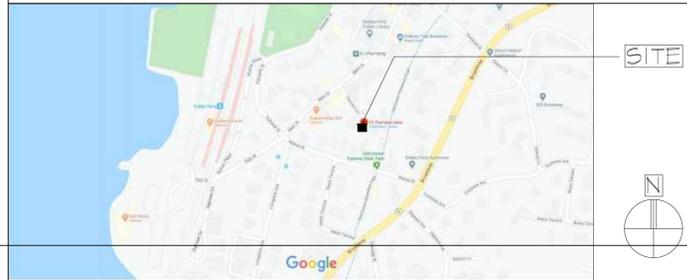


HOUSE RENOVATION/ADDITION

16 TIERNANS LANE DOBBS FERRY, NY 10522

SITE PLAN



Nina Lesser, RA, LEED AP

shengandless@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

CODE DATA

PROJECT DESCRIPTION: ADDITION AND INTERIOR RENOVATION
TO AN EXISTING HOUSE

PROJECT LOCATION: 16 TIERNANS LANE, DOBBS FERRY, NY 10522
[SBL 3.80-45-30]

CONSTRUCTION TYPE: 3B

PROPOSED:
FOUNDATION: CONCRETE
WALLS: WOOD FRAMING AND EXTERIOR VINYL SIDING
ROOF: BUILT UP WITH WOOD PAVERS ON LOWER ROOF
BUILT UP ON UPPER ROOF

FUEL: GAS
SEWER: VILLAGE
WATER: VILLAGE
ALL LIGHTING TO COMPLY WITH SECTION 900-41

ZONING

PER VILLAGE OF DOBBS FERRY ZONING AND LAND USE
APPENDIX B. DIMENSIONAL TABLES

BUILDING SETBACKS: FRONT			
EXISTING	PROPOSED	REQUIRED	
5'-1"	5'-1"	PREVAILING	
REAR			
EXISTING	PROPOSED	REQUIRED	
25'-0"	25'-0"	25'-0"	
SIDE (2 SIDES)			
EXISTING	PROPOSED	REQUIRED	
2'-4"	2'-4"	20'-0"	
BUILDING AREA:			
EXISTING	PROPOSED		
403 GSF	828 SF		
+ BASMT	+ BASMT		
LOT COVERAGE:			
EXISTING	PROPOSED	ALLOWED	
403 SF	4145F	EXIST'G LOT AREA = 1720 SF	
		(720 x 27 = 464 SF)	
BUILDING HEIGHT:			
EXISTING	PROPOSED	ALLOWED	
18'-3"	24'-6"	30'-0"	

(NOTE: NO INCREASE IN IMPERVIOUS SURFACE AREA)

SCOPE OF WORK

RENOVATION AND ADDITION TO SINGLE FAMILY RESIDENCE

DRAWING LIST

- A-000 TITLE SHEET
- A-001 SURVEYS, SITE PLAN, AND HEIGHT FROM GRADE DIAGRAM
- A-002 EXISTING AND PROPOSED SITE SETBACK PLANS
[AND PREVAILING FRONT SETBACK DIAGRAM]
- A-003 NEIGHBOR PHOTOS AND LOCATION
[AND EXISTING HOUSE PHOTOS]
- A-050 DEMOLITION PLAN
- A-051 EXISTING ELEVATIONS
- A-100 FLOOR PLANS PROPOSED
- A-101 FRAMING PLANS PROPOSED
- A-110 REFLECTED CEILING PLANS,
ELECTRICAL PLANS AND SCHEDULE, PROPOSED
- A-120 PLUMBING AND HVAC PLANS
- A-125 SPRINKLER PLANS
- A-200 EXTERIOR ELEVATIONS PROPOSED
- A-300 BUILDING SECTIONS PROPOSED
- A-310 WALL SECTIONS DETAILS PROPOSED
- A-400 DOOR AND WINDOW SCHEDULES AND TYPES
- A-401 PARTITION TYPES, SCHEDULES, PROPOSED
- L-001 LANDSCAPE PLAN

GREEN CODE COMPLIANCE

Materials and indoor environmental quality.

- A. Paints, wood finish, and other finishing materials.
1. Paints, coatings, and primers applied to interior surfaces shall not exceed the following VOC content limits (as established by Green Seal Standard GC-11, Paints, Edition 3.1, July 2013, as amended):

Flat Paint: 50g/L flat
Non-Flat Paint: 150g/L non-flat

2. Clear wood finishes, floor coatings, stains, sealers, and shellacs, applied to interior surfaces, shall not exceed the following VOC content limits (as established by South Coast Air Quality Management District Rule 1113, Architectural Coatings, June 3, 2011, as amended):

Varnish: 275g/L
Laquer: 275g/L
Shellac: 730 g/L clear, 550 g/L pigmented
Sealers: 100 g/L waterproofing, 275 g/L sanding,
100 g/L all others

3. Carpet adhesive shall not exceed a VOC content limit of 50g/L.
4. No materials shall contain added urea formaldehyde.
5. A list of permissible low-VOC finishes applicable to this section shall be maintained by the Building Department. Documentation of compliance with this section shall be submitted to the Building Inspector.

- B. Roofing materials. All new roofing materials used shall have an SRI of at least 0.78 for Low Slope Roofs and an SRI of at least 0.29 for Steep Slope Roofs. Green/Vegetated Roof areas that cover at least 50% of the roof will satisfy this provision. This section does not apply to Additions and Alterations if new roofing materials are to be matched in roof type or color to existing roof areas.

- C. Construction waste management. A minimum of 25% of construction waste by weight shall be recycled, repurposed and/or reused and not sent to a landfill or incinerator. Documentation of compliance with this section shall be submitted to the Building Inspector.

OPAQUE ENVELOPE AND FENESTRATION REQUIREMENTS BY COMPONENT PER NY STRETCH ENERGY CODE 2020

CLIMATE ZONE	FENESTRATION U-FACTOR		DOORS U-FACTOR	ROOF U-FACTOR	ABOVE GRADE WALL U-FACTOR	BELOW GRADE WALL G-FACTOR	JOIST/FRAMING U-FACTOR	SLAB ON GRADE (UNHEATED) FLOORS F-FACTOR
	FIXED	OPERABLE						
4	0.36	0.43	0.17	0.050	0.061	0.042	0.033	0.052

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH	TERMITE	ICE BARRIER UNDERLAYMENT REQUIREMENT	WIND SPEED (MPH)
30	100	B3	SEVERE	3'-6"	MODERATE	EQ	EQ

DESIGN LOAD

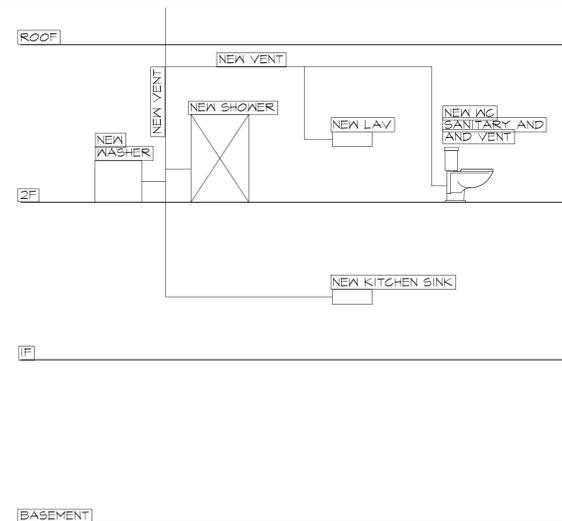
FLOOR	LIVE LOAD	DEAD LOAD	TOTAL LOAD
FIRST	40 #	15 #	55 #
SECOND	30 #	20 #	50 #
ROOF	XX #	XX #	XX #

EAVE AND RIDGE HEIGHTS

10 TIERNANS LN 4-STORY		17 TIERNANS LN 4-STORY		PROJECT PROPOSED 16 TIERNANS LN	
MAX. EAVE	AVG. RIDGE	MAX. EAVE	AVG. RIDGE	MAX. EAVE	AVG. RIDGE
22'-6"	35'	33'-6"	45'-0"	24'-6"	NA

NOTE: PER APPENDIX B, TABLE B-7
NOTE: NEIGHBORING BUILDING HEIGHTS ARE ESTIMATED
NOTE: HEIGHT DIMENSIONS FROM AVERAGE GRADE

SCHEMATIC RISER DIAGRAM



GENERAL NOTES

1. ALL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE WITH NEW YORK'S SUPPLEMENTS AS AMENDED TO DATE, NEW YORK STATE MODEL ENERGY CODE AS AMENDED TO DATE AND ALL GOVERNMENT AUTHORITIES, LAWS, BY-LAWS OR ORDINANCES, AND REGULATIONS HAVING JURISDICTION OVER THE PERFORMANCE OF THE WORK.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND NOTES WITH ALL SEPARATE CONTRACT (PLUMBING, ELECTRICAL AND HVAC) AND TRADES AND SHALL BE RESPONSIBLE FOR COORDINATING THE WORK AMONG THE SEPARATE CONTRACT AND TRADES SO THAT INSTALLATION BY ONE SHALL NOT INTERFERE WITH THE WORK OF OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE VARIOUS SEPARATE CONTRACTS AND VARIOUS TRADES OF WORK REQUIRED DUE TO WORK WITH OTHER CONTRACTOR AND OR TRADES NOT SPECIFICALLY MENTIONED ON THE DRAWINGS.
4. PATCHING, EXTENDING AND MATCHING: WHERE REQUIRED PATCH WALLS, FLOORS AND CEILINGS WITH FINISH MATERIALS TO MATCH ADJOINING SURFACES WHERE DAMAGED DURING COURSE OF CONSTRUCTION.
5. PROVIDE FIRESTOPS WITHIN WALLS AT DIFFERENT FLOOR LEVELS IN ACCORDANCE TO UL DESIGN SYSTEMS AND THE REQUIRED RATING THAT MUST BE MAINTAINED.
6. PROVIDE 3/4" FRT PLYWOOD AT REAR OF ELECTRICAL PANEL OR TELEPHONE PANELS, 6"X2 TO ACCOMMODATE SIZE OF PANELS.
7. PROVIDE MISCELLANEOUS WOOD BLOCKING OR GROUNDS WITHIN WALLS FOR SECUREMENTS OF CABINETS, (SUCH AS KITCHEN CABINETS) RAILINGS, FIXTURES ETC.
8. ALL DIMENSIONS AREA TAKEN TO FACE OF STUD WALLS AT EXTERIOR AND INSIDE FINISH FACE OF INTERIOR STUD WALLS.
9. DO NOT SCALE DRAWINGS, NUMERICAL VALUES GOVERN.
10. COORDINATE THE LOCATION AND PROVIDE ACCESS PANELS WITHIN THE WALLS, FLOORS, CEILINGS FOR VALVES, CLEANOUT, COORDINATE WITH DIFFERENT TRADES AND ARCHITECT BEFORE PROVIDING ACCESS PANELS.
11. CONTRACTOR TO SUBMIT TO ARCHITECT, SHOP DRAWINGS OF ACTUAL CONNECTORS TO BE USED, SIMPSON OR APPROVED EQUAL.
12. PROVIDE PREFABRICATED METAL HANGERS FOR FRAMING MEMBERS WHICH DO NOT BEAR DIRECTLY ON TOP OF SUPPORTING MEMBERS. BEAM HANGERS SHALL BE TOP FLANGE BEARING. HANGERS SHALL BE AS MANUFACTURED BY SIMPSON STRONG - TIE CO, INC, SAN LEANDRO, CA.
13. PLUMBING AND ELECTRICAL CONTRACTORS TO BE LICENSED IN THE VILLAGE OF HASTINGS, TOWN OF GREENBURGH, WESTCHESTER COUNTY.
14. PROVIDE SMOKE DETECTORS AND HEAT DETECTORS ELECTRICALLY CONNECTED AT EACH BEDROOM AND AT HALLS IN FRONT OF EACH BEDROOM.
15. PROVIDE CARBON MONOXIDE DETECTORS THROUGHOUT ENTIRE DWELLING AS PER NYS CODE.
16. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS THROUGHOUT ENTIRE DWELLING [AS REQUIRED BY NYS CODE.]
17. All materials, assemblies, forms and methods of construction and service equipment shall comply with the requirements of the New York State Building Construction Code and all other applicable codes having jurisdiction.
18. All Contractors shall furnish adequate liability insurance and bonding.
19. Any dimensional discrepancies between the plans, sections, elevations and details, must be brought to the attention of the Architect by the Contractor for resolution prior to the start of work or as soon as detected.
20. Any inconsistencies in the notes, symbols, legends must be brought to the attention of the Architect by the Contractor for resolution prior to the start of work or as soon as detected.
21. All Contractors and subcontractors must check and verify all existing conditions and dimensions and report any discrepancies to the Architect prior to the start of work.
22. Care shall be taken to protect the work area to be safe both interior and exterior.
23. Construction Contractor shall provide solid dustproof plywood enclosure (as described above) at all new window openings until installation of windows.
24. Damage to site and building property shall be corrected by the contractor so involved at no cost to the owner.
25. Construction Contractor shall provide portable toilets or as prescribed by OSHA at staging area for the use of all Contractor's employees.
26. Parking locations for Contractor's vehicles, acceptable hours for demolition, construction and material delivery or removal, and any other special requirements are to be verified with the Municipality.
27. All Contractors shall comply with OSHA rules and regulations.
28. Unless a longer guarantee is specified, all work shall be guaranteed against defects for one year unless otherwise noted (i.e. product warranties). Any portions of the work which develop defects during the guarantee period shall be replaced or in a manner satisfactory to the Architect and Owner.
29. The Contractor shall maintain one set of all submissions (shop drawings, samples, product literature etc.) on the job site and available for reference. Mock-ups and accepted samples shall be available for reference. Contractors shall provide as many mock-ups or samples as necessary in order to obtain owner/architect's approval.
30. Where designated on drawing "to match existing", the Contractor shall visit the site, obtain a sample or profile of the existing element, and duplicate. All custom fabrications shall be submitted for review by Architect.
31. Dimensions of new walls are taken to face of finish unless otherwise noted. All symbols and finish schedule designations of materials indicate new material unless otherwise noted.
32. All new installed equipment shall be UL labeled. All lighting fixtures shall be reviewed and approved by Architect and consulting engineer and shall have UL label.
33. All field welding work shall be accompanied with a fire extinguisher and fire watch.

