

ZONING ANALYSIS

OWNER	TIMOTHY AND PATRICIA HARTNETT			
LOCATION	McCLELLAND AVENUE DOBBS FERRY, NY 10522			
TAX MAP	SECTION : 8	SHEET : 10	BLOCK : 419	LOT : 14
EXISTING ZONING	OF-6 ONE FAMILY RESIDENCE			
EXISTING USE	N/A			
PROPOSED USE	ONE FAMILY RESIDENCE			

ZONING REQUIREMENTS

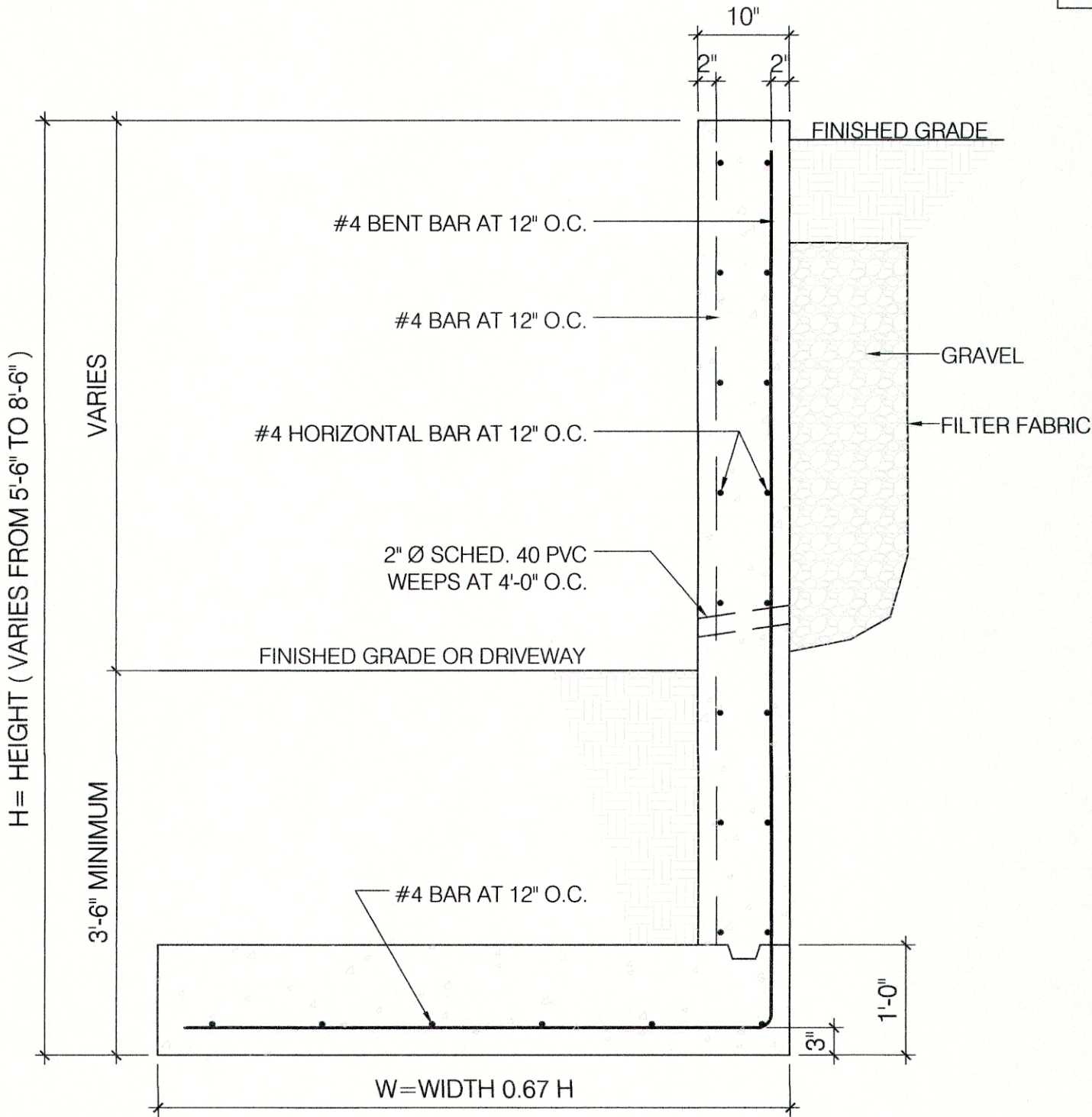
SETBACKS	REQ'D/ ALLOWED	PROPOSED
	OF-6	
FRONT	20 FEET	20.40 FEET
SIDE (MIN.)	10 FEET	10.10 FEET
SIDE (TOTAL)	20 FEET	20.50 FEET
REAR	25 FEET	25.10 FEET
HEIGHT		
STORIES	2 1/2	2 1/2
FEET	35 FEET	33.0 FEET
LOT COVERAGE		
LOT WIDTH	50 FEET	50 FEET
LOT AREA	5,000 SQ.FT. MIN.	5,000 SQ.FT.
SITE COVERAGE	27%	26.44% (1,322)

