry</u> County <u>Westchester</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc. or provide map) <u>21 Riverside Place.</u>	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/Alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>Rebuild and expand rear deck, create additional off-street parking by driveway expansion, change 1-family res into 2-family residence</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>.001</u> acres Ultimately <u>.001</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If No, describe briefly. <u>variances required</u>	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, list agency(s) and permit/approvals <u>bldg dept, eng dept, zoning bd, planning bd, arch. review bd</u>	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/Sponsor Name: <u>Steven Secon, Architect</u> Date: <u>10 28 20</u>	
Signature: <u><i>Steven Secon</i></u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

OVER

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF. <input type="checkbox"/> Yes <input type="checkbox"/> No
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency. <input type="checkbox"/> Yes <input type="checkbox"/> No
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible) <ul style="list-style-type: none"> <input type="checkbox"/> C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly: <input type="checkbox"/> C2. Aesthetic, agricultural, archaeological, historic or other natural or cultural resources; or community or neighborhood character? Explain briefly. <input type="checkbox"/> C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly. <input type="checkbox"/> C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly. <input type="checkbox"/> C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly. <input type="checkbox"/> C6. Long term, short term, cumulative, or other affects not identified in C1-C5? Explain briefly. <input type="checkbox"/> C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.
D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CEA? <input type="checkbox"/> Yes <input type="checkbox"/> No
E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, explain briefly.

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D or Part II was checked yes, the determination and significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

- ☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- ☐ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