Notes:

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2. All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

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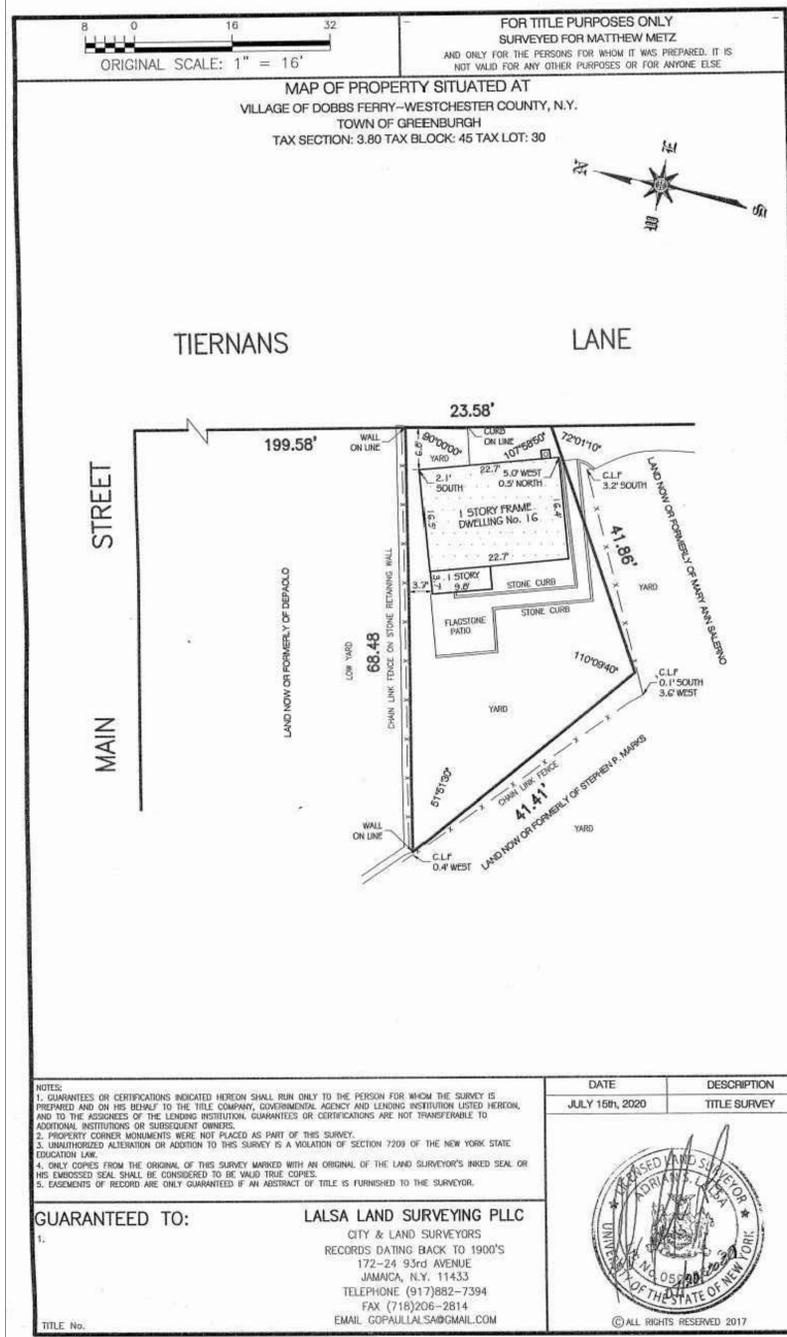
TITLE SHEET

Revision	Date
Issue for Plan Check	05 DEC 2020
Response to DF Plan Check Comments	19 JAN 2021
Issue for AHRB	10 MAR 2021

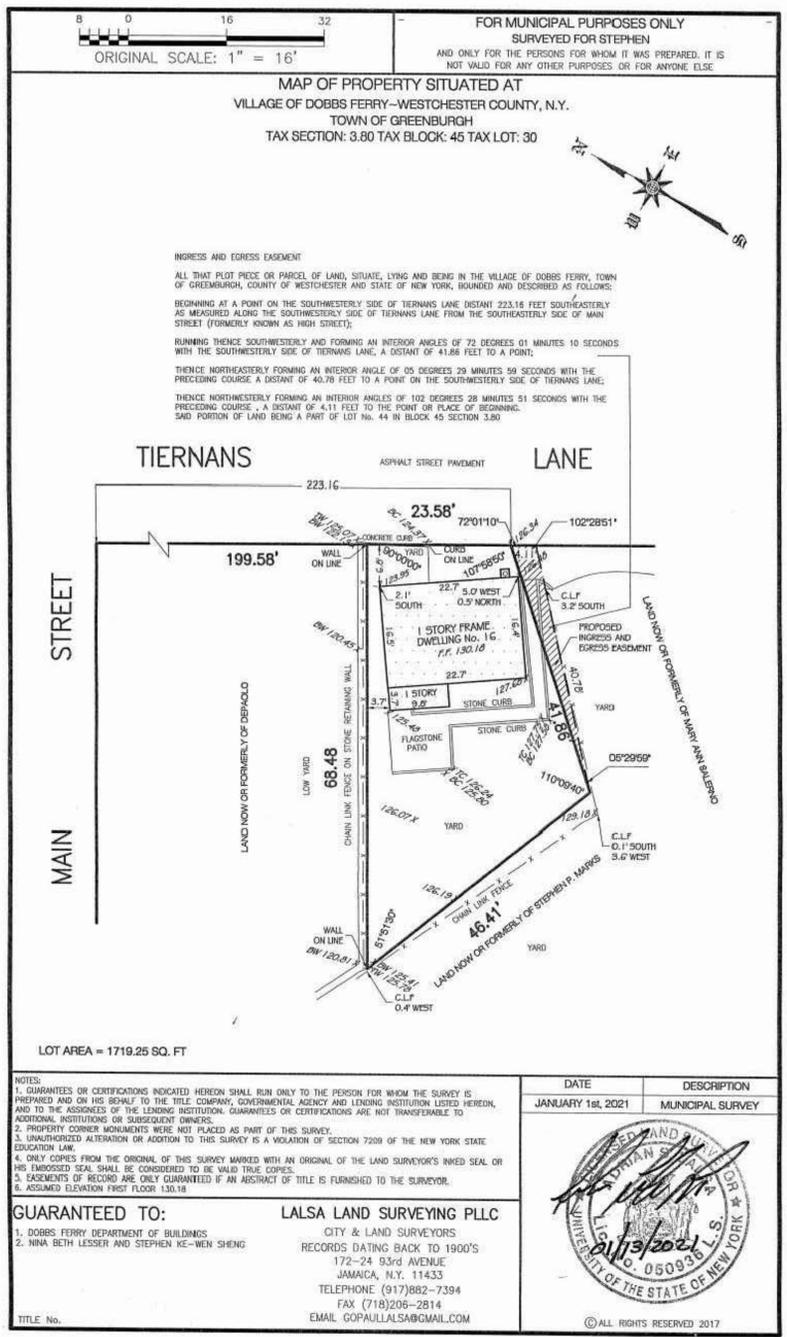
Scale:	NTS	Date:	200817
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
A000	-

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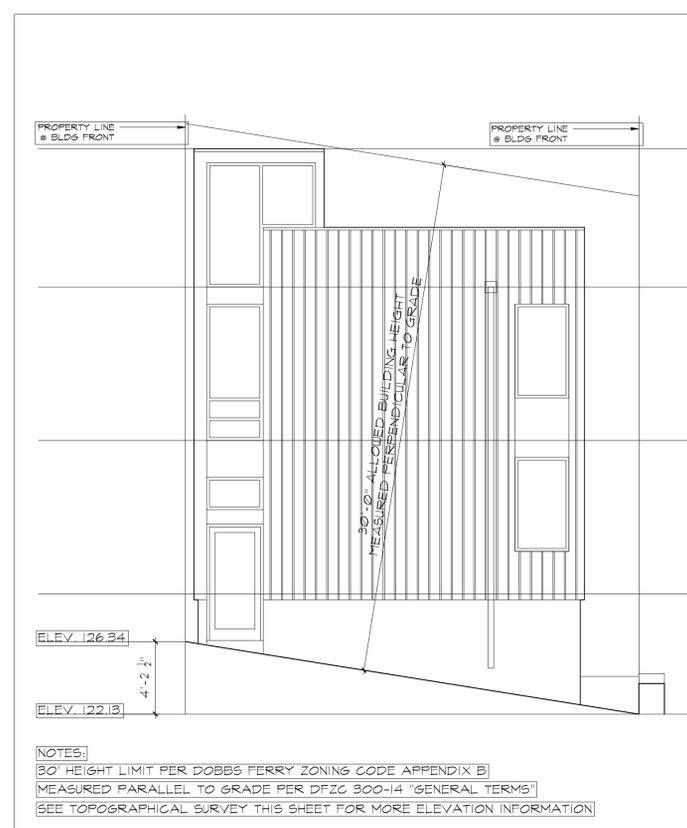
SITE SURVEY



TOPOGRAPHICAL SURVEY



SATELLITE SITE PLAN



HEIGHT FROM GRADE DIAGRAM (NTS)

Nina Lesser, RA, LEED AP

shengandless@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

- Notes:
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SITE SURVEYS, SITE PLAN HEIGHT FROM GRADE DIAGRAM

Revision	Date
Issue for Plan Check	05 DEC 2020
Response to DF Plan Check Comments	19 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
A001	-

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SITE



Notes :

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SETBACK ANALYSIS

Revision	Date
Issue for Plan Check	05 DEC 2020
Response to DF Plan Check Comments	19 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

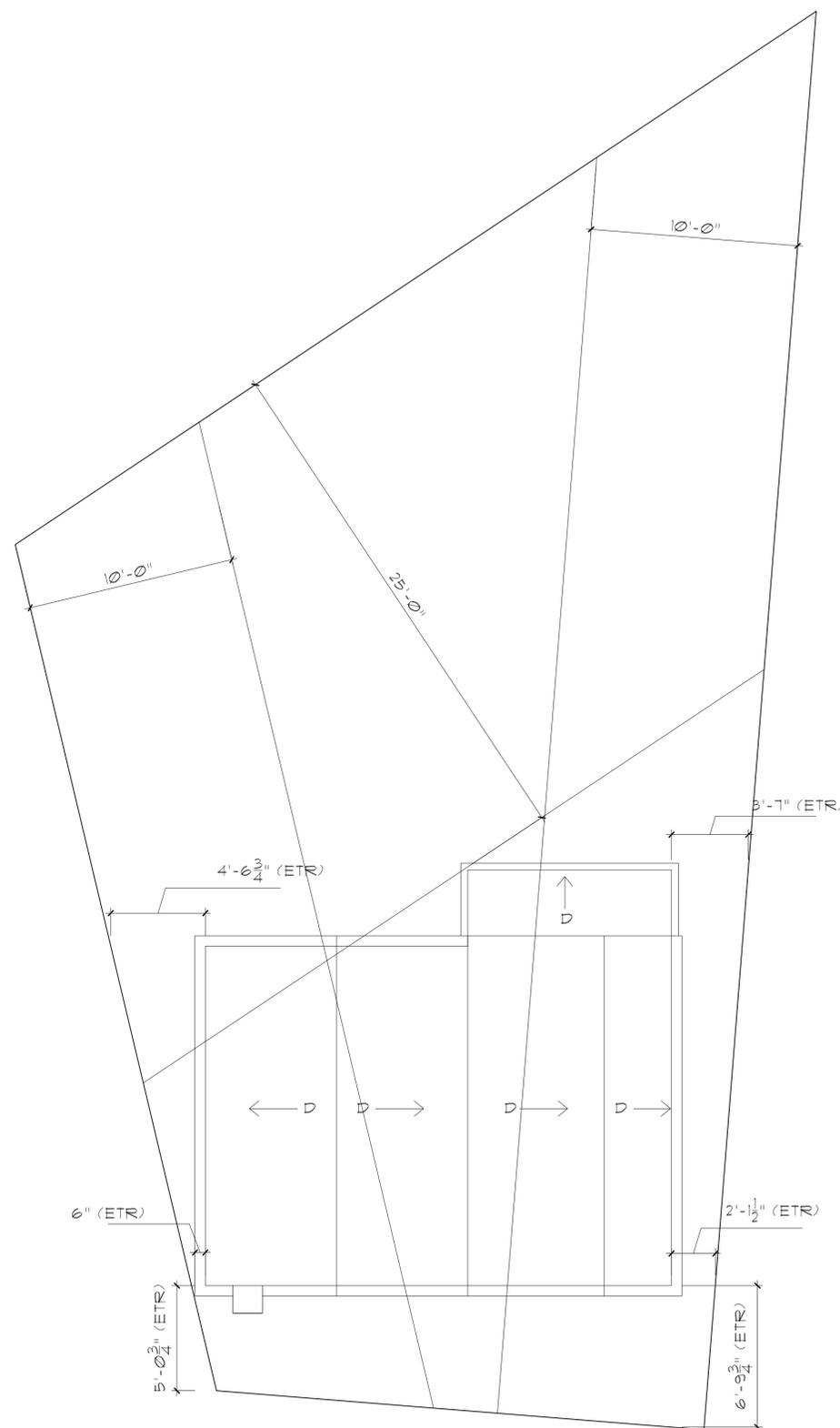
Drawing number	Rev. number
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A002

