

HOUSE RENOVATION/ADDITION

16 TIERNANS LANE DOBBS FERRY, NY 10522

CODE DATA

PROJECT DESCRIPTION: ADDITION AND INTERIOR RENOVATION
TO AN EXISTING HOUSE

PROJECT LOCATION: 16 TIERNANS LANE, DOBBS FERRY, NY 10522
SBL 3.80-45-30

CONSTRUCTION TYPE: SB

PROPOSED:

FOUNDATION: CONCRETE

WALLS: WOOD FRAMING AND EXTERIOR VINYL SIDING

ROOF: BUILT UP WITH WOOD PAVERS ON LOWER ROOF

BUILT UP ON UPPER ROOF

FUEL: GAS

SEWER: VILLAGE

WATER: VILLAGE

ALL LIGHTING TO COMPLY WITH SECTION 300-41

ZONING

PER VILLAGE OF DOBBS FERRY ZONING AND LAND USE
APPENDIX B. DIMENSIONAL TABLES

BUILDING SETBACKS: FRONT

EXISTING	PROPOSED	REQUIRED
5'-1"	5'-1"	PREVAILING

REAR

EXISTING	PROPOSED	REQUIRED
25'-0"	25'-0"	25'-0"

SIDE (2 SIDES)

EXISTING	PROPOSED	REQUIRED
2'-4"	2'-4"	20'-0"

BUILDING AREA:

EXISTING	PROPOSED
403 GSF + BASMT	828 SF + BSMT

LOT COVERAGE:

EXISTING	PROPOSED	ALLOWED
403 SF	4145F	EXIST'G LOT AREA = 1720 SF 1720' x .21 = 464 SF

BUILDING HEIGHT:

EXISTING	PROPOSED	ALLOWED
18'-3"	24'-6"	30'-0"

NOTE: NO INCREASE IN IMPERVIOUS SURFACE AREA

SCOPE OF WORK

RENOVATION AND ADDITION TO SINGLE FAMILY RESIDENCE

DRAWING LIST

A-000 TITLE SHEET

A-001 SURVEYS, SITE PLAN, AND HEIGHT FROM GRADE DIAGRAM

A-002 EXISTING AND PROPOSED SITE SETBACK PLANS
AND PREVAILING FRONT SETBACK DIAGRAM

A-003 NEIGHBOR PHOTOS AND LOCATION
AND EXISTING HOUSE PHOTOS

A-050 DEMOLITION PLAN

A-051 EXISTING ELEVATIONS

A-100 FLOOR PLANS PROPOSED

~~A-101 FRAMING PLANS PROPOSED~~

A-110 REFLECTED CEILING PLANS,
ELECTRICAL PLANS AND SCHEDULE, PROPOSED

~~A-120 PLUMBING AND HVAC PLANS~~

~~A-125 SPRINKLER PLANS~~

A-200 EXTERIOR ELEVATIONS PROPOSED

A-300 BUILDING SECTIONS PROPOSED

A-310 WALL SECTIONS DETAILS PROPOSED

A-400 DOOR AND WINDOW SCHEDULES AND TYPES

A-401 PARTITION TYPES, SCHEDULES, PROPOSED

L-001 LANDSCAPE PLAN

GREEN CODE COMPLIANCE

Materials and indoor environmental quality.

A. Paints, wood finish, and other finishing materials.

- Paints, coatings, and primers applied to interior surfaces shall not exceed the following VOC content limits (as established by Green Seal Standard GC-11, Paints, Edition 3.1, July 2013, as amended):

Flat Paint: 50g/L flat
Non-Flat Paint: 150g/L non-flat

- Clear wood finishes, floor coatings, stains, sealers, and shellacs, applied to interior surfaces, shall not exceed the following VOC content limits (as established by South Coast Air Quality Management District Rule 1113, Architectural Coatings, June 3, 2011, as amended):

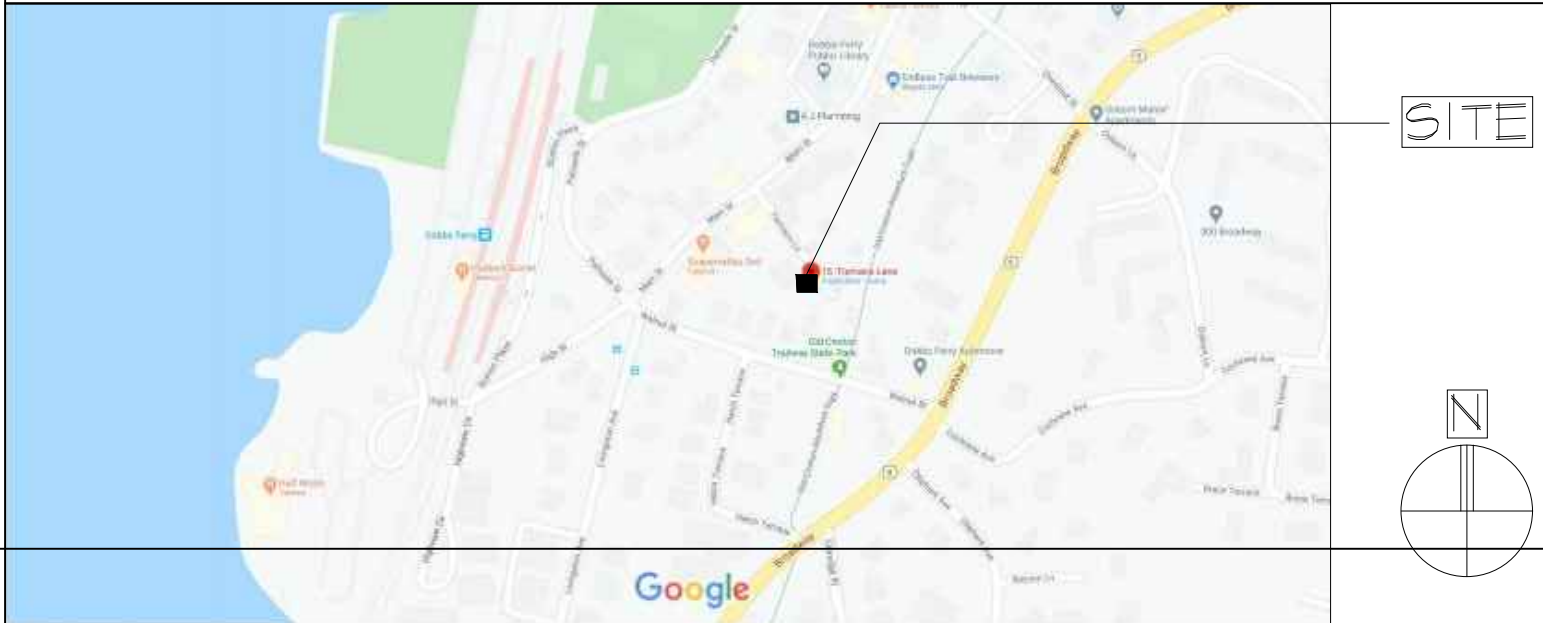
Varnish: 275g/L
Laquer: 275g/L
Shellac: 730 g/L clear, 550 g/L pigmented
Sealers: 100 g/L waterproofing, 275 g/L sanding,
100 g/L all others

- Carpet adhesive shall not exceed a VOC content limit of 50g/L.
- No materials shall contain added urea formaldehyde.
- A list of permissible low-VOC finishes applicable to this section shall be maintained by the Building Department. Documentation of compliance with this section shall be submitted to the Building Inspector.

B. Roofing materials. All new roofing materials used shall have an SRI of at least 0.78 for Low Slope Roofs and an SRI of at least 0.29 for Steep Slope Roofs. Green/Vegetated Roof areas that cover at least 50% of the roof will satisfy this provision. This section does not apply to Additions and Alterations if new roofing materials are to be matched in roof type or color to existing roof areas.

C. Construction waste management. A minimum of 25% of construction waste by weight shall be recycled, repurposed and/or reused and not sent to a landfill or incinerator. Documentation of compliance with this section shall be submitted to the Building Inspector.

SITE PLAN



GENERAL NOTES

- ALL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE WITH NEW YORK'S SUPPLEMENTS AS AMENDED TO DATE, NEW YORK STATE MODEL ENERGY CODE AS AMENDED TO DATE AND ALL GOVERNMENT AUTHORITIES, LAWS, BY-LAWS, OR ORDINANCES, AND REGULATIONS HAVING JURISDICTION OVER THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND NOTES WITH ALL SEPARATE CONTRACT (PLUMBING, ELECTRICAL AND HVAC) AND TRADES AND SHALL BE RESPONSIBLE FOR COORDINATING THE WORK AMONG THE SEPARATE CONTRACT AND TRADES SO THAT INSTALLATION BY ONE SHALL NOT INTERFERE WITH THE WORK OF OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE VARIOUS SEPARATE CONTRACTS AND VARIOUS TRADES OF WORK REQUIRED DUE TO WORK WITH OTHER CONTRACTOR AND OR TRADES NOT SPECIFICALLY MENTIONED ON THE DRAWINGS.
- PATCHING, EXTENDING AND MATCHING: WHERE REQUIRED PATCH WALLS, FLOORS AND CEILINGS WITH FINISH MATERIALS TO MATCH ADJOINING SURFACES WHERE DAMAGED DURING COURSE OF CONSTRUCTION.
- PROVIDE FIRESTOPS WITHIN WALLS AT DIFFERENT FLOOR LEVELS IN ACCORDANCE TO UL DESIGN SYSTEMS AND THE REQUIRED RATING THAT MUST BE MAINTAINED.
- PROVIDE 3/4" FRT PLYWOOD AT REAR OF ELECTRICAL PANEL OR TELEPHONE PANELS. SIZE TO ACCOMMODATE SIZE OF PANELS.
- PROVIDE MISCELLANEOUS WOOD BLOCKING OR GROUNDS WITHIN WALLS FOR SECUREMENTS OF CABINETRY, (SUCH AS KITCHEN CABINETS) RAILINGS, FIXTURES ETC.
- ALL DIMENSIONS AREA TAKEN TO FACE OF STUD WALLS AT EXTERIOR AND INSIDE FINISH FACE OF INTERIOR STUD WALLS.
- DO NOT SCALE DRAWINGS, NUMERICAL VALUES GOVERN.
- COORDINATE THE LOCATION AND PROVIDE ACCESS PANELS WITHIN THE WALLS, FLOORS, CEILINGS FOR VALVES, CLEANOUT, COORDINATE WITH DIFFERENT TRADES AND ARCHITECT BEFORE PROVIDING ACCESS PANELS
- CONTRACTOR TO SUBMIT TO ARCHITECT, SHOP DRAWINGS OF ACTUAL CONNECTORS TO BE USED. SIMPSON OR APPROVED EQUAL
- PROVIDE PREFABRICATED METAL HANGERS FOR FRAMING MEMBERS WHICH DO NOT BEAR DIRECTLY ON TOP OF SUPPORTING MEMBERS. BEAM HANGERS SHALL BE TOP FLANGE BEARING. HANGERS SHALL BE AS MANUFACTURED BY SIMPSON STRONG - TIE CO, INC, SAN LEANDRO, CA.
- PLUMBING AND ELECTRICAL CONTRACTORS TO BE LICENSED IN THE VILLAGE OF HASTINGS, TOWN OF GREENBURGH, WESTCHESTER COUNTY.

- PROVIDE SMOKE DETECTORS AND HEAT DETECTORS ELECTRICALLY CONNECTED AT EACH BEDROOM AND AT HALLS IN FRONT OF EACH BEDROOM.
- PROVIDE CARBON MONOXIDE DETECTORS THROUGHOUT ENTIRE DWELLING AS PER NYS CODE.

- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS THROUGHOUT ENTIRE DWELLING AS REQUIRED BY NYS CODE.

- All materials, assemblies, forms and methods of construction and service equipment shall comply with the requirements of the New York State Building Construction Code and all other applicable codes having jurisdiction.

- All Contractors shall furnish adequate liability insurance and bonding.

- Any dimensional discrepancies between the plans, sections, elevations and details must be brought to the attention of the Architect by the Contractor for resolution prior to the start of work or as soon as detected.

- Any inconsistencies in the notes, symbols, legends must be brought to the attention of the Architect by the Contractor for resolution prior to the start of work or as soon as detected.

- All Contractors and subcontractors must check and verify all existing conditions and dimensions and report any discrepancies to the Architect prior to the start of work.

- Care shall be taken to protect the work area to be safe both interior and exterior.

- Construction Contractor shall provide solid dustproof plywood enclosure (as described above) at all new window openings until installation of windows.

- Damage to site and building property shall be corrected by the contractor so involved at no cost to the owner.

- Construction Contractor shall provide portable toilets or as prescribed by OSHA at staging area for the use of all Contractor's employees.

- Parking locations for Contractors' vehicles, acceptable hours for demolition, construction and material delivery or removal, and any other special requirements are to be verified with the Municipality.

- All Contractors shall comply with OSHA rules and regulations.

- Unless a longer guarantee is specified, all work shall be guaranteed against defects for one year unless otherwise noted (i.e. product warranties). Any portions of the work which develop defects during the guarantee period shall be replaced or in a manner satisfactory to the Architect and Owner.

- The Contractor shall maintain one set of all submissions (shop drawings, samples, product literature etc.) on the job site and available for reference. Mock-ups and accepted samples shall be available for reference. Contractors shall provide as many mock-ups or samples as necessary in order to obtain owner/architect's approval.

- Where designated on drawing "to match existing", the Contractor shall visit the site, obtain a sample or profile of the existing element, and duplicate. All custom fabrications shall be submitted for review by Architect.

- Dimensions of new walls are taken to face of finish unless otherwise noted. All symbols and finish schedule designations of materials indicate new material unless otherwise noted.

- All new installed equipment shall be UL labeled. All lighting fixtures shall be reviewed and approved by Architect and consulting engineer and shall have UL label.

- All field welding work shall be accompanied with a fire extinguisher and fire watch.

Nina Lesser, RA, LEED AP

shengandless@gmail.com

HOUSE RENOVATION

16 Tiernans Lane

Dobbs Ferry, NY 10522

Notes :

- Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
- All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
- All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
- All works by contractor unless otherwise noted.

Consultants

TITLE SHEET

Revision	Date
Issue for Plan Check	05 DEC 2020
1)Response to DF Plan Check Comments	19 JAN 2021
Issue for AHRB	10 MAR 2021

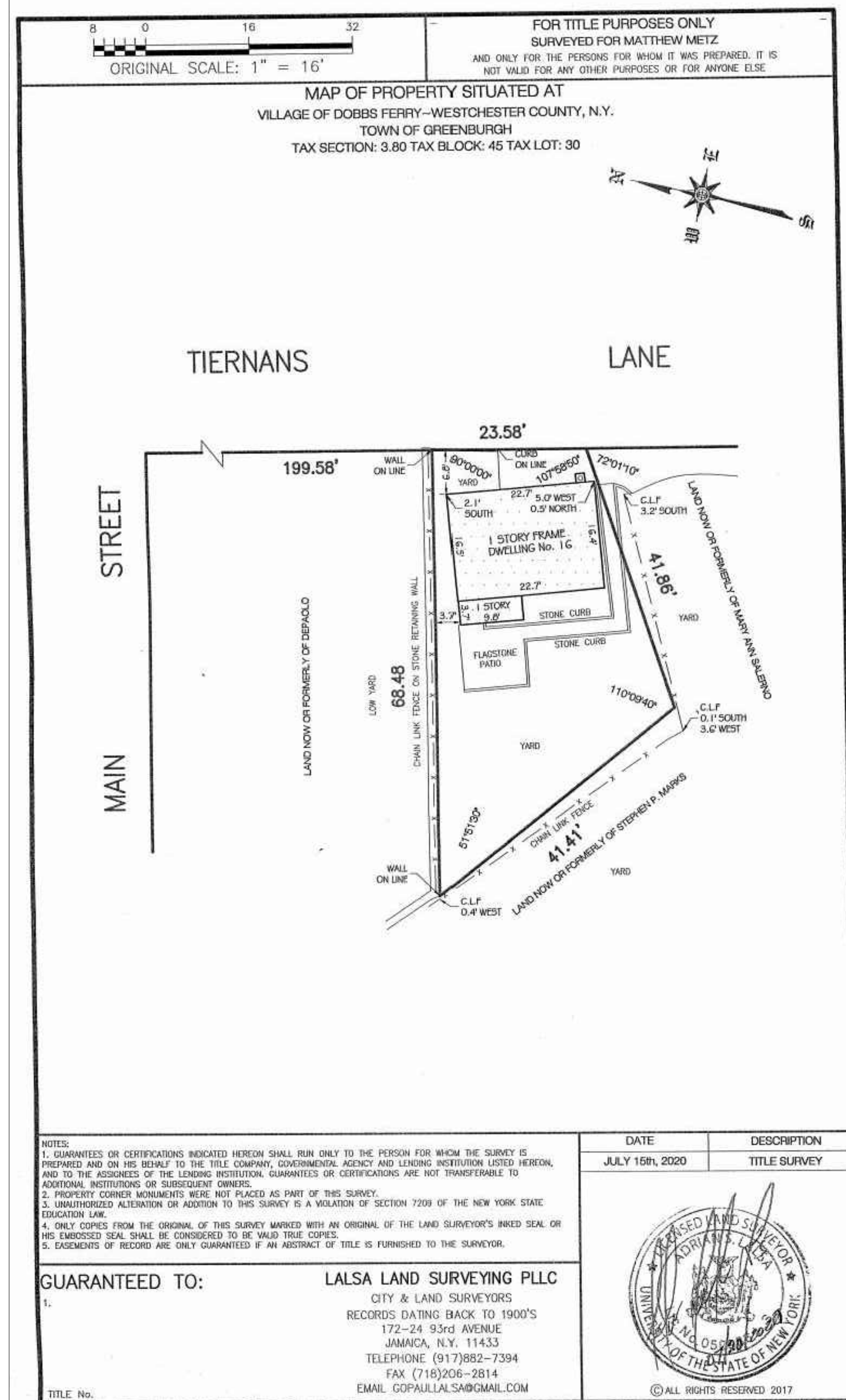
Scale:	NTS	Date:	200817
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
----------------	-------------

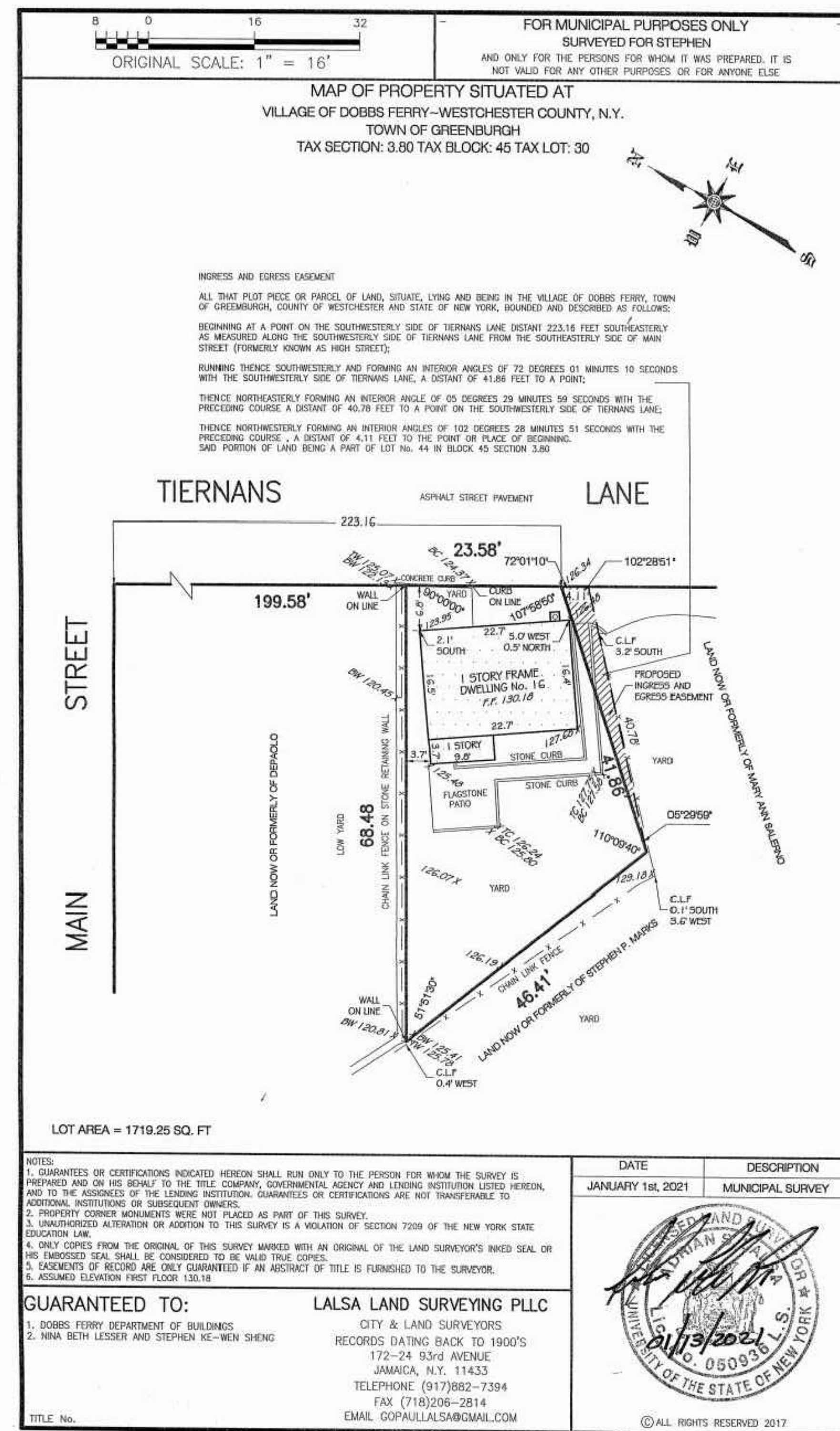
A000

-

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.



SITE SURVEY



TOPOGRAPHICAL SURVEY



SATELLITE SITE PLAN



HEIGHT FROM GRADE DIAGRAM (NTS)

Nina Lesser, RA, LEED AP

shengandless@gmail.com

HOUSE RENOVATION


16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

1. Figure dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractor, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All "l.b.c." dimension to be confirmed by the contractor as correct to the architect. All "EX" dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

Consultants

SITE SURVEYS, SITE PLAN HEIGHT FROM GRADE DIAGRAM

Revision	Date
Issue for Plan Check	05 DEC 2020
 Response to DF Plan Check Comments	19 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
A001	-

ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.

Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

- Notes :
1. Figured dimensions are to be taken in preference to scaled.
All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
 2. All 't.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
 3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
 4. All works by contractor unless otherwise noted.