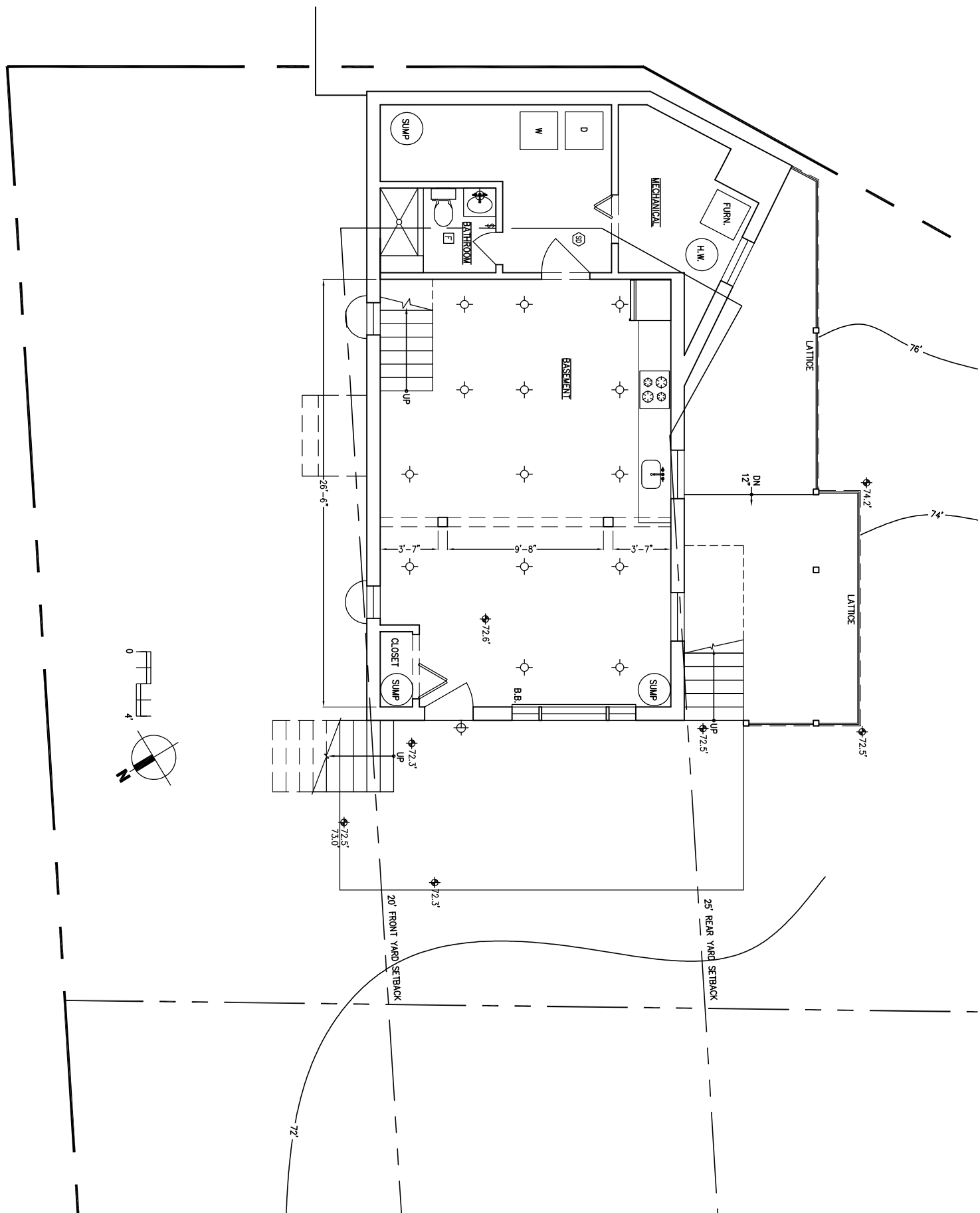
Date

FOUR PACKETS WITH ONE EACH OF DOCUMENTS BELOW

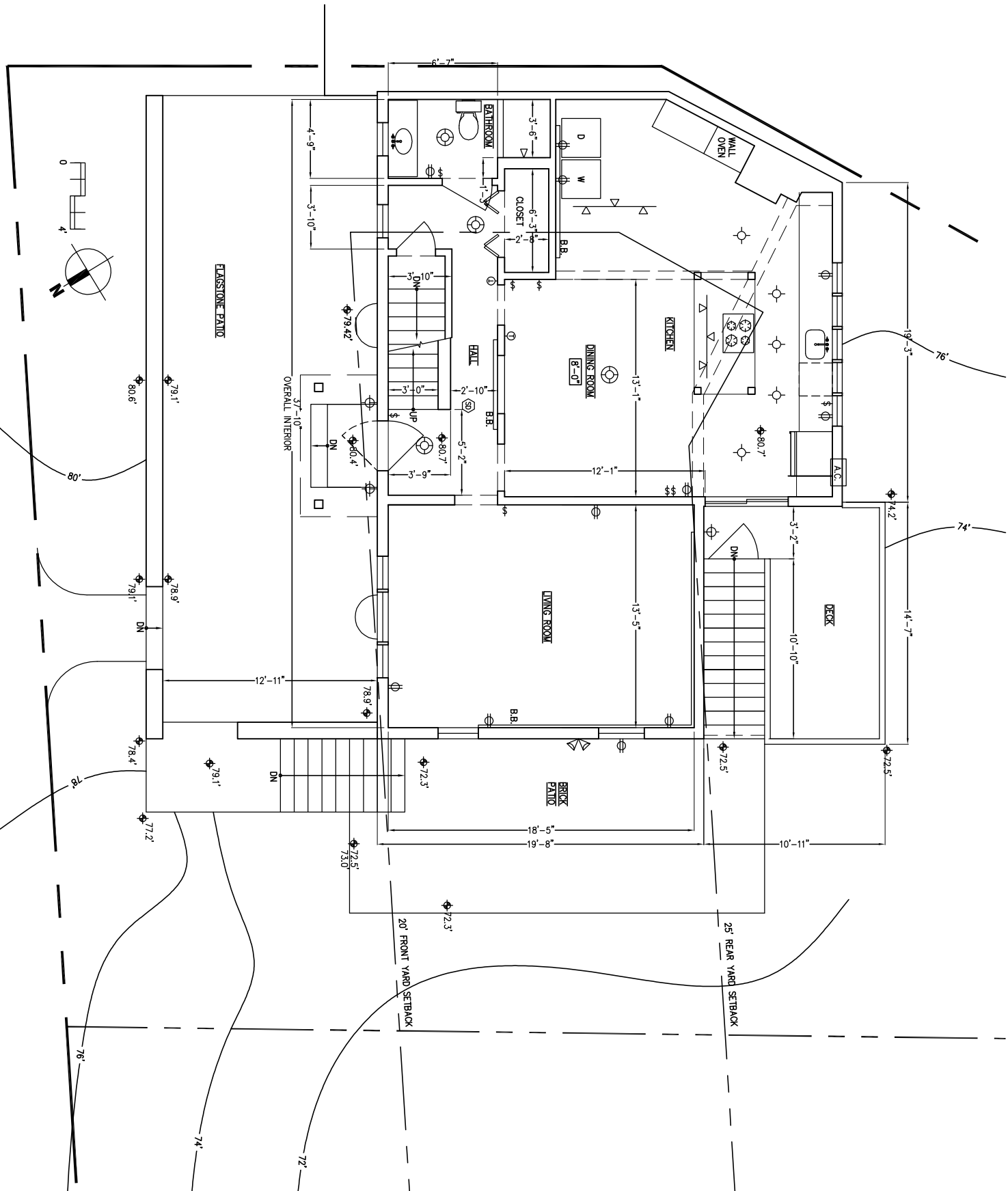
(Note: In the event of joint tenancy, the singular will be construed as necessary)
The following documents must be submitted or the application will not be accepted:

- | | | |
|----|---|-----------------------------------|
| 1. | Copy of deed or contract of sale | <u> x </u> |
| 2. | Application completely filled out | <u> x </u> |
| 3. | Environmental Assessment form | <u> x </u> |
| 4. | Survey of property | <u> x </u> |
| 5. | Plans showing profiles of proposed alteration/addition | <u> x </u> 4 COPIES + 1 DIGITAL |
| 6. | Copy of denial from Building Inspector or Architectural Board of Review | <u> x </u> |