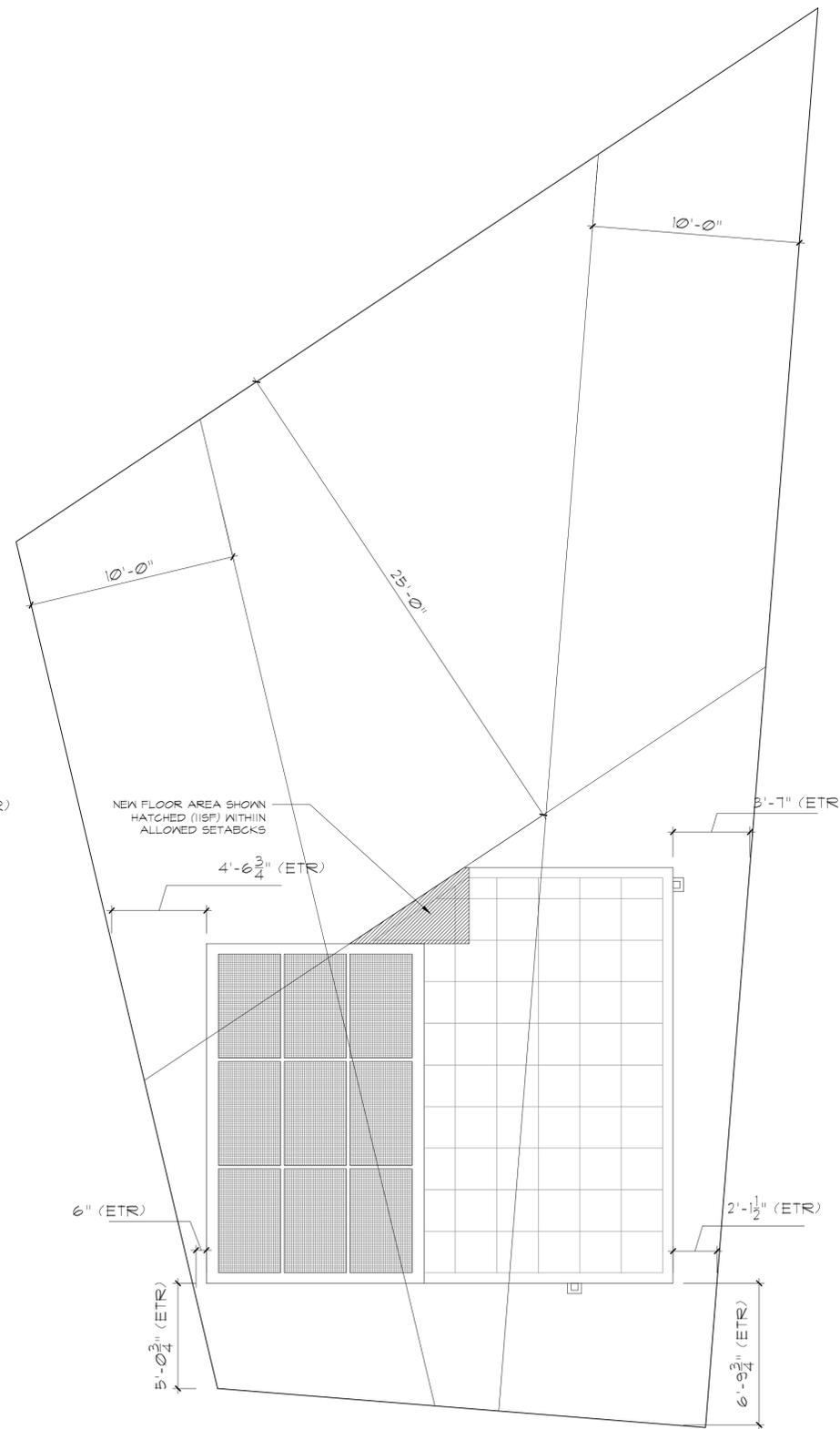
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EXISTING SITE SETBACK PLAN
SCALE: 1/8" = 1'-0"



PROPOSED SITE SETBACK PLAN
SCALE: 1/8" = 1'-0"



Nina Lesser, RA, LEED AP

SITE

shengandless@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

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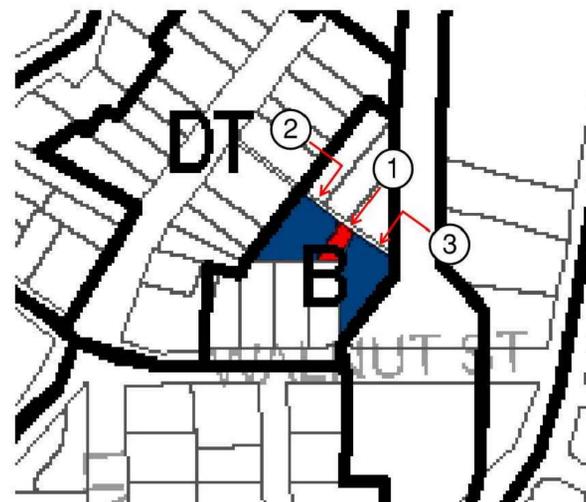
③ 24 Walnut St (rear yard)



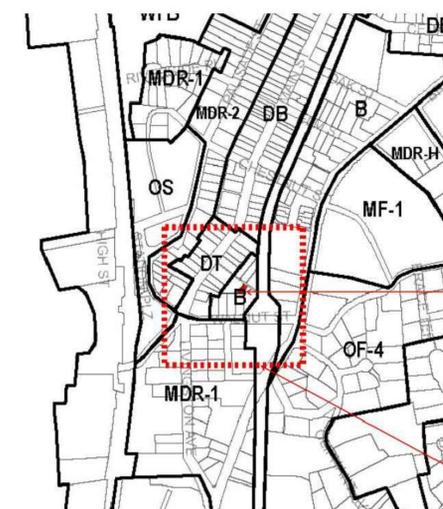
① Site: 16 Tiernans Lane



② 10 Tiernans Lane



Enlarged Zoning Map



Zoning Map

SITE: 16 Tiernans Lane

Area of Enlarged Map

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Existing 16 Tiernans Lane Facade Photos



North Facade



West Facade



South Facade



East Facade

NEIGHBOR PHOTOS
SITE LOCATION
PROJECT EXISTING PHOTOS

Revision	Date
Issue for Plan Check	05 DEC 2020
Response to DF Plan Check Comments	19 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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A003

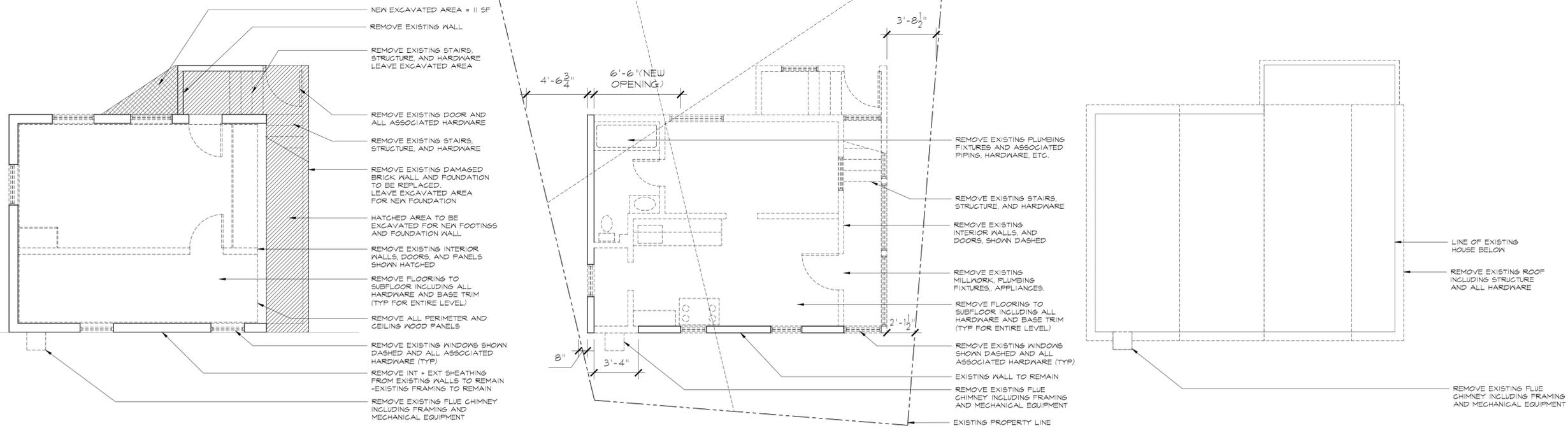
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DEMOLITION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN SECURITY AT ALL TIMES.
3. CONTRACTOR SHALL PROTECT ANY OPENINGS TO THE OUTSIDE FROM WATER INFILTRATION.
4. CONTRACTOR SHALL MAINTAIN FIRE PROTECTION DEVICES AND EMERGENCY EGRESS LIGHTING AS REQUIRED BY CODE AT ALL TIMES.
5. ALL PLUMBING AND ELECTRICAL LINES SHALL BE PROPERLY CAPPED AFTER REMOVAL OF DEVICES.
6. CONTRACTOR SHALL PROVIDE TEMPORARY POWER AS NEEDED.
7. CONTRACTOR SHALL ADVISE OWNER WHEN SERVICES TO THE BUILDING NEED TO BE INTERRUPTED.
8. CONTRACTOR SHALL REFER TO MEP AND FIRE PROTECTION DRAWINGS AND COORDINATE THE WORK OF THESE TRADES.
9. CONTRACTOR SHALL PROVIDE DUMPSTERS FOR DEBRIS AND DISPOSE ALL DEBRIS IN A LAWFUL MANNER. ANY FINES IMPOSED ON THE CONTRACTOR OR OWNER FOR IMPROPER DISPOSAL SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PARTS OF THE BUILDING WHERE WORK IS NOT SCHEDULED TO TAKE PLACE.
11. CONTRACTOR SHALL VERIFY THE INTEGRITY OF THE EXISTING STRUCTURE BEFORE DEMOLISHING ANY WALLS, FLOORS, CEILINGS, AND/OR ROOFING. ANY SHORING OR TEMPORARY SUPPORT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
12. LOAD-BEARING AND/OR STRUCTURAL WALLS SHALL BE REINFORCED BEFORE DEMOLITION, SAW-CUTTING OR ANY FORM OF DISTURBANCE.
13. AFTER VERIFYING EXISTING CONDITIONS AND PROVIDING ANY NECESSARY SUPPORT, SAWCUT EXISTING WALLS FOR OPENINGS AS INDICATED ON PLANS AND ELEVATIONS.
14. REMOVE FINISHED FLOORING UNLESS OTHERWISE NOTED.
15. REMOVE ALL CEILING FINISHES, LIGHTING, DIFFUSERS, AND CEILING-MOUNTED EQUIPMENT UNLESS OTHERWISE NOTED.
16. REMOVE AND DISCARD KITCHEN APPLIANCES, COUNTERS, CLOSETS IN THE KITCHEN UNLESS OTHERWISE NOTED.
17. REMOVE AND DISCARD ALL TOILET ROOM FIXTURES, PARTITIONS, AND ACCESSORIES UNLESS OTHERWISE NOTED.
18. REMOVE AND DISCARD DOORS AND WINDOWS UNLESS OTHERWISE NOTED.