FLOOR AREAS

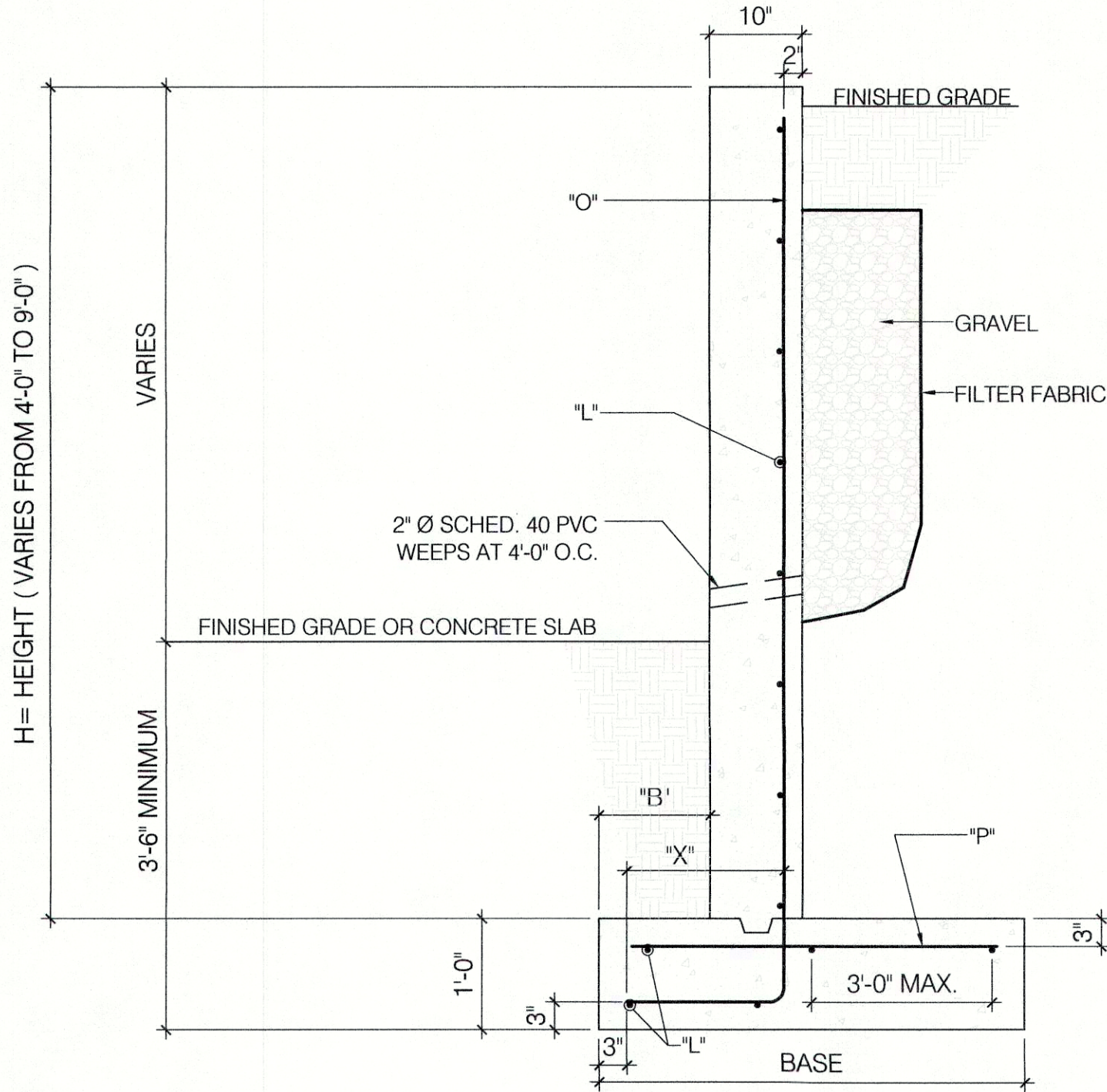
BASEMENT	677	1
FIRST FLOOR	1,322	2
SECOND FLOOR	1,256	3
ATTIC	456	4