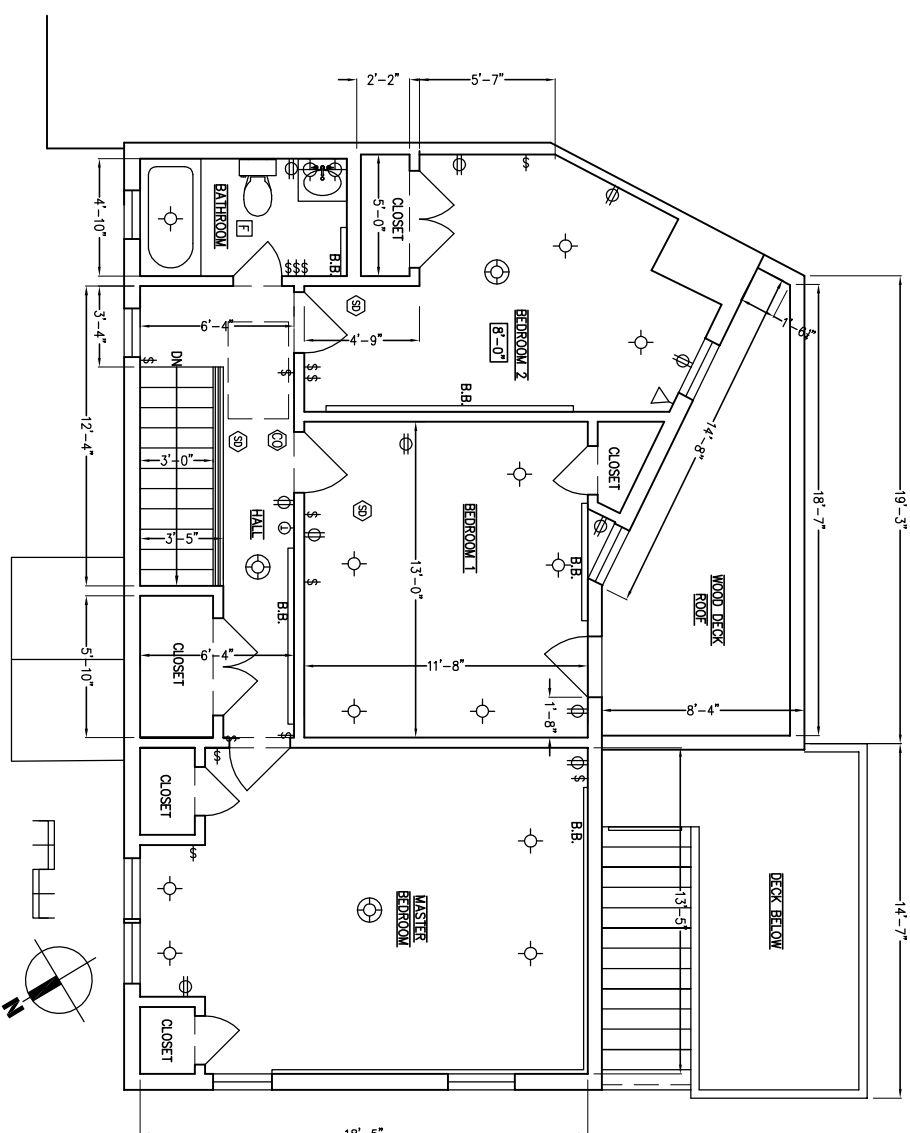
Note: Certification of noticing to area property owners must be submitted to the Village Clerk's Office no later than 2:00 p.m. on the Friday preceding the meeting.