Consultants

SETBACK ANALYSIS

Revision	Date
Issue for Plan Check	05 DEC 2020
1/Response to DF Plan Check Comments	19 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
----------------	-------------

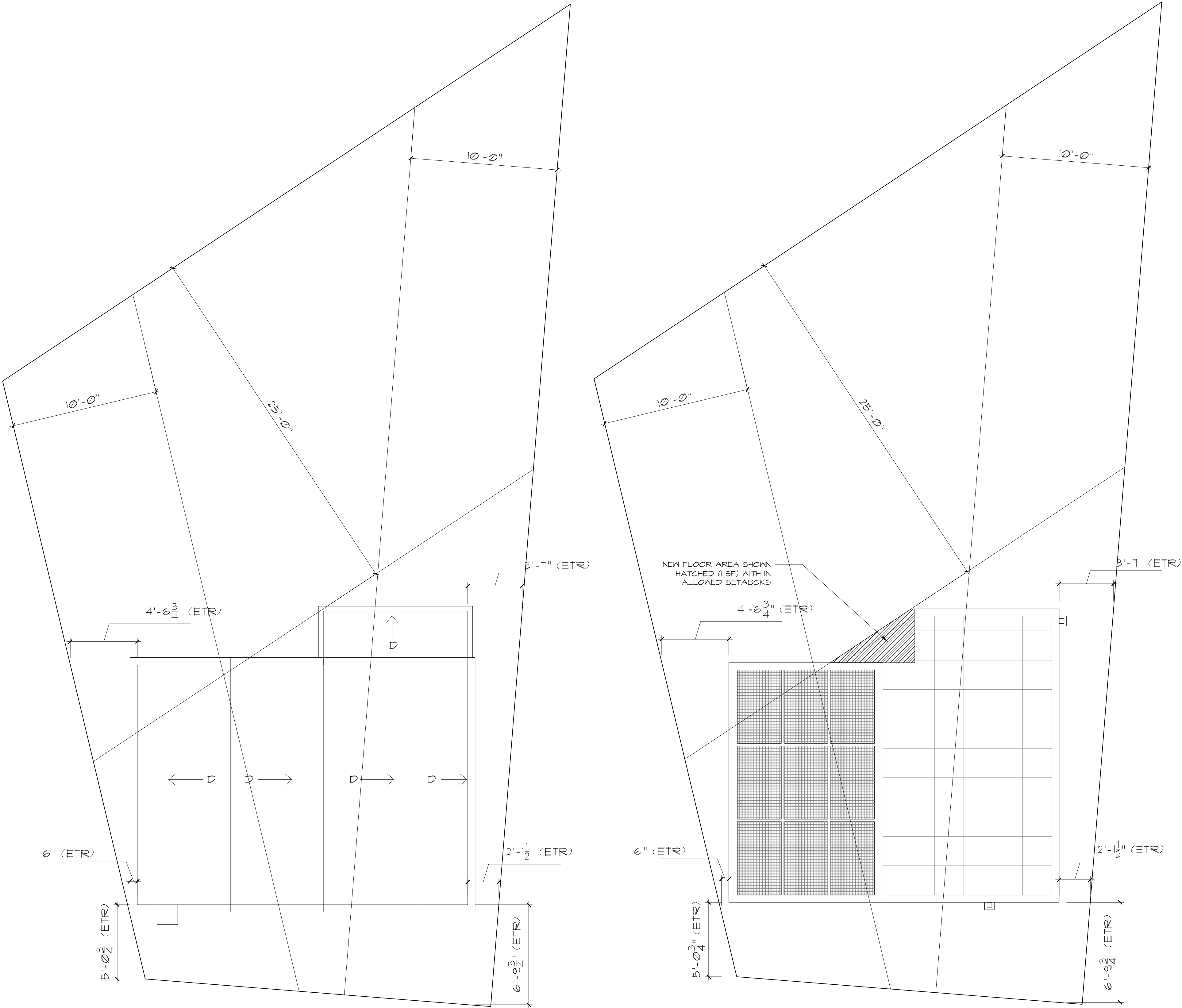
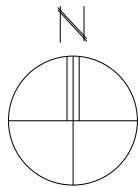
A002

-

ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.

SITE



EXISTING SITE SETBACK PLAN
SCALE: 1/8"= 1'-0"

PROPOSED SITE SETBACK PLAN
SCALE: 1/8"= 1'-0"



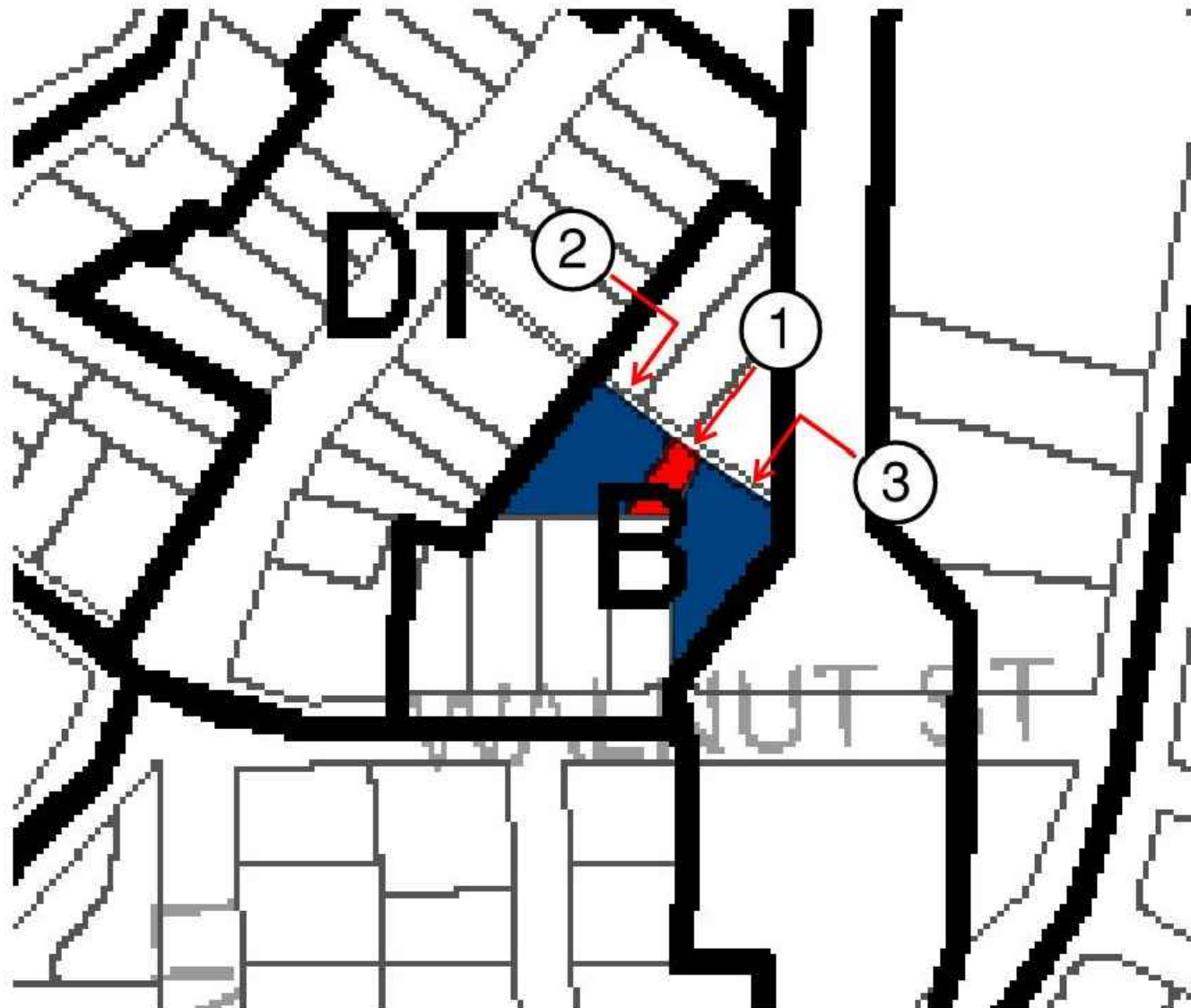
③ 24 Walnut St (rear yard)



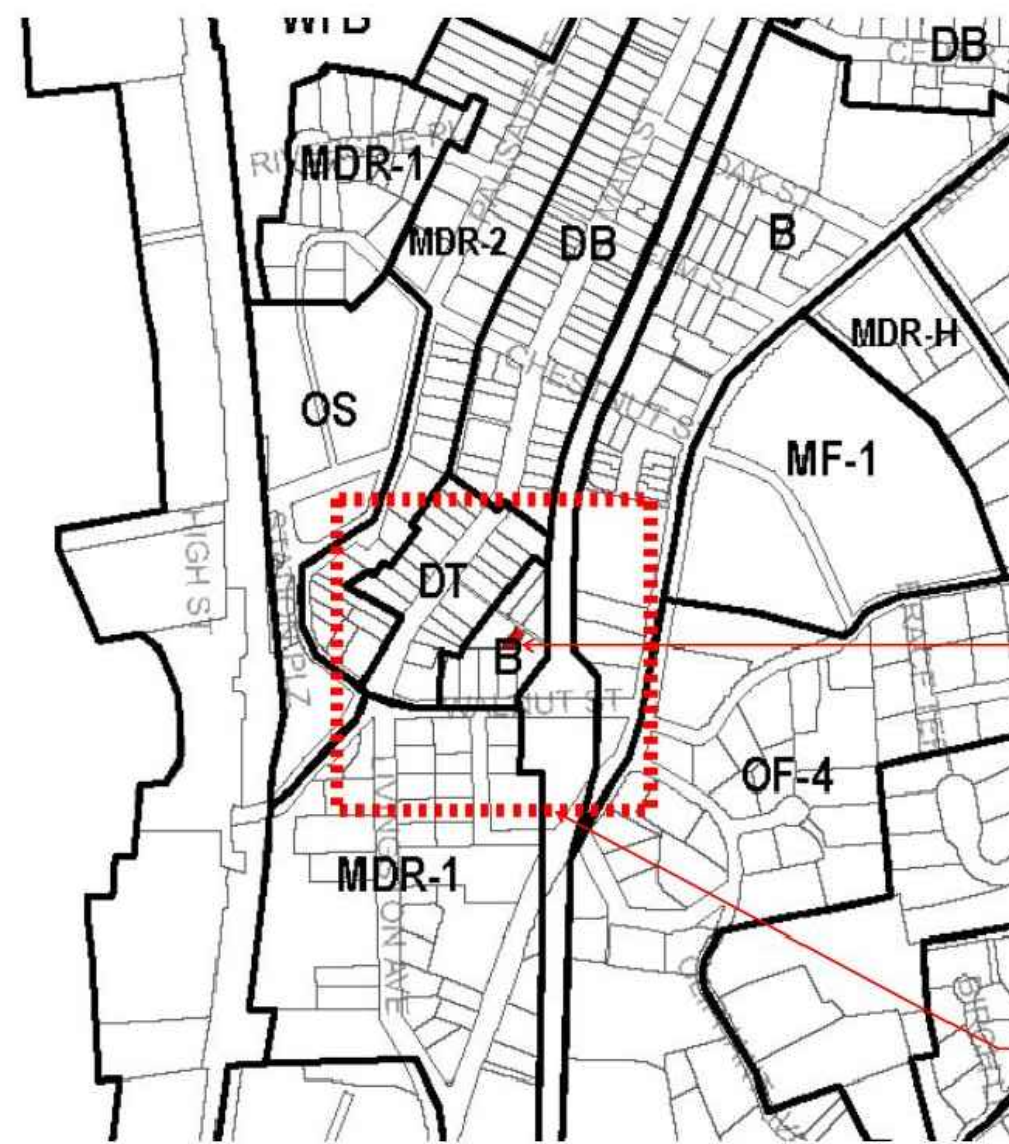
① Site: 16 Tiernans Lane



② 10 Tiernans Lane



Enlarged Zoning Map



Zoning Map

SITE: 16 Tiernans Lane

Area of Enlarged Map

Existing 16 Tiernans Lane Facade Photos



North Facade



West Facade



South Facade



East Facade

Nina Lesser, RA, LEED AP

SITE

shengandless@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All 't.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

Consultants

NEIGHBOR PHOTOS
SITE LOCATION
PROJECT EXISTING PHOTOS

Revision	Date
Issue for Plan Check	05 DEC 2020
Response to DF Plan Check Comments	19 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
----------------	-------------

A003

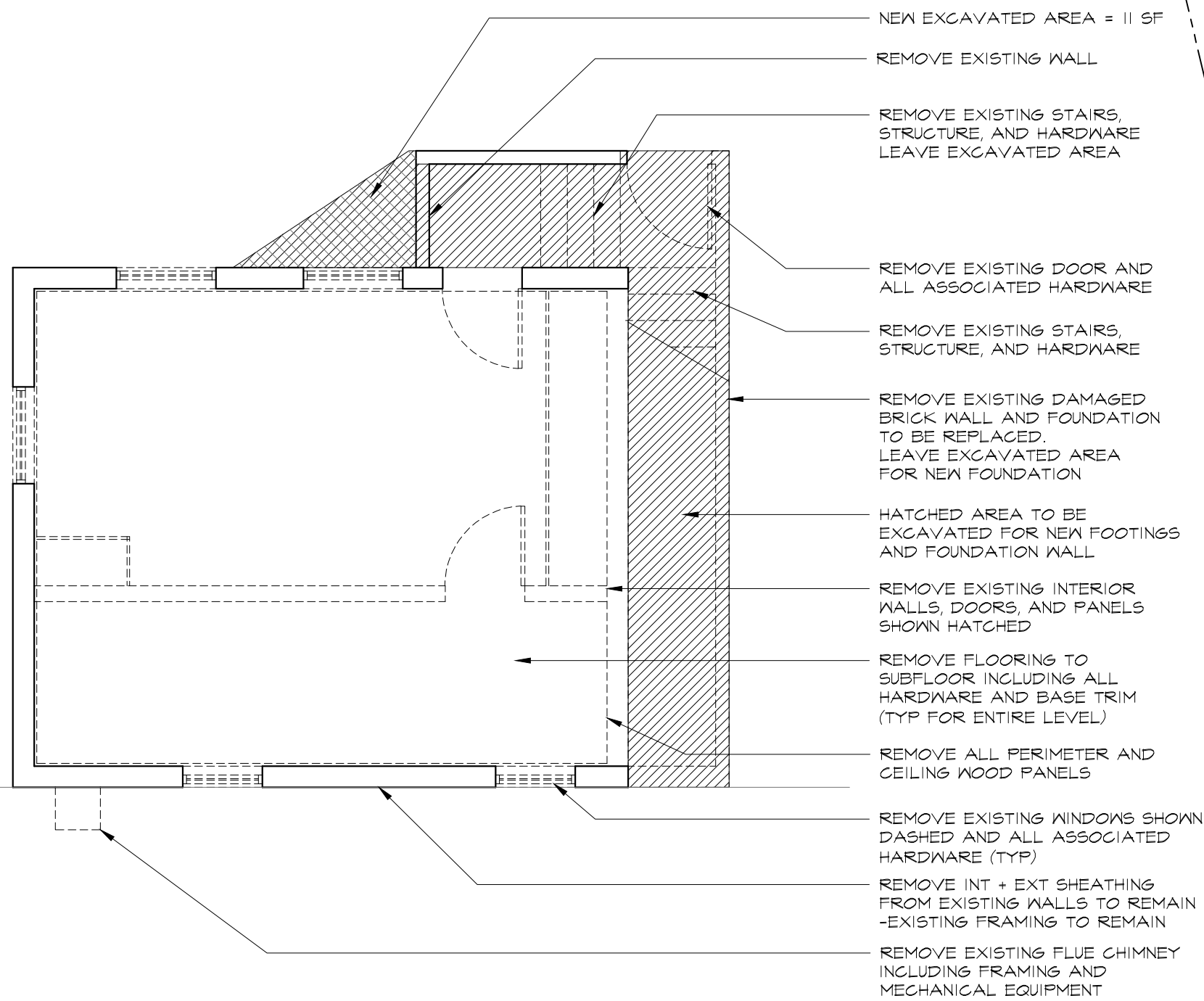
-

ISSUE FOR PERMIT

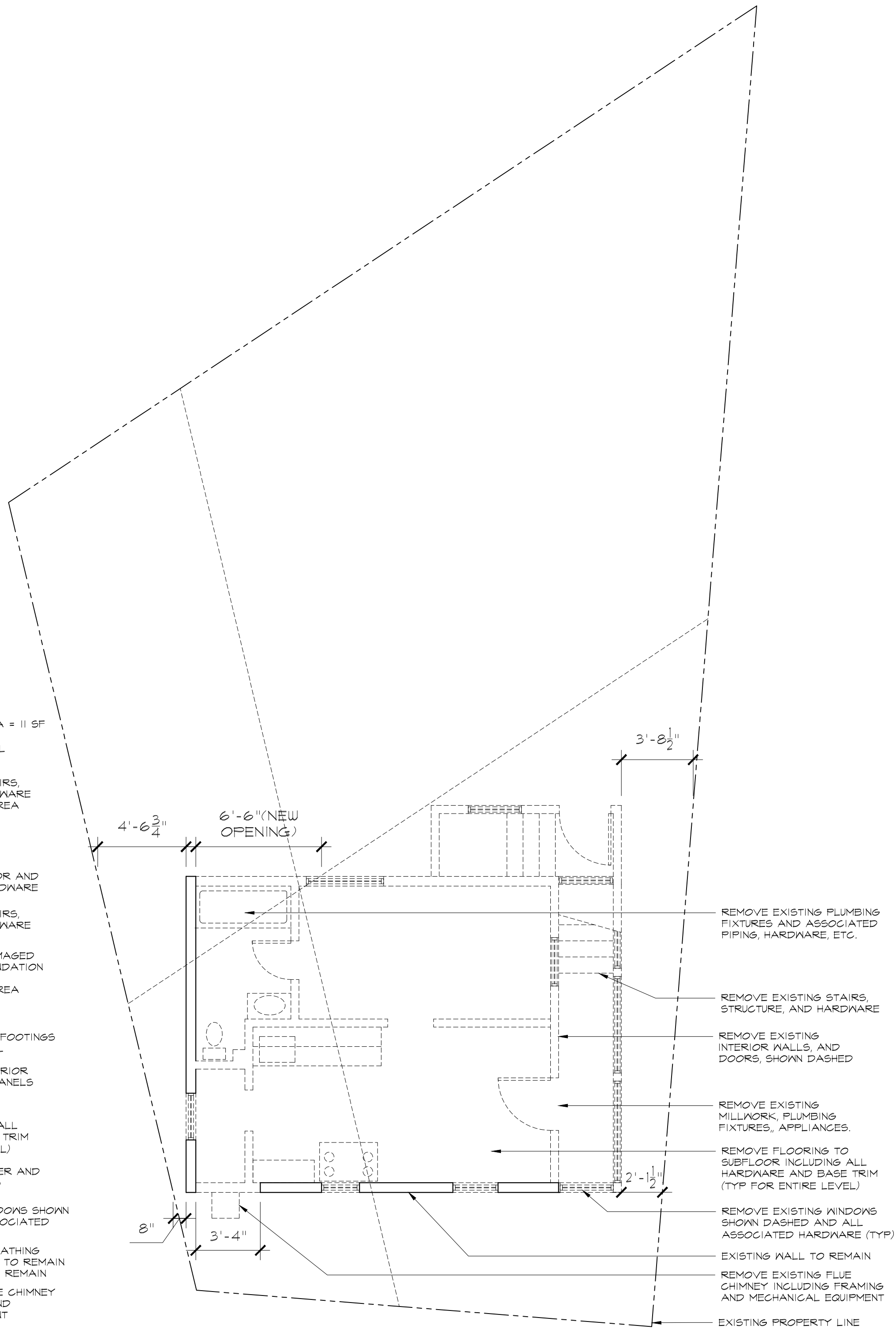
© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.

DEMOLITION NOTES

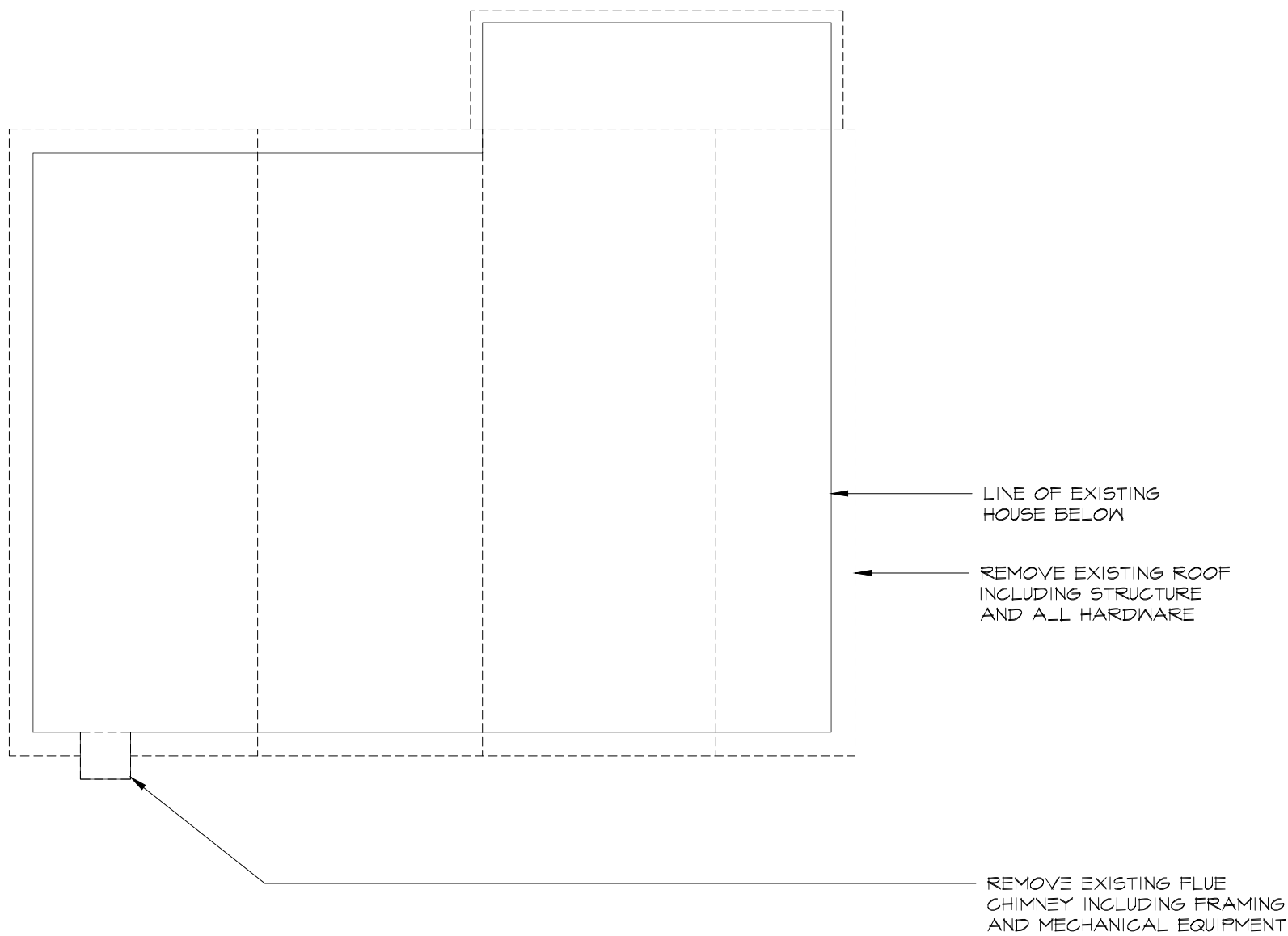
1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN SECURITY AT ALL TIMES.
3. CONTRACTOR SHALL PROTECT ANY OPENINGS TO THE OUTSIDE FROM WATER INFILTRATION.
4. CONTRACTOR SHALL MAINTAIN FIRE PROTECTION DEVICES AND EMERGENCY EGRESS LIGHTING AS REQUIRED BY CODE AT ALL TIMES.
5. ALL PLUMBING AND ELECTRICAL LINES SHALL BE PROPERLY CAPPED AFTER REMOVAL OF DEVICES.
6. CONTRACTOR SHALL PROVIDE TEMPORARY POWER AS NEEDED.
7. CONTRACTOR SHALL ADVISE OWNER WHEN SERVICES TO THE BUILDING NEED TO BE INTERRUPTED.
8. CONTRACTOR SHALL REFER TO MEP AND FIRE PROTECTION DRAWINGS AND COORDINATE THE WORK OF THESE TRADES.
9. CONTRACTOR SHALL PROVIDE DUMPSTERS FOR DEBRIS AND DISPOSE ALL DEBRIS IN A LAWFUL MANNER. ANY FINES IMPOSED ON THE CONTRACTOR OR OWNER FOR IMPROPER DISPOSAL SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PARTS OF THE BUILDING WHERE WORK IS NOT SCHEDULED TO TAKE PLACE.
11. CONTRACTOR SHALL VERIFY THE INTEGRITY OF THE EXISTING STRUCTURE BEFORE DEMOLISHING ANY WALLS, FLOORS, CEILINGS, AND/OR ROOFING. ANY SHORING OR TEMPORARY SUPPORT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
12. LOAD-BEARING AND/OR STRUCTURAL WALLS SHALL BE REINFORCED BEFORE DEMOLITION, SAW-CUTTING OR ANY FORM OF DISTURBANCE.
13. AFTER VERIFYING EXISTING CONDITIONS AND PROVIDING ANY NECESSARY SUPPORT, SAWCUT EXISTING WALLS FOR OPENINGS AS INDICATED ON PLANS AND ELEVATIONS.
14. REMOVE FINISHED FLOORING UNLESS OTHERWISE NOTED.
15. REMOVE ALL CEILING FINISHES, LIGHTING, DIFFUSERS, AND CEILING-MOUNTED EQUIPMENT UNLESS OTHERWISE NOTED.
16. REMOVE AND DISCARD KITCHEN APPLIANCES, COUNTERS, CLOSETS IN THE KITCHEN UNLESS OTHERWISE NOTED.
17. REMOVE AND DISCARD ALL TOILET ROOM FIXTURES, PARTITIONS, AND ACCESSORIES UNLESS OTHERWISE NOTED.
18. REMOVE AND DISCARD DOORS AND WINDOWS UNLESS OTHERWISE NOTED.



