

HOUSE RENOVATION/ADDITION

16 TIERNANS LANE DOBBS FERRY, NY 10522

CODE DATA

PROJECT DESCRIPTION: ADDITION AND INTERIOR RENOVATION
TO AN EXISTING HOUSE

PROJECT LOCATION: 16 TIERNANS LANE, DOBBS FERRY, NY 10522
SBL 3.80-45-30

CONSTRUCTION TYPE: SB

PROPOSED:
FOUNDATION: CONCRETE
WALLS: WOOD FRAMING AND EXTERIOR VINYL SIDING
ROOF: BUILT UP WITH WOOD PAVERS ON LOWER ROOF
BUILT UP ON UPPER ROOF

FUEL: GAS

SEWER: VILLAGE

WATER: VILLAGE

ALL LIGHTING TO COMPLY WITH SECTION 900-41

ZONING

PER VILLAGE OF DOBBS FERRY ZONING AND LAND USE
APPENDIX B. DIMENSIONAL TABLES

BUILDING SETBACKS:	FRONT		
	EXISTING	PROPOSED	REQUIRED
	5'-1"	5'-1"	PREVAILING
	REAR		
	EXISTING	PROPOSED	REQUIRED
	25'-0"	25'-0"	25'-0"
	SIDE (2 SIDES)		
	EXISTING	PROPOSED	REQUIRED
	2'-4"	2'-4"	20'-0"
BUILDING AREA:	EXISTING	PROPOSED	
	403 GSF	828 SF	
	+ BASMT	+ BSMT	
LOT COVERAGE:	EXISTING	PROPOSED	ALLOWED
	403 SF	414SF	EXIST'G LOT AREA = 1720 SF 1720 x .21 = 464 SF
BUILDING HEIGHT:	EXISTING	PROPOSED	ALLOWED
	18'-3"	24'-6"	30'-0"
NOTE: NO INCREASE IN IMPERVIOUS SURFACE AREA			

OPAQUE ENVELOPE AND FENESTRATION REQUIREMENTS BY COMPONENT PER NY STRETCH ENERGY CODE 2020

CLIMATE ZONE	FENESTRATION U-FACTOR		DOORS U-FACTOR	ROOF U-FACTOR	ABOVE GRADE WALL U-FACTOR	BELOW GRADE WALL C-FACTOR	JOIST/FRAMING U-FACTOR	SLAB ON GRADE (UNHEATED) FLOORS F-FACTOR
4	FIXED 0.36	OPERABLE 0.43	0.71	0.050	0.061	0.092	0.033	0.052

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH	TERMITE	ICE BARRIER UNDERLAYMENT REQUIREMENT	WIND SPEED (MPH)
30	100	B3	SEVERE	3'-6"	MODERATE	EQ	EQ

DESIGN LOAD

FLOOR	LIVE LOAD	DEAD LOAD	TOTAL LOAD
FIRST	40 #	15 #	55 #
SECOND	30 #	20 #	50 #
ROOF	XX #	XX #	XX #

EAVE AND RIDGE HEIGHTS

10 TIERNANS LN 4-STORY		11 TIERNANS LN 4-STORY		PROJECT PROPOSED 16 TIERNANS LN	
MAX. EAVE	AVG. RIDGE	MAX. EAVE	AVG. RIDGE	MAX. EAVE	AVG. RIDGE
22'-6"	35'	33'-6"	45'-0"	24'-6"	NA

NOTE: PER APPENDIX B, TABLE B-7
NOTE: NEIGHBORING BUILDING HEIGHTS ARE ESTIMATED
NOTE: HEIGHT DIMENSIONS FROM AVERAGE GRADE

SCOPE OF WORK

RENOVATION AND ADDITION TO SINGLE FAMILY RESIDENCE

DRAWING LIST

A-000 TITLE SHEET
A-001 SURVEYS, SITE PLAN, AND HEIGHT FROM GRADE DIAGRAM
A-002 EXISTING AND PROPOSED SITE SETBACK PLANS
AND PREVAILING FRONT SETBACK DIAGRAM

A-050 DEMOLITION PLAN
A-051 EXISTING ELEVATIONS
A-100 FLOOR PLANS PROPOSED

A-200 EXTERIOR ELEVATIONS PROPOSED
A-300 BUILDING SECTIONS PROPOSED
A-310 WALL SECTIONS DETAILS PROPOSED

GREEN CODE COMPLIANCE

