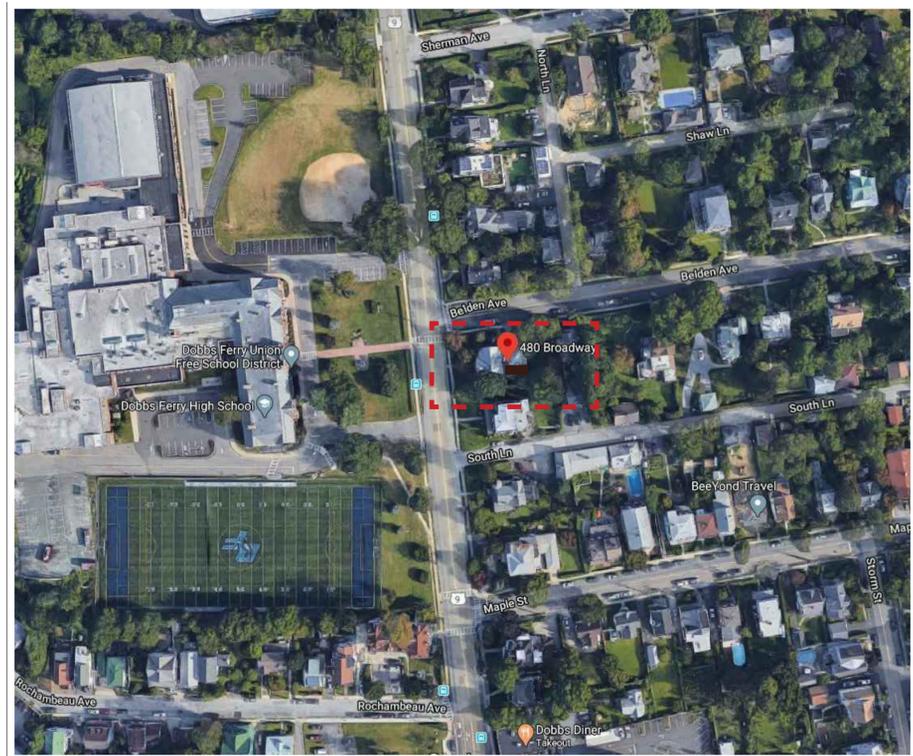
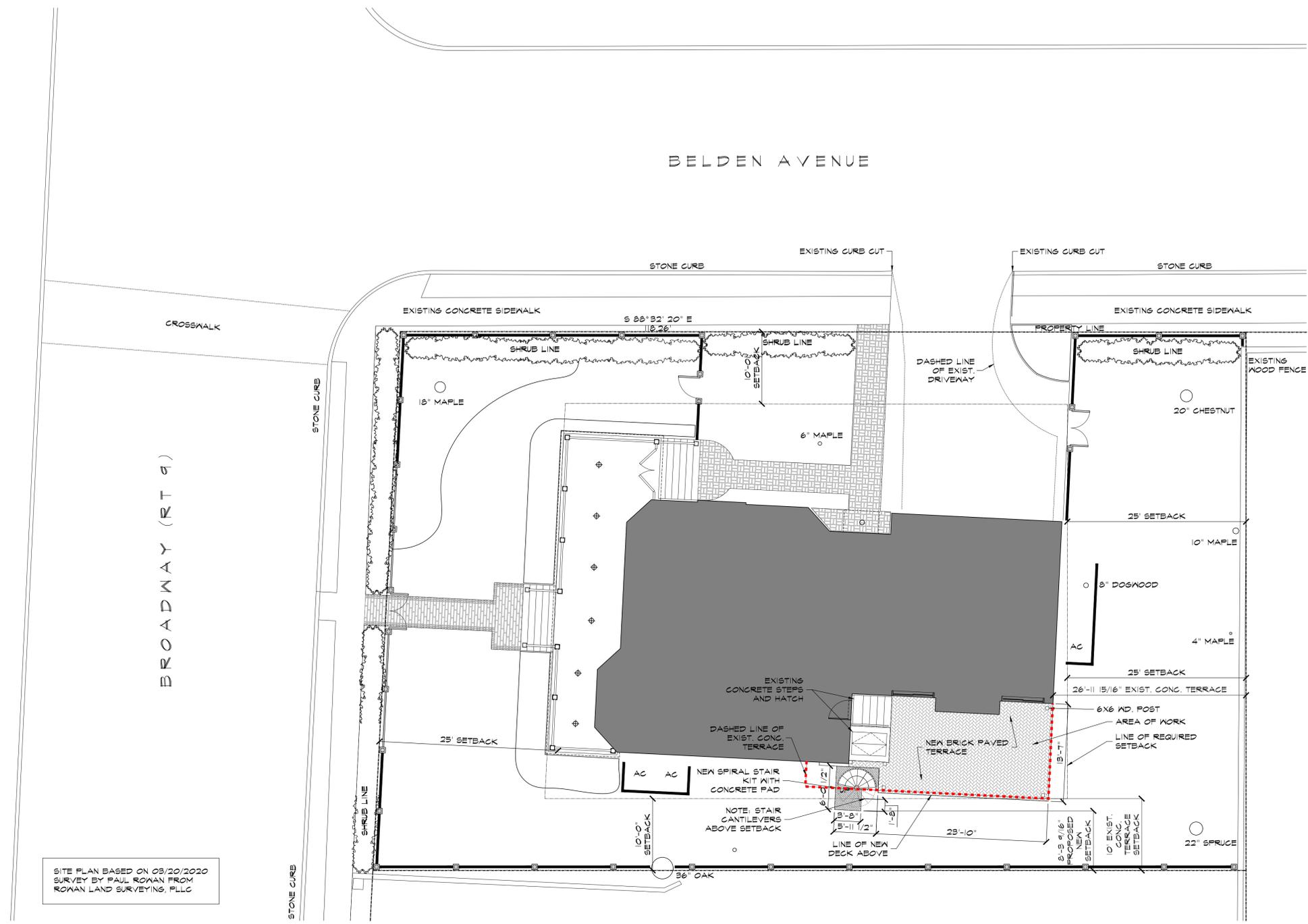