1. BASEMENT DEMOLITION PLAN



2. FIRST FLOOR DEMOLITION PLAN



3. ROOF DEMOLITION PLAN



Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All 'f.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

Consultants

DEMOLITION PLANS

Revision	Date		
Issue for Plan Check	05 DEC 2020		
Issue for AHRB	10 MAR 2021		

Scale:	1/8"=1'-0"	Date: 5 DEC 20	--
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
----------------	-------------

A050

-

ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.

Nina Lesser, RA, LEED AP

shengandleesser@gmail.com

HOUSE RENOVATION
16 Tiernans Lane
Dobbs Ferry, NY 10522

- Notes :
1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
 2. All 'f.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
 3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
 4. All works by contractor unless otherwise noted.

Consultants

EXISTING ELEVATIONS

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for AHRB	17 MAR 2021

Scale:	1/4"=1'-0"	Date:7 MAR 2021-
Drawn by:	NL	Checked by: NL

Drawing number	Rev. number
----------------	-------------

A051 -

ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.



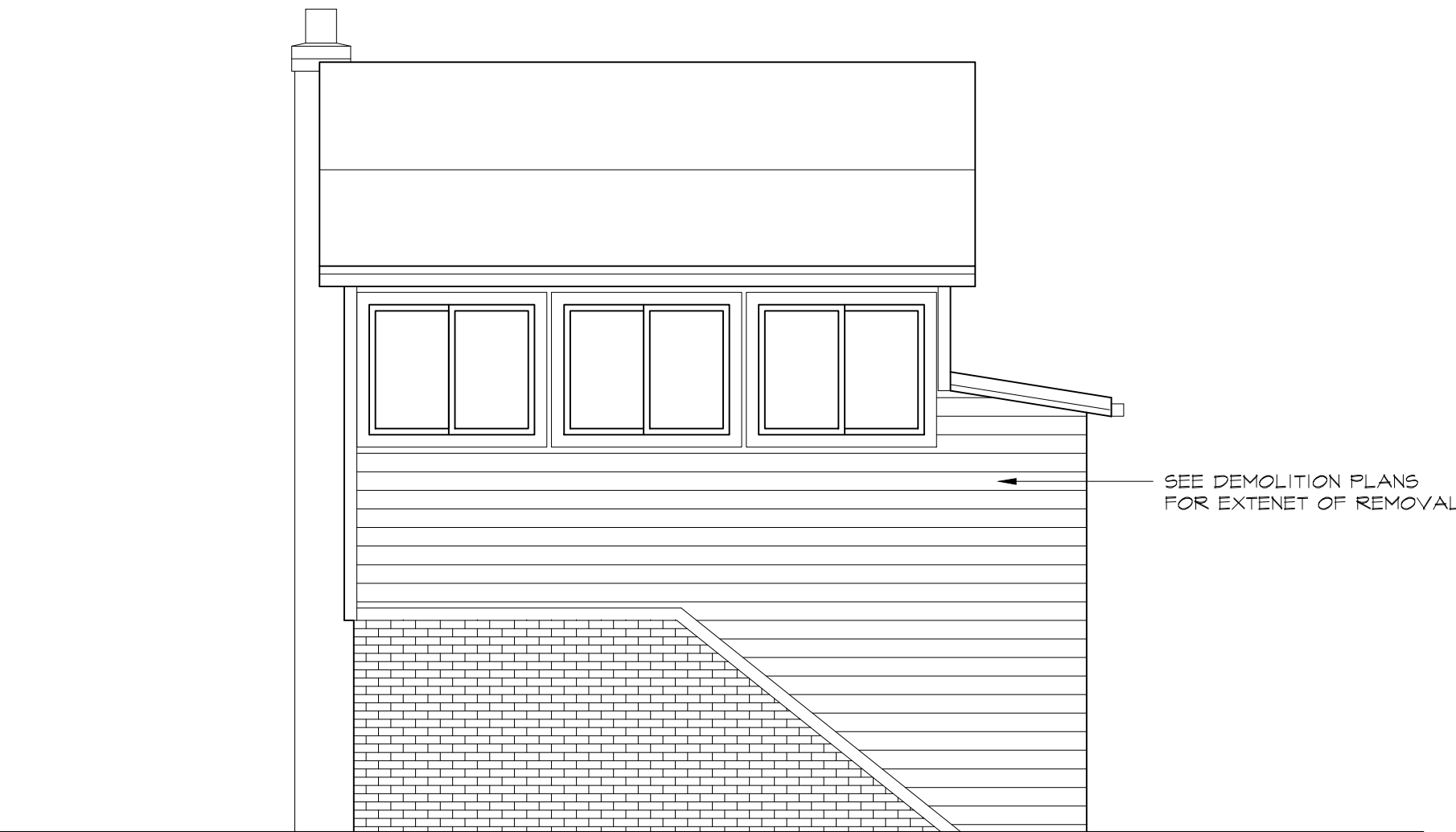
1. EXISTNG NORTH ELEVATION



2. EXISTNG EAST ELEVATION



3. EXISTNG SOUTH ELEVATION



4 EXISTNG WESTT ELEVATION

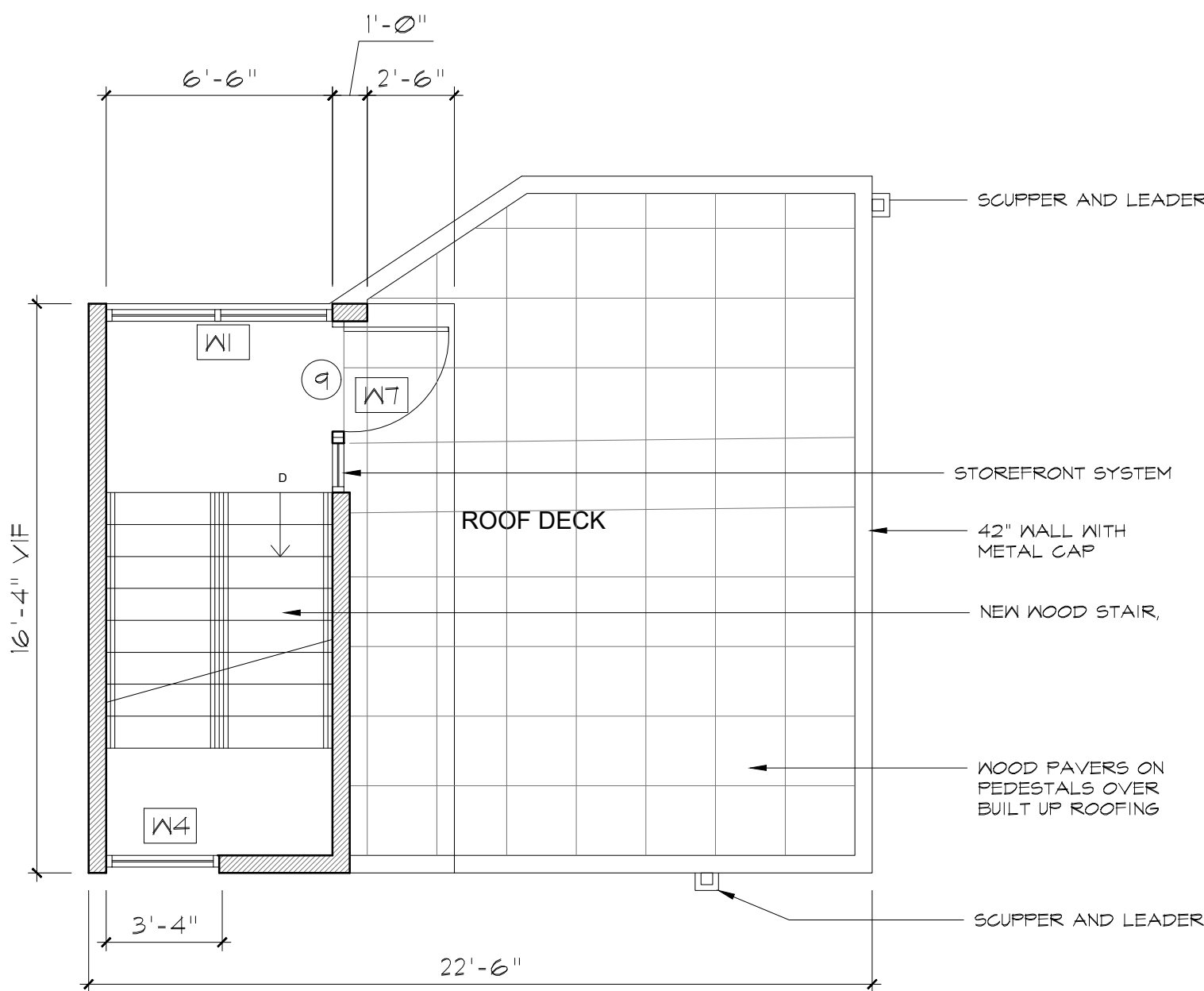
Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

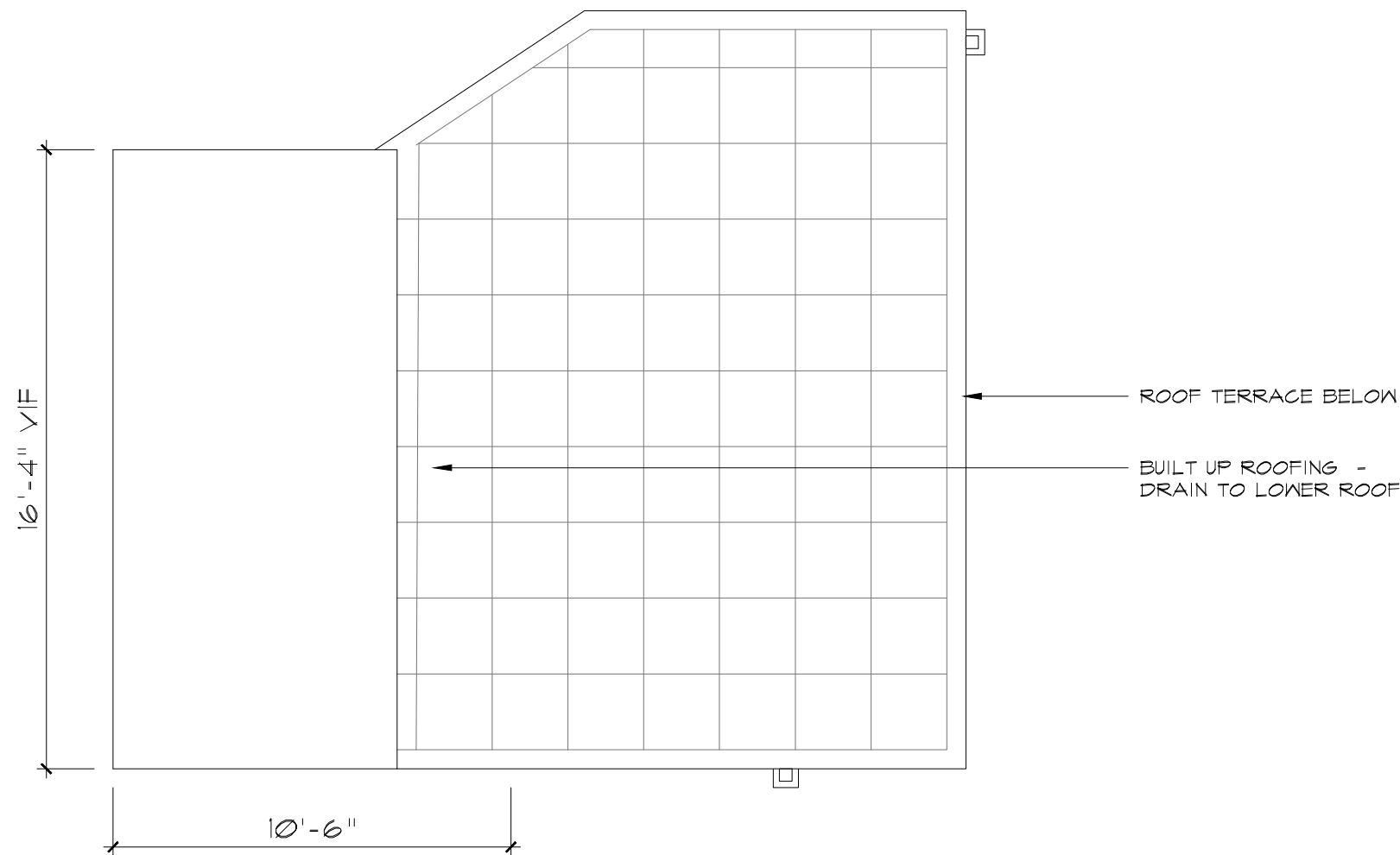
HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

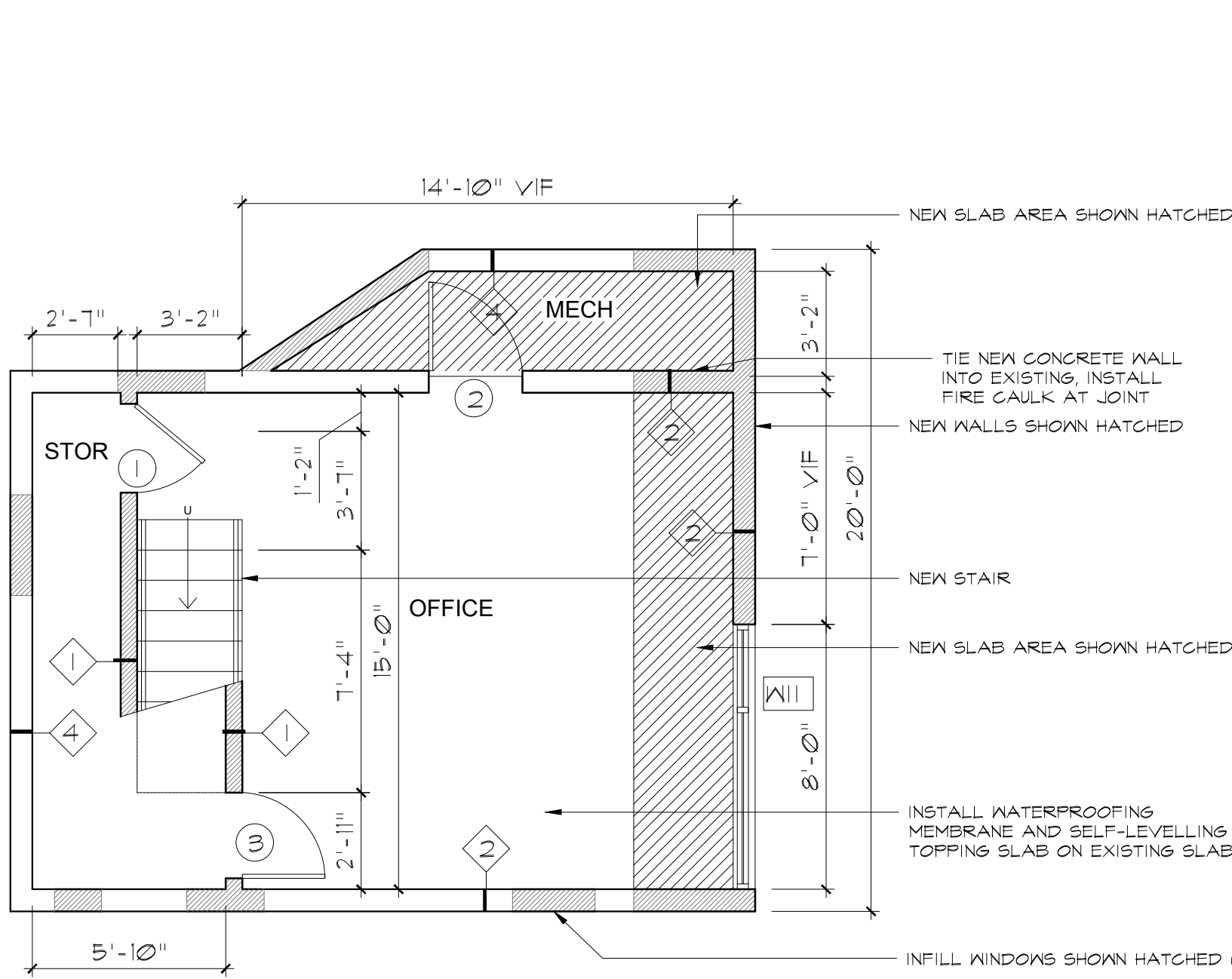
- Notes :
1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
 2. All 't.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
 3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
 4. All works by contractor unless otherwise noted.



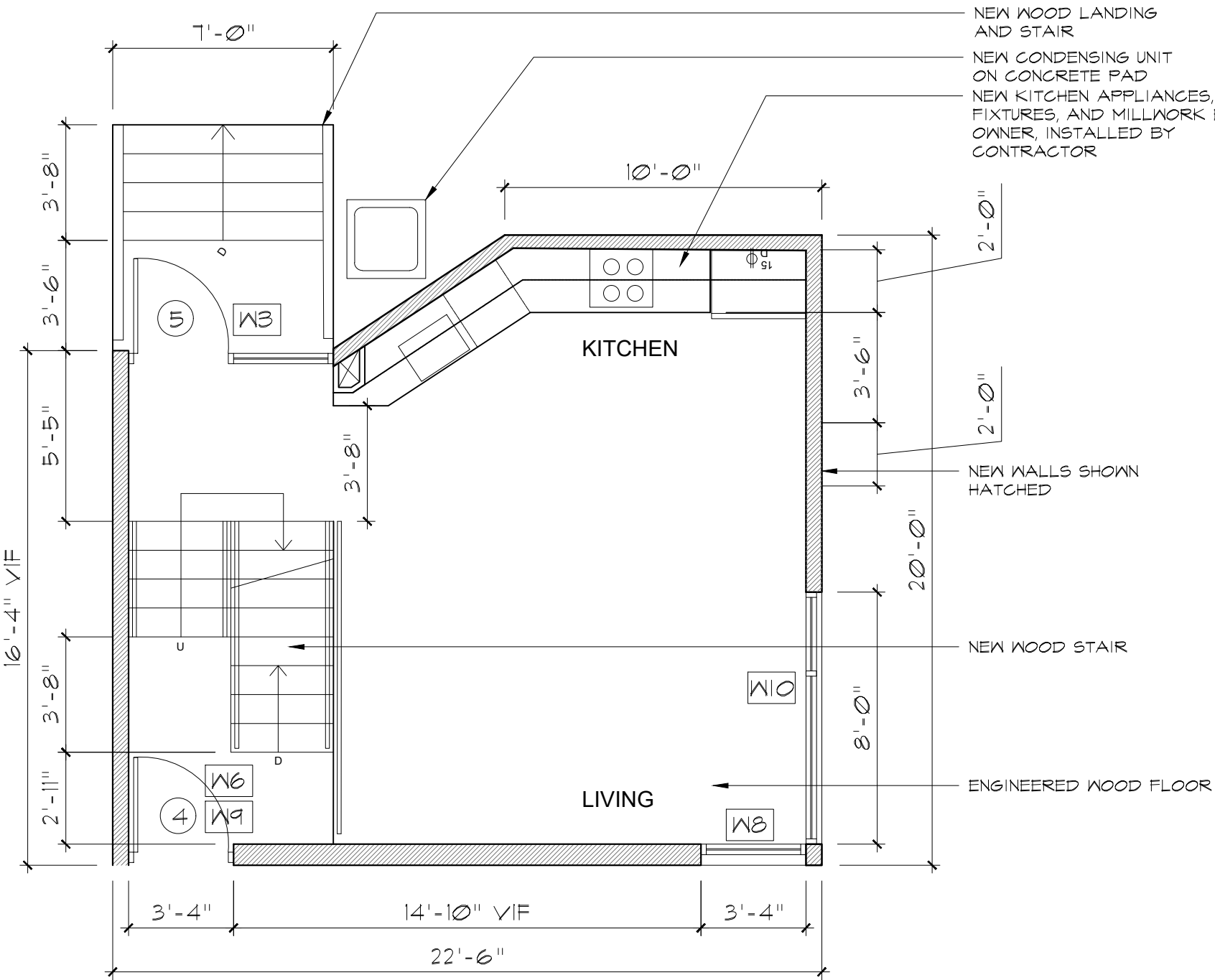
4. LOWER ROOF PLAN



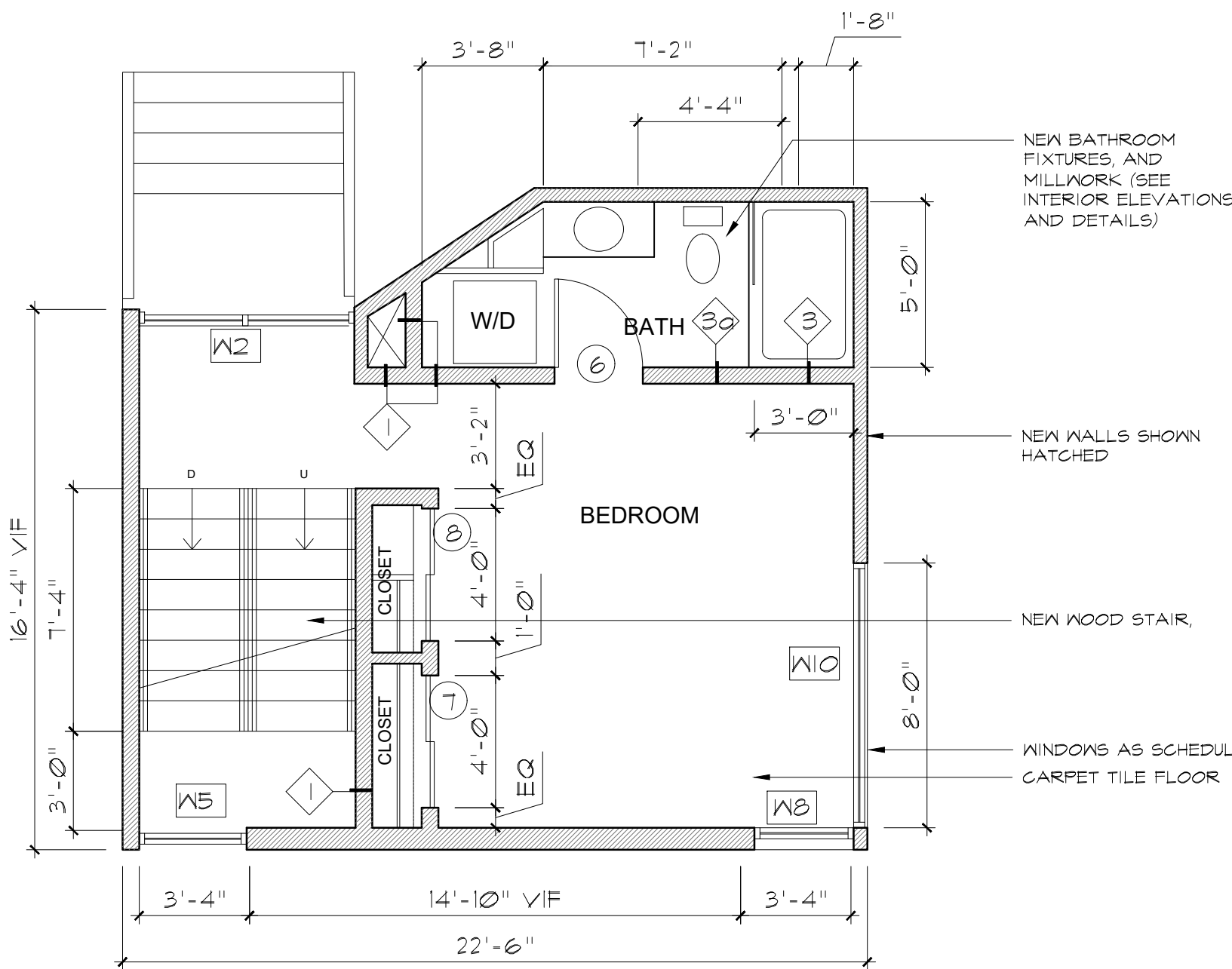
5. UPPER ROOF PLAN



1. BASEMENT PLAN



2. FIRST FLOOR PLAN



3. SECOND FLOOR PLAN

Consultants

FLOOR PLANS PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFD0B Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	1/4"=1'-0"	Date:	201205
Drawn by:	NL	Checked by:	NL