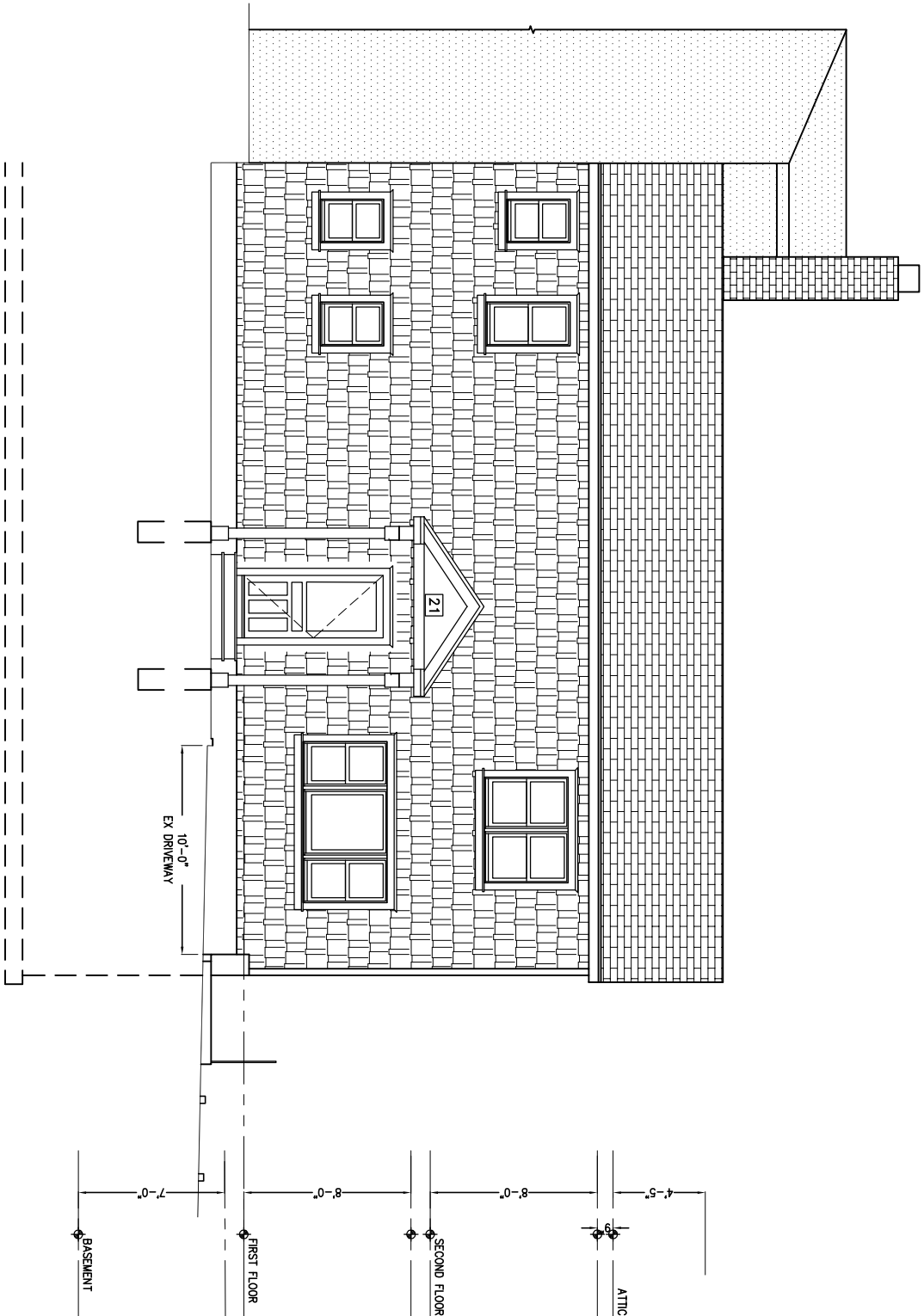
1 EXISTING BASEMENT PLAN
1/8"=1'-0"



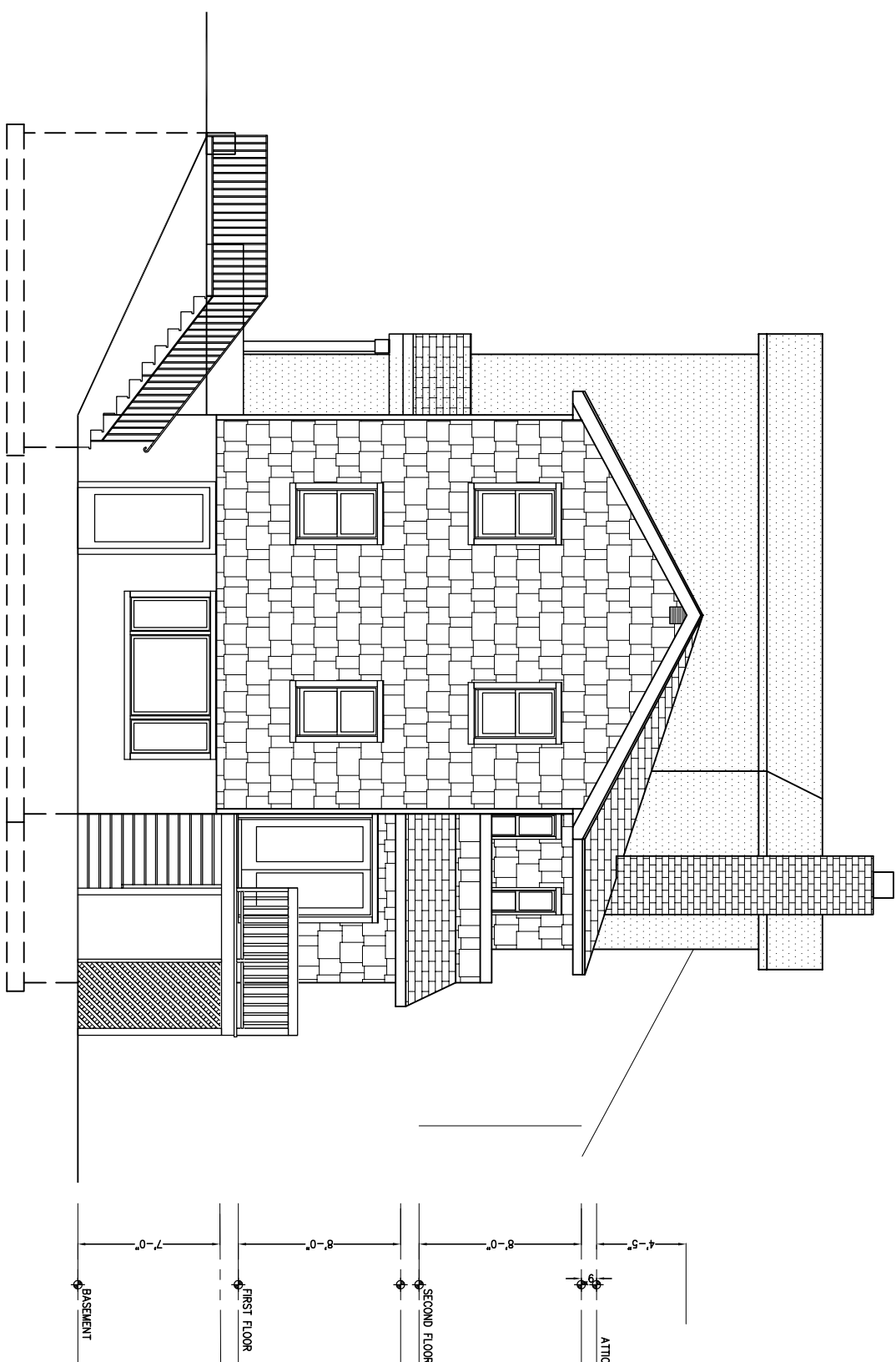
2 EXISTING FIRST FLOOR PLAN
1/8"=1'-0"