FOOTNOTES:

- BASEMENT AREA IS INTERNAL FLOOR AREA OF FINISHED SPACE WITH A HEAD HEIGHT OF 7'-6" MINIMUM.
- FIRST FLOOR AREA IS TO EXTERIOR WALL SURFACES.
- SECOND FLOOR AREA IS TO EXTERIOR WALL SURFACES LESS THE AREA OF THE STAIRCASE FROM FIRST TO SECOND FLOOR.
- ATTIC FLOOR AREA IS INTERIOR FLOOR AREA OF FINISHED SPACE WITH A HEAD HEIGHT OF 7'-0" MINIMUM.
- ACCORDING TO SECTION 300-2 IN THE DOBBS FERRY VILLAGE CODE WITH A DATUM LINE OF EL. 92.0 ESTABLISHED AS THE LEVEL THREE FEET ABOVE THE CURB LEVEL OF EL. 89.0 AND A CEILING HEIGHT OF EL. 94.5 IN THE FINISHED PORTION OF THE BASEMENT, THE BASEMENT SHALL COMPUTE TO BE 0.30 (2.5/8.0) OF A STORY. ACCORDING TO SECTION R202 OF THE RESIDENTIAL CODE OF THE STATE OF NEW YORK THIS BASEMENT DOES NOT MEET THE REQUIREMENTS OF BEING ANY PORTION OF A STORY.
- ACCORDING TO SECTION 300-2 IN THE DOBBS FERRY VILLAGE CODE, ANY "STORY" UNDER THE PITCHED ROOF AT THE TOP OF A BUILDING THE FLOOR OF WHICH IS NOT MORE THAN TWO FEET BELOW THE PLATE SHALL BE COUNTED A HALF STORY. WHEN NOT MORE THAN 50% OF SAID FLOOR AREA IS USED FOR ROOMS, BATHS OR TOILETS, WITH A FINISHED AREA OF 496 SQ.FT., THE ATTIC IS 36.3% OF THE FLOOR AREA.