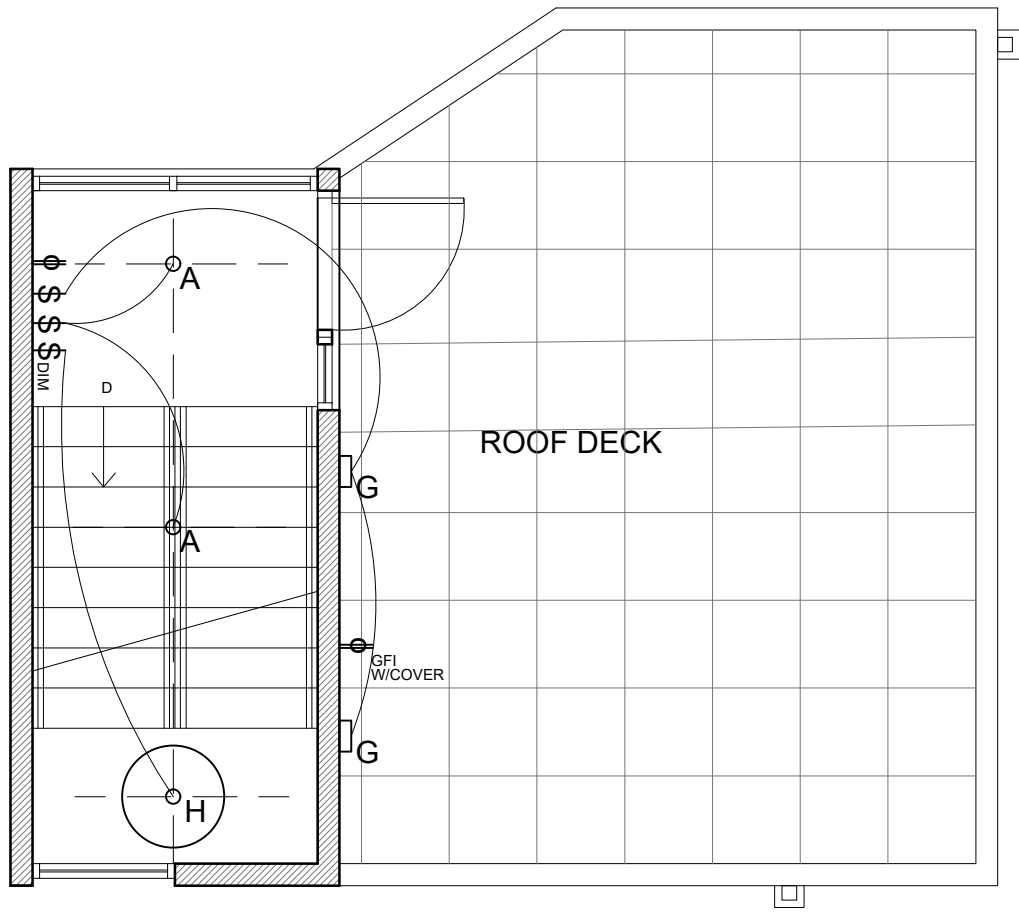
Drawing number	Rev. number
----------------	-------------

A100

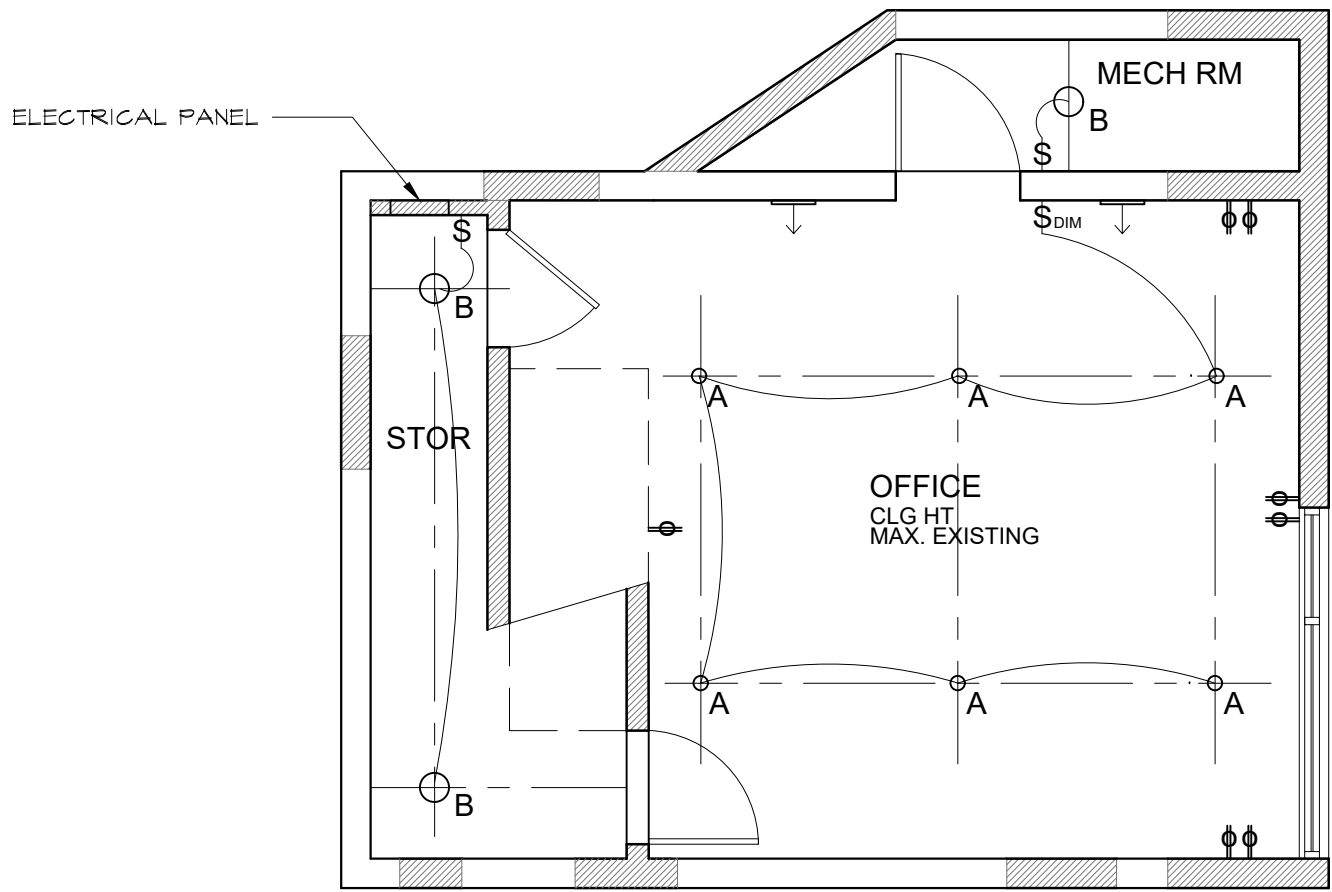
-

ISSUE FOR PERMIT

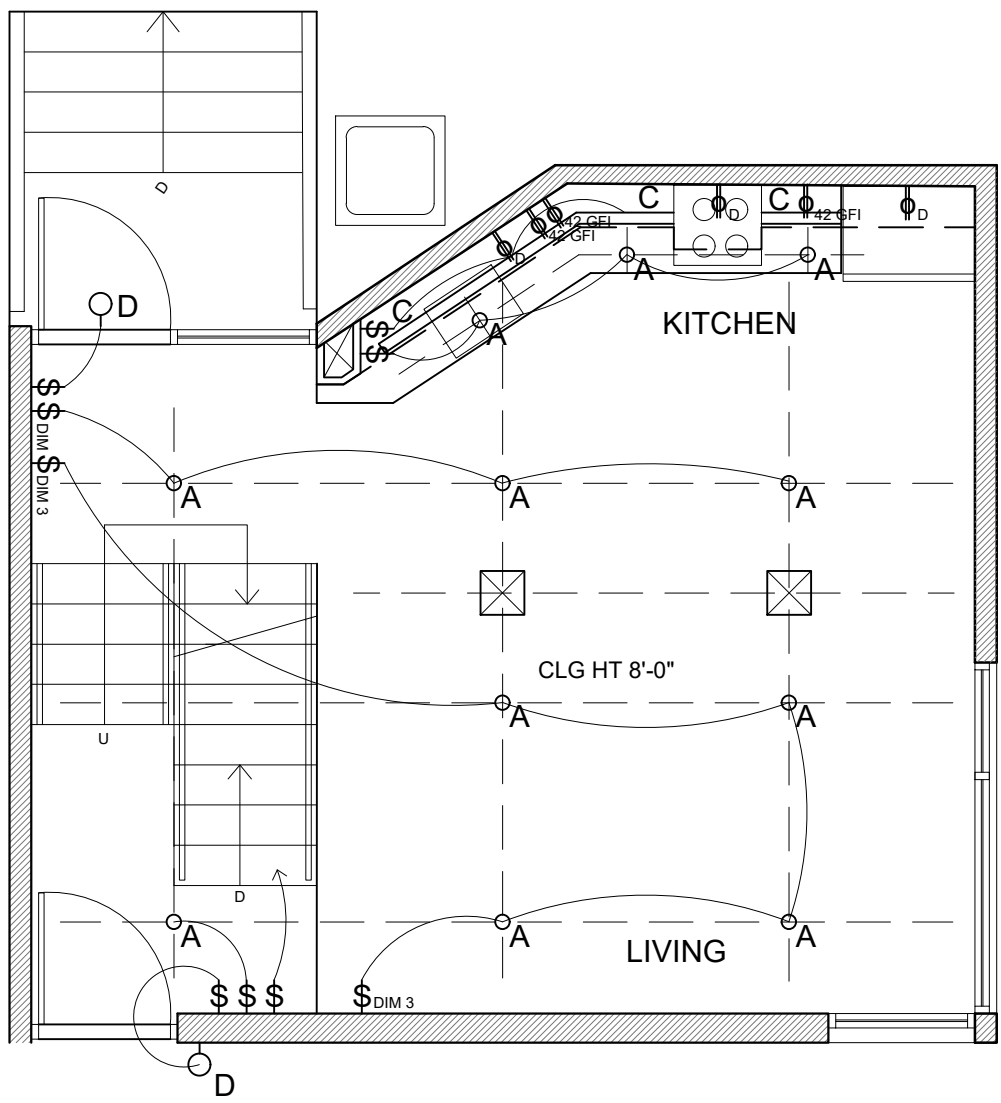
© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.



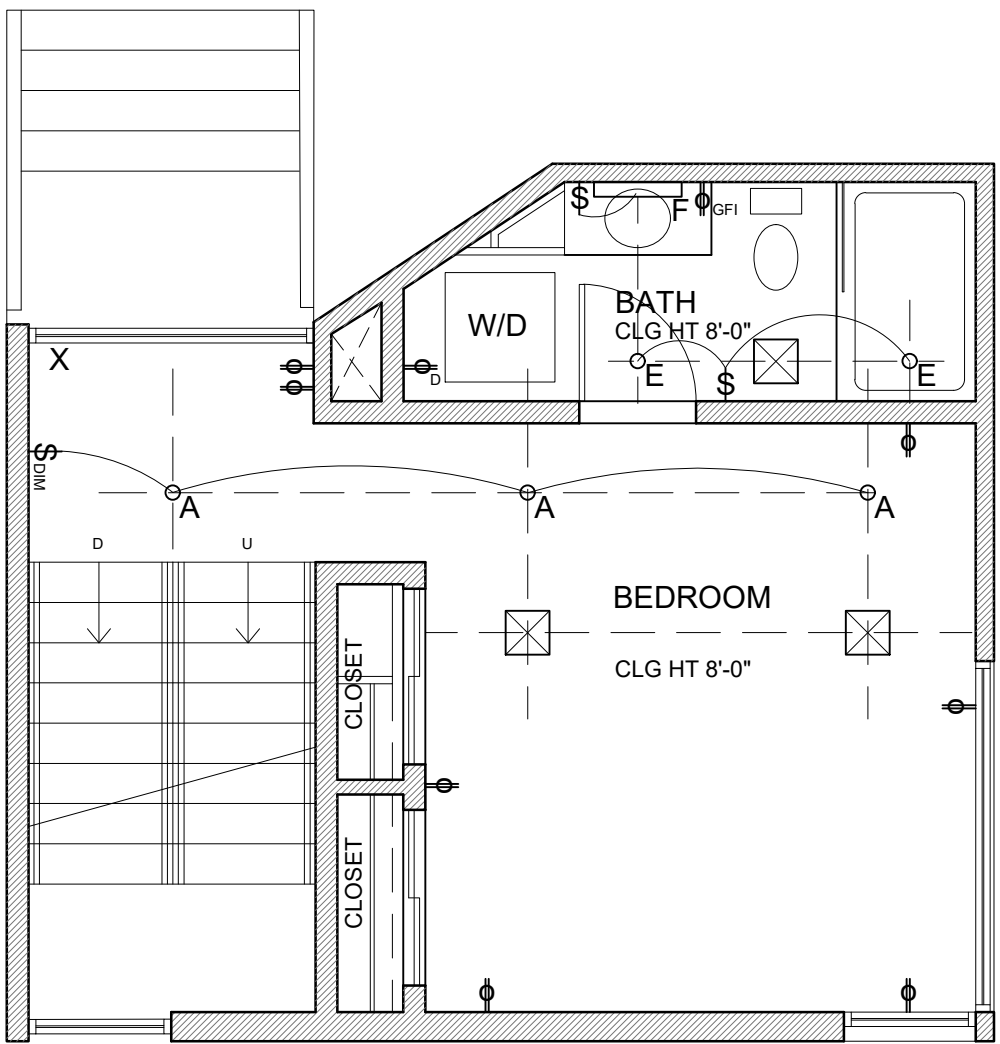
4. ROOF FRAMING PLAN



1. BASEMENT CEILING FRAMING PLAN



2. FIRST FLOOR CEILING FRAMING PLAN



3. SECOND FLOOR CEILING FRAMING PLAN

SYMBOL	DESCRIPTION	REMARKS
\$	DECORA STYLE WALL SWITCH @ 42 AFF (UNO)	
\$3	DECORA STYLE 3-WAY WALL SWITCH @ 42 AFF (UNO)	
\$DIM	DECORA STYLE DIMMER WALL SWITCH @ 42 AFF (UNO)	
\$=	DUPLEX OUTLET @ 15" AFF (UNO)	
\$=GFI	GFI DUPLEX OUTET @42 AFF (UNO)	
\$=D	DEDICATED CIRCUIT DUPLEX OUTLET	
OA	RECESSED LED DOWNLIGHT 4" DIA.	
OB	SURFACE MOUNT UTILITY FIXTURE	
OC	LINEAR UNDER CABINET FIXTURE	
OD	EXTERIOR SCONCE	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
OE	WET AREA RECESSED FIXTURE, 4" DIA.	
OF	VANITY SCONCE	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
OG	EXTERIOR WALL MOUNTED SCONCE	
OH	SPECIALTY PENDANT FIXTURE	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR

Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

Consultants

REFLECTED CEILING AND ELECTRICAL PLANS AND SCHEDULE PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDOB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	1/4"=1'-0"	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
----------------	-------------

A110

-

ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.

Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

Consultants

EXTERIOR ELEVATIONS
PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFD0B Plan Check Response	22 JAN 2021
Issue for AHRB	17 MAR 2021

Scale:	1/8"=1'-0"	Date: 5 DEC 20	--
Drawn by:	NL	Checked by:	NL

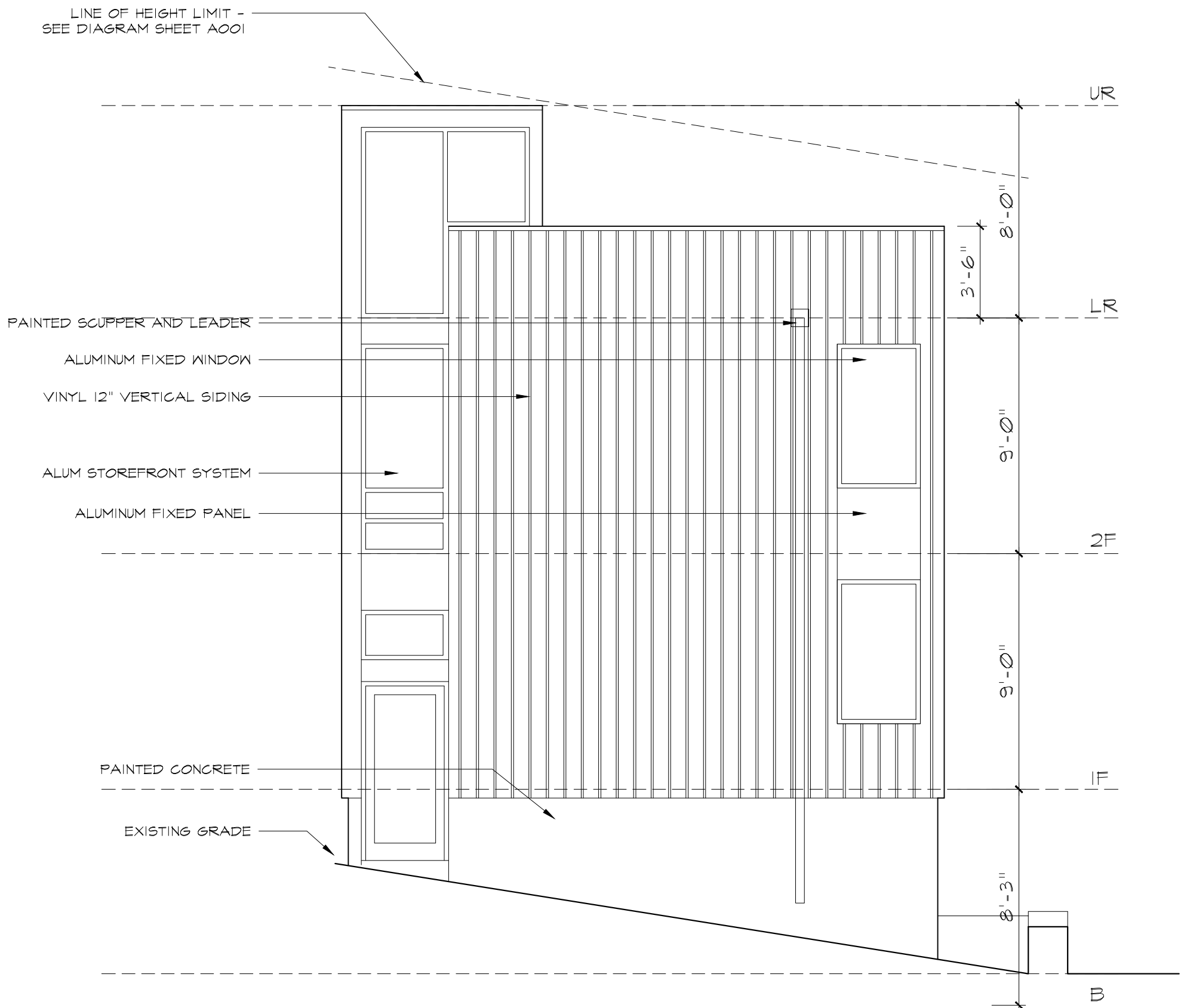
Drawing number	Rev. number
----------------	-------------

