

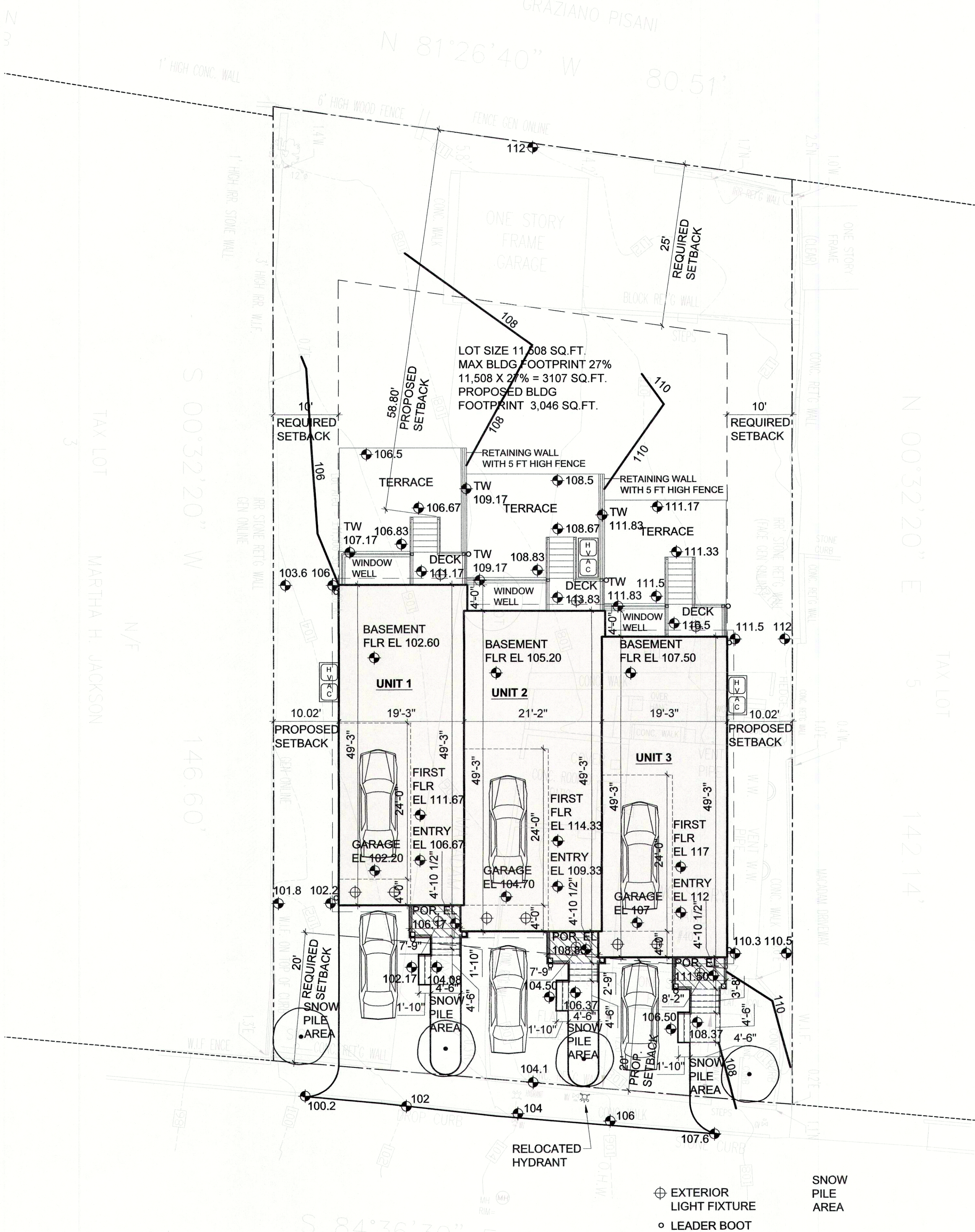
Z O N I N G T A B L E					
PROPERTY LOCATION : 1 MYRTLE AVENUE TAX ID No 3.90-52-4					
OWNER : 40 DEVOE STREET LLC					
ZONING DISTRICT	MDR-1				
REQUIREMENT	UNITS	REQUIRED/ ALLOWED	EXISTING	PROPOSED	VARIANCE REQUIRED
MINIMUM NET LOT AREA	SQ.FT.	5,000	11,508	UNCHANGED	
MINIMUM LOT WIDTH	FEET	50	80	UNCHANGED	
MINIMUM LOT DEPTH	FEET	100	142.14	UNCHANGED	
MAX. LOT COVERAGE BY BUILDINGS	%	27	13.88 (1,598)	26.46 (3,046)	NO
MAX. LOT COVERAGE BY IMPERVIOUS SURFACES	%	54	31.29 (3,601)	46.10 (5,306)	NO
MINIMUM LOT AREA PER UNIT	SQ.FT.	2500 SQ.FT. PER UNIT 2500 / 11508 4.6 UNITS	2 UNITS	3 UNITS	NO
MINIMUM FRONT YARD SETBACK	FEET	20	12.8	20	NO
MAXIMUM FRONT YARD SETBACK	FEET	N / A			
MINIMUM REAR YARD SETBACK	FEET	25	81.97	58.80	NO
MINIMUM SIDE YARD SETBACK EACH	FEET	10	3.4	10.02	NO
MINIMUM SIDE YARD SETBACK BOTH	FEET	20	39.75	20.04	NO
STORIES	NUMBER	2.5	2	2 1/2	NO
MAXIMUM HEIGHT (ROOF PITCH > 0.30)	FEET	35	25	34.75	NO
OFF STREET PARKING	NUMBER	2	2	2 PER UNIT x 3 = 6	NO