POURED CONCRETE
RETAINING WALL TYPE "A"
NOT TO SCALE



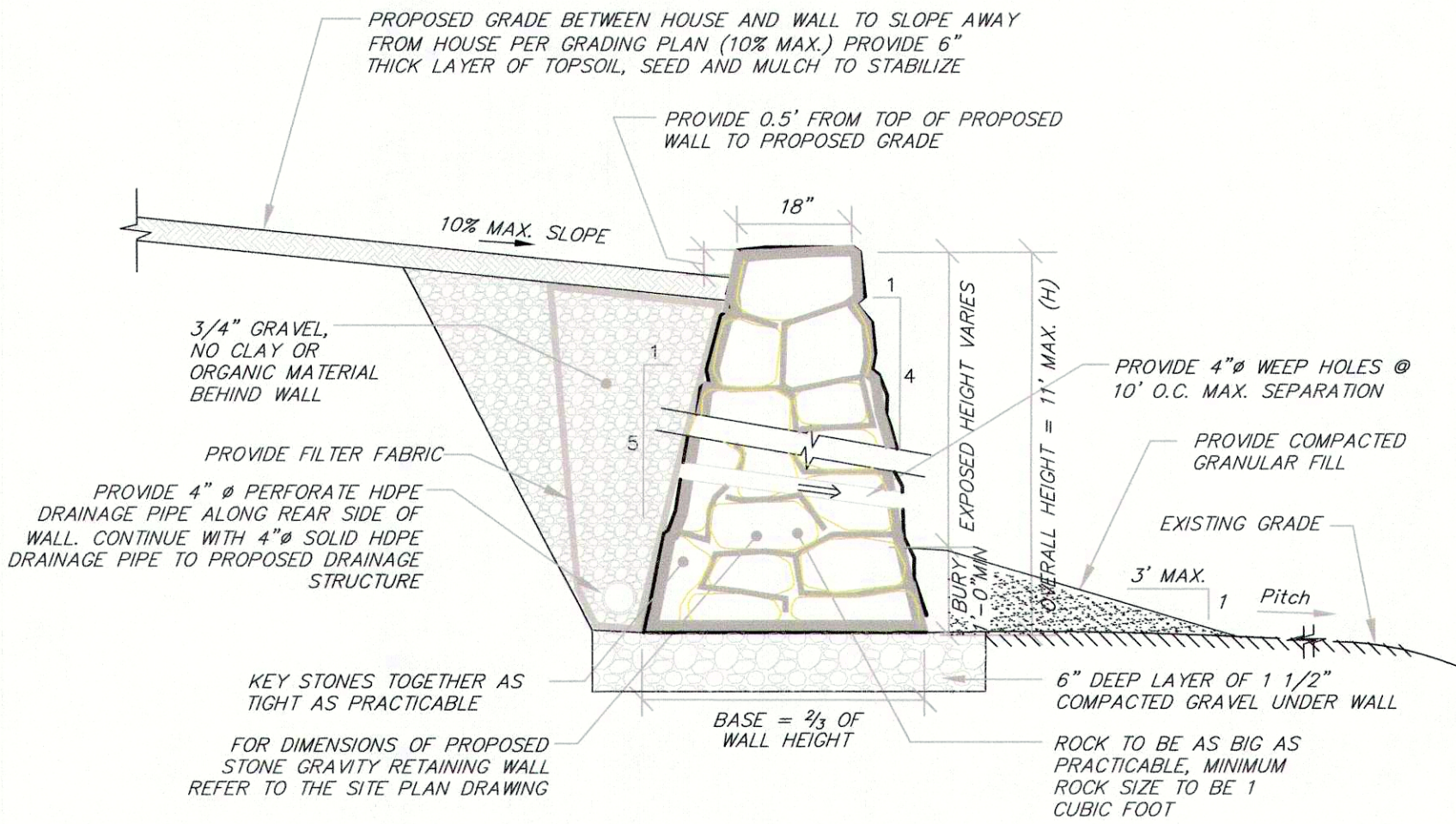
NOTES

- CONCRETE TO BE 3,000 PSI MINIMUM.
- PROVIDE CONTROL JOINTS EVERY 25 FEET.

DRY BOULDER RETAINING WALL
(ALTERNATE RETAINING WALL)
NOT TO SCALE

TYPE "B" RETAINING WALL									
HEIGHT H (FT.)	BASE (FT.)	B (FT.)	C (FT.)	"O" BARS SPACING	"X"	"P" BARS SIZE- LENGTH- SPACING	"L" BARS SIZE- SPACING		
3	1'-9"	0'-4"	0'-7"	#3 @ 18" O.C.	0'-8"	# 3 x 1'-3" @ 18" O.C.	# 4 @ 9" O.C.		
4	2'-2"	0'-5"	0'-9"	#3 @ 18" O.C.	0'-9"	# 3 x 1'-8" @ 18" O.C.	# 4 @ 9" O.C.		
5	2'-8"	0'-5"	1'-5"	#3 @ 18" O.C.	0'-9"	# 3 x 2'-2" @ 18" O.C.	# 4 @ 10" O.C.		
6	3'-3"	0'-8"	1'-9"	#3 @ 18" O.C.	1'-0"	# 3 x 2'-9" @ 18" O.C.	# 4 @ 9" O.C.		
7	3'-10"	1'-0"	2'-0"	#3 @ 15" O.C.	1'-4"	# 3 x 3'-4" @ 18" O.C.	# 4 @ 9" O.C.		
8	4'-3"	1'-1"	2'-4"	#3 @ 11" O.C.	1'-5"	# 3 x 3'-9" @ 18" O.C.	# 4 @ 10" O.C.		
9	4'-9"	1'-1"	2'-10"	#3 @ 7" O.C.	1'-5"	# 3 x 4'-3" @ 12 1/2" O.C.	# 4 @ 10" O.C.		
10	5'-4"	1'-4"	3'-2"	#4 @ 9 1/2" O.C.	1'-8"	# 3 x 4'-10" @ 9 1/2" O.C.	# 4 @ 10" O.C.		