1. BASEMENT DEMOLITION PLAN

2. FIRST FLOOR DEMOLITION PLAN

3. ROOF DEMOLITION PLAN

Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes:

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4. All works by contractor unless otherwise noted.

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DEMOLITION PLANS

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for AHRB	10 MAR 2021

Scale:	1/8"=1'-0"	Date:	5 DEC 20 --
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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A050

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HOUSE RENOVATION
16 Tiernans Lane
Dobbs Ferry, NY 10522

- Notes :
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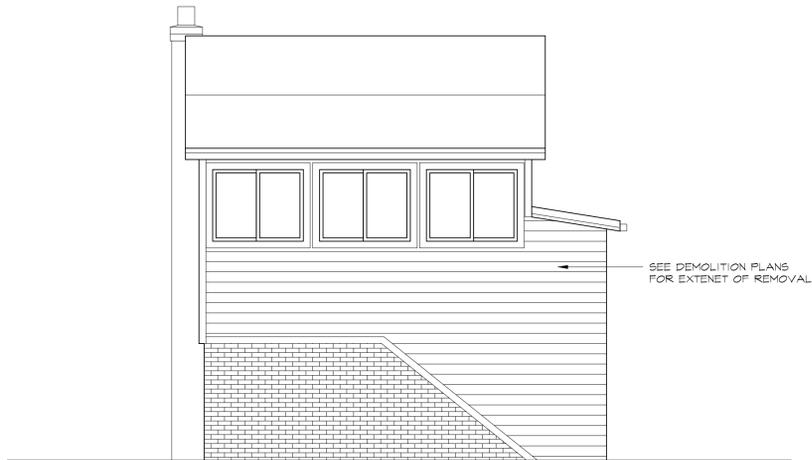
1. EXISTNG NORTH ELEVATION



2. EXISTNG EAST ELEVATION



3. EXISTNG SOUTH ELEVATION



4 EXISTNG WESTT ELEVATION

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EXISTING ELEVATIONS

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for AHRB	17 MAR 2021

Scale:	1/4"=1'-0"	Date:	7 MAR 2021
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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A051 -

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REFLECTED CEILING AND ELECTRICAL PLANS AND SCHEDULE PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDOB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	1/4"=1'-0"	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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A110

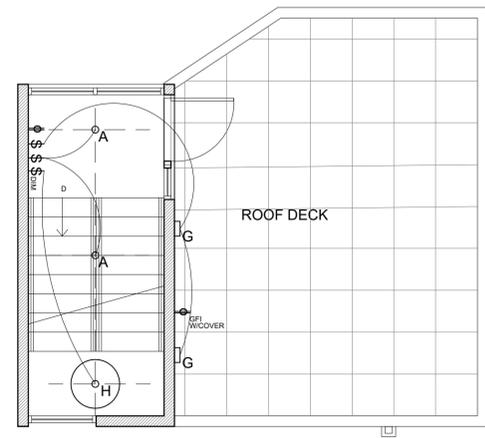
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ISSUE FOR PERMIT

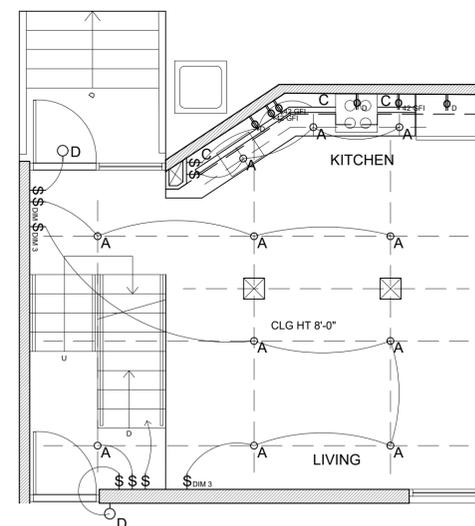
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ELECTRICAL SCHEDULE

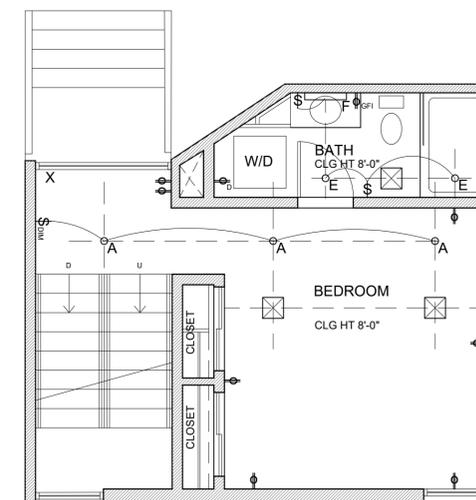
SYMBOL	DESCRIPTION	REMARKS
Ⓢ	DECORA STYLE WALL SWITCH @ 42 AFF (UNO)	
Ⓢ3	DECORA STYLE 3-WAY WALL SWITCH @ 42 AFF (UNO)	
ⓈDIM	DECORA STYLE DIMMER WALL SWITCH @ 42 AFF (UNO)	
Ⓢ=	DUPLEX OUTLET @ 15" AFF (UNO)	
Ⓢ=GFI	GFI DUPLEX OUTLET @42 AFF (UNO)	
Ⓢ=D	DEDICATED CIRCUIT DUPLEX OUTLET	
ⓈA	RECESSED LED DOWNLIGHT 4" DIA.	
ⓈB	SURFACE MOUNT UTILITY FIXTURE	
ⓈC	LINEAR UNDER CABINET FIXTURE	
ⓈD	EXTERIOR SCENCE	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
ⓈE	WET AREA RECESSED FIXTURE, 4" DIA.	
ⓈF	VANITY SCENCE	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
ⓈG	EXTERIOR WALL MOUNTED SCENCE	
ⓈH	SPECIALTY PENDANT FIXTURE	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR



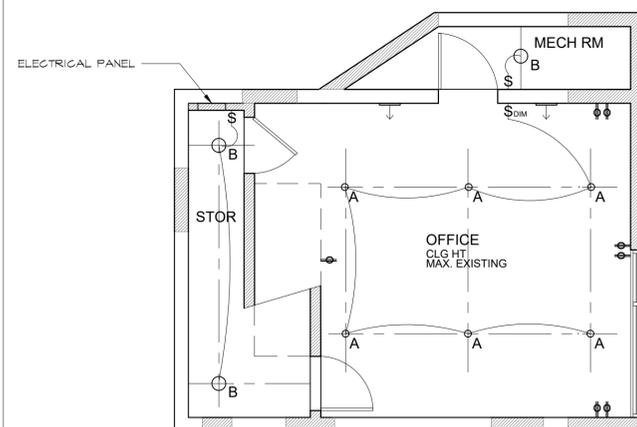
4. ROOF FRAMING PLAN



2. FIRST FLOOR CEILING FRAMING PLAN



3. SECOND FLOOR CEILING FRAMING PLAN



1. BASEMENT CEILING FRAMING PLAN



HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes:

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Consultants

EXTERIOR ELEVATIONS PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFD0B Plan Check Response	22 JAN 2021
Issue for AHRB	17 MAR 2021

Scale:	1/8"=1'-0"	Date:	5 DEC 20 --
Drawn by:	NL	Checked by:	NL

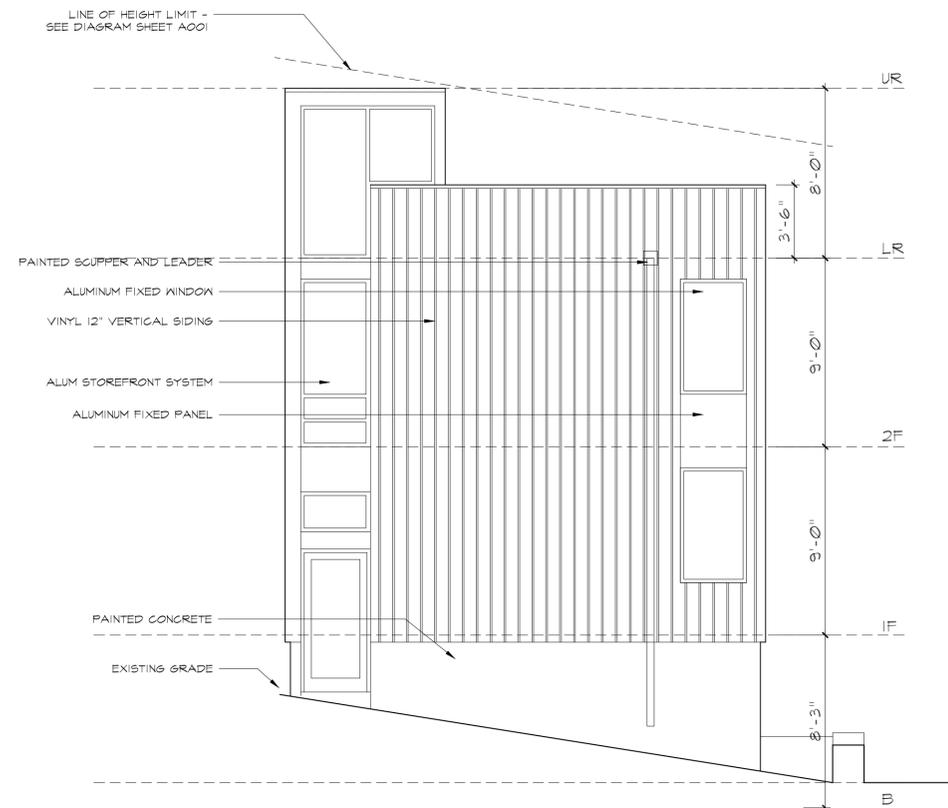
Drawing number	Rev. number
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A200

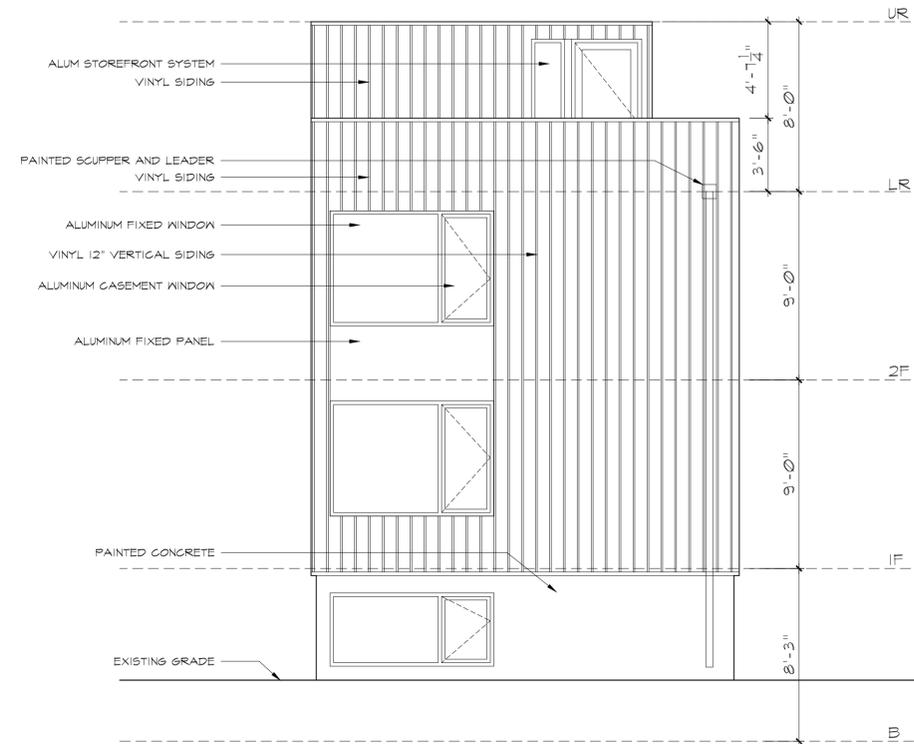
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ISSUE FOR PERMIT

