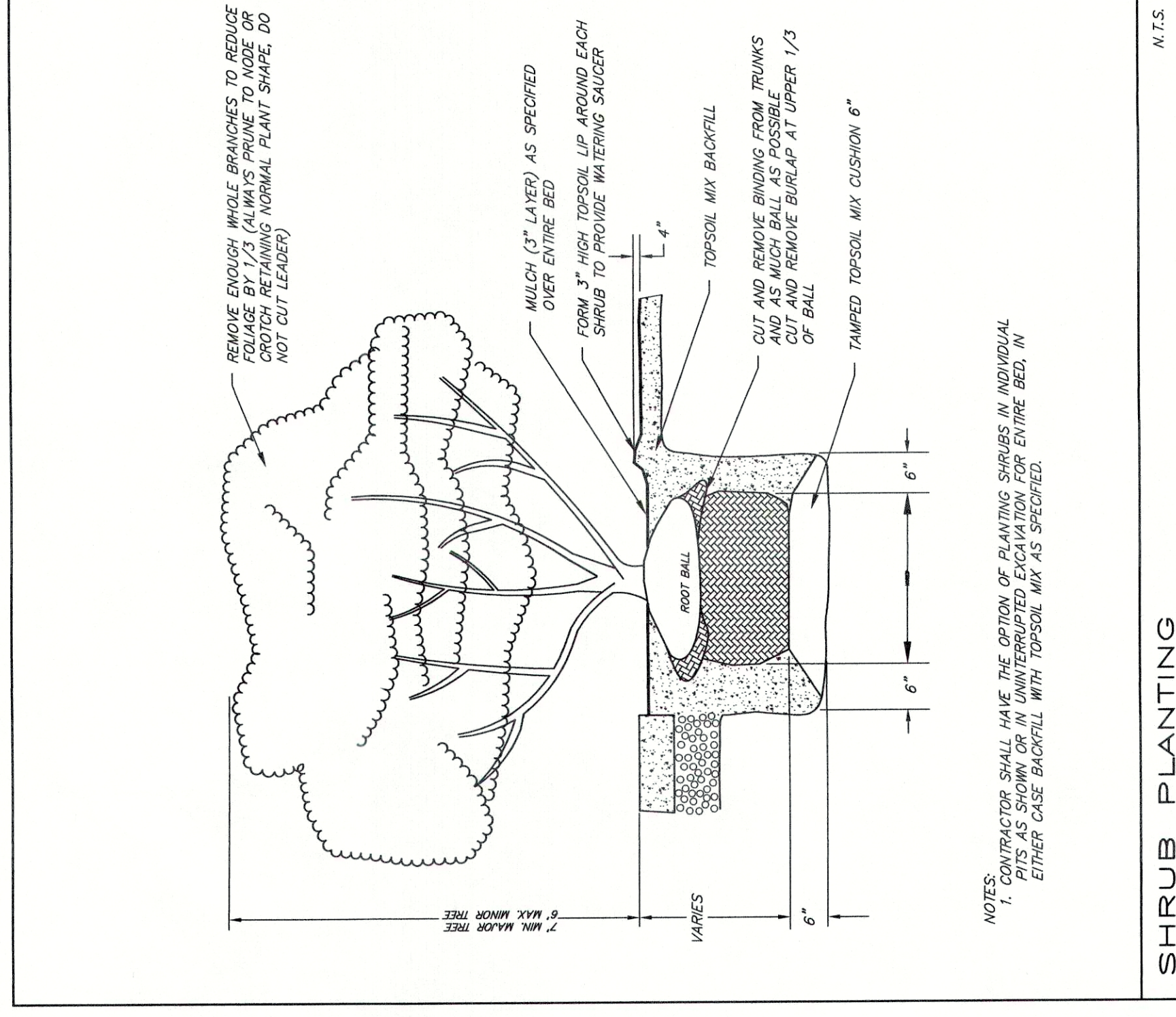
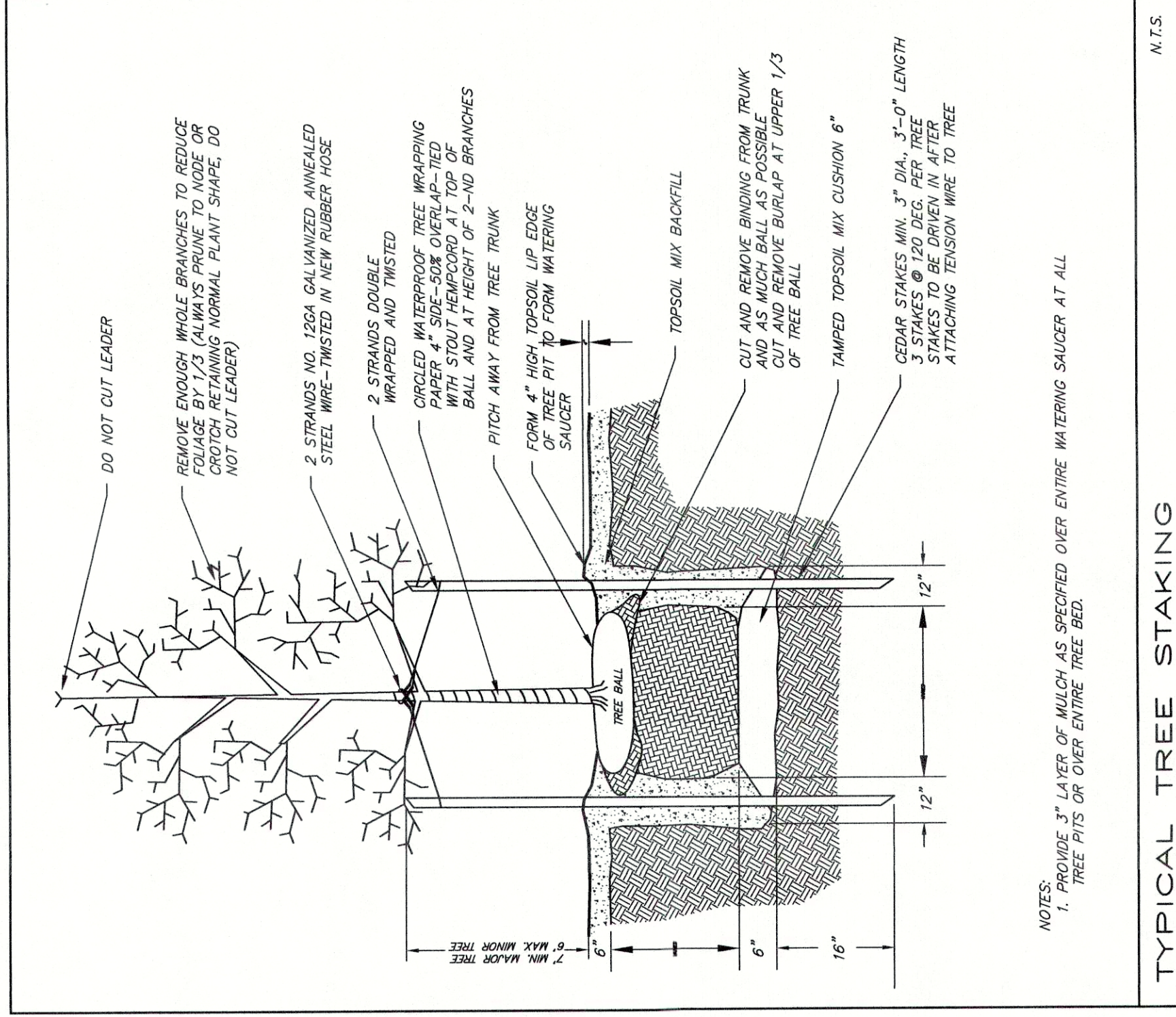