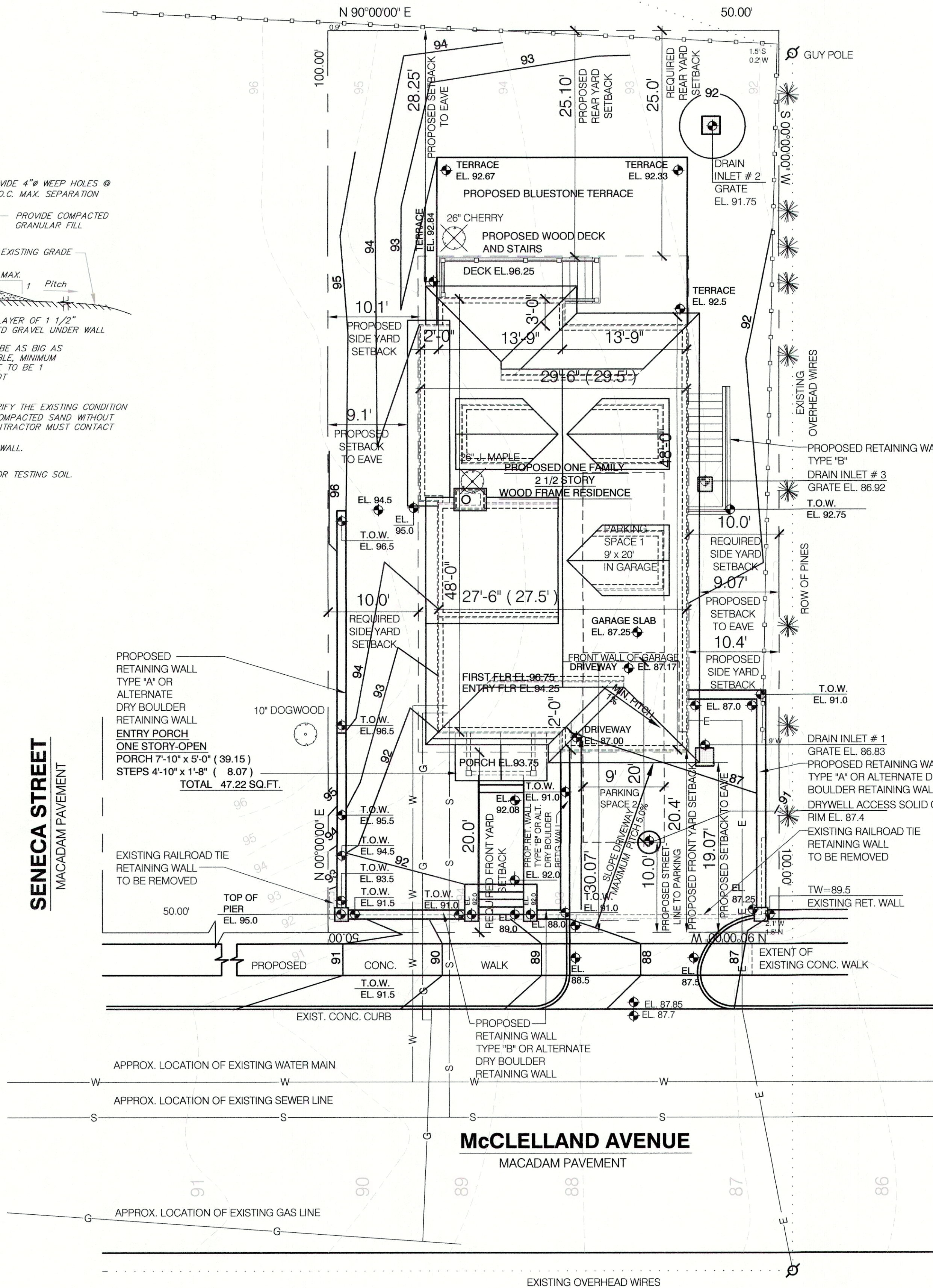
POURED CONCRETE
RETAINING WALL TYPE "B"
NOT TO SCALE



NOTES:

- CONTRACTOR TO CONSTRUCT AND STABILIZE WALL AT BASE. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXISTING CONDITION OF SOIL UNDER PROPOSED WALL (FOUNDATION CONDITION). MINIMUM CONDITION SHALL CORRESPOND TO COMPACTED SAND WITHOUT ORGANICS, CLAY OR ANY OTHER UNSUITABLE MATERIAL. IF THIS CONDITION IS NOT ACHIEVED ON SITE CONTRACTOR MUST CONTACT DESIGN ENGINEER PRIOR TO STARTING WORK.
- CONTRACTOR TO PLACE STONE ON EXPOSED FACE WITH CARE TO DEVELOP AN AESTHETICALLY PLEASING WALL.
- MINIMUM ROCK SIZE SHALL BE 1 CUBIC FOOT. STONES TO BE PLACED AS TIGHT AS POSSIBLE.
- WALL SHALL BEAR ON SOIL WITH 3 TON CAPACITY SOIL MINIMUM. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING SOIL.