BUILDING COVERAGE TABLE			
	UNITS	EXISTING (TO BE REMOVED)	PROPOSED
HOUSE	SQ.FT.	900	
FRONT PORCH	SQ.FT.	30	
SIDE PORCH	SQ.FT.	215	
REAR PORCH	SQ.FT.	52	
TWO CAR GARAGE	SQ.FT.	401	
TOTAL EXISTING		1,598	
TOTAL EXISTING BUILDING COVERAGE		1,598 / 11,508 = 13.88 %	
PROPOSED BUILDING	SQ.FT.		2,821
PROPOSED WOOD DECKS AND STEPS	SQ.FT.		225
PROPOSED FRONT PORCHES	SQ.FT.	2 AT 48 PLUS 1 AT 50 = 146	0 *
TOTAL PROPOSED			3,046
TOTAL PROPOSED BUILDING COVERAGE		3,046 / 11508 = 26.46 %	
* EXCLUDED FROM BUILDING COVERAGE BECAUSE LESS THAN 75 SQ. FT. AS PER SECTION 300 -34 B 4 (C) OF THE ZONING CODE			

IMPERVIOUS COVERAGE TABLE			
	UNITS	EXISTING (TO BE REMOVED)	PROPOSED
HOUSE	SQ.FT.	900	
FRONT PORCH	SQ.FT.	30	
SIDE PORCH	SQ.FT.	215	
REAR PORCH	SQ.FT.	52	
TWO CAR GARAGE	SQ.FT.	401	
STEPS AND WALKS	SQ.FT.	194	
RETAINING WALLS	SQ.FT.	101	
MACADAM DRIVEWAY	SQ.FT.	1,708	
TOTAL EXISTING		3,601	
TOTAL EXISTING IMPERVIOUS COVERAGE		3,601 / 11,508 = 31.29 %	
PROPOSED BUILDING	SQ.FT.		2,821
PROPOSED WOOD DECKS AND STEPS	SQ.FT.	68 PLUS 75 PLUS 82	225
PROPOSED FRONT PORCHES AND WOOD STEPS	SQ.FT.	52 PLUS 52 PLUS 58	162
PROPOSED FRONT STOOP AND STEPS	SQ.FT.	3 AT 29 SQ.FT. EACH	77
PROPOSED TERRACES AND RETAINING WALLS	SQ.FT.		890
PROPOSED DRIVEWAYS	SQ.FT.		1111
EXISTING RETAINING WALLS TO REMAIN	SQ.FT.		20
TOTAL PROPOSED			5,306
TOTAL PROPOSED IMPERVIOUS COVERAGE		5,306 / 11,508 = 46.10 %	