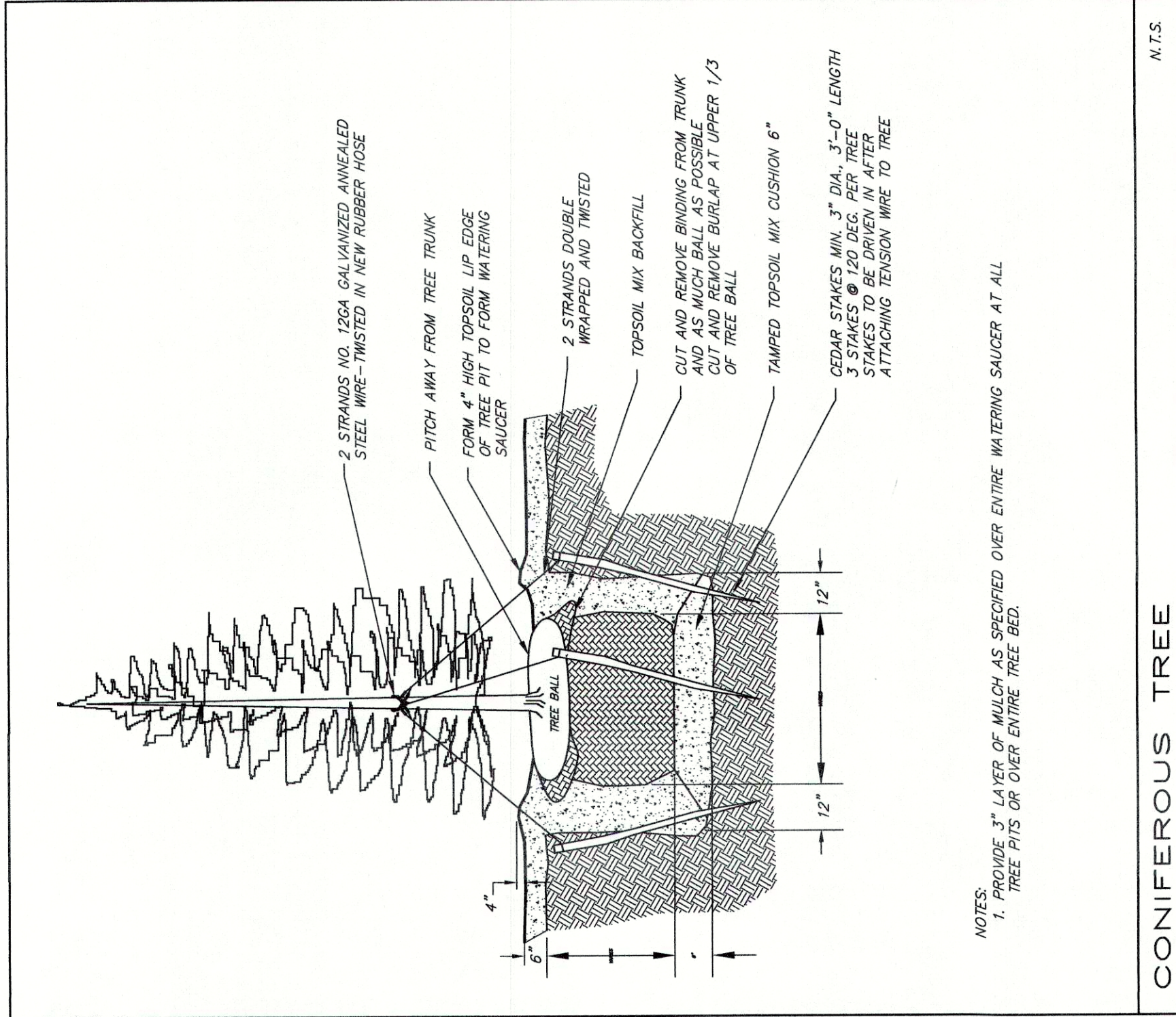