A200

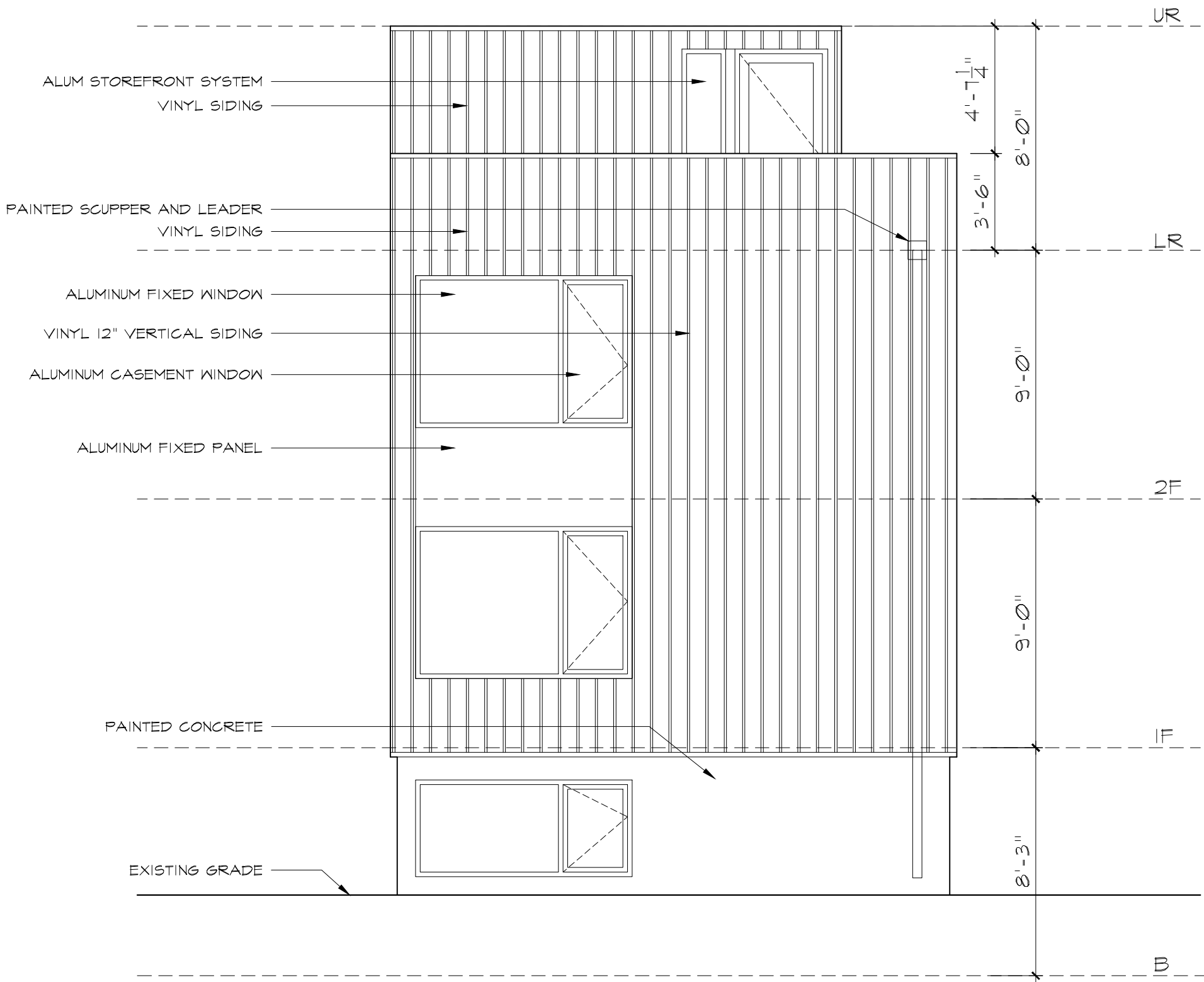
-

ISSUE FOR PERMIT

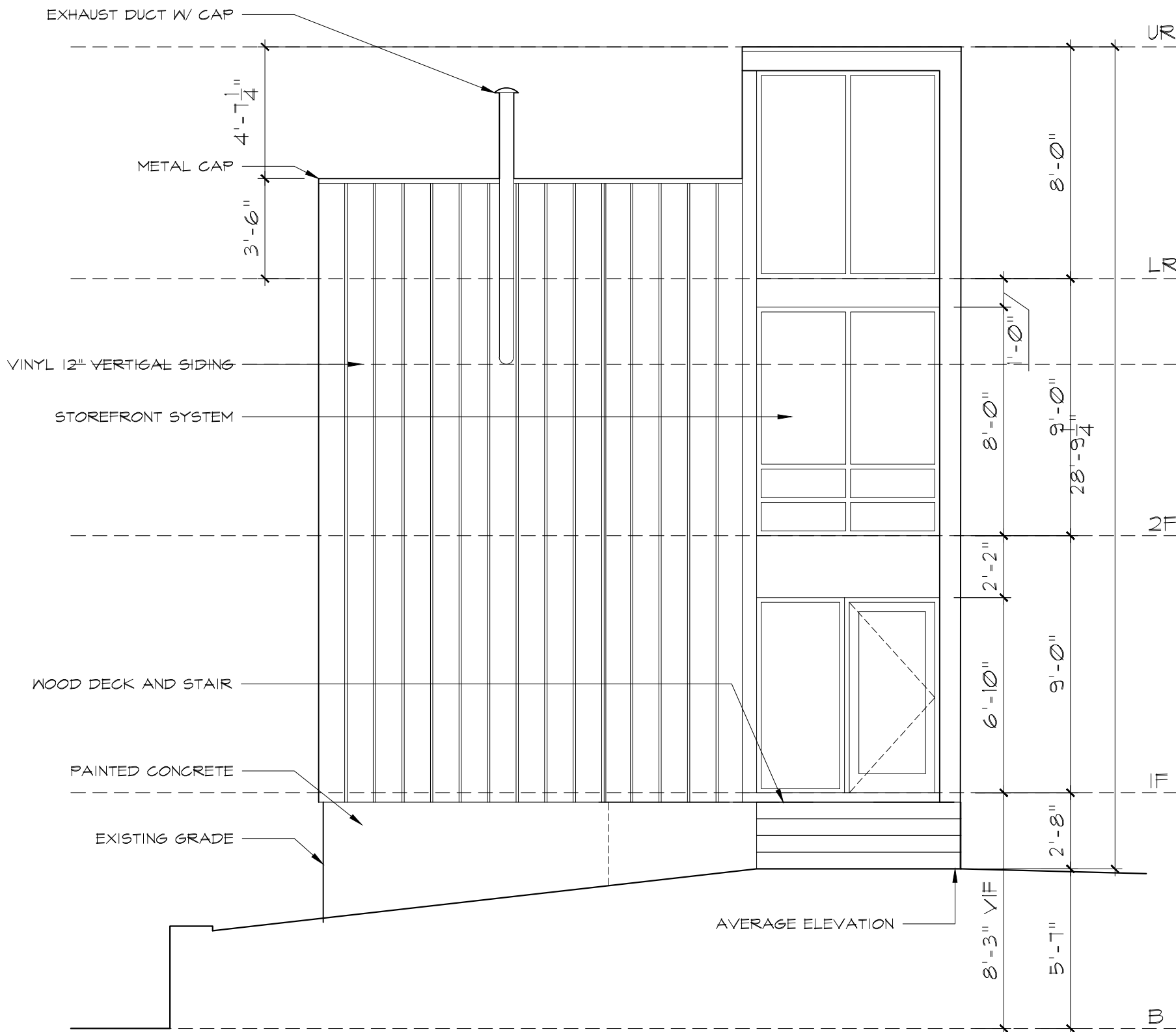
© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.



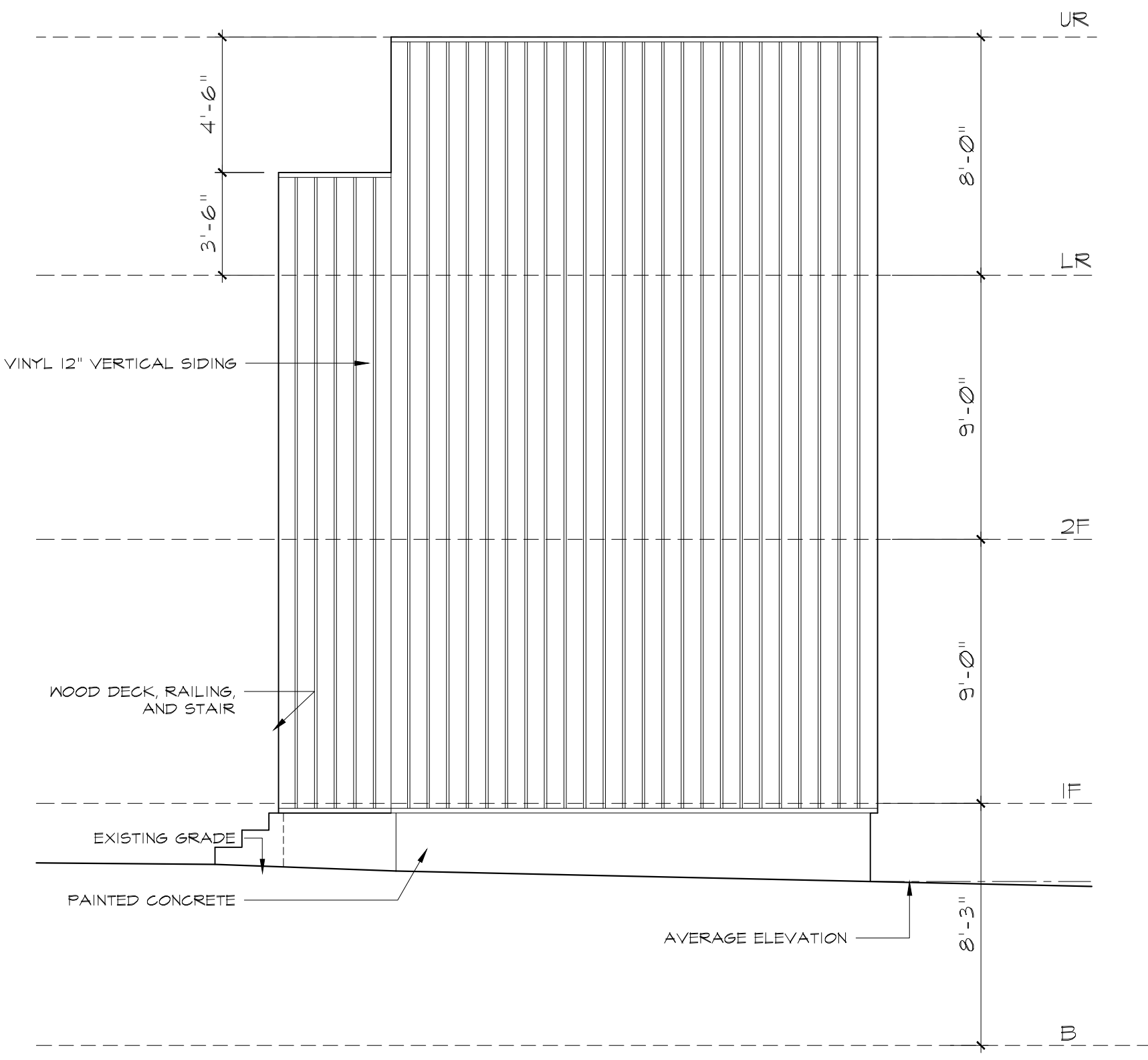
1. EAST ELEVATION



2. SOUTH ELEVATION



3. WEST ELEVATION



4. NORTH ELEVATION

shengandless@gmail.com

16 Tiernans Lane
Dobbs Ferry, NY 10522

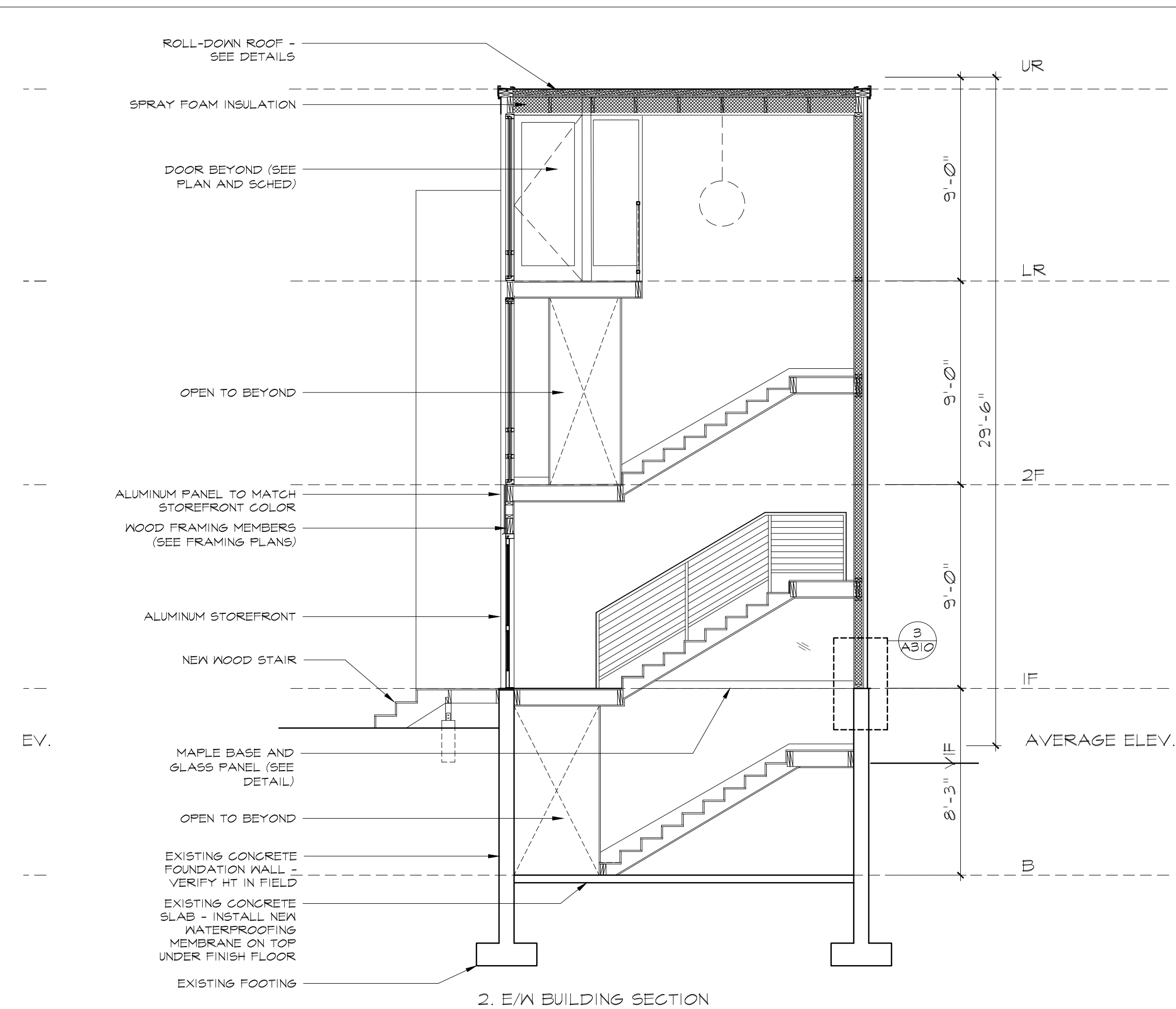
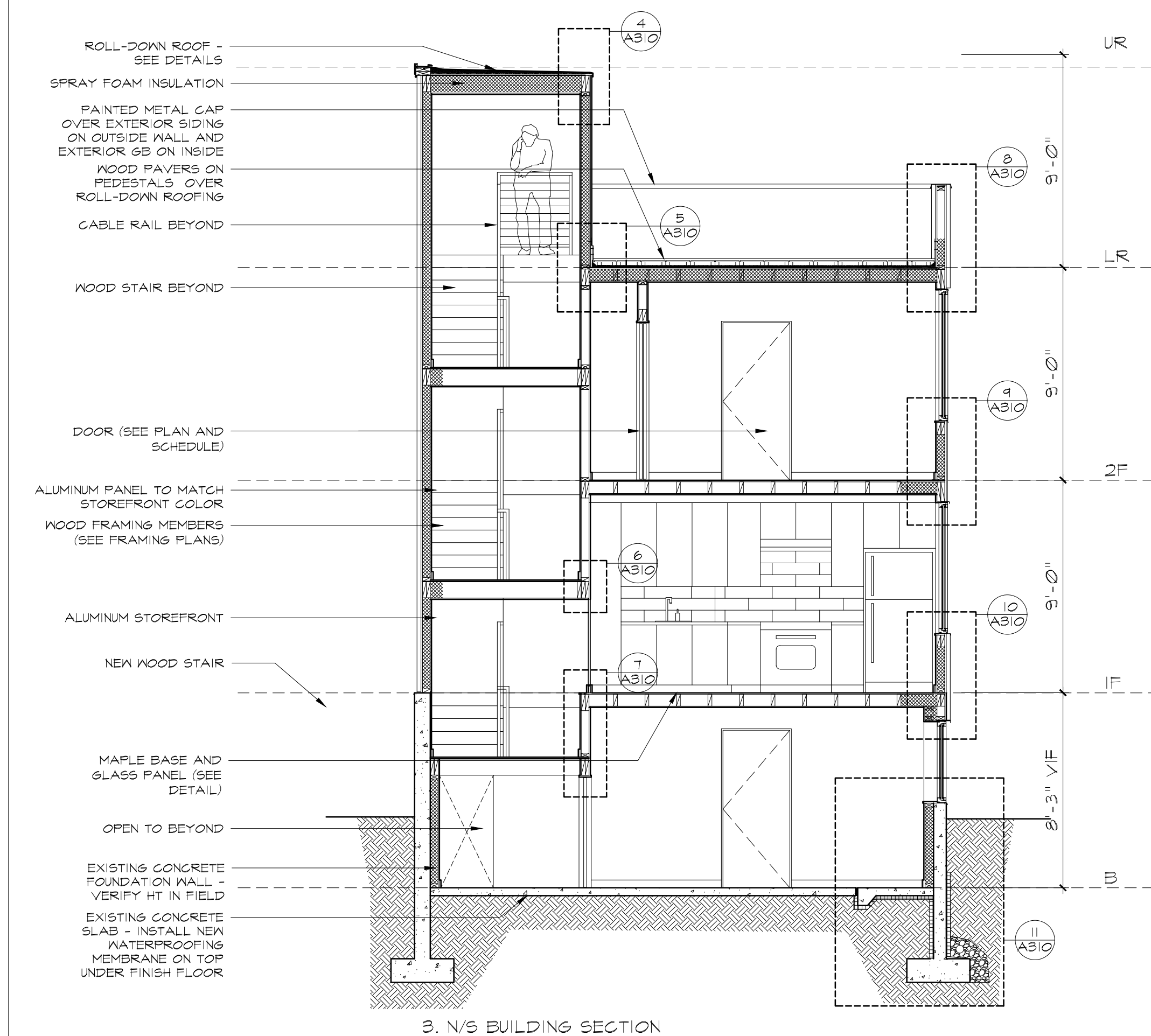
1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

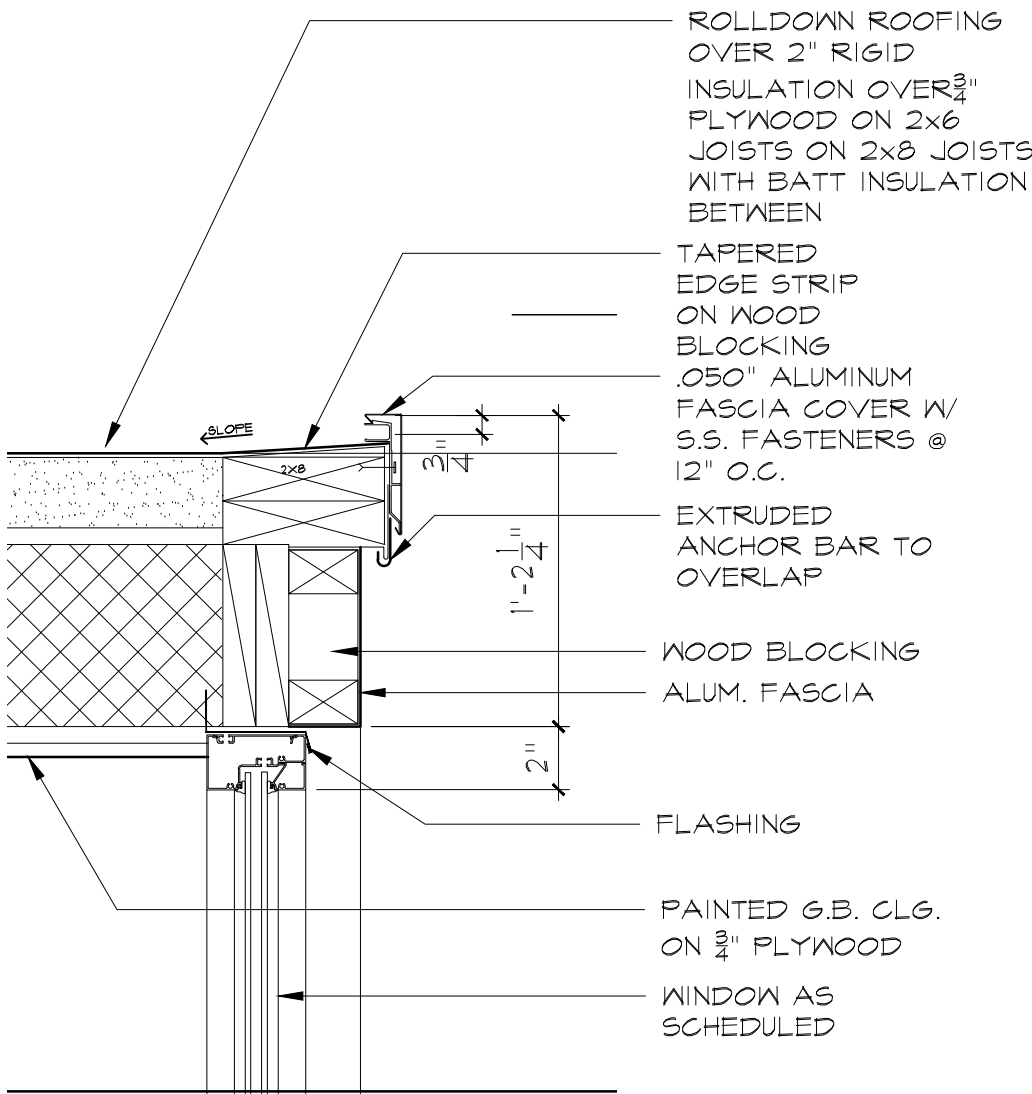
BUILDING SECTIONS
PROPOSED

Drawing number	Rev. number
----------------	-------------

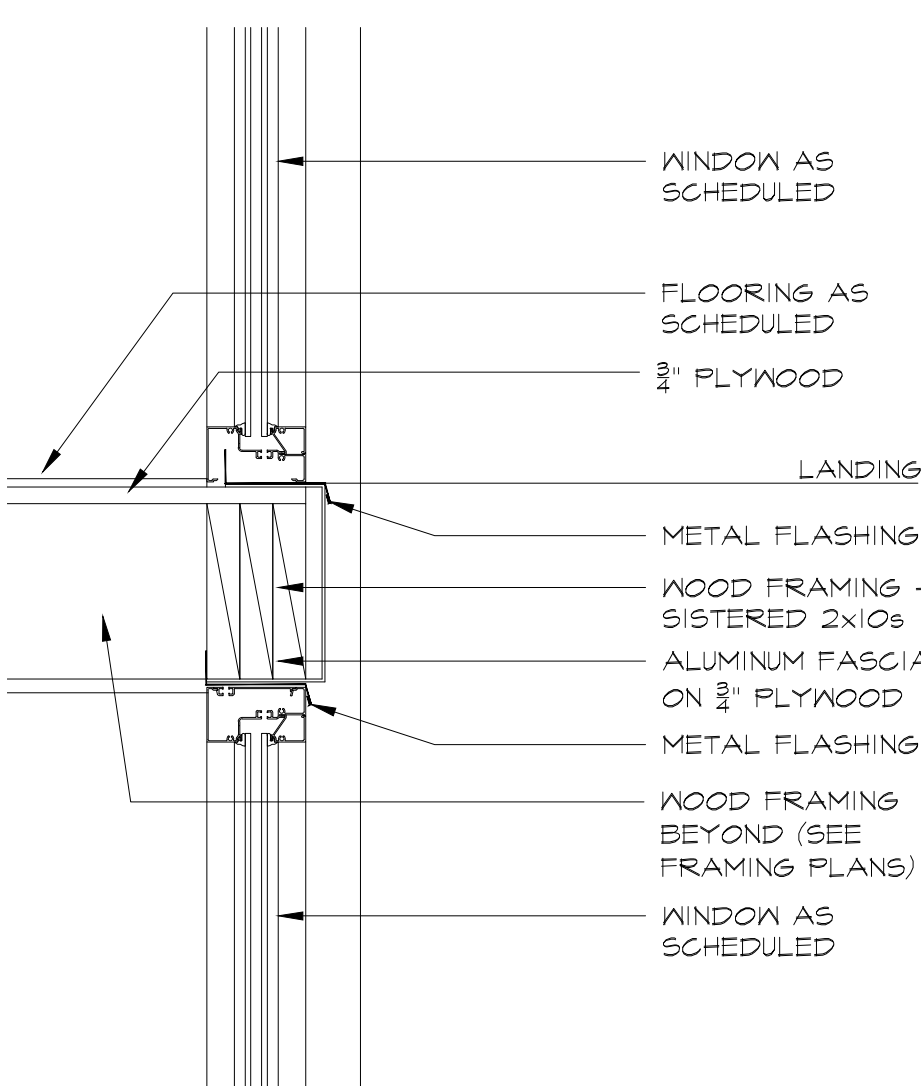
ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.