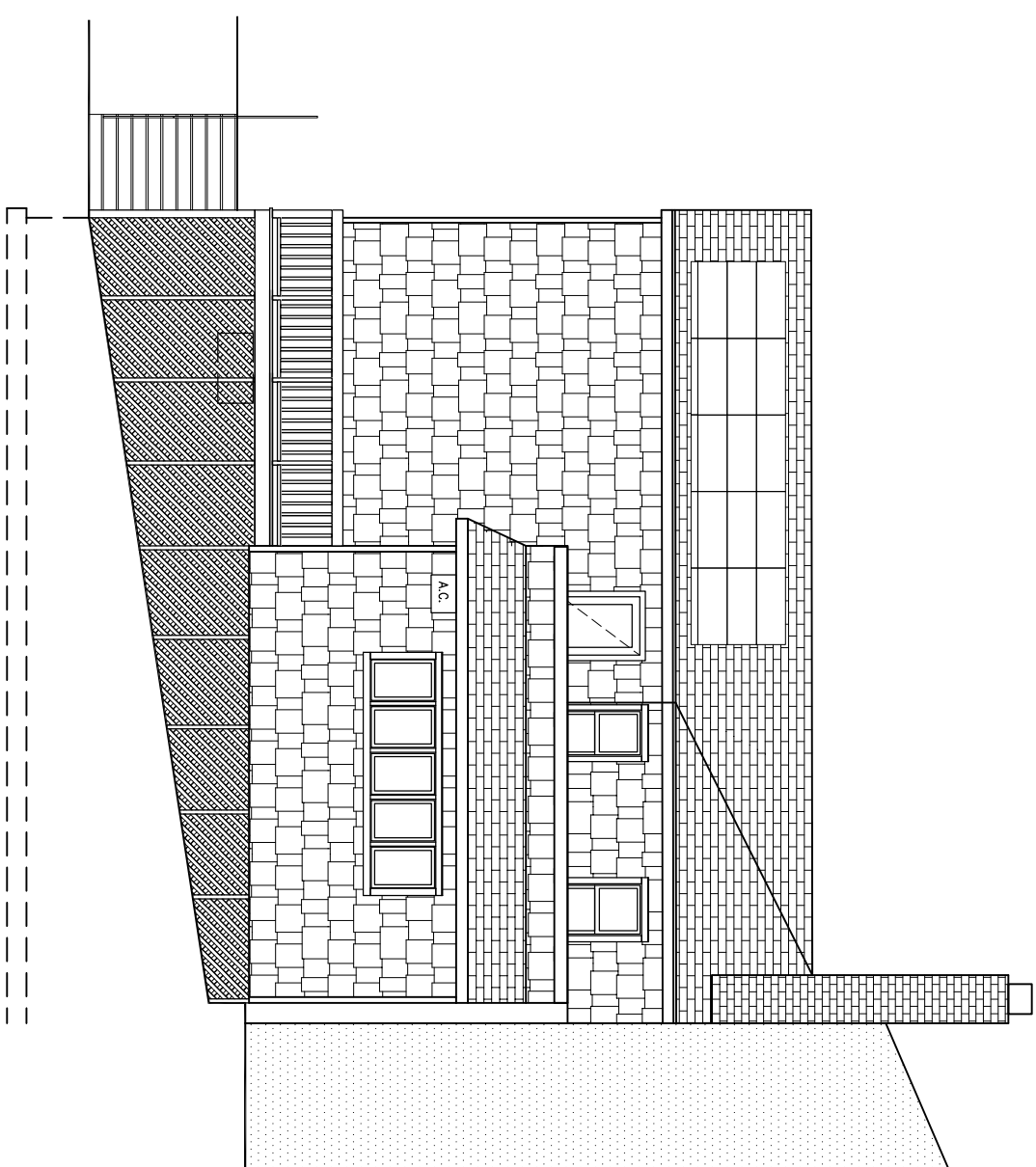
3 EXISTING SECOND FLOOR PLAN
1/8"=1'-0"