ZONING ANALYSIS

PROPERTY OWNER

DAVID MAGAN
100 WEST 10TH ST, 10TH FLOOR
PO BOX 879
HARTMAN, NEW YORK 12089

LOCATION

60 FLORENCE AVENUE
DOBBS FERRY, N.Y. 10522

TAX ID NUMBER

3 100-064746

EXISTING ZONING

M0R-1, MULTI-FAMILY RESIDENTIAL

EXISTING USE

VACANT LOT FOLLOWING CATASTROPHIC LOT OF GOOD

PROPOSED USE

TWO SINGLE-FAMILY HOMES EACH ON A SEPARATE PARCEL
EACH WITH A TWO CAR GARAGE

ZONING REQUIREMENTS

REQUIREMENTS	REQUIRED/ALLOWED	PERMITTED	PROPOSED
FRONTYARD MIN. **	20 FEET	16 FEET **	10.75 FEET
TOTAL SIDE YARD LOT 1	20 FEET	20 FEET	24.80 FEET
TOTAL SIDE YARD LOT 2	20 FEET	20 FEET	24.80 FEET
REAR LOT 1	20 FEET	20 FEET **	20.5 FEET
REAR LOT 2	25 FEET	20 FEET **	20.2 FEET
HEIGHT			
STORIES	2.5		3.5
FEET	35 FEET		33.50 FEET