SHEET LIST	
ARB-01	ZONING INFO
ARB-02	SITE PLAN- FIRST FLOOR
ARB-03	SITE PLAN- SECOND FLOOR
ARB-04	NORTH ELEVATION & WEST ELEVATION
ARB-05	SOUTH ELEVATION & EAST ELEVATION
ARB-06	RAILING AND POST DETAILS
ARB-07	EXISTING CONDITIONS IMAGES
ARB-08	EXISTING & PROPOSED VIEW LOOKING NORTH-WEST
ARB-09	EXISTING & PROPOSED VIEW LOOKING NORTH-EAST
ARB-10	EXISTING & PROPOSED VIEW LOOKING NORTH-EAST 2
ARB-11	EXISTING & PROPOSED VIEW LOOKING NORTH-EAST 3

Spinella-Kreuch Residence			
480 Broadway			
Dobbs Ferry, NY 10522			
Section, Lot, Block #: 3.50-16-26			
Owner of Record: Maria Spinella & Steven Kreuch			
Zoning Calculations			
Zoning District: B - Broadway			
	Required	Provided	Notes
Minimum net lot area	5000 s.f.	9014 s.f.	No change
Minimum lot area per dwelling unit	800 s.f.	9014 s.f.	No change
Minimum lot width	50 ft.	75.1 ft.	No change
Minimum lot depth	100 ft.	118.3 ft.	No change
Maximum lot coverage by buildings	30%	27.8% (2505 s.f.)	
Maximum lot coverage by impervious surfaces	60%	43.4% (3912.65 s.f.)	
Minimum front yard setback	Prevailing	23.4 ft.	No change
Minimum rear yard setback	25 ft.	25.0 ft.	No change
Minimum side yard setback (each)	10 ft.	10.2 ft.	No change
Minimum side yard setback (both)	20 ft.	22.12 ft.	Note revised combined setback
Minimum side yard setback (North)	10 ft.	13.83 ft.	Complies
Minimum side yard setback (South)	10 ft.	8.29 ft.	1.71 ft. Variance Required





SITE PLAN BASED ON 03/20/2020 SURVEY BY PAUL ROWAN FROM ROWAN LAND SURVEYING, PLLC

First Floor Site Plan
Scale: 1/8" = 1'-0"