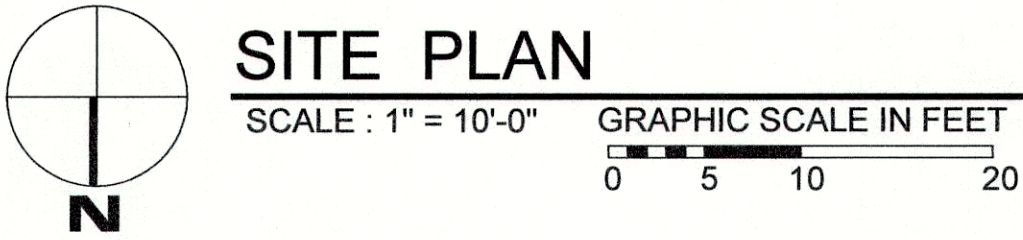
F L O O R A R E A S T A B L E			
STORY	UNIT 1	UNIT 2	UNIT 3
BASEMENT TOTAL	906	993	904
GARAGE	263	306	256
BASEMENT HABITABLE	450	477	454
FIRST FLOOR	950	1,044	948
SECOND FLOOR	944	1,038	948
ATTIC TOTAL	944	1,038	948
ATTIC HABITABLE	322	553	265
TOTAL HABITABLE	2,666	3,112	2,815

NOTE :
THIS DESIGN ASSUMES REMOVAL OF THE EXISTING HOUSE, GARAGE AND EXISTING SITE IMPROVEMENTS.