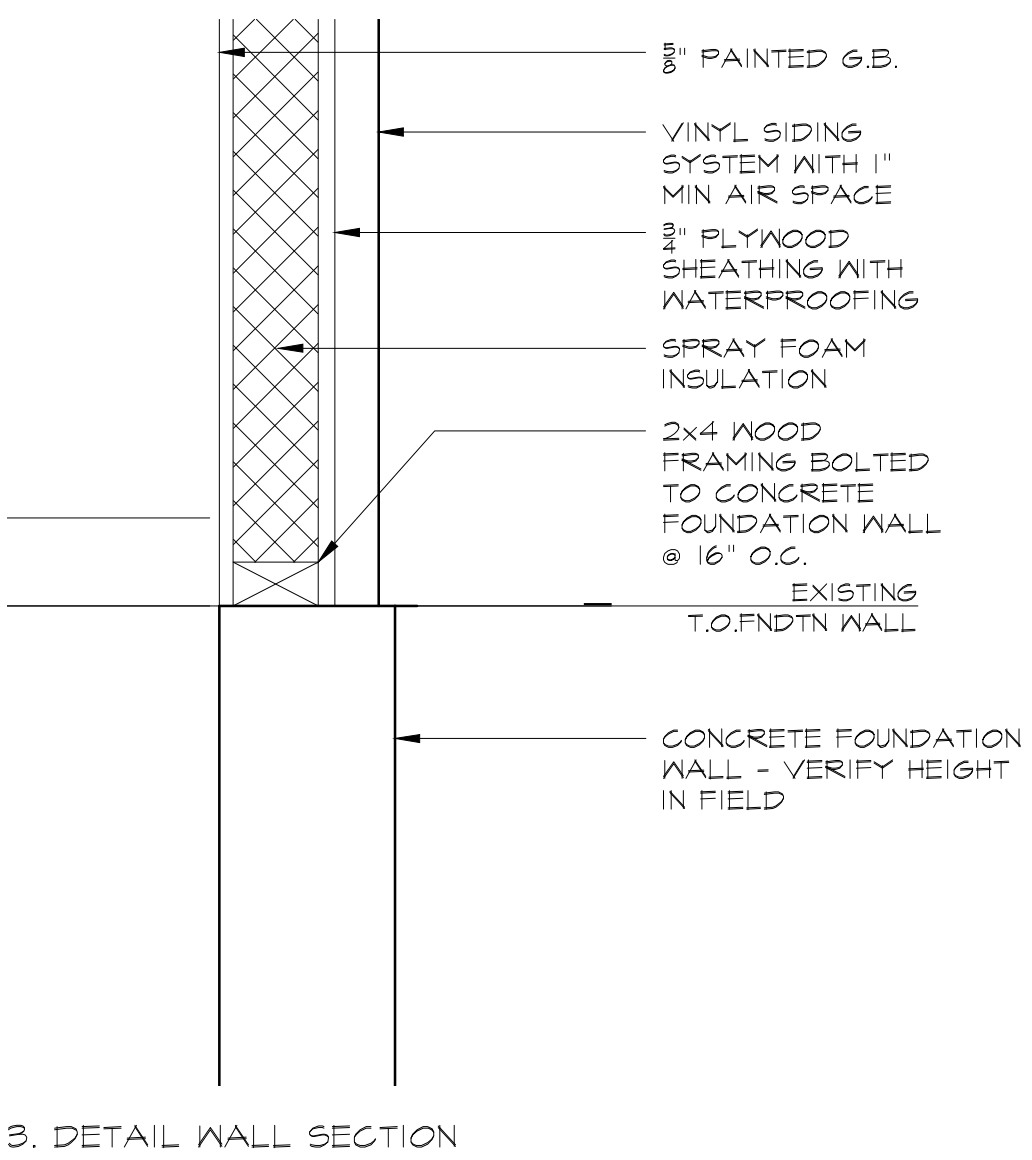




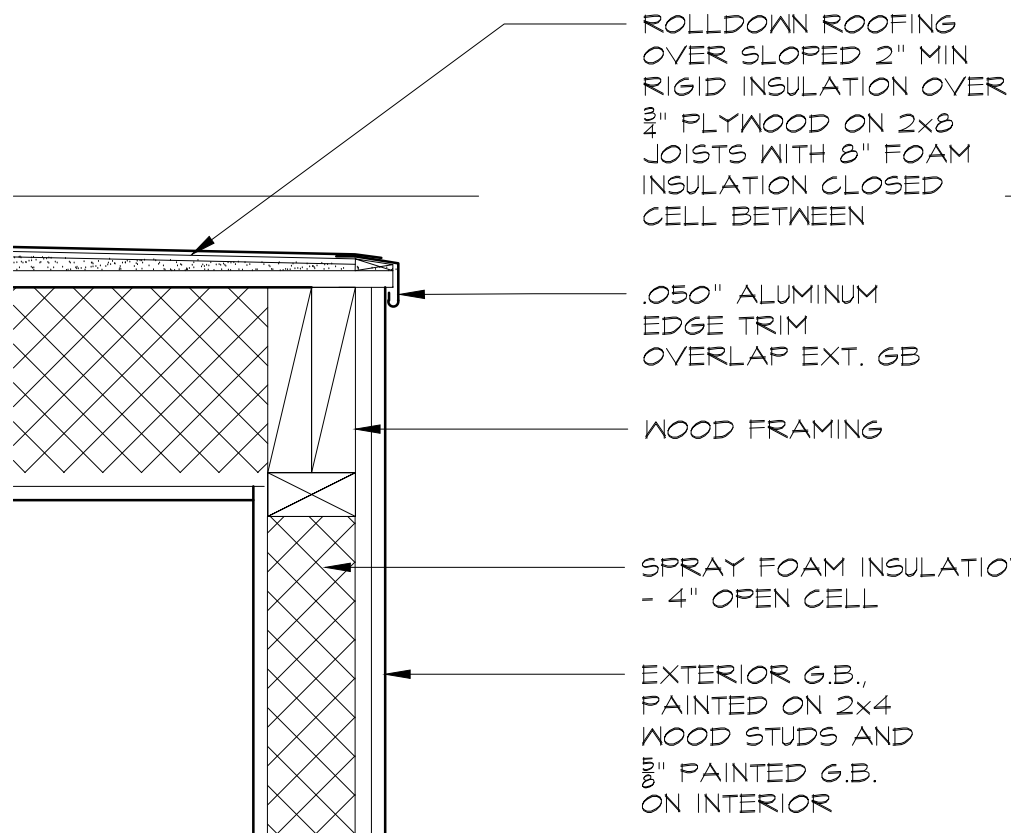
1. DETAIL WALL SECTION



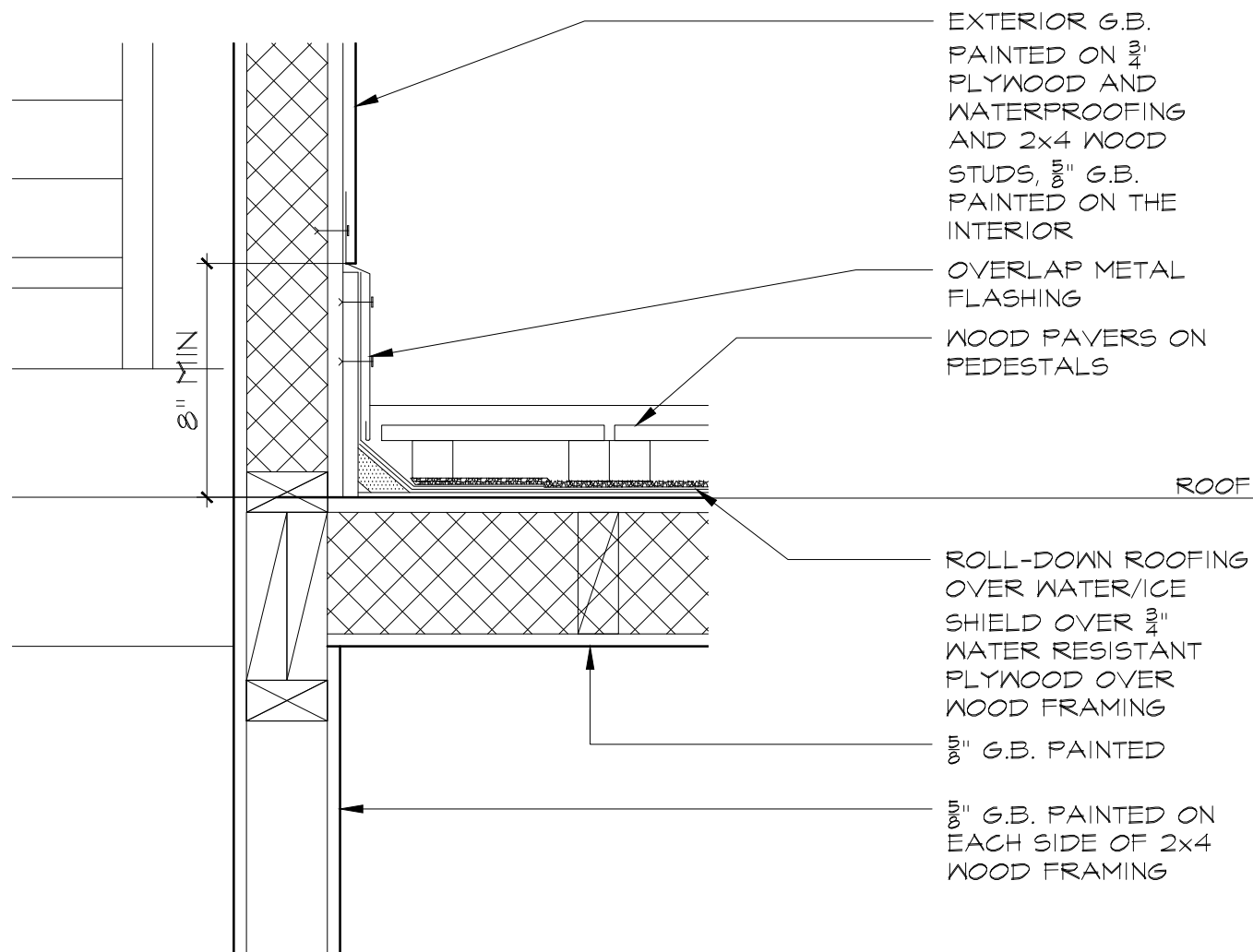
2. DETAIL WALL SECTION



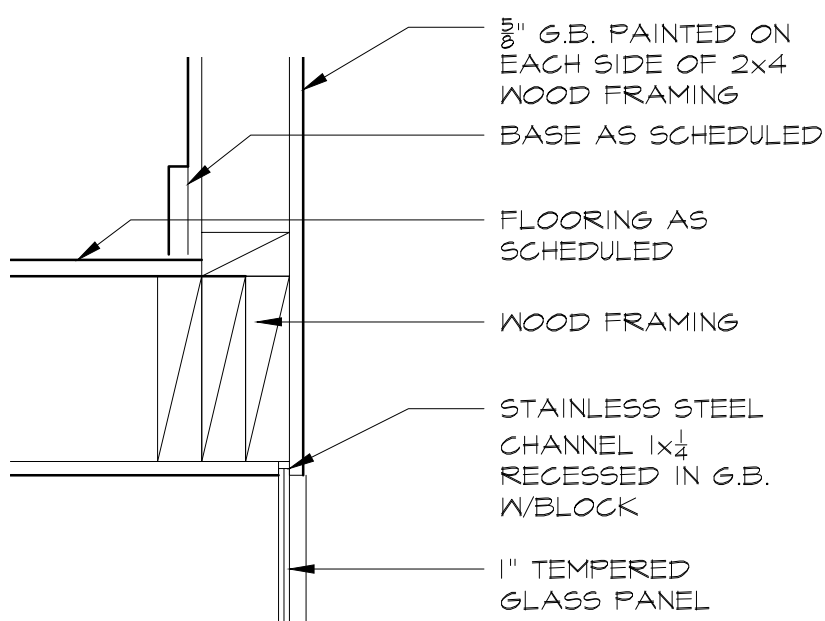
3. DETAIL WALL SECTION



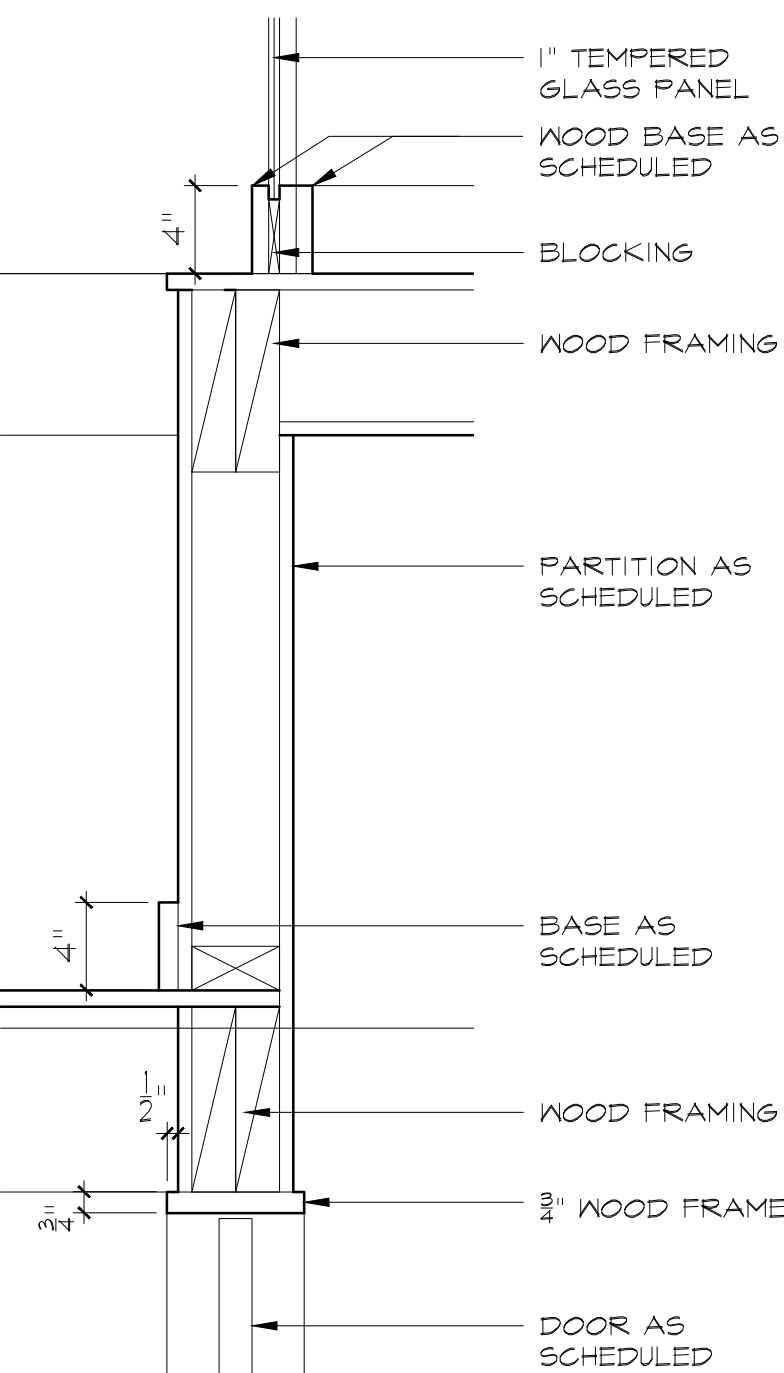
4. DETAIL WALL SECTION



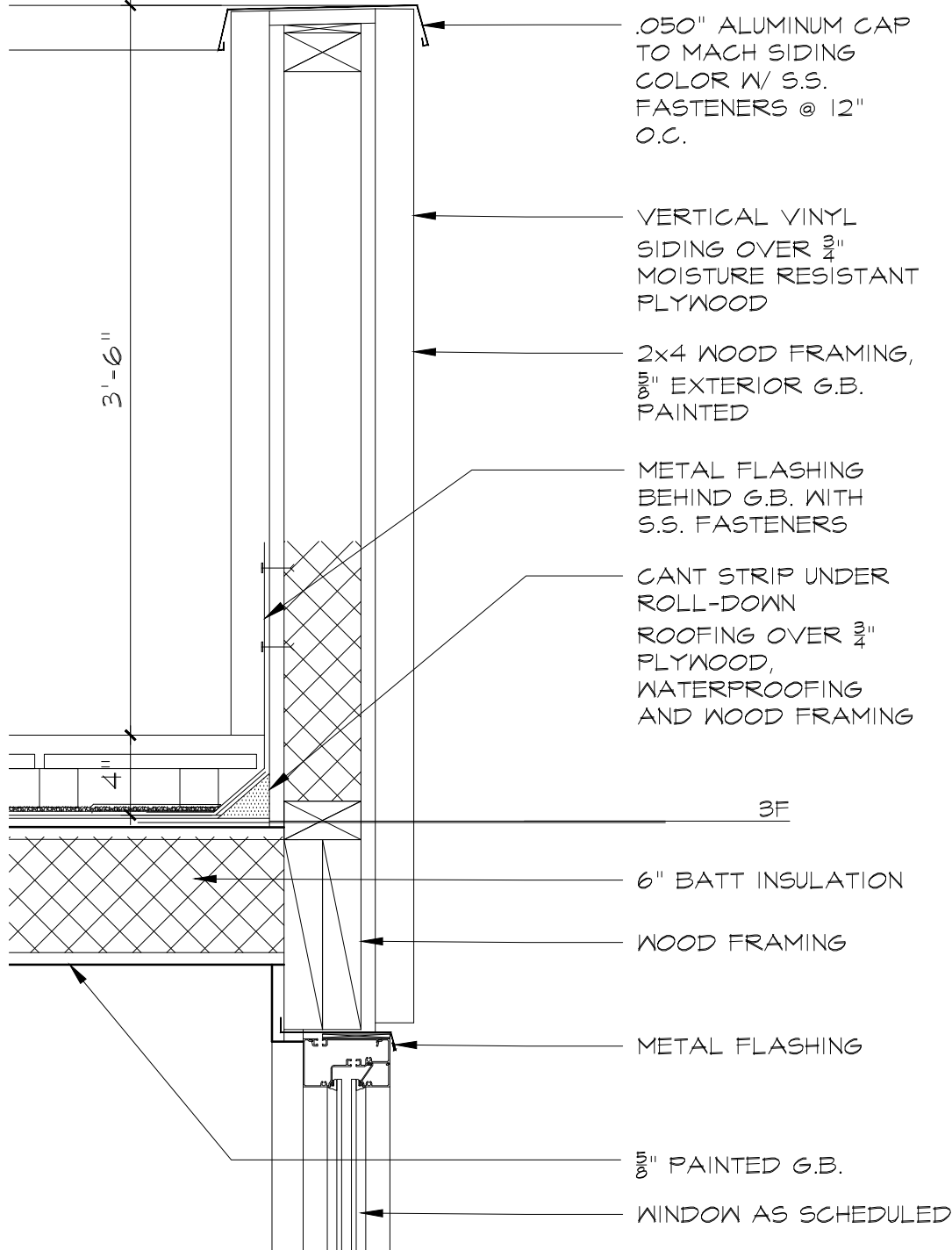
5. DETAIL WALL SECTION



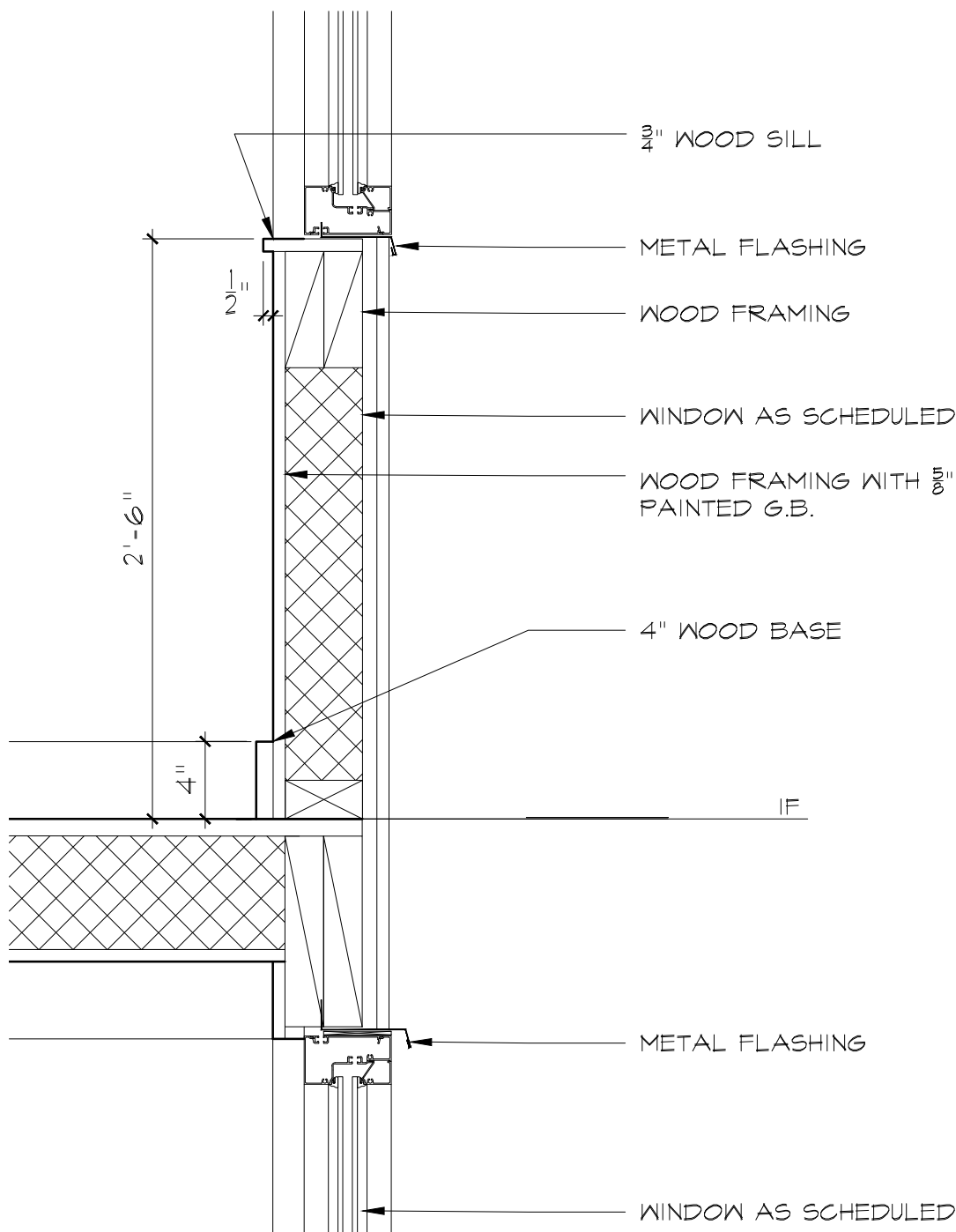
6. DETAIL WALL SECTION



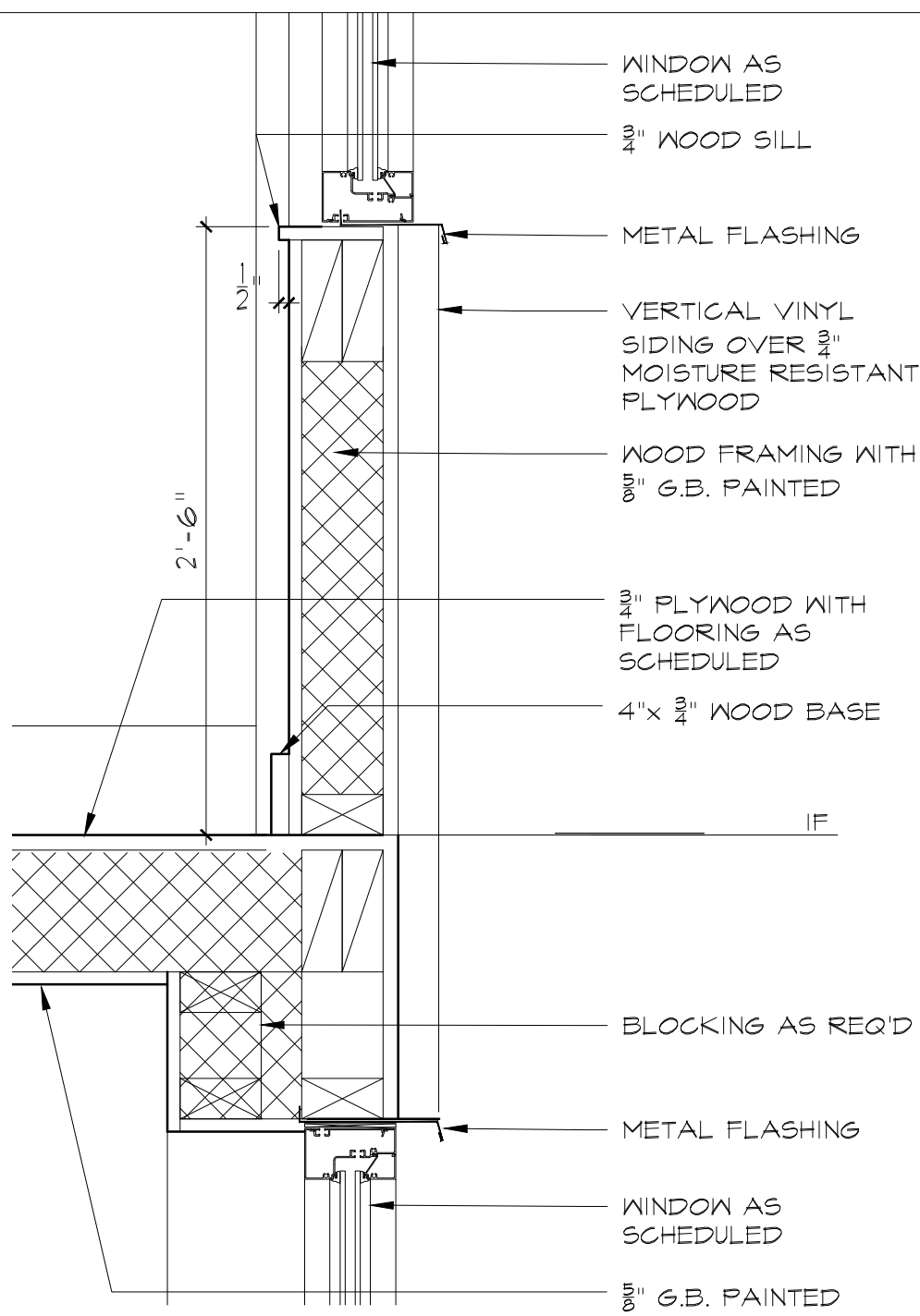
7. DETAIL WALL SECTION



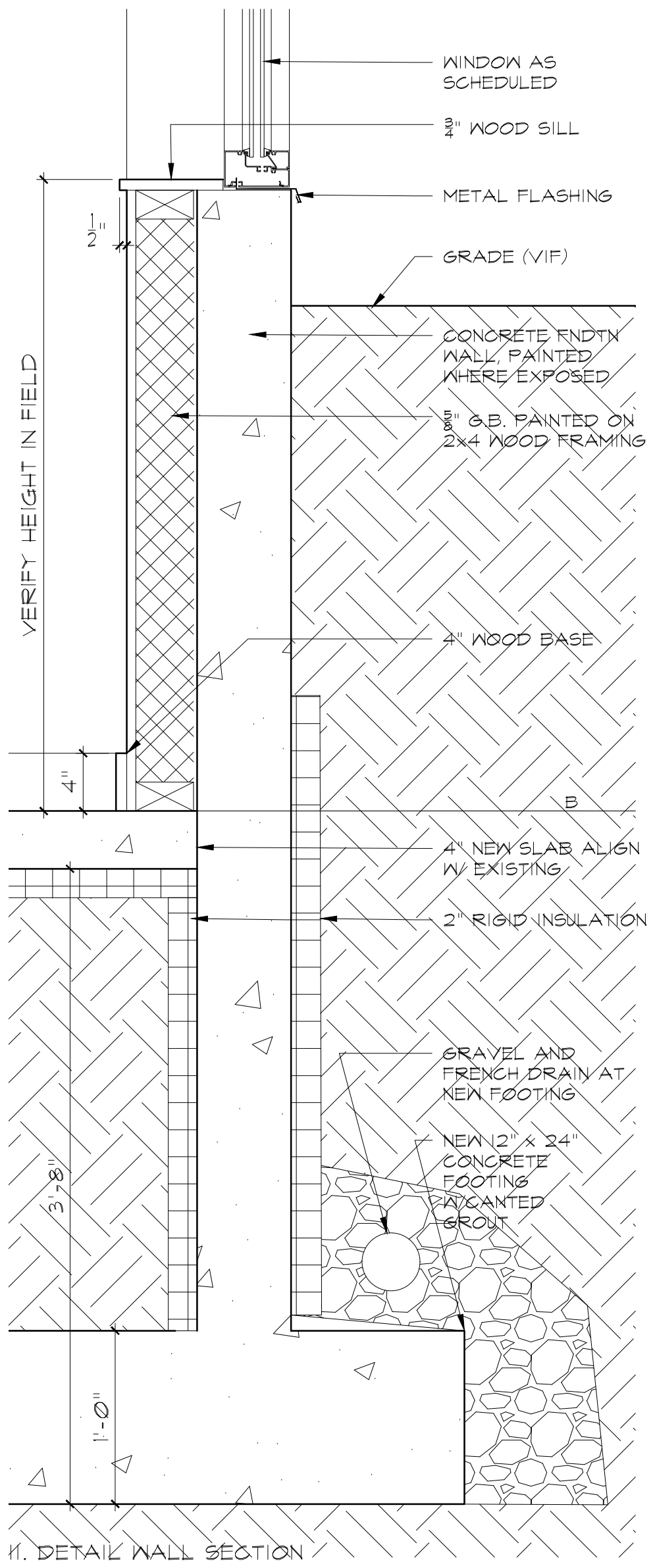
8. DETAIL WALL SECTION



9. DETAIL WALL SECTION



10. DETAIL WALL SECTION



11. DETAIL WALL SECTION

Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

Consultants

EXTERIOR WALL DETAILS PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDOB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	1/8"=1'-0"	Date: 5 DEC 20	--
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
----------------	-------------

A301

-

ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

1. Figured dimensions are to be taken in preference to scaled.
All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

Consultants

WINDOW AND DOOR TYPES
AND SCHEDULES PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFD0B Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

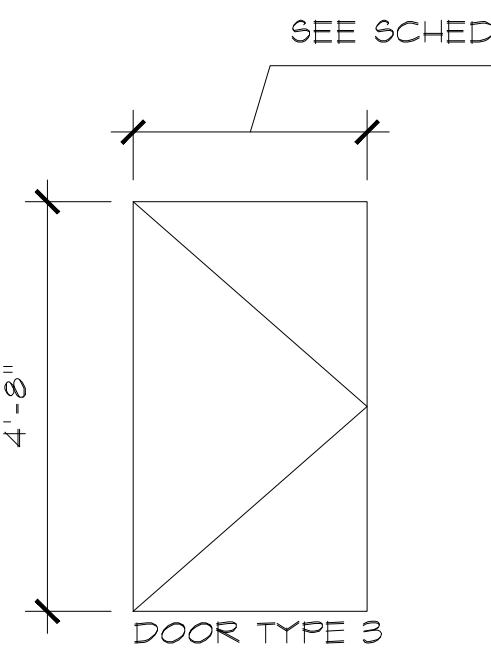
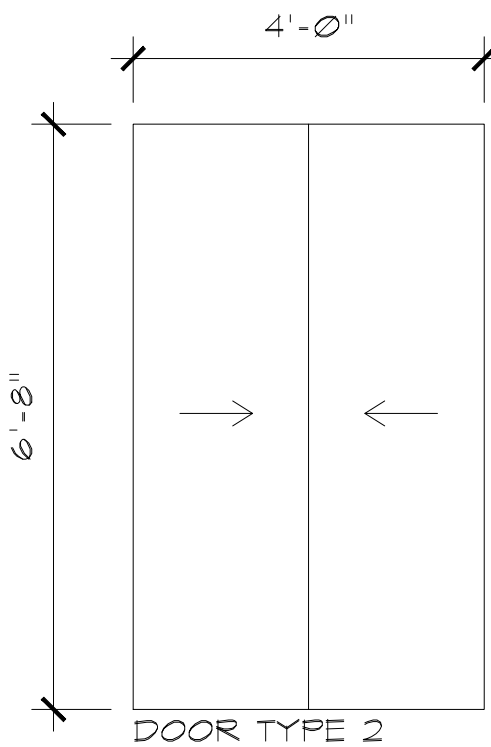
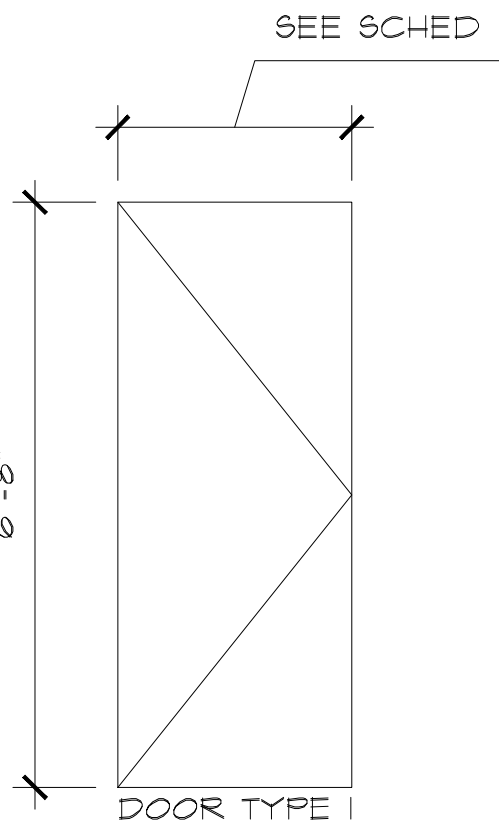
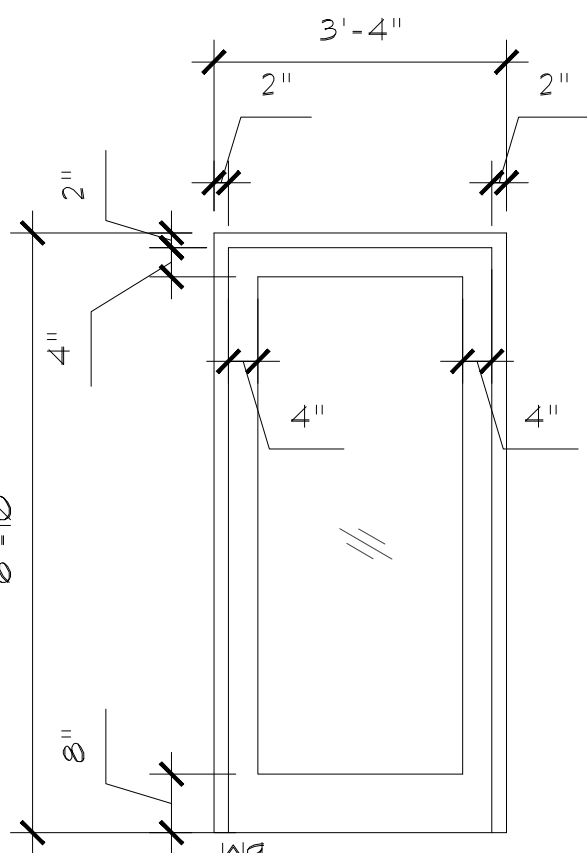
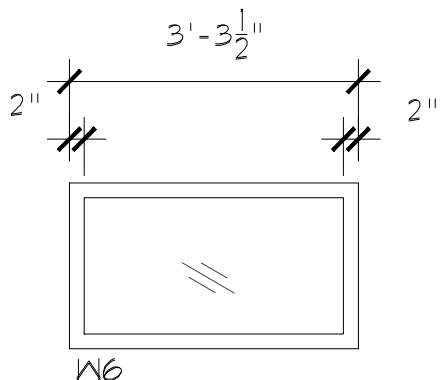
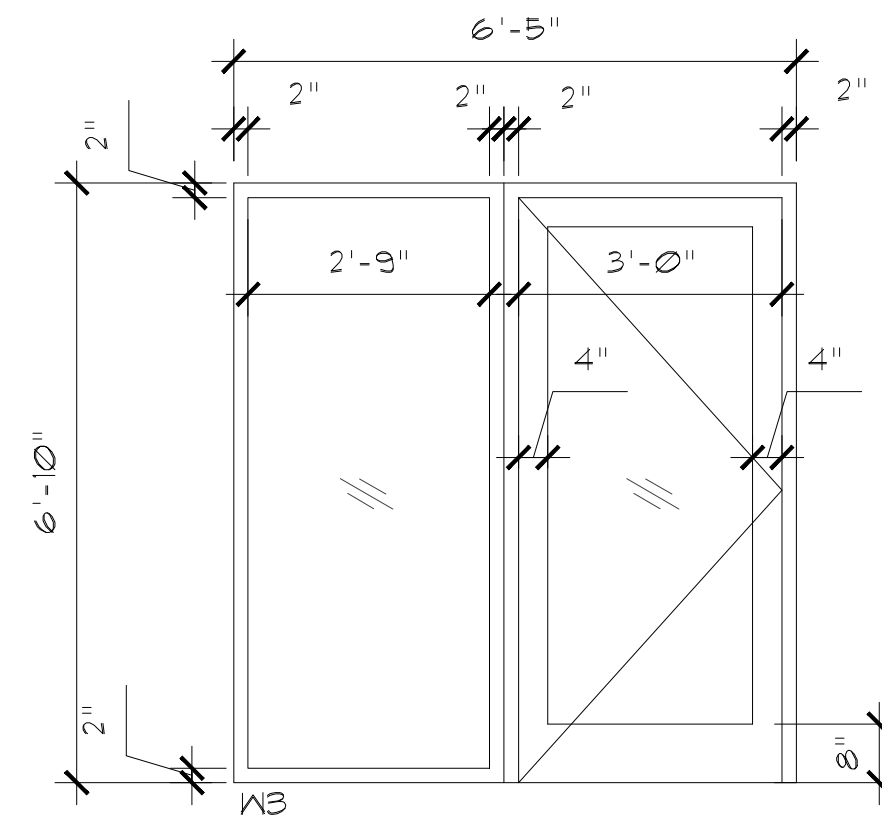
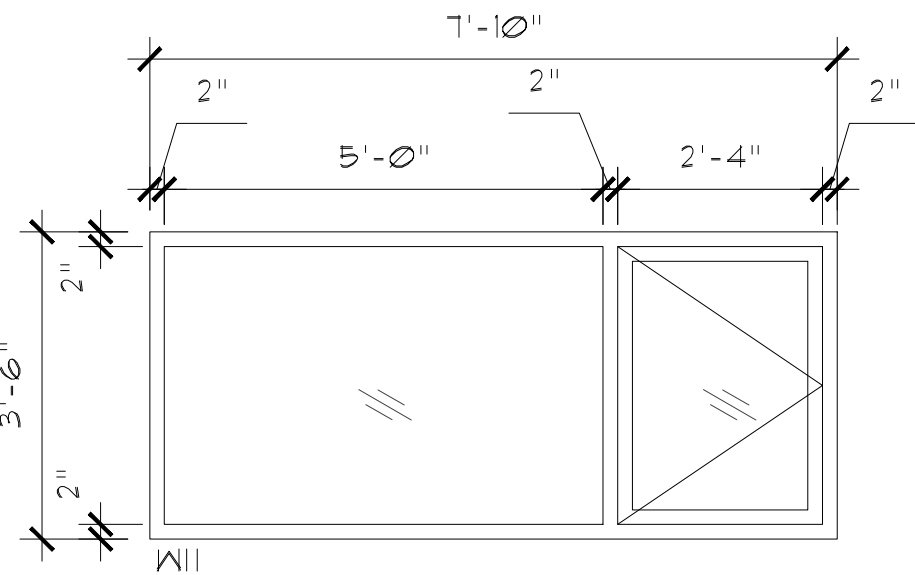
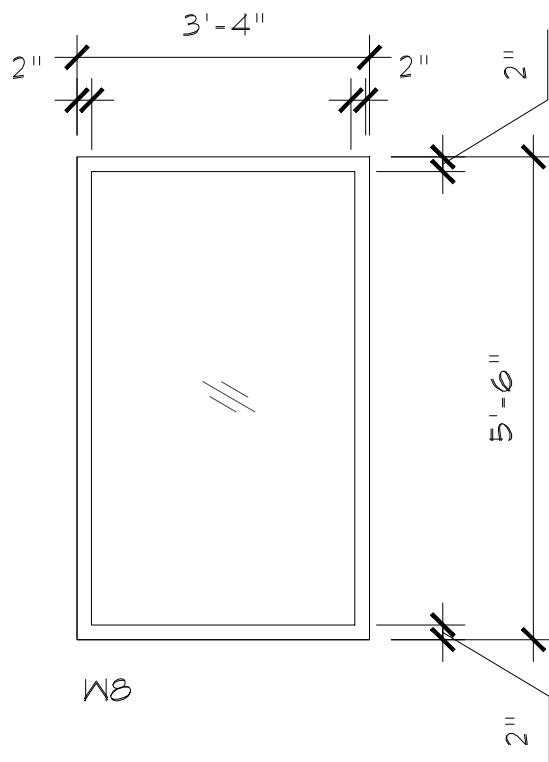
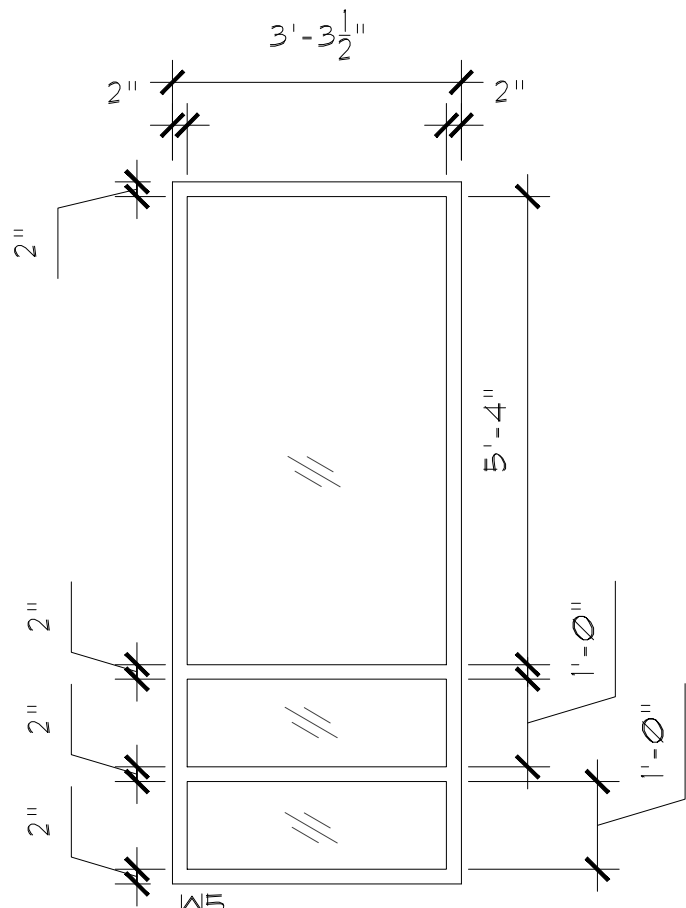
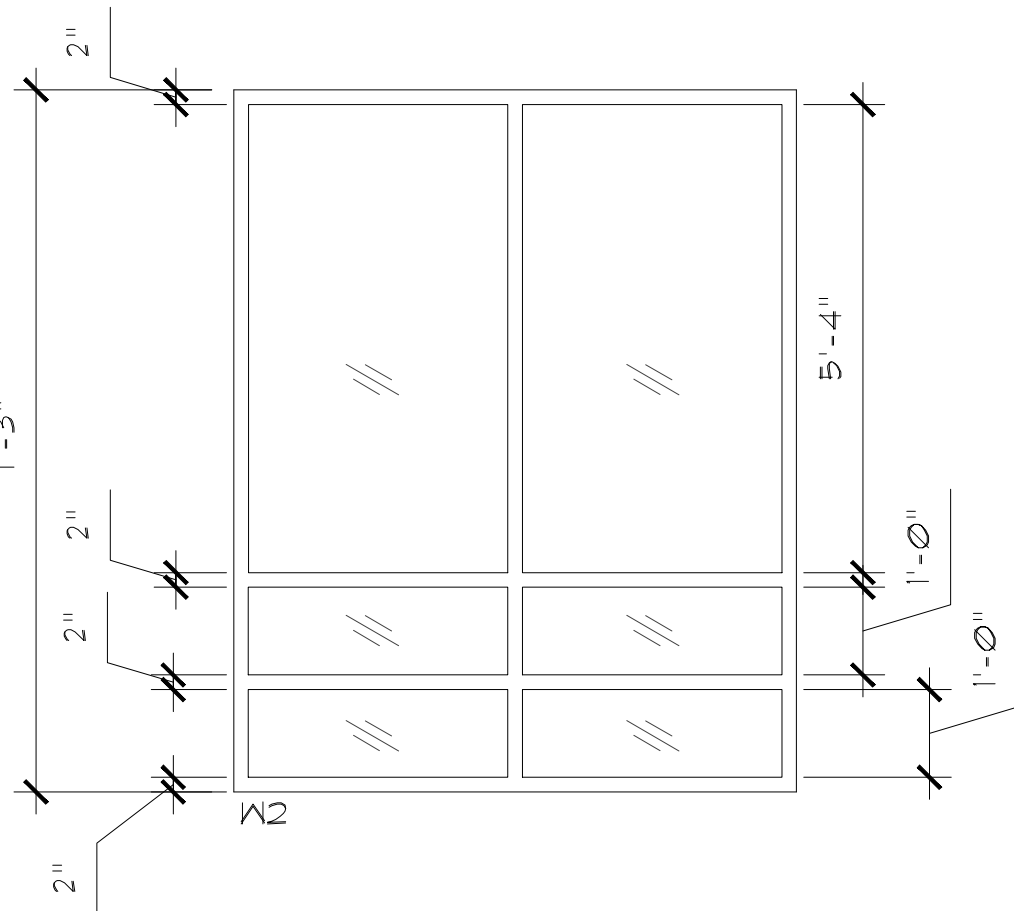
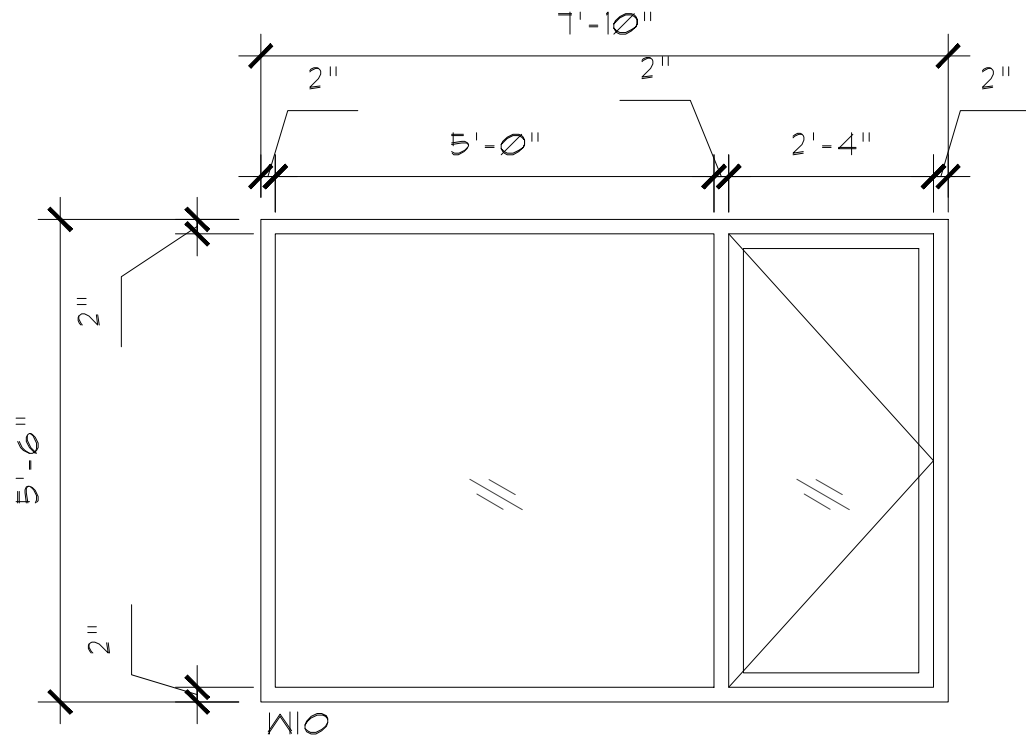
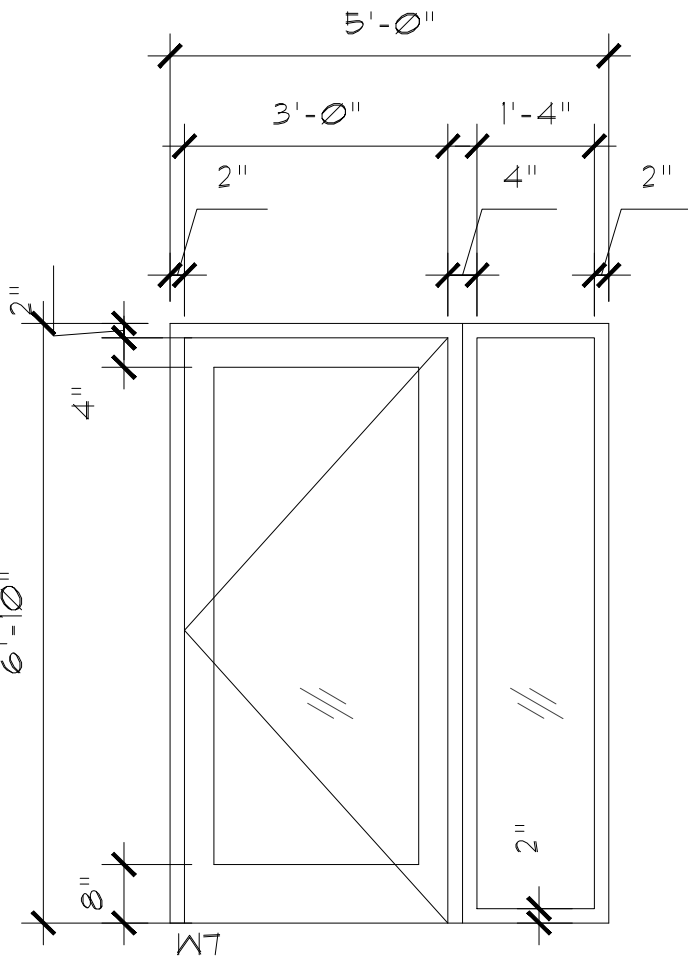
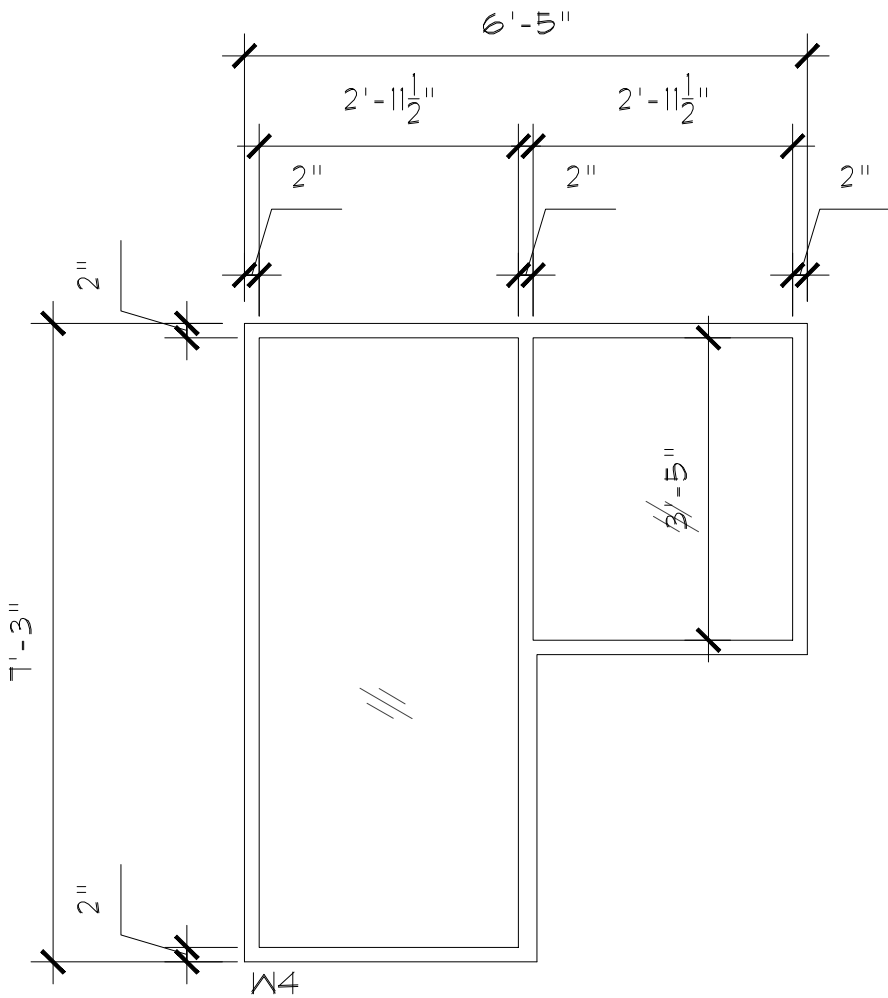
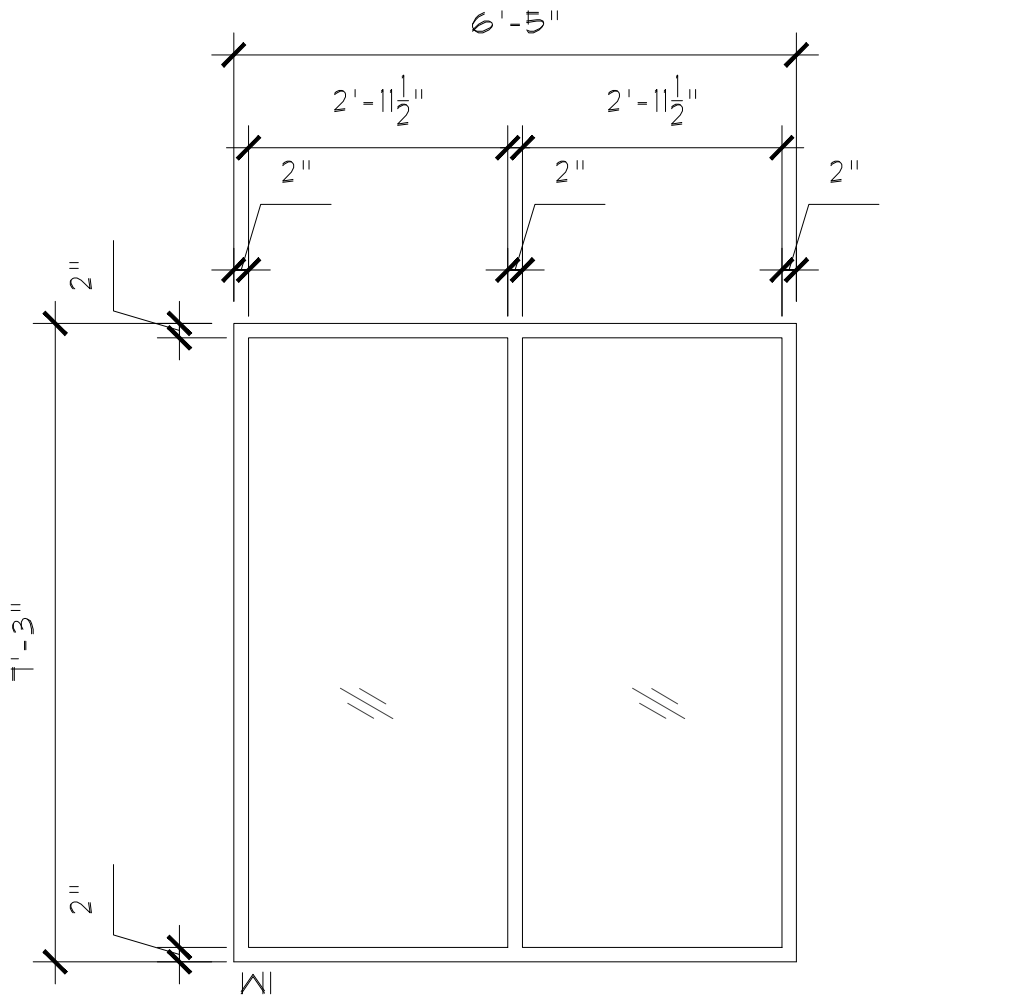
Scale:	1/2"=1'-0"	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
----------------	-------------