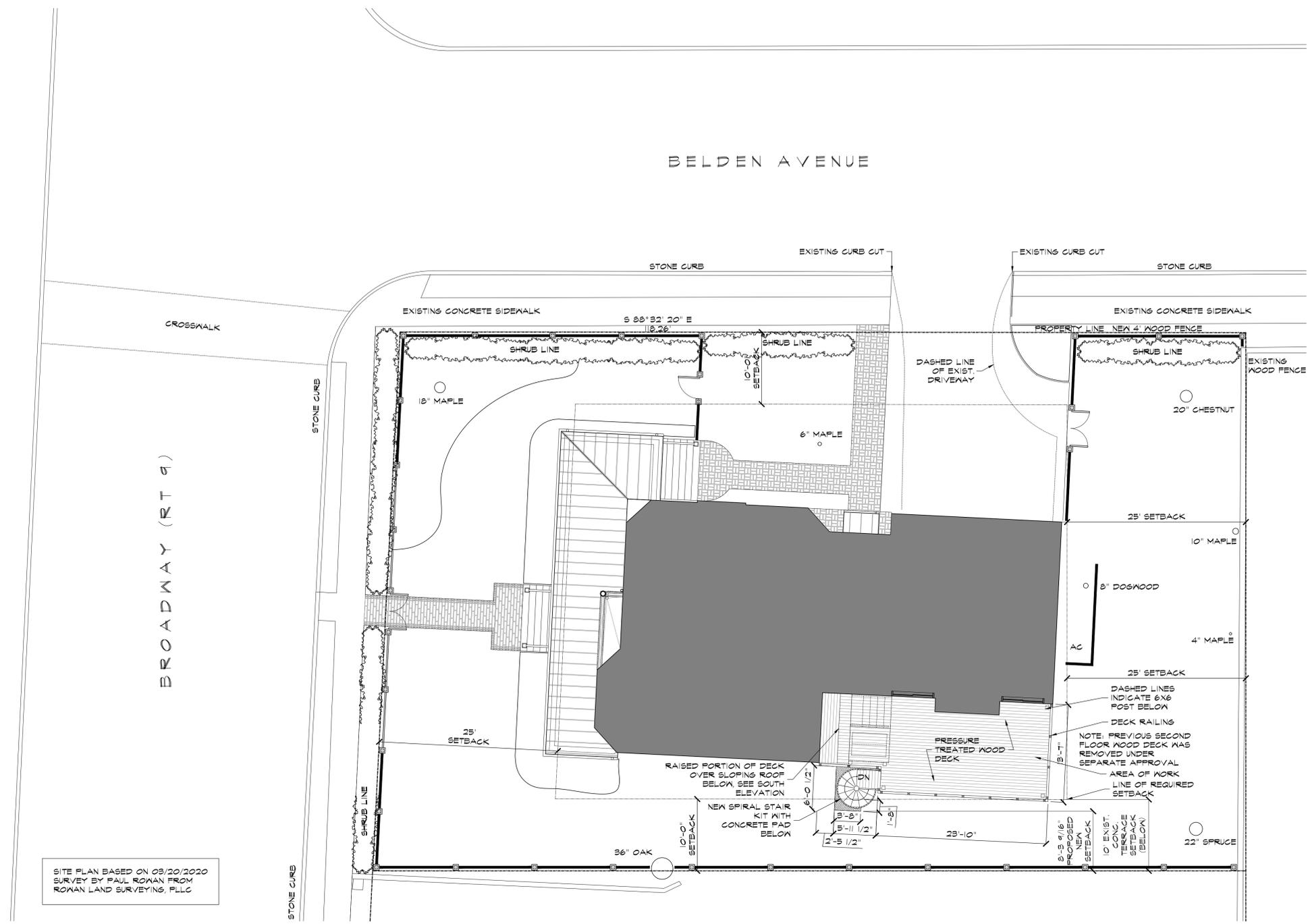
3 West Main Street
Irvington, NY 10533
T 914 478 9359

315 West 53rd Street
New York, NY 10019
T 212 216 9268



Spinella-Kreuch Residence
480 Broadway,
Dobbs Ferry, NY, 10522

ARB - 02
2022-10-07



SITE PLAN BASED ON 03/20/2020 SURVEY BY PAUL ROWAN FROM ROWAN LAND SURVEYING, PLLC

Second Floor Site Plan
Scale: 1/8" = 1'-0"