BUILDING LOTS

LOT AREA	2 500 sq.ft. per unit	LOT 1 6 743 sq. ft.	LOT 2 6 062 sq. ft.
NUMBER OF RES. UNITS		ONE	ONE
LOT WIDTH	50 FEET	68 FEET	91 FEET
LOT DEPTH	100 FEET	80 FEET	66 FEET
COVERAGE			
MAX. BY BUILDINGS PERCENTAGE OF LOT	27%	25.18%	24.82%
MAX. BY IMPROVED COVER	54%	37%	37%

PARKING

	2 PER UNIT	4 SPACES	4 SPACES
* AVERAGE FRONT YARD SETBACK OF NEIGHBORING HOMES			
** THE INTERIOR SIDE YARD SETBACK HAS BEEN REDUCED FROM 10 TO 5 FEET			
*** THE REAR YARD SETBACK HAS BEEN REDUCED TO 20 FEET DUE TO THE DEPTH OF THE LOT BEING LESS THAN 100 FEET.			

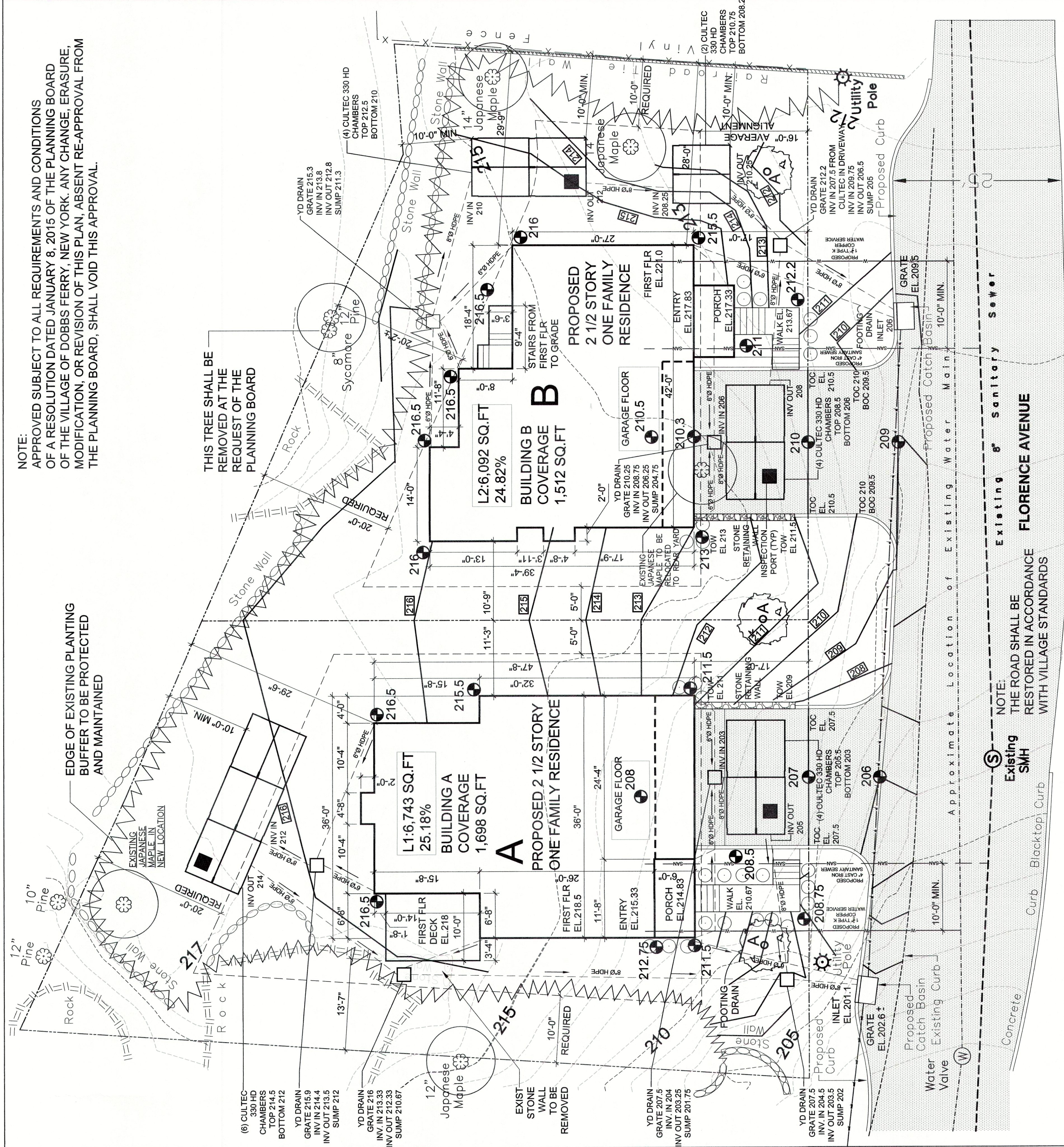
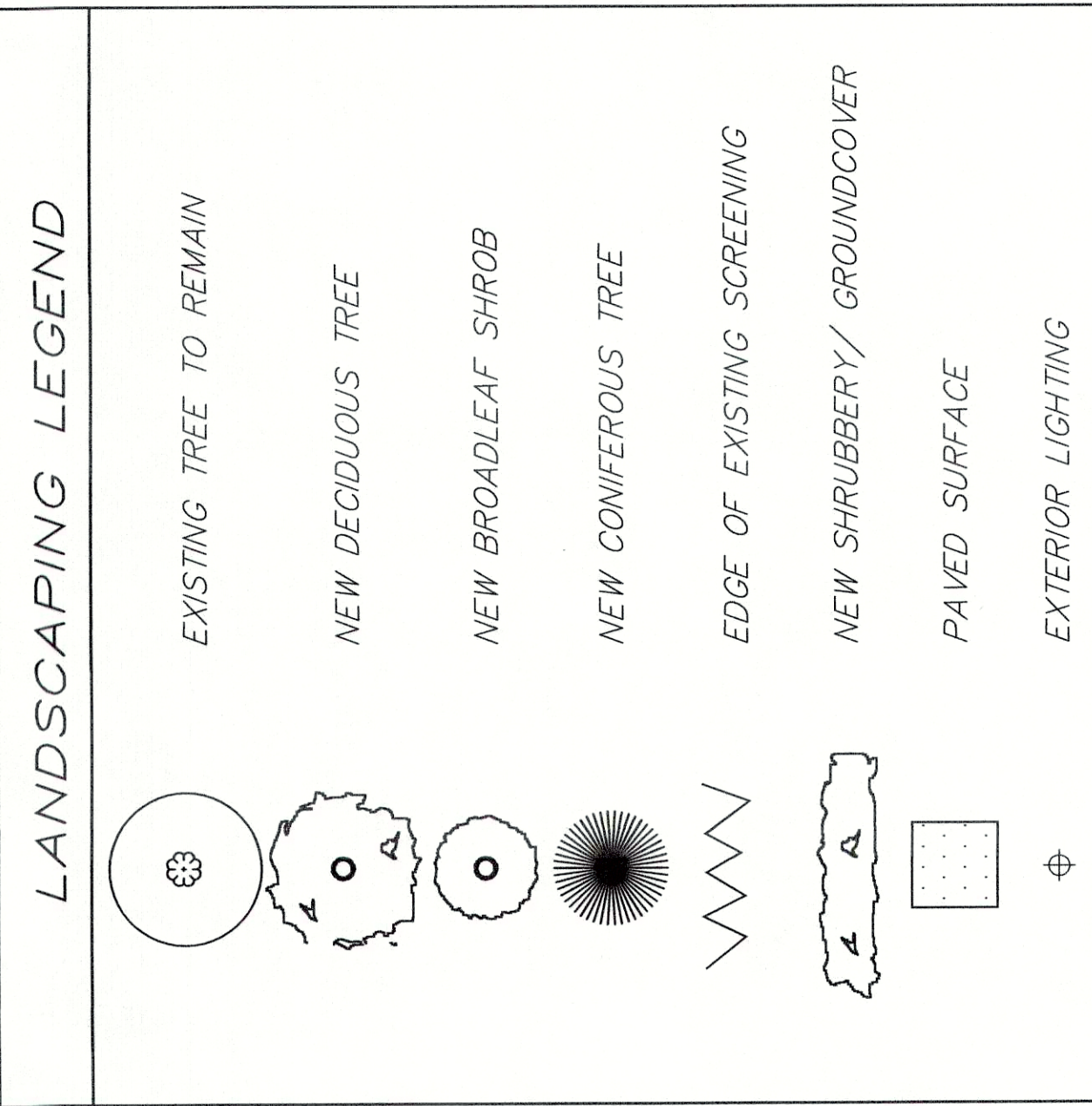
NOTE:

Drawings were previously submitted to and reviewed by the Planning Board for this property. The proposed site plan, with one or more existing buildings, which is submitted by this is a revised Site Plan application requesting a reduction in the number of units to two single family homes, as well as a reduction in the size of each building. The approved engineering drawings remain in effect for this revised Site Plan.

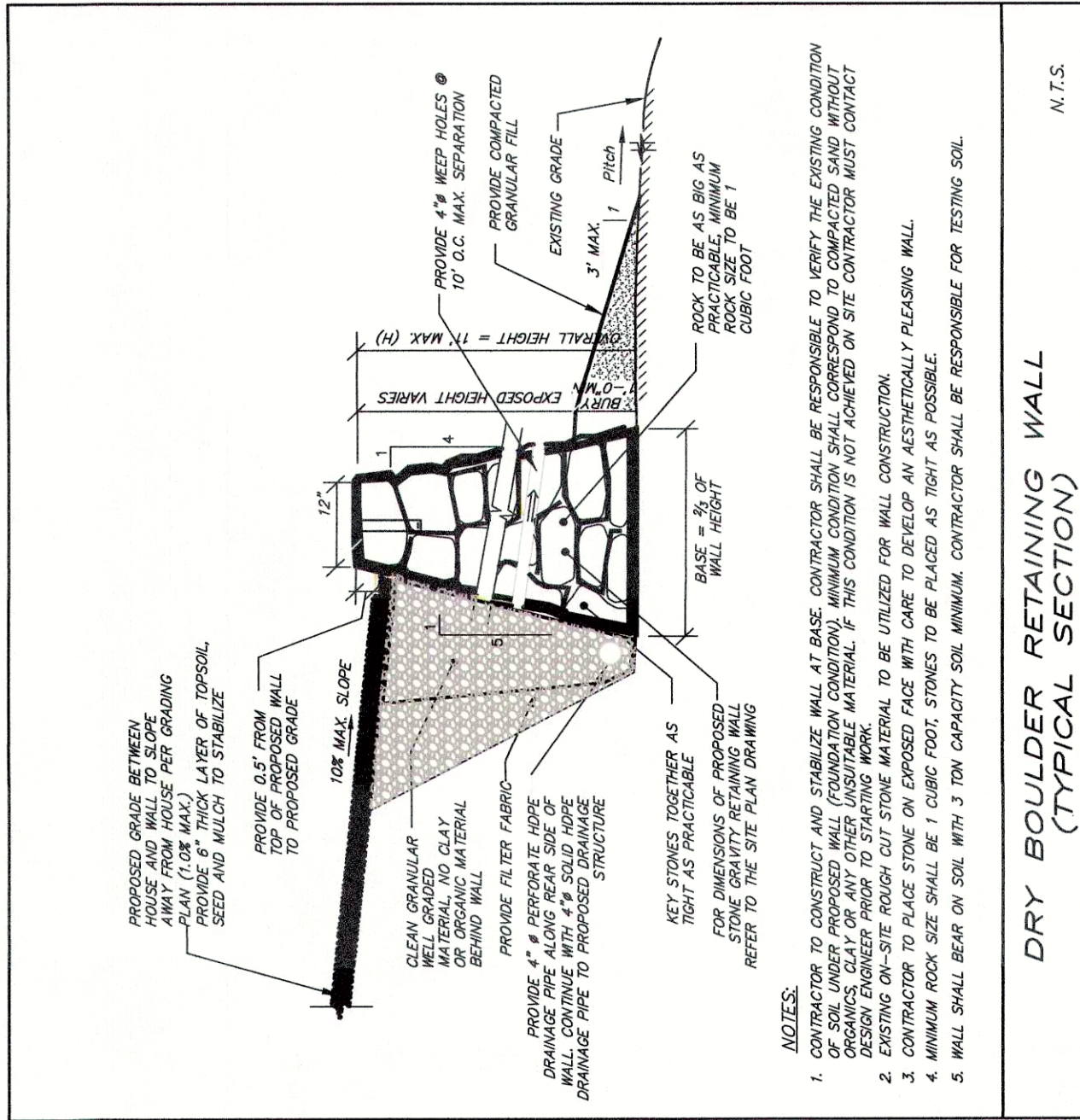
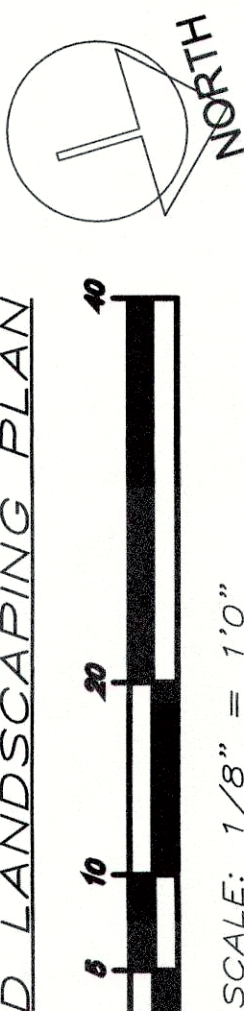
PLANTING LEGEND	
A	SHADEBLOW
B	ANDROMEDA
C	TARDIVA HYDRANGEA
D	TOMENTOSUM VIBURNUM
E	GOLD THREAD CYPRESS
F	WINTERBERRY
G	BLUE PRINCESS HOLLY
H	LONGSTALK HOLLY
J	CHINA GIRL HOLLY
K	SCARLET LEADER COTONEASTER
L	KOUSA DOGWOOD