4 EXISTING NORTH ELEVATION
1/8"=1'-0"




5 EXISTING WEST ELEVATION
1/8"=1'-0"

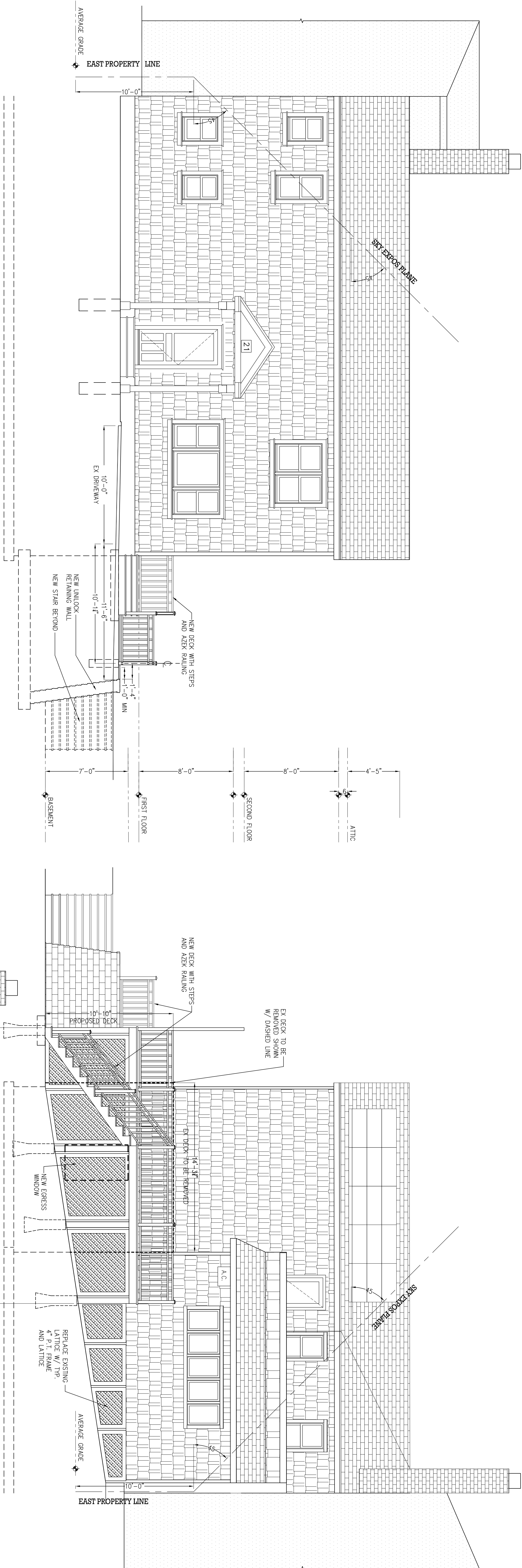


6 EXISTING SOUTH ELEVATION
1/8"=1'-0"

1	08.27.20	DENIAL-CLARIFICATION
NO.	DATE	REVISION/ISSUE
SCALE		

EXISTING FLOOR PLANS
AND ELEVATIONS

DRAWING TITLE			
EXISTING FLOOR PLANS AND ELEVATIONS			
DATE	SCALE	AS NOTED	OLD FILE
08.06.20			
<hr/>			
			
STEVEN SECON ARCHITECT			
145 Palisade Street, Suite 440 Dobbs Ferry, NY 10522 Tel: (914) 674-2969 Fax: (914) 693-1537 WWW.SECONARCHITECT.COM			
<hr/>			
A-1			