NO NEW WORK PROPOSED ON NORTH SIDE OF RESIDENCE - FOR REFERENCE ONLY



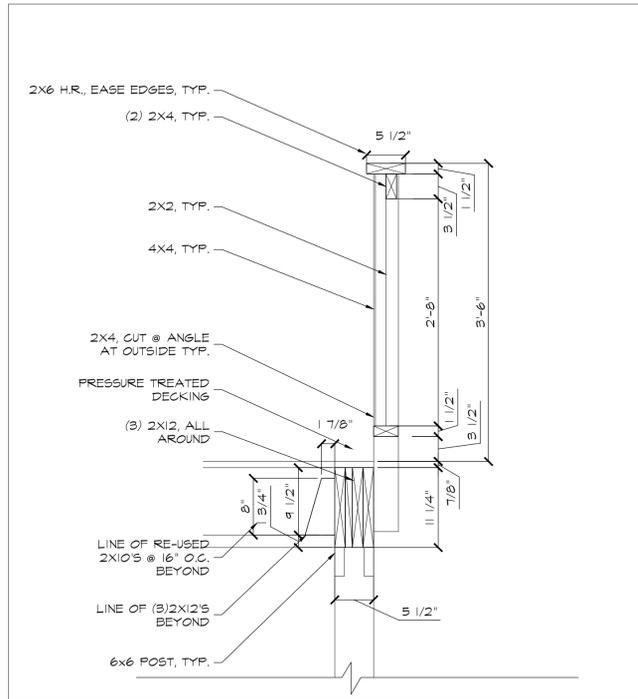
West Elevation
Scale: 1/4" = 1'-0"



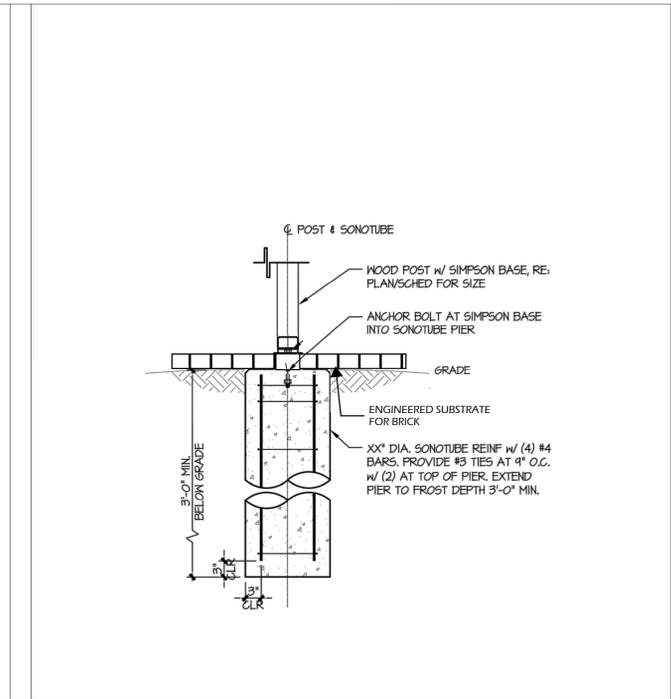
East Elevation and Plan
Scale: 1/4" = 1'-0"