- NOTES:
1. THERE IS AN EXISTING BUFFER OF PLANTING MATERIAL FORMING A SCREEN TO NEIGHBORS ON THE EAST, SOUTH, AND WEST PROPERTY LINES. THIS MATERIAL WILL REMAIN AND BE PROTECTED DURING CONSTRUCTION.

- ANY MATERIAL IN THIS BUFFER THAT IS DEAD OR THAT DIES WITHIN TWO YEARS OF COMPLETION OF CONSTRUCTION WILL BE REPLACED IN KIND AND MAINTAINED BY THE PROPERTY OWNER TO THE SATISFACTION OF THE DOBBS FERRY BUILDING INSPECTOR.



SITE AND LANDSCAPING PLAN



ALL SURVEYING INFORMATION ON THIS
DRAWING IS BASED ON A SURVEY DATED
AS REVISED NOVEMBER 9, 2014
PREPARED BY:
THE MUNSON COMPANY
9 NORTH GOODWIN AVENUE
ELMSFORD, N.Y. 10523
TEL. 914 347-7703

ALL SITE ENGINEERING INFORMATION ON
THIS DRAWING IS IN ACCORDANCE WITH
DRAWINGS PREPARED BY:
GIBBONS ENGINEERING
1 CENTRAL AVENUE, SUITE 308
TARRYTOWN, N.Y. 10591
TEL. 914 524-9740

SHEET TITLE
SITE AND
LANDSCAPING
PLAN
AND DETAILS

SHEET NUMBER
SP-1
OF 1



JOHN DEDYO
P.E., D.E.E.
CONSULTING ENGINEER
TEL: 717 512-8052
FAX: 717 533-5656
dedyoeng@gmail.com

N.Y.S. LICENSE No. 37298

PROJECT TITLE: 60 FLORENCE AVENUE
DOBBS FERRY, NY 10522
PROJECT NO.: 1418

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5083
Fax: (914) 693-5390
e-mail: arch329@gmail.com

ISSUED DATE	12-18-14	05-22-15	06-09-15
PLANNING BOARD SUBMISSION		REVISED FOOTPRINTS TO MATCH APPROVED HOUSES ON SITE PLAN ZONING ANALYSIS TABLE ADDED SITE DRAINAGE INFORMATION ADDED UTILITY CONNECTIONS	REVISED AS PER COMMENTS BY CIVIL ENGINEER IN LETTER DATED JUNE 8, 2015

SHRUB PLANTING

N.T.S.

N.T.S.