A900

ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.



DOOR SCHEDULE

DOOR NO.	ROOM	TYPE	SIZE	MATERIAL	FRAME	GLAZING	HARDWARE	REMARKS
1	OFFICE		2'-10" x 6'-8"	PNTD WD	PNTD WD	--	1	
2	OFFICE		2'-10" x 6'-8"	PNTD WD	PNTD WD	--	1	
3	OFFICE		4'-10" x 6'-8"	PNTD WD	PNTD WD	--	1	
4	ENTRY		3'-0" x 6'-8"	PNTD ALUM	PNTD ALUM	1/4" TRANSLUCENT SAFETY	2	SEE WINDOW W9
5	REAR		3'-0" x 6'-8"	PNTD ALUM	PNTD ALUM	1/4" CLEAR SAFETY	2	SEE WINDOW W3
6	BATH		2'-10" x 6'-8"	PNTD WD	PNTD WD	--	3	
7	CLOSET		4'-0" x 6'-8"	PNTD WD	PNTD WD	--	4	BYPASS PAIR
8	CLOSET		4'-0" x 6'-8"	PNTD WD	PNTD WD	--	4	BYPASS PAIR
9	ROOF		3'-0" x 6'-8"	PNTD ALUM	PNTD ALUM	1/4" CLEAR SAFETY	2	SEE WINDOW W7

WINDOW SCHEDULE

WINDOW NO.	ROOM	SIZE	GLAZING	FRAME	OPERATION
W1	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W2	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W3	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED SIDELITE & DOOR
W4	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W5	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W6	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W7	ROOF	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED SIDELITE & DOOR
W8	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W9	STAIR	SEE DWG	1" INSUL. TRANSLUCENT	PAINTED AL	DOOR
W10	LIVING/BED	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED & CASEMENT
W11	OFFICE	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED & CASEMENT

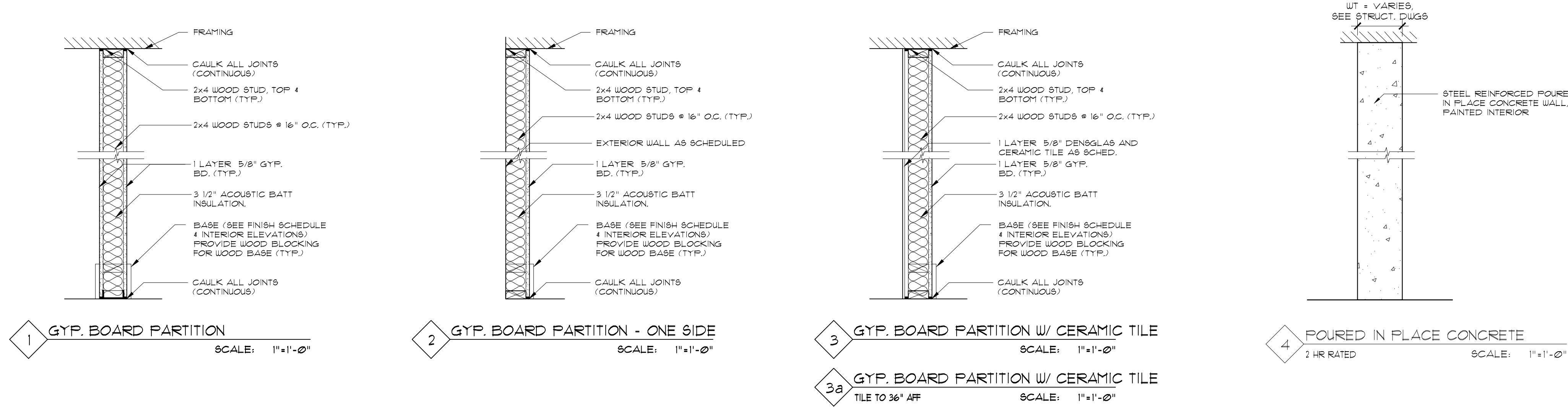
Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

- Notes :
1. Figured dimensions are to be taken in preference to scaled.
All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
 2. All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
 3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
 4. All works by contractor unless otherwise noted.



FINISH SCHEDULE						
ROOM	FLOOR	LOWER WALL	UPPER WALL	CEILING	BASE	REMARKS
ENTRY	W-1	P-1	P-1	P-4	B-1	
OFFICE	GPT-1	P-2	P-2	P-4	B-2	
LIVING	W-1	P-1	P-1	P-4	B-1	
KITCHEN	GT-1	P-1	GT-3/P-1	P-4	B-1	
BEDROOM	GPT-2	P-3	P-3	P-4	B-1	
BATH	GT-2	GT-2	GT-2/P-1	P-4	GT-2	
STAIR	W-1	P-1	P-1	P-4	B-1	

FINISH SCHEDULE			
CODE	MNFR	COLOR/SPEC	REMARKS
W-1	WOOD	MAPLE ENGINEERED WOOD	
GPT-1		CARPET TILE BY OWNER	
GPT-2		CARPET TILE BY OWNER	
GT-1	XXX	MAPLE ENGINEERED WOOD	
GT-2	XXX	MAPLE ENGINEERED WOOD	
GT-3	XXX	MAPLE ENGINEERED WOOD	
B-1		MAPLE HARDWOOD, 3/4" x 4", SQUARE CORNERS	
B-2		PAINTED WOOD	
P-1 THRU 4	BM OR EQ	COLORS TBD	

EXTERIOR FINISH SCHEDULE			
CODE	MNFR	COLOR/SPEC	REMARKS
SIDING	ROYAL BLDG	TBD / MARKET PLACE SERIES	SEE A902 FOR SPEC
WINDOWS	OLDCASTLE	PTD WHITE / SERIES 1000	SEE A902 FOR SPEC
DOORS	OLDCASTLE	PTD WHITE / TERRA SWING SERIES	SEE A902 FOR SPEC

FIXTURE SCHEDULE			
ROOM	FIXTURE	SPECIFICATION	REMARKS
KITCHEN	SINK		
	FAUCET		
BATH	LAV		
	LAV FAUCET		
	TOILET		
	BATH		
	BATH FAUCET		

APPLIANCE SCHEDULE			
ROOM	FIXTURE	SPECIFICATION	REMARKS
KITCHEN	DISHWASHER		
	FRIG		
	STOVE		
BATH	WASHER/DRYER		

Consultants

PARTITION TYPES,
FINISH, APPLIANCE, FIXTURE
SCHEDULES PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDOB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
----------------	-------------

A901

-

ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.

Nina Lesser, RA, LEED AP

shengandless@gmail.com

HOUSE RENOVATION
16 Tiernans Lane
Dobbs Ferry, NY 10522

- Notes :
1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
 2. All 't.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
 3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
 4. All works by contractor unless otherwise noted.

Consultants

LANDSCAPE PLAN

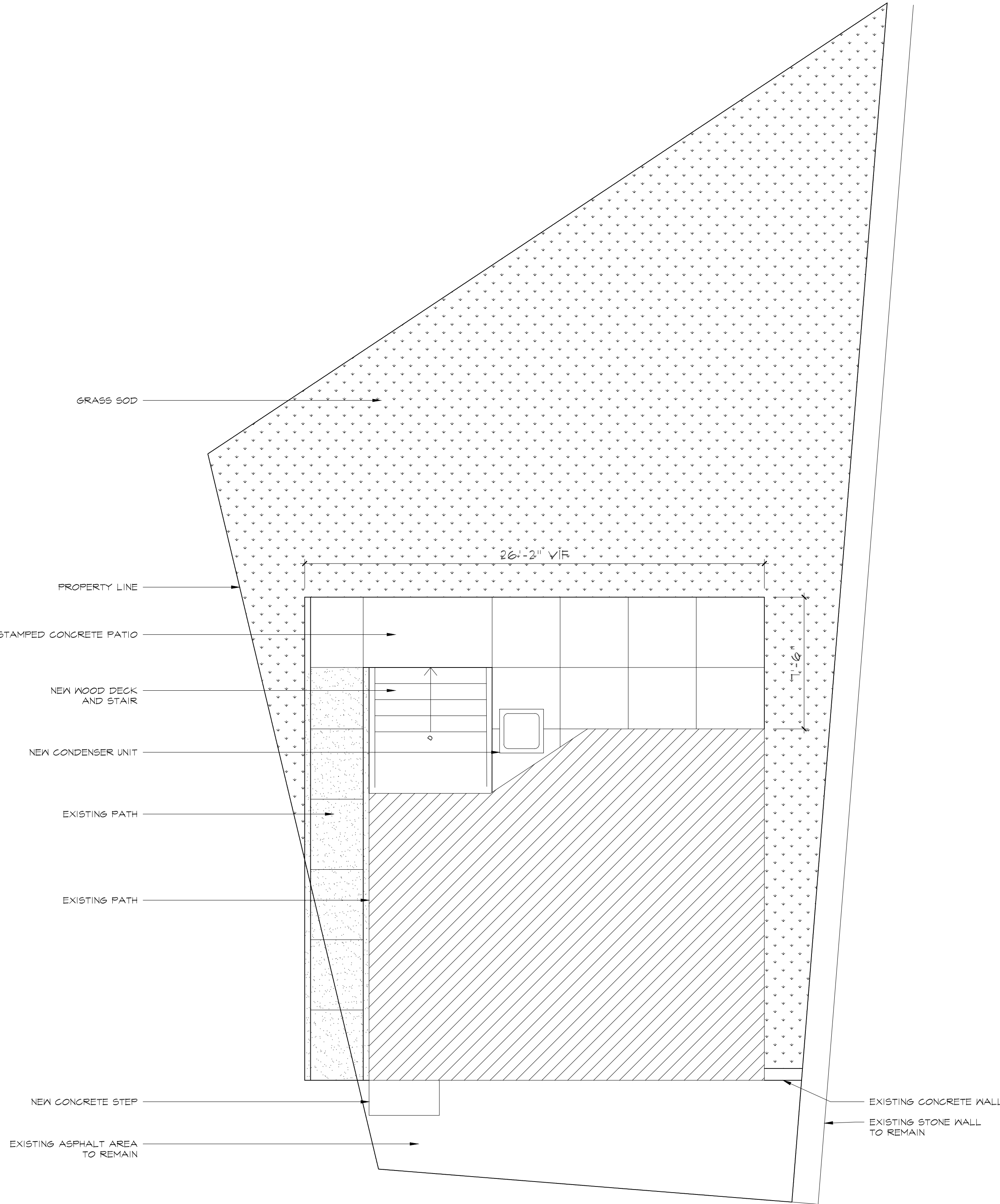
Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDDB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	1/4"=1'-0"	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
L001	-

ISSUE FOR PERMIT

© All designs are the sole property of Nina Lesser, RA, LEED AP. No part of this schedule / drawing may be reproduced in any form or by any means without the written permission from Nina Lesser, RA, LEED AP.



I. LANDSCAPE PLAN