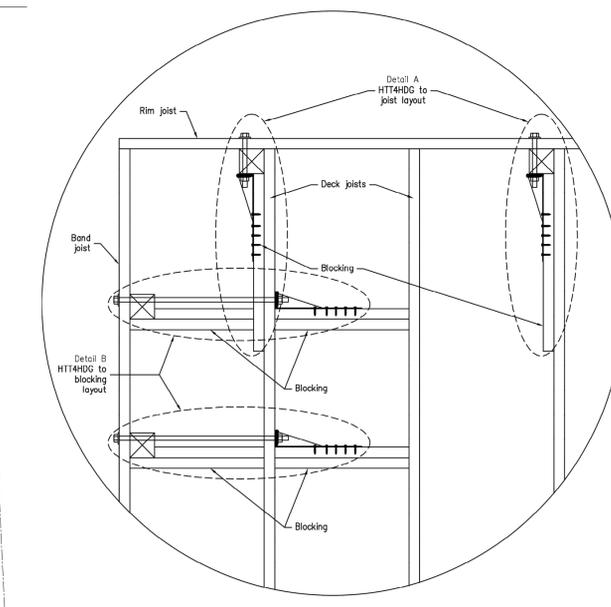
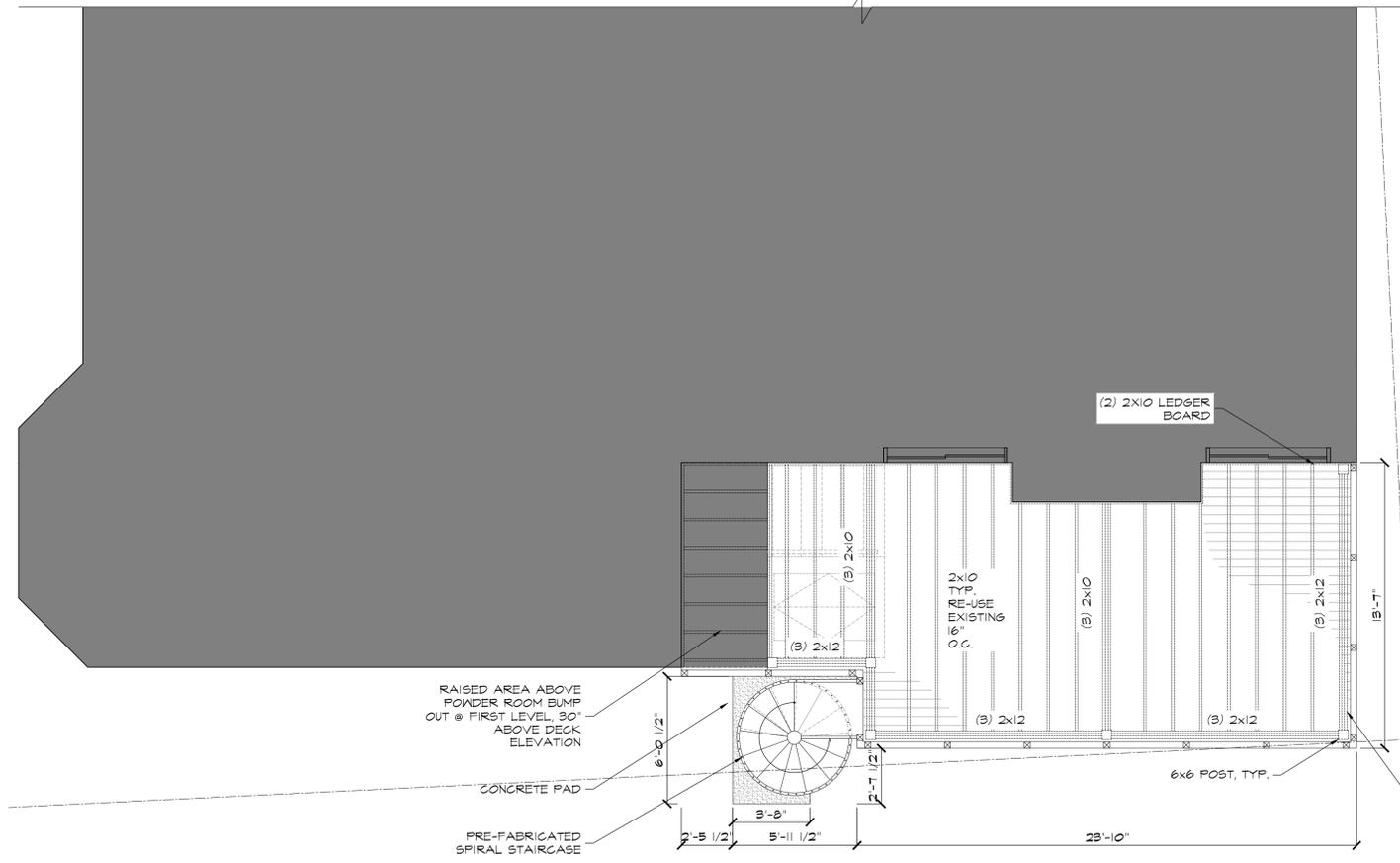
South Elevation and Plan
Scale: 1/4" = 1'-0"



O1 GUARDRAIL DETAIL
ARB-08 SCALE: 1" = 1'-0"