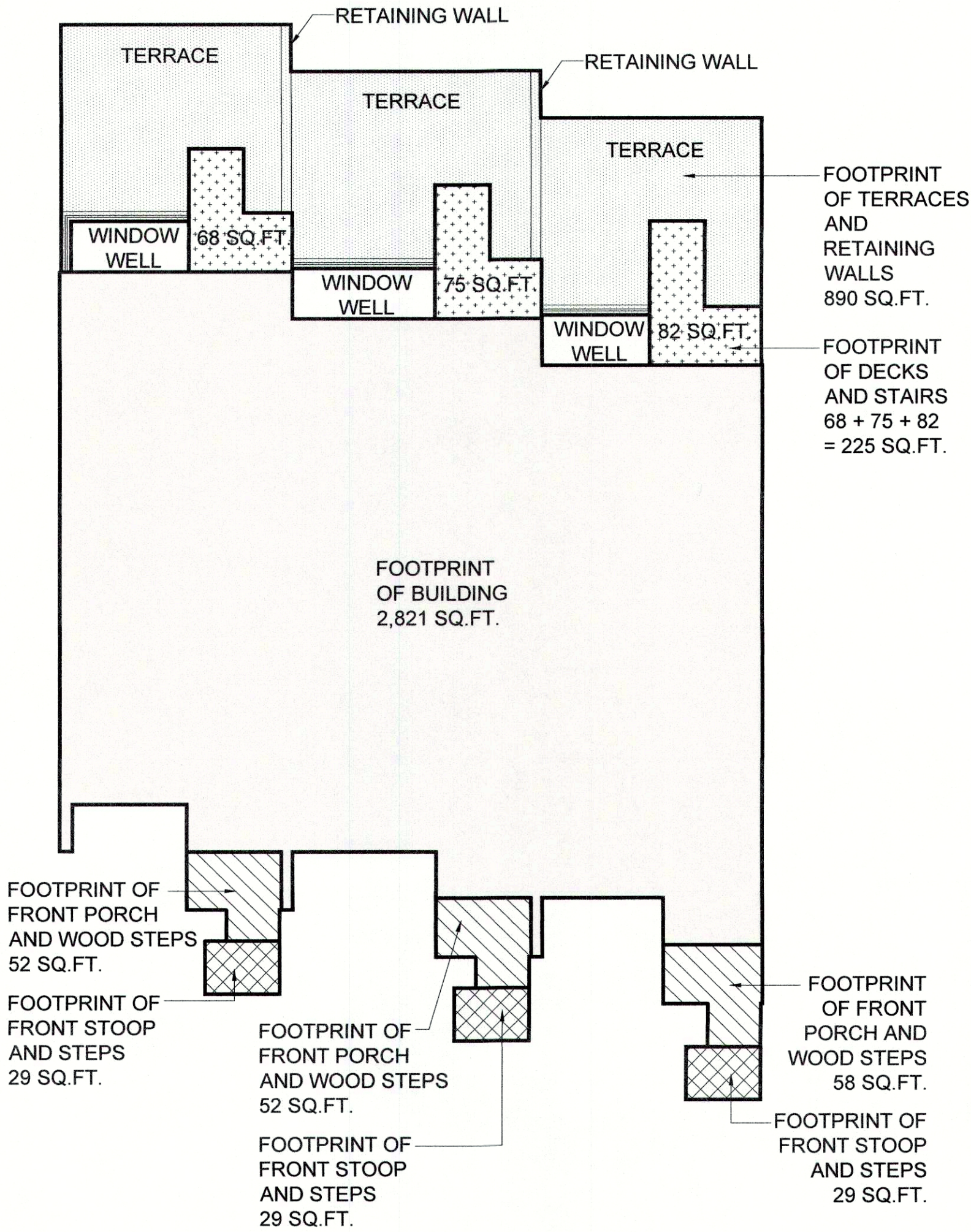


NOTE:
ALL LIGHTING SHALL COMPLY
WITH SECTION 300-11.4

ALL SURVEYING INFORMATION ON THIS
DRAWING IS TAKEN FROM A SURVEY
DATED FEBRUARY 01, 2019
PREPARED BY:
SUMMIT LAND SURVEYING P.C.
64 VIRGINIA AVENUE
DOBBS FERRY 10522
TEL 914 629 - 7758



ITEM	AREA INCLUDED IN BUILDING COVERAGE	AREA INCLUDED IN IMPERVIOUS COVERAGE
FOOTPRINT OF BUILDING	2,821 SQ.FT.	2,821 SQ.FT.
FOOTPRINT OF DECKS AND STAIRS	225 SQ.FT.	225 SQ.FT.
FOOTPRINT OF FRONT PORCHES AND WOOD STEPS		162 SQ.FT.
FOOTPRINT OF FRONT STOOPS		77 SQ.FT.
FOOTPRINT OF TERRACES AND RETAINING WALLS		890 SQ.FT.
TOTAL	3,046 SQ.FT.	



BUILDING COVERAGE DIAGRAM
SCALE : 1" = 10'-0"

GENERAL NOTES

- "THE VILLAGE ENGINEER AND BUILDING INSPECTOR MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS."
- "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
- THE RESTORATION WORK FOR THE ROADWAY AND SHOULDER CONSTRUCTION WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PRERFORMED TO THE SATISFACTION OF THE VILGEGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS.
- "BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY."



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N.Y.S STATE LICENSE
No. 27038

PROJECT TITLE:
40 DEVOE STREET
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1901**

**GOTHAM
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ISSUED / REVISIONS
SUBMITTED FOR PRE-SUBMISSION CONFERENCE WITH PLANNING BOARD 05-16-2019
SUBMITTED TO AHRB 06-13-2019
REVISED AS PER HAHN MEMO 07-25-2019
SUBMITTED FOR PUBLIC HEARING 07-25-2019
REVISED AS PER HAHN MEMO 08-15-2019
SUBMITTED TO PLANNING BOARD 08-15-2019

SHEET TITLE:
SITE PLAN

DATE: 05-16-19	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

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