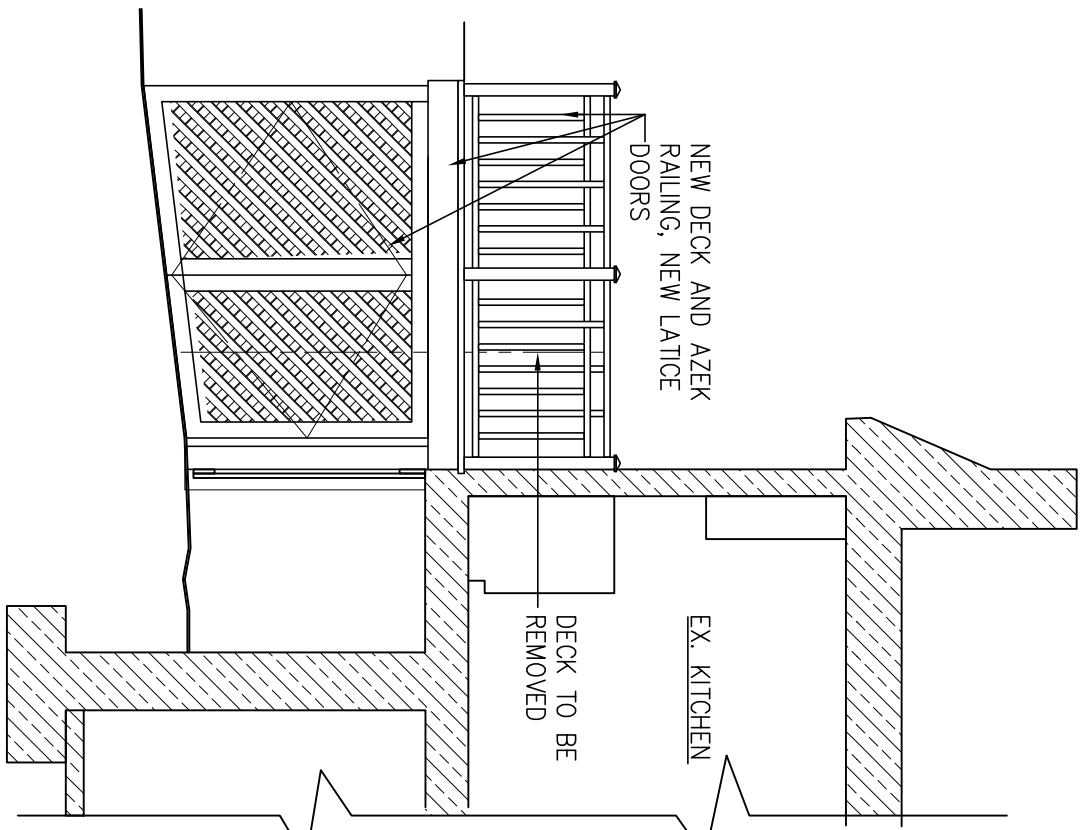


1 PROPOSED NORTH ELEVATION
1/4"=1'-0"

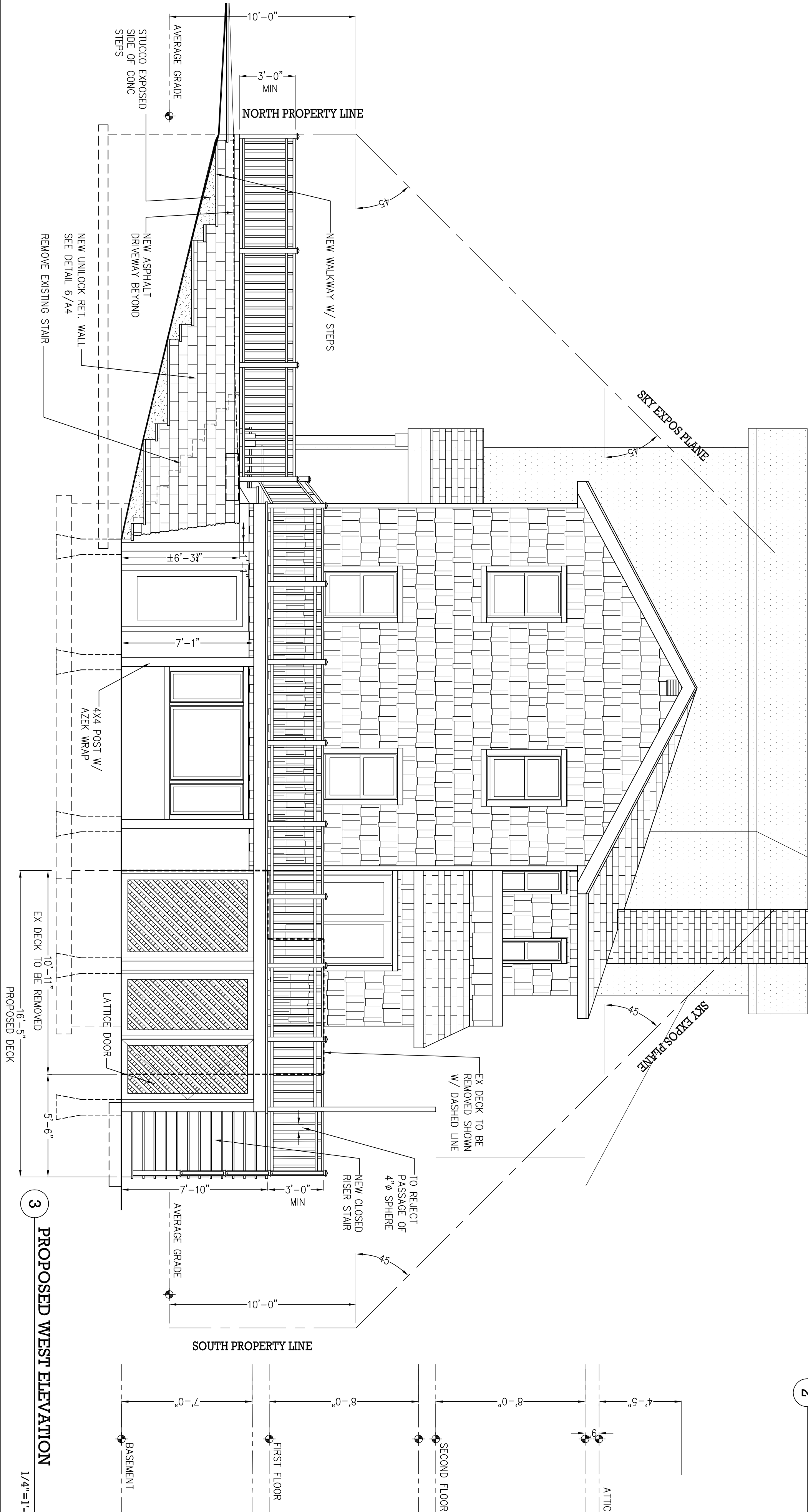
2 PROPOSED SOUTH ELEVATION
1/4"=1'-0"