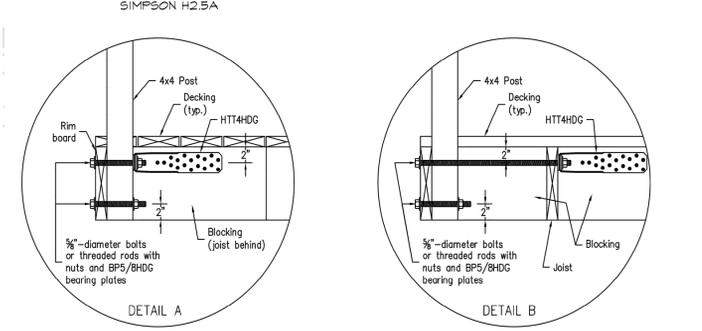
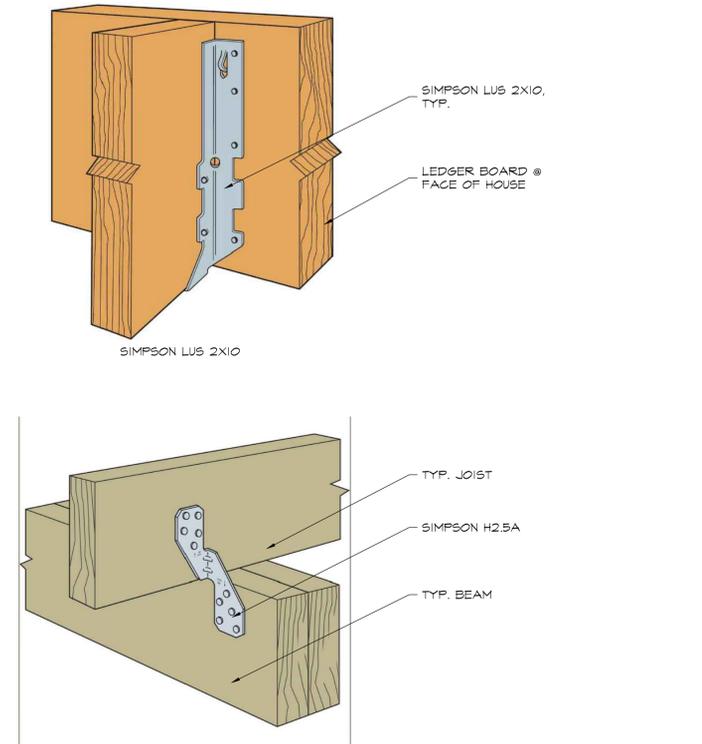
O2 DETAIL AT SONOTUBE - TYP. @ EA. COLUMN
ARB-08 SCALE: 3/4" = 1'-0"



Deck design load
DL = 15psf
LL = 40psf

STRUCTURAL NOTES:
1. JOIST TO BEAM HANGERS SHALL BE SIMPSON LUS 2X10
2. POST BASES SHALL BE SIMPSON ABU 66Z
3. POST TO BEAM CONNECTION SHALL BE SIMPSON AC66, (2) PER CONNECTION
4. DIAGONAL MEMBERS & KNEE BRACES SHALL BE LAG BOLTED TO THE POST AND BEAM
5. TOP MOUNT JOIST TO BEAM CONNECTION SHALL BE SIMPSON H2.5A

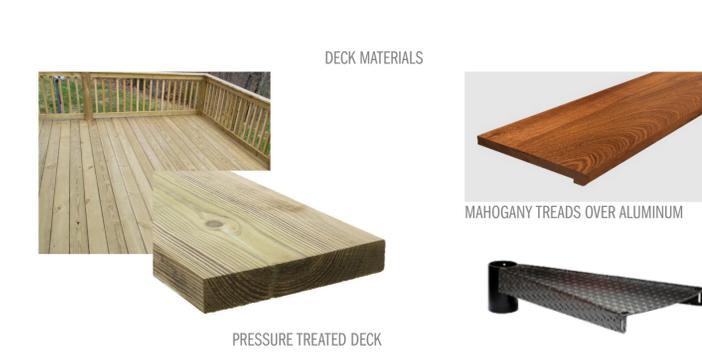
ALL SIMPSON COMPONENTS TO BE PAINTED BLACK, PREPAINT PRIOR TO INSTALLATION AND TOUCH UP AFTER INSTALL.



Deck design load
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LL = 40psf

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484 Broadway



Intersection of Broadway and Belden



480 Broadway
Street view looking East on Broadway



474 Broadway



12 Belden Ave.
Property to the East on Belden
view Looking South on Belden



North Elevation
Street view Looking South on Belden



North-West Elevation



South-East Elevation
Looking North-West on rear yard

Existing- Condition Images



Before : View Looking North-West



After : View Looking North-West



Before : View Looking North-East



After : View Looking North-East



Before : View Looking North-East



After : View Looking North-East



Before : View Looking North-East



After : View Looking North-East