SENECA STREET
MACADAM PAVEMENT



NOTES :

- THERE IS NO ENVIRONMENTALLY SENSITIVE AREA OR LAND OF THE TYPE CITED IN SECTION 300-2 IN THE VILLAGE CODE ON THIS SITE.
- ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE NEW YORK STATE STORM WATER MANAGEMENT DESIGN MANUAL.

NOTE :

ALL SURVEYING INFORMATION ON THIS DRAWING IS BASED ON A SURVEY PREPARED BY PAUL J. PETRETTI, P.E., L.S., WHO CERTIFIED THE SURVEY OF THE PROPERTY SHOWN HEREON IS BASED ON A FIELD SURVEY COMPLETED ON MAY 31, 2007. MAP COMPLETED ON JUNE 6, 2007. TOPO ADDED ON JUNE 6, 2007. RE-TOPO & RETAINING WALL ADDED JULY 30, 2007.

SITE PLAN

SCALE : 1/8" = 1'-0"

- REVISED 01-16-08
1. SHOWED DRAIN AT BTM OF EXT. STAIRS
2. LABELED DIMENSIONS FROM EAVE TO PROP. LINE
3. RAISED GARAGE AND FRONT BSMNT FLR LEVEL BY 1'-0" TO REDUCE DRIVEWAY PITCH
4. ALTERED GARAGE IN BSMNT TO ACCOMMODATE SECOND CAR SPACE IN DRIVEWAY
5. SHOWED DIMENSION FROM PROP. LINE TO PARKING SPACE IN FRONT OF HOUSE
6. REVISED TYPE "B" RETAINING WALL DETAIL
- REVISED 11-29-07
1. SHORTENED LENGTH OF WEST FACING EXT. WALL IN FAM. RM. & MASTER BR.
2. REDUCED SIZE OF GABLED DORMERS
3. CHANGED HOUSE SIDE YARD SETBACKS TO 10.1 FT AND 10.4 FT FROM 10.25 FT AND 10.25 FT. AND FRONT YARD SETBACK TO 20.40 FT FROM 20.25 FT SO AS NOT TO HAVE EAVE EXTEND INTO SETBACK BY MORE THAN 12"
- REVISED 04-28-08
1. CHANGED PROPOSED GRADING CONTOUR AT BLUESTONE TERRACE
2. ADDED ACCESS COVERS TO DRYWELL DETAIL
3. ADDED RETING WALL DET.
4. ADDED WATER MAIN IN ST.
5. REDUCED FRONT PORCH INCLUDING STEPS TO BE UNDER 50 SQ.FT..
- REVISED 06-25-08
1. CHANGED HOUSE SIDE YARD SETBACKS TO 10.1 FT AND 10.4 FT FROM 10.25 FT AND 10.25 FT. AND FRONT YARD SETBACK TO 20.40 FT FROM 20.25 FT SO AS NOT TO HAVE EAVE EXTEND INTO SETBACK BY MORE THAN 12"
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JOHN DEDYO
P.E. , DEE
CONSULTING
ENGINEER
761 LINDEN ROAD
HERSHEY, PA. 17033
TEL: 914 674-2422
FAX: 717 533-5656
N.Y.S. LICENSE
No. 37298



PROJECT TITLE: **HARTNETT RESIDENCE**
19 McCLELLAND AVENUE
DOBBS FERRY, NY 10522

PROJECT NO.: 0702

**GOTHAM
DESIGN LTD.**

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
e-mail: arch329@aol.com

DATE: 08-02-07
REVISED 10-11-07
1. SHORTENED LENGTH OF WEST FACING EXT. WALL IN FAM. RM. & MASTER BR.
2. REDUCED SIZE OF GABLED DORMERS
3. CHANGED HOUSE SIDE YARD SETBACKS TO 10.1 FT AND 10.4 FT FROM 10.25 FT AND 10.25 FT. AND FRONT YARD SETBACK TO 20.40 FT FROM 20.25 FT SO AS NOT TO HAVE EAVE EXTEND INTO SETBACK BY MORE THAN 12"

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REVISED 01-03-08
1. CHANGED HOUSE SIDE YARD SETBACKS TO 10.1 FT AND 10.4 FT FROM 10.25 FT AND 10.25 FT. AND FRONT YARD SETBACK TO 20.40 FT FROM 20.25 FT SO AS NOT TO HAVE EAVE EXTEND INTO SETBACK BY MORE THAN 12"

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SHEET TITLE
SITE PLAN
DRAWN BY: MB
APPROVED BY: PRS

SHEET NUMBER

**A
1.10**