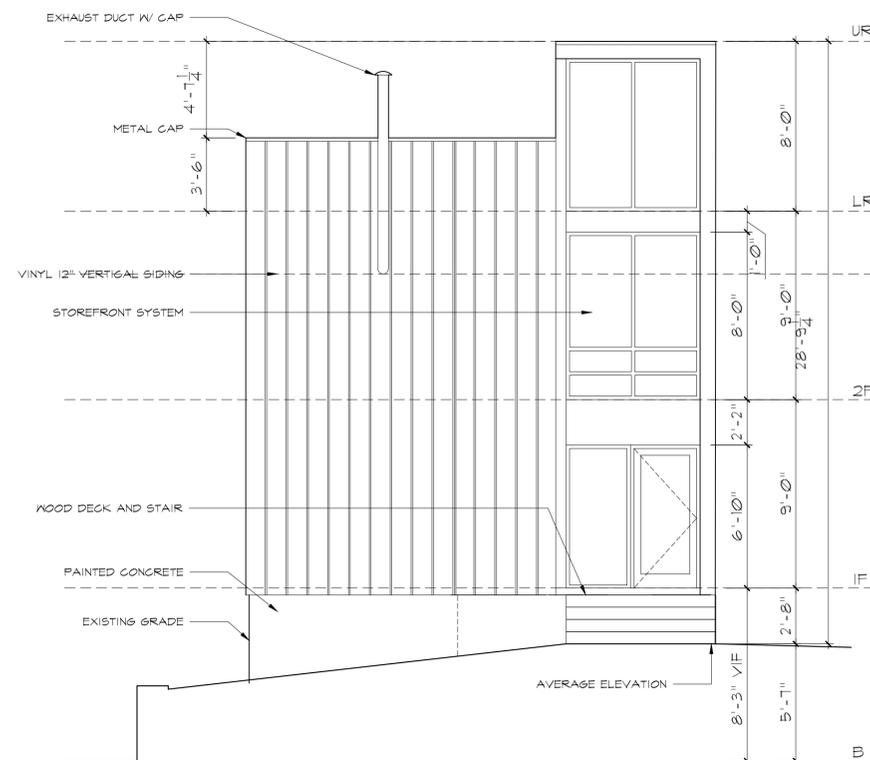
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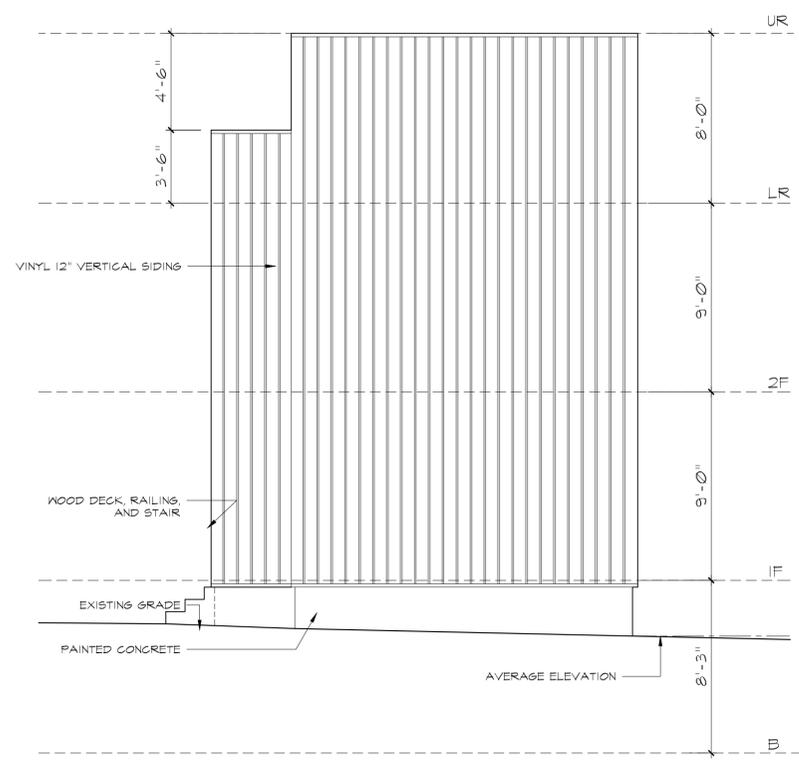
1. EAST ELEVATION



2. SOUTH ELEVATION



3. WEST ELEVATION



4. NORTH ELEVATION

Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

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Consultants

BUILDING SECTIONS PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFD0B Plan Check Response	2 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	1/4"=1'-0"	Date 5 DEC 20:	--
Drawn by:	NL	Checked by:	NL

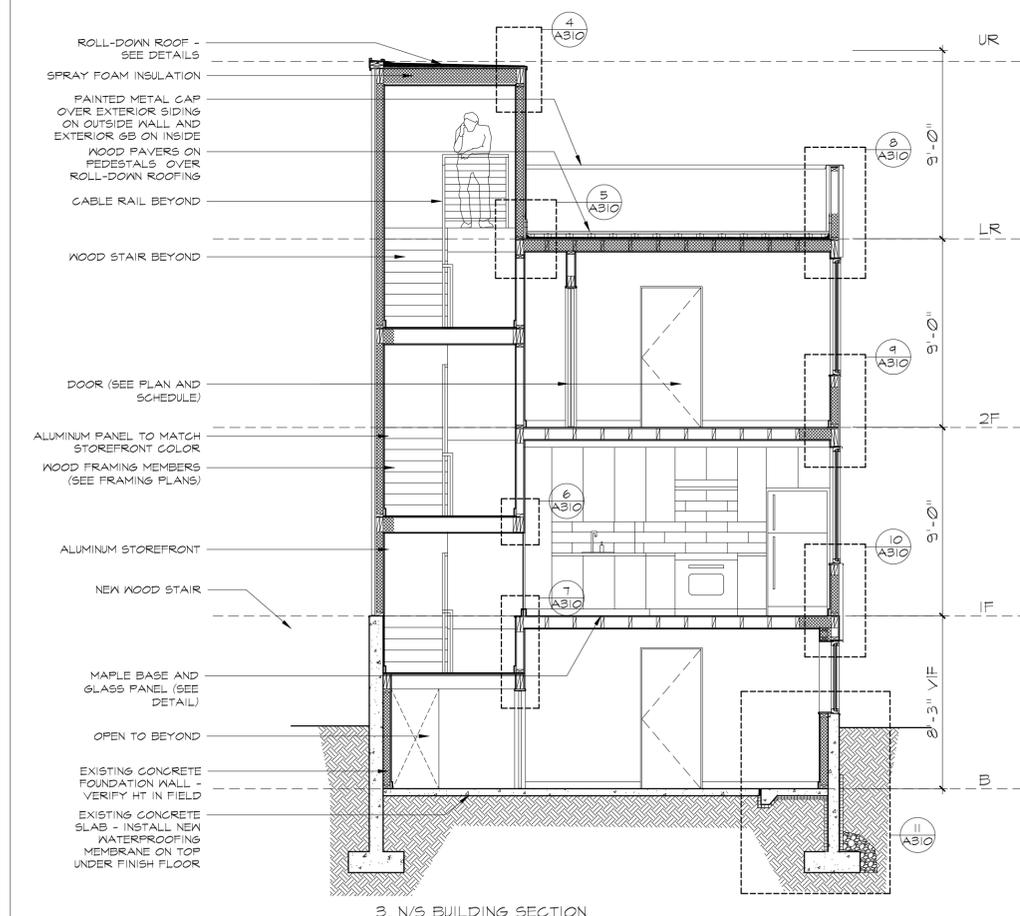
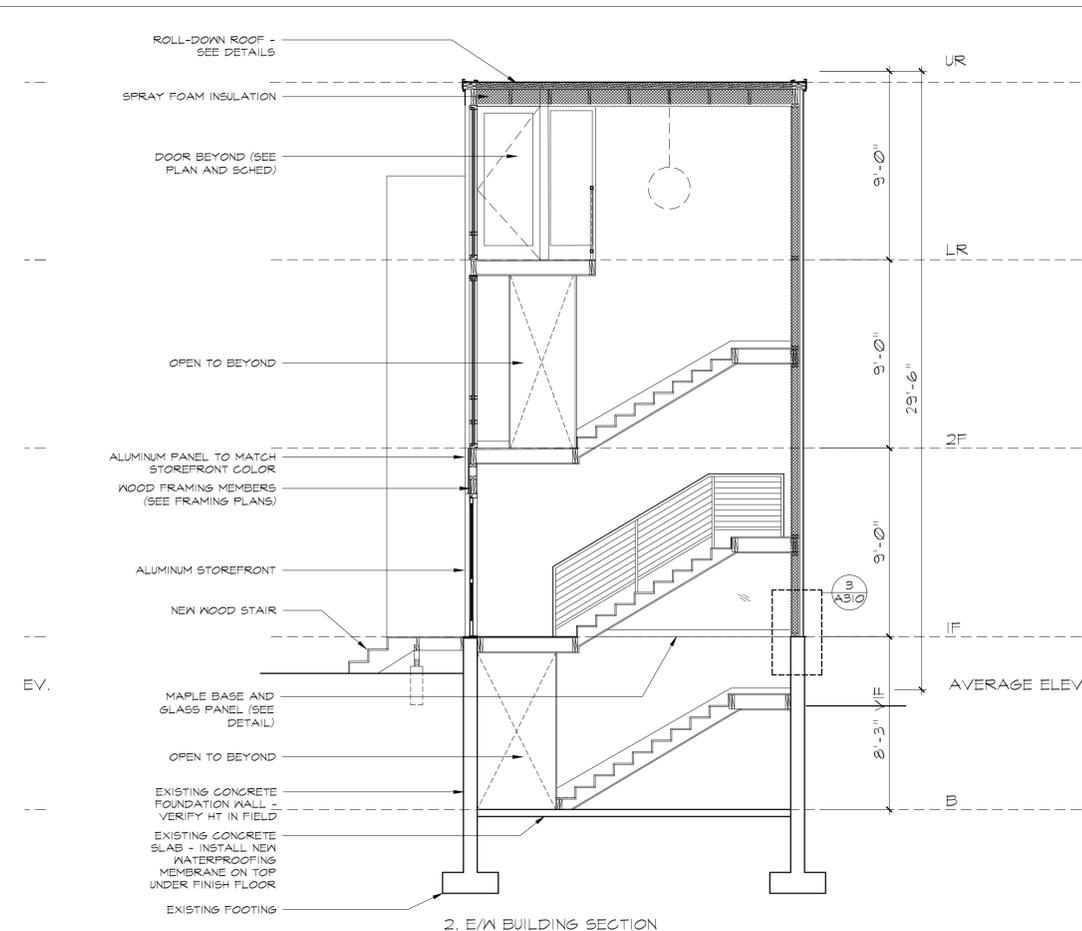
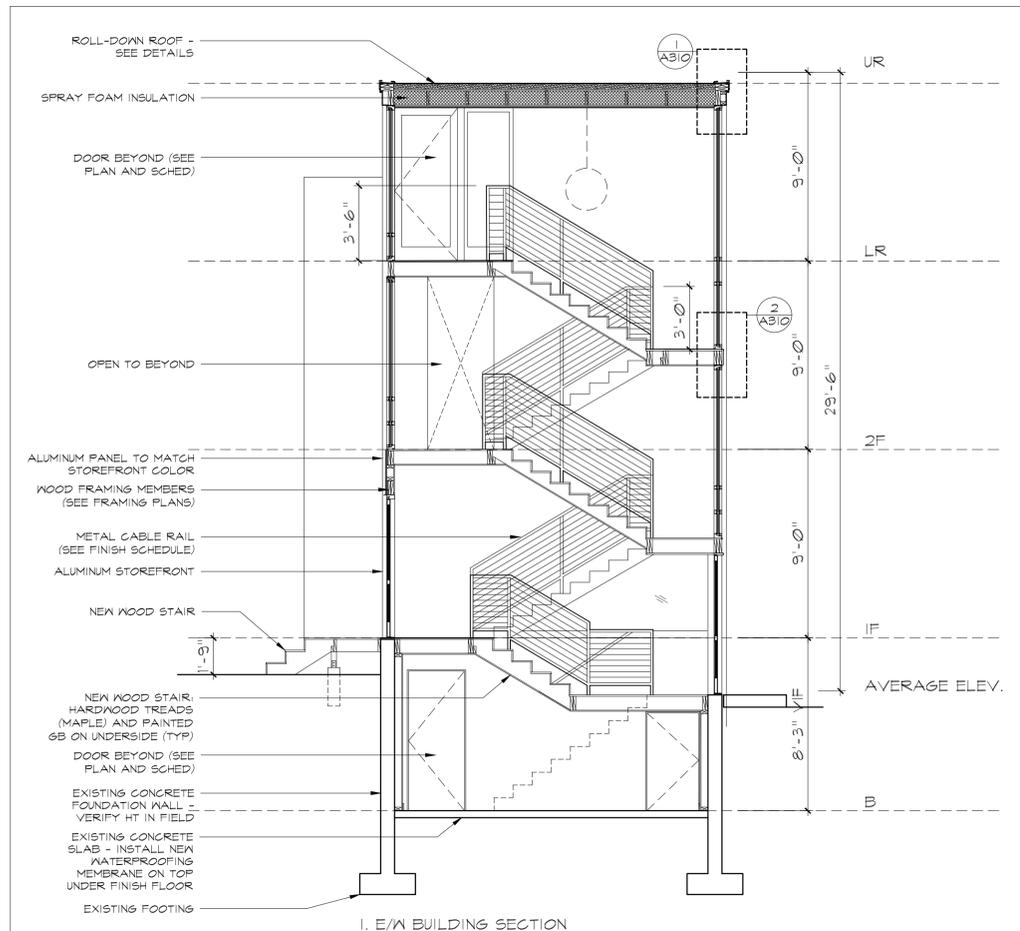
Drawing number	Rev. number
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A300

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HOUSE RENOVATION

16 Tiernans Lane
 Dobbs Ferry, NY 10522

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EXTERIOR WALL DETAILS PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDDB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

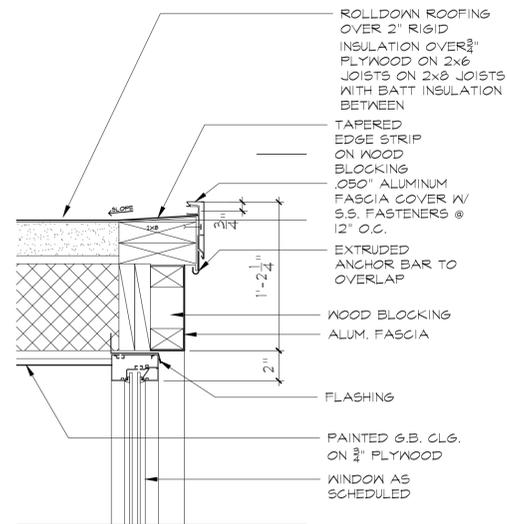
Scale:	1/8"=1'-0"	Date:	5 DEC 20 --
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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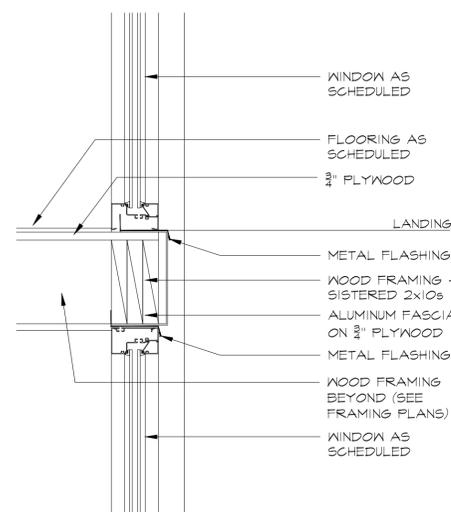
A301

ISSUE FOR PERMIT

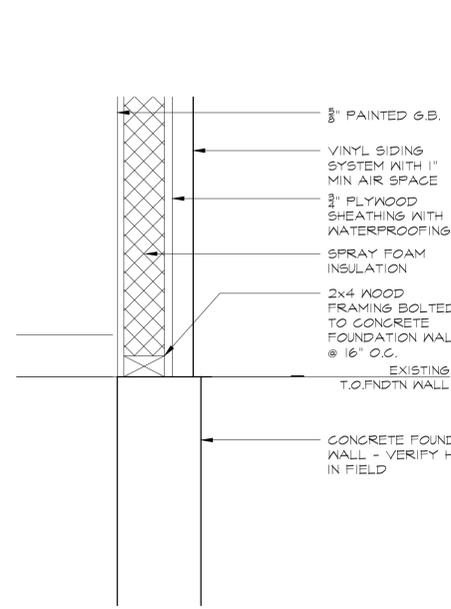
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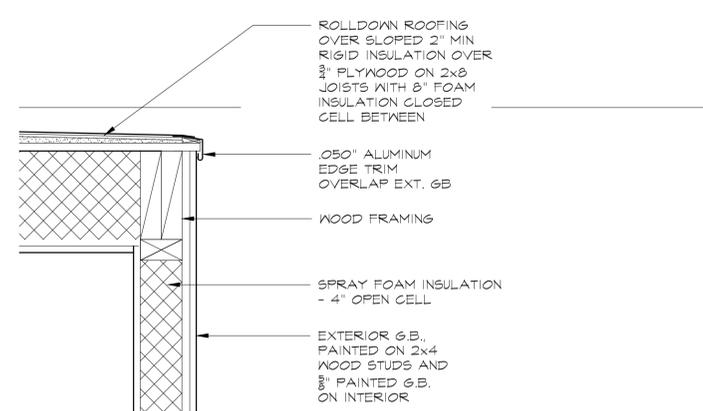
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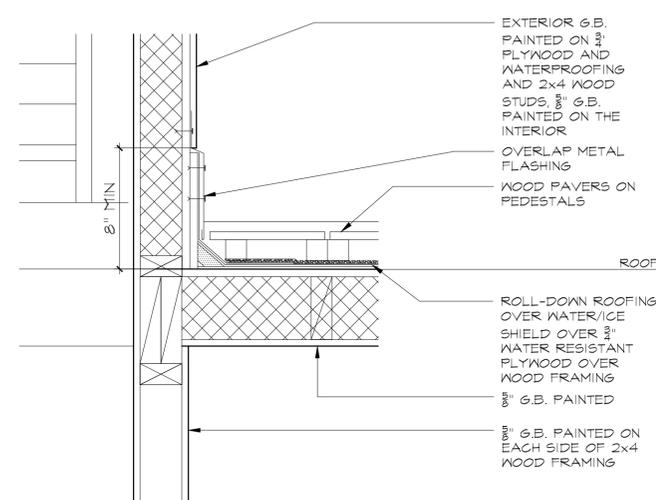
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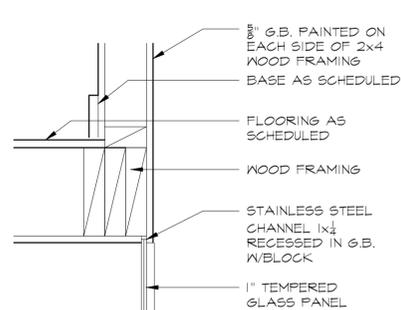
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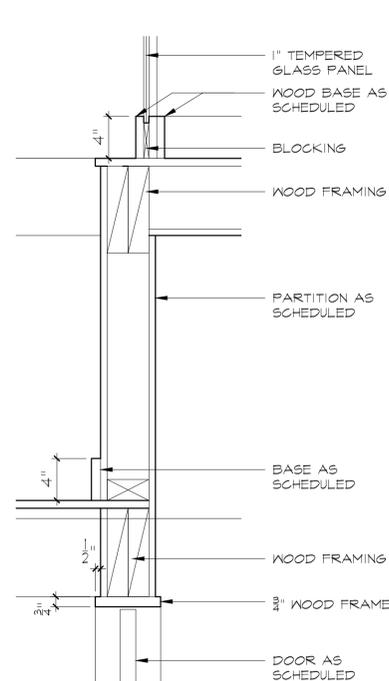
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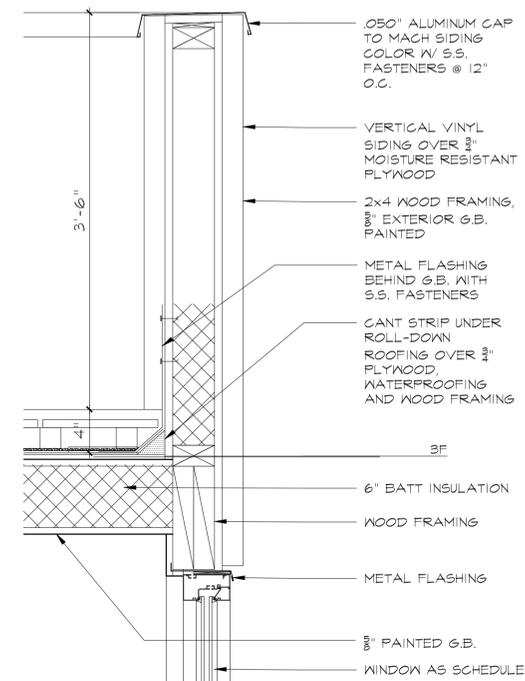
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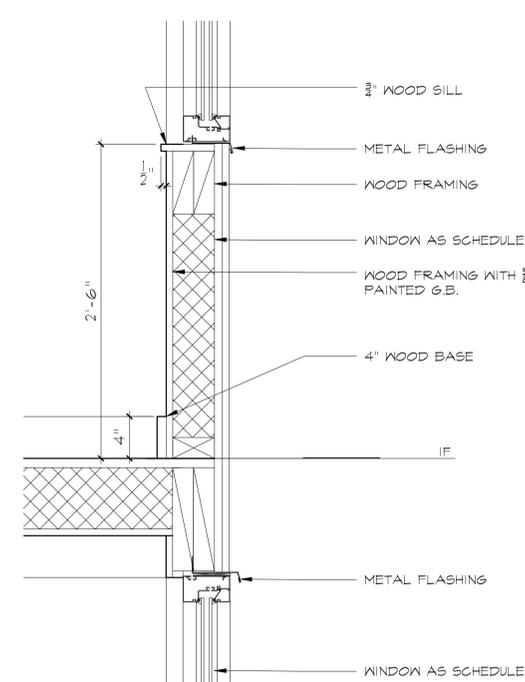
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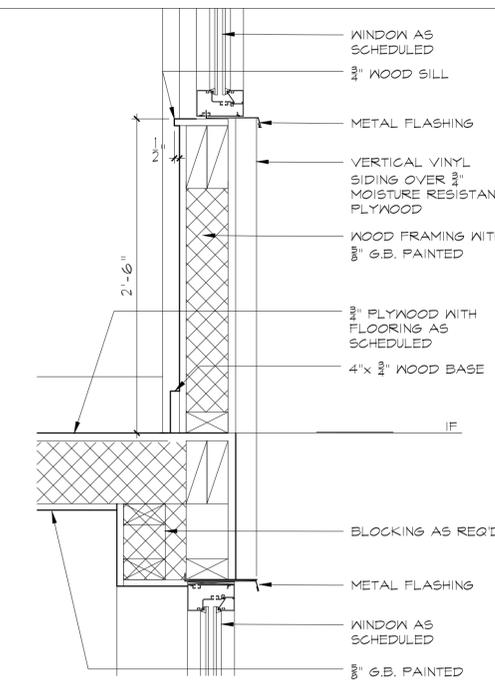
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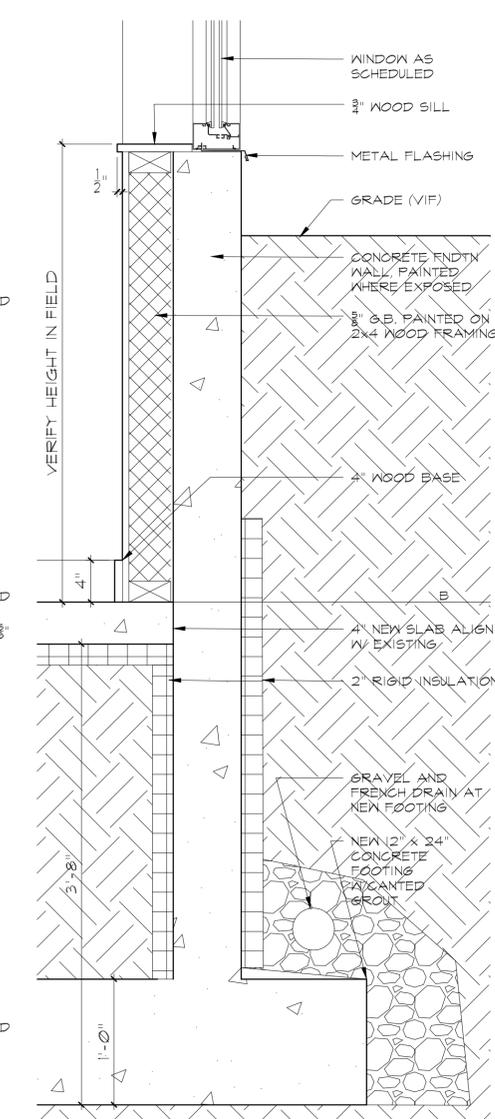
8. DETAIL WALL SECTION



9. DETAIL WALL SECTION



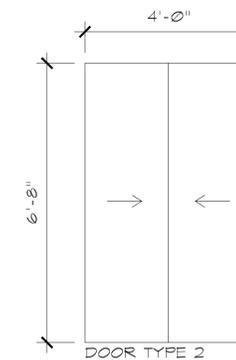
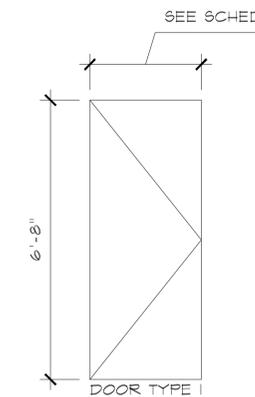
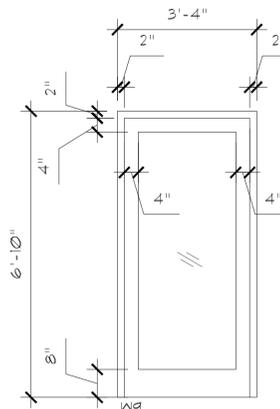
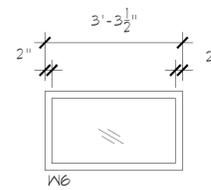
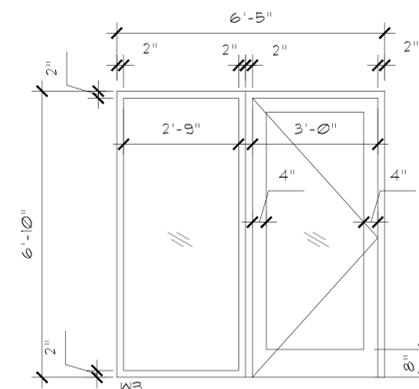
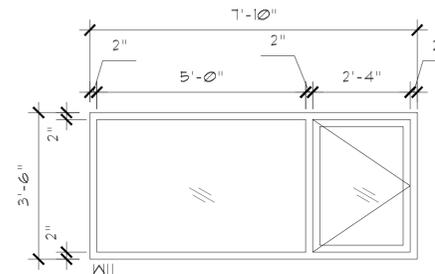
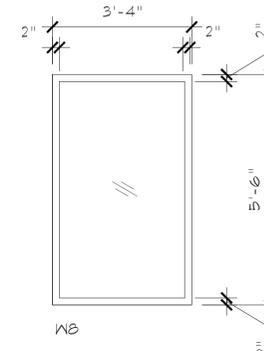
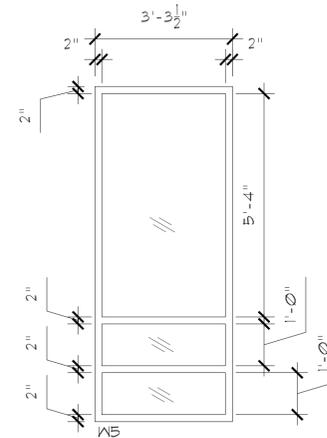
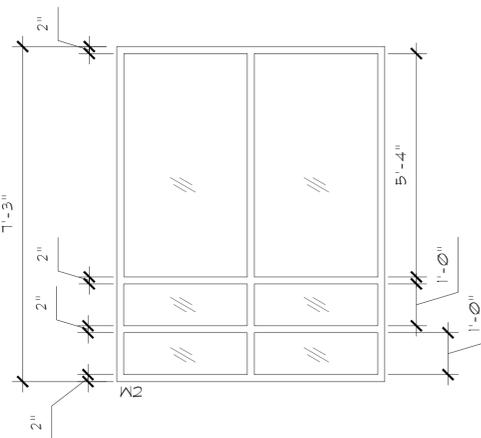
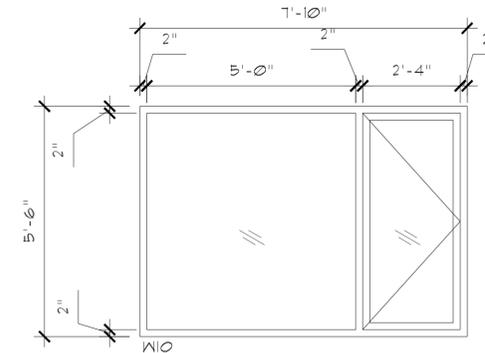
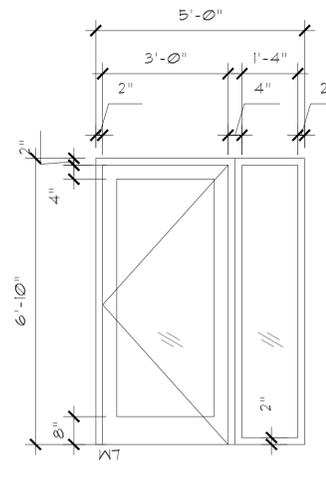
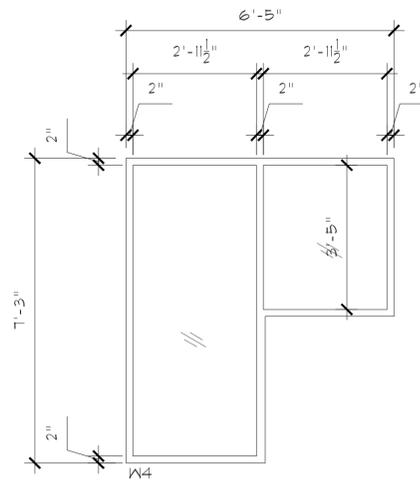
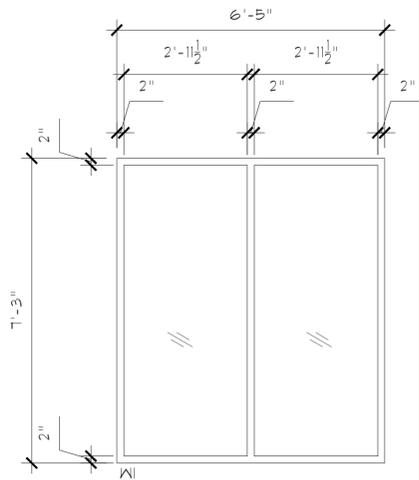
10. DETAIL WALL SECTION



11. DETAIL WALL SECTION

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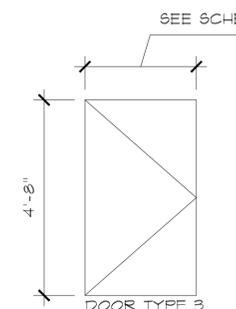


DOOR SCHEDULE

DOOR NO.	ROOM	TYPE	SIZE	MATERIAL	FRAME	GLAZING	HARDWARE	REMARKS
1	OFFICE		2'-10" x 6'-8"	FNTD WD	FNTD WD	--	1	
2	OFFICE		2'-10" x 6'-8"	FNTD WD	FNTD WD	--	1	
3	OFFICE		4'-10" x 6'-8"	FNTD WD	FNTD WD	--	1	
4	ENTRY		3'-0" x 6'-8"	FNTD ALUM	FNTD ALUM	1/4" TRANSLUCENT SAFETY	2	SEE WINDOW W9
5	REAR		3'-0" x 6'-8"	FNTD ALUM	FNTD ALUM	1/4" CLEAR SAFETY	2	SEE WINDOW W8
6	BATH		2'-10" x 6'-8"	FNTD WD	FNTD WD	--	3	
7	CLOSET		4'-0" x 6'-8"	FNTD WD	FNTD WD	--	4	BYPASS PAIR
8	CLOSET		4'-0" x 6'-8"	FNTD WD	FNTD WD	--	4	BYPASS PAIR
9	ROOF		3'-0" x 6'-8"	FNTD ALUM	FNTD ALUM	1/4" CLEAR SAFETY	2	SEE WINDOW W7

WINDOW SCHEDULE

WINDOW NO.	ROOM	SIZE	GLAZING	FRAME	OPERATION
W1	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W2	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W3	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED SIDELITE & DOOR
W4	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W5	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W6	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W7	ROOF	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED SIDELITE & DOOR
W8	STAIR	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED
W9	STAIR	SEE DWG	1" INSUL. TRANSLUCENT	PAINTED AL	DOOR
W10	LIVING/BED	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED & CASEMENT
W11	OFFICE	SEE DWG	1" INSUL. CLEAR	PAINTED AL	FIXED & CASEMENT



Consultants

WINDOW AND DOOR TYPES AND SCHEDULES PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDOB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	1/2"=1'-0"	Date:	201205
Drawn by:	NL	Checked by:	NL

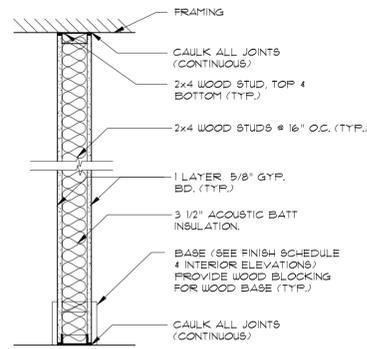
Drawing number: A900 Rev. number: -

ISSUE FOR PERMIT

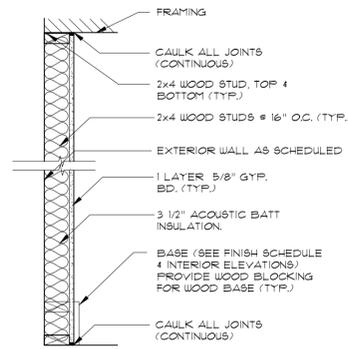
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Notes :

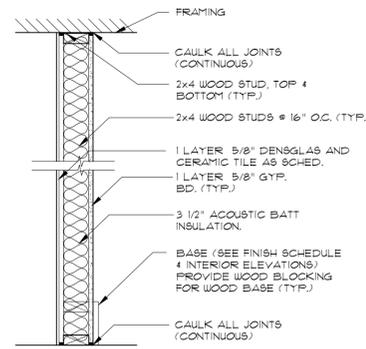
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1 GYP. BOARD PARTITION
SCALE: 1"=1'-0"

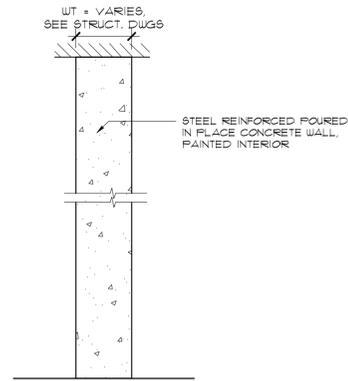


2 GYP. BOARD PARTITION - ONE SIDE
SCALE: 1"=1'-0"



3 GYP. BOARD PARTITION W/ CERAMIC TILE
SCALE: 1"=1'-0"

3a GYP. BOARD PARTITION W/ CERAMIC TILE
TILE TO 3/8" AFF SCALE: 1"=1'-0"



4 POURED IN PLACE CONCRETE
2 HR RATED SCALE: 1"=1'-0"

FINISH SCHEDULE

ROOM	FLOOR	LOWER WALL	UPPER WALL	CEILING	BASE	REMARKS
ENTRY	W-1	P-1	P-1	P-4	B-1	
OFFICE	GPT-1	P-2	P-2	P-4	B-2	
LIVING	W-1	P-1	P-1	P-4	B-1	
KITCHEN	GT-1	P-1	GT-3/P-1	P-4	B-1	
BEDROOM	GPT-2	P-3	P-3	P-4	B-1	
BATH	GT-2	GT-2	GT-2/P-1	P-4	GT-2	
STAIR	W-1	P-1	P-1	P-4	B-1	

FIXTURE SCHEDULE

ROOM	FIXTURE	SPECIFICATION	REMARKS
KITCHEN	SINK		
	FAUCET		
BATH	LAV		
	LAV FAUCET		
	TOILET		
	BATH FAUCET		

FINISH SCHEDULE

CODE	MNFTR	COLOR/SPEC	REMARKS
W-1	WOOD	MAPLE ENGINEERED WOOD	
GPT-1		CARPET TILE BY OWNER	
GPT-2		CARPET TILE BY OWNER	
GT-1	XXX	MAPLE ENGINEERED WOOD	
GT-2	XXX	MAPLE ENGINEERED WOOD	
GT-3	XXX	MAPLE ENGINEERED WOOD	
B-1		MAPLE HARDWOOD, 3/4" x 4", SQUARE CORNERS	
B-2		PAINTED WOOD	
P-1 THRU 4	BM OR EQ	COLORS TBD	

APPLIANCE SCHEDULE

ROOM	FIXTURE	SPECIFICATION	REMARKS
KITCHEN	DISHWASHER		
	FRIG		
	STOVE		
BATH	WASHER/DRYER		

EXTERIOR FINISH SCHEDULE

CODE	MNFTR	COLOR/SPEC	REMARKS
SIDING	ROYAL BLDG	TBD / MARKET PLACE SERIES	SEE A902 FOR SPEC
WINDOWS	OLDCASTLE	PTD WHITE / SERIES 1000	SEE A902 FOR SPEC
DOORS	OLDCASTLE	PTD WHITE / TERRA SWING SERIES	SEE A902 FOR SPEC

Consultants

PARTITION TYPES, FINISH, APPLIANCE, FIXTURE SCHEDULES PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDOB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
A901	-

ISSUE FOR PERMIT

HOUSE RENOVATION

16 Tiernans Lane
 Dobbs Ferry, NY 10522

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WINDOW AND DOOR TYPES AND SCHEDULES PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDOB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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A902

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Board and Batten Vinyl Siding and Trim

Board & Batten

Extraordinary attention to detail that takes care of itself.

The most beautiful things take form in the simplest patterns.

Whether it covers the main section of your home or amplifies curb appeal as a refreshing accent, our Board & Batten Siding is a deeply characteristic change of pace.

All of that charm and dimension is reinforced by strong weatherability, rugged durability and reliable low maintenance—practical benefits that are highly attractive in the long run.

- Never needs painting
- Won't warp, buckle or sag
- Surprisingly green
- Industry-leading Double Lifetime Warranty



A sustainable exterior presence.

Board & Batten Siding is as green as it is colorful and curb appealing. It's engineered to eliminate the need for painting or staining, and represents its environmental friendliness in many different ways—from production and manufacturing to transportation and installation. For example, virtually all scrap materials are recycled during production, and no hazardous materials are emitted when it's cut for installation.

- Manufactured from recyclable materials
- Rhinoc cedar is overall green performance
- 1/3 the environmental impact of fiber cement

RoyalBuildingProducts.com/Exterior/Portfolio/Board&Batten

ROYAL Building Products

Product Summary

Exteriors

Product Overview

The Royal Building Products® brand of companies is a leading manufacturer and distributor of siding, trim & accessories in North America. Products include vinyl siding, insulated vinyl siding, cellular siding, and PVC polypropylene shaker, soffits, shutters, and vents, vinyl & aluminum columns. All finished products are considered articles for Royal Building Products in the commercial and residential building/construction industry.

Production

Royal Building Products is part of Westlake Chemical. We offer a unique manufacturing opportunity in our vertical integration from raw materials from our parent company Westlake Chemical through its manufacturing and on to distribution. For vinyl products, the ingredients are dispersed, bound, and encapsulated within the polymer matrix of the profile and are not released in significant amounts under normal end-use conditions. Aluminum products are cold-pressed and will have no chemical release under normal handling, storage, and disposal conditions.

Health Effects and Exposure Potential

The product, as supplied, does not cause health effects or have exposure potential; however, processing or heating the product may cause health concerns. Processing, such as sawing, sanding, and abrasive applications, may create dust that have the potential to cause mechanical injury to the eye. If the product is heated to elevated temperatures, or if under fire conditions, thermal degradation of the polymer matrix may occur and result in the release of thermal decomposition products such as methyl methacrylate monomers and hydrogen chloride. Under certain conditions, methyl methacrylate monomer may cause skin, eye, and respiratory tract irritation, central nervous system depression, and skin and respiratory sensitization in susceptible individuals. Under certain conditions hydrogen chloride may cause skin burns, eye damage and respiratory tract irritation.

Environmental Effects

The product is expected to decompose very slowly in the natural environment.

Safe Handling, Storage, and Disposal

The product, as supplied, does not cause adverse health effects or have exposure potential; rather, the hazards associated with handling and storing the product are natural. If dusting occurs from handling or processing the product, dust accumulation and potential sources of ignition such as static discharges should be addressed by the user to prevent fire or explosion from suspended, freely-dispersed particles.

When used, the product should be kept clear of walkways and doors to prevent tripping hazards. The product should be disposed of or recycled in accordance with applicable federal, state/provincial, and local regulations. It should not be disposed into sewers, onto the ground, or into any body of water.

Fire and Explosion Hazards

The product, as supplied, is not a fire or explosion hazard. However, processing the product, such as sawing, sanding, and abrasive applications, may cause dust accumulation. Potential sources of ignition, such as static discharges, may cause fire or explosion from suspended, freely-dispersed particles.

Water, foam or dry chemical are appropriate extinguishing media. Firefighters should wear appropriate protective equipment and self-contained breathing apparatus (SCBA) with a full face-piece operated in positive pressure mode due to potentially hazardous thermal decomposition products. In the conditions, the product may produce irritating or toxic

ROYAL Building Products

Product Summary

vents including hydrobromic acid, carbon monoxide, carbon dioxide, methyl methacrylate monomer, aldehydes, emmons, hydrogen cyanide, hydrocarbons and other potential toxic dependent on specific conditions.

Physical and Chemical Properties

The product is a solid plastic or aluminum profile in various colors and it has no specific odor. The specific gravity, melting point, vapor density and percent volatiles are included in the Technical Data Sheets for the specific products. Water solubility is not applicable to this product.

Regulatory Information

This product is classified as an article and is exempt from the Safety Data Sheet requirements of the United States Occupational Safety and Health Administration (OSHA) Hazard Communication Standard and the Canadian Workplace Hazardous Materials Information System (WHMIS).

This product is not a hazardous material or dangerous good for purposes of transportation under the United States Department of Transportation and Transport Canada, respectively.

Product Certifications and Listings

Please use the Royal Building Products website at www.royalbuildingproducts.com/ for additional information.

Additional Information

For more information regarding Royal Building Products, please contact 276-781-8161 or 1-800-424-9300. For emergency situations contact CHEMTREC at 1-800-424-9300.

References

- Royal Building Products website: www.royalbuildingproducts.com/
- Westlake Chemical website: www.westlake.com

Notice

Prior to its use, the user is responsible for determining the suitability of the product or products covered by this Product Summary and for complying with federal, state, provincial, local laws and regulations in connection with its use. Neither Westlake Chemical nor any of its affiliates shall be responsible for any damages of any kind whatsoever resulting from the use of or reliance on this Product Summary or product or products to which it refers.

This Product Summary is intended only to provide a general summary of the potential hazards associated with the product or products described herein. It is not intended to provide detailed information about potential health effects and safe use and handling information and, although Westlake Chemical believes this information is correct, Westlake Chemical makes no warranty as to its completeness or accuracy.

This information is subject to change without notice.

Date: Issue Date - August 2017

Windows

Standard Flush Glaze Storefront Systems— a wide range of storefront framing systems for efficient installation.

Okcastle BuildingEnvelope™ offers a complete line of storefront framing systems to meet just about any storefront application and condition. The Series 1000 is 1-3/4" x 4", and the Series 2000 is 1-3/4" x 4-1/2". Both are designed for 1/2" glazing but are easily adapted to 3/8" or 3/4" glazing. The Series 3000 (1" x 4-1/2") is designed for 1" glazing and is adaptable to many different glazing heights from 1/2" to 1-0/8".

Features:

- Three different assembly methods: Series System, Street Siding and Siding
- Tested by independent laboratories:
- No infiltration -CFR allowed at 1.24 PSF
- Wind Resistance: 13 PSF
- Clear framing components
- Suitable bases to match clear bottom rails
- Multiple corner post configurations
- Adjustable and 132" modules
- Anodized or painted finishes

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standard flush glaze systems

Series

FG-1000 FG-2000 FG-3000

Street Siding Assembly **Siding Siding Assembly**

Street Assembly **132" Corner** **All-in-One Module**

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Doors

Terra Door Terra Swing™— in-swinging and out-swinging versions offer high-performance and versatility.

High performance has never looked so good. With its stylish European design and its leading-edge engineering and manufacturing, Terra Swing™ Series offers precise door action that will only get better as it ages. So too, though, as will the Terra Swing™ Series in an extensive choice when aesthetics, performance and security are all high priorities. These doors feature clean, architectural lines for smooth and consistent operation both inward and outward swings.

Construction:

- 132" maximum wall thickness
- Eurotherm™ thermal break for dual-color finish options
- Polyethylene high-quality compression seals
- Corner-joint, welded and hydraulically sealed door leaf
- Adjustable factory glazing
- Heavy-duty aluminum glazing in-line applied
- Accommodates glass thicknesses to 1-1/2"
- Anodized and electrolytically treated PVC paint finishes available
- ADA requirement options available
- French Door option

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Terra Swing™ terrace door

Features:

- The Terra Swing™ Series is offered in two system framing options: ESE Series, which is 1/2" and ESE Series, which is 1/2"
- These systems will maintain readily structural and seal synthetic requirements. Structural integrity is maintained by required seal system can be integrated with other

Benefits:

- The Terra Swing™ Series is profiled with European-designed, multi-point locking systems, distinctive hand-raucousser sets and locking systems.
- Dual-Point Locking Options: Series double locks, combined with the optional add-on Series double lock, provide either the Classic Thru-Turn Cylinder or the Keyed Cylinder lock.
- Additional Hardware:
 - Schedule hardware with stainless steel pin and bush to match the hand-raucousser set.
 - Compatible door stop with adjustable stop and shock-absorbing bumper.

Performance:

- Tested to performance requirements of:
 - AIAA 1018.2.10A-10-05
 - AIAA 101
 - AIAA 102
 - AIAA 104
 - AIAA 105
 - AIAA 106
 - AIAA 107
 - AIAA 108
 - AIAA 109
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 - AIAA 147
 - AIAA 148
 - AIAA 149
 - AIAA 150

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Exterior Light Fixture

BRUCK

Outdoor Eclipse 2-Light Sconce

Description:

The Outdoor Eclipse 2-Light Sconce is an outdoor sconce made of polished aluminum. Its contemporary design allows the sconce to be used in a variety of settings, from modern to traditional. The sconce features a clear glass lens and a brushed metal finish. It is available in two finishes: brushed aluminum and brushed nickel.

Technical Specifications:

- Height: 12.5" (318mm)
- Depth: 6.5" (165mm)
- Width: 6.5" (165mm)
- Weight: 2.5 lbs (1.1kg)
- Material: Polished Aluminum
- Finish: Brushed Aluminum / Brushed Nickel
- Glass: Clear Glass
- LED: Yes
- Voltage: 120V AC
- Wattage: 20W
- Dimmable: No
- Mounting: Flush Mount

LED Performance:

- LED: Yes
- Lumens: 1000 lm
- CRI: 90
- CCT: 3000K
- Beam Angle: 120°
- Mounting: Flush Mount
- Dimmable: No

Ordering Codes:

Part Number: 1000-2-LIGHT-ALUMINUM

Material: ALUMINUM

Finish: BRUSHED ALUMINUM

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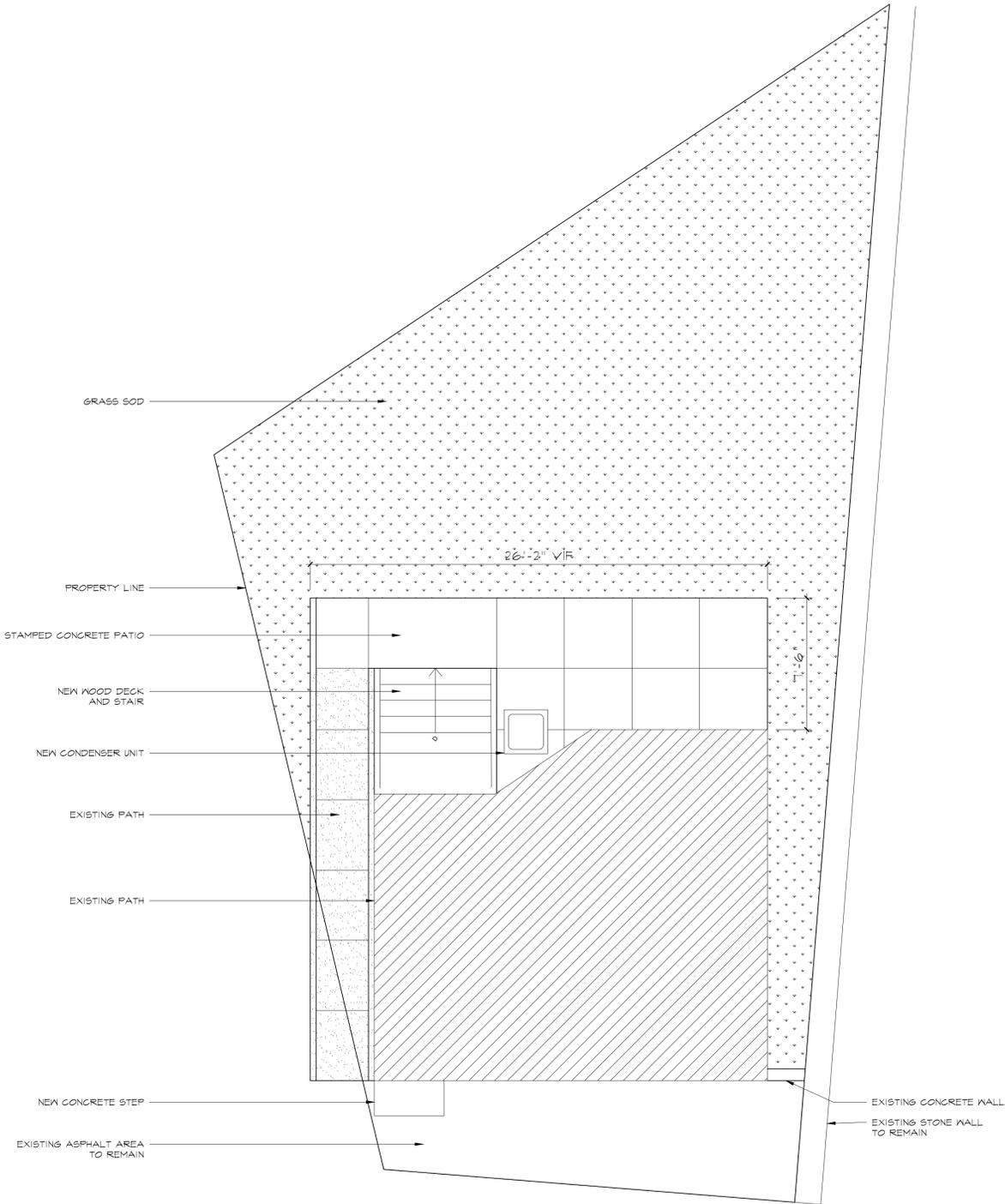
HOUSE RENOVATION
16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

- 1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
- 2. All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
- 3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
- 4. All works by contractor unless otherwise noted.

Consultants

LANDSCAPE PLAN



I. LANDSCAPE PLAN

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFDOB Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021

Scale:	1/4"=1'-0"	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
L001	-

ISSUE FOR PERMIT

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