MATERIALS



2A PROPOSED PARTIAL EAST ELEVATION
1/4"=1'-0"



3 PROPOSED WEST ELEVATION
1/4"=1'-0"

1	08.27.20	DENIAL/CLARIFICATION
NO.	DATE	REVISION/ISSUE

SCALE

PROJECT
NEILL RESIDENCE
- ADDITION & ALTERATIONS -
21 RIVERSIDE PLACE
DOBBS FERRY, NY 10522
MOUNTED # 3.80636-22

DRAWING TITLE

PROPOSED ELEVATIONS

DATE	SCALE	AS NOTED	OLD FILE
08.06.20	AS NOTED		



FINISH SCHEDULE

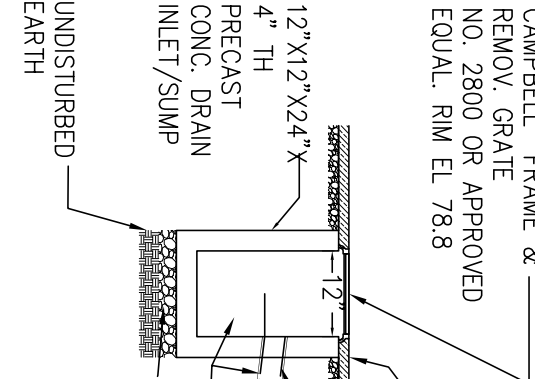
MO-1	MOSAIC CERAMIC TILE	PRODUCED BY OWNER
WC-1	WOOD	SELECT, BRUCE OR EQ., STAINED & SEALED
WC-2	2 1/4" X 8" OAK STRIP WOOD FLOORING	
CT-1	GLAZED CERAMIC WALL TILE	PROVIDED BY OWNER
P-1	EGGSHELL LUSTER LATEX PAINT	PRATT & LAMBERT
P-2	FLAT NO-DROP LATEX PAINT	PRATT & LAMBERT
P-3	SALIN LUSTER LATEX PAINT	PRATT & LAMBERT
QT-1	QUARRY TILE	
ST-1	SLATE	
CT-1	CARPET	

OWNER PROVIDED ITEMS

ALL OTHER REQUIRED LABOR AND MATERIALS
SHALL BE BY THE GC

HEADER SCHEDULE

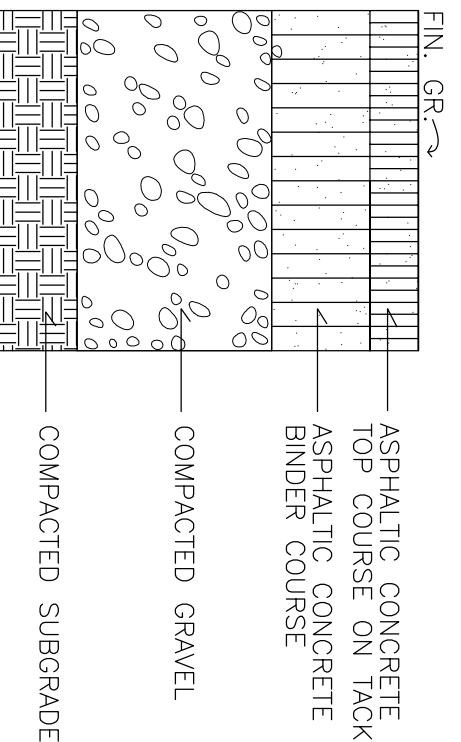
- PROVIDE DOUBLE STUDS AT DOUBLE HEADERS
- PROVIDE TRIPLE STUDS AT TRIPLE HEADERS
- WHERE HEADERS PROJECT (NOT FLUSH WITH WALL)



DRIVEWAY DRAIN AND DRYWELL DETAIL



SILT FENCE DETAIL



STONE PATH DETAIL



5A ASPHALT DRIVEWAY DETAIL



6 UNLOCK RETAINING WALL DETAIL



LEDGE ROCK WHERE ENCOUNTERED

8" DEEP EPOXY GROUTED
SCKET FOR EA DOWEL

DECK DETAIL

 $1/2"=1'-0"$

11. BOOK LEADS TO UNCOMMON IDEAS

USE THIS LOOKING GLASS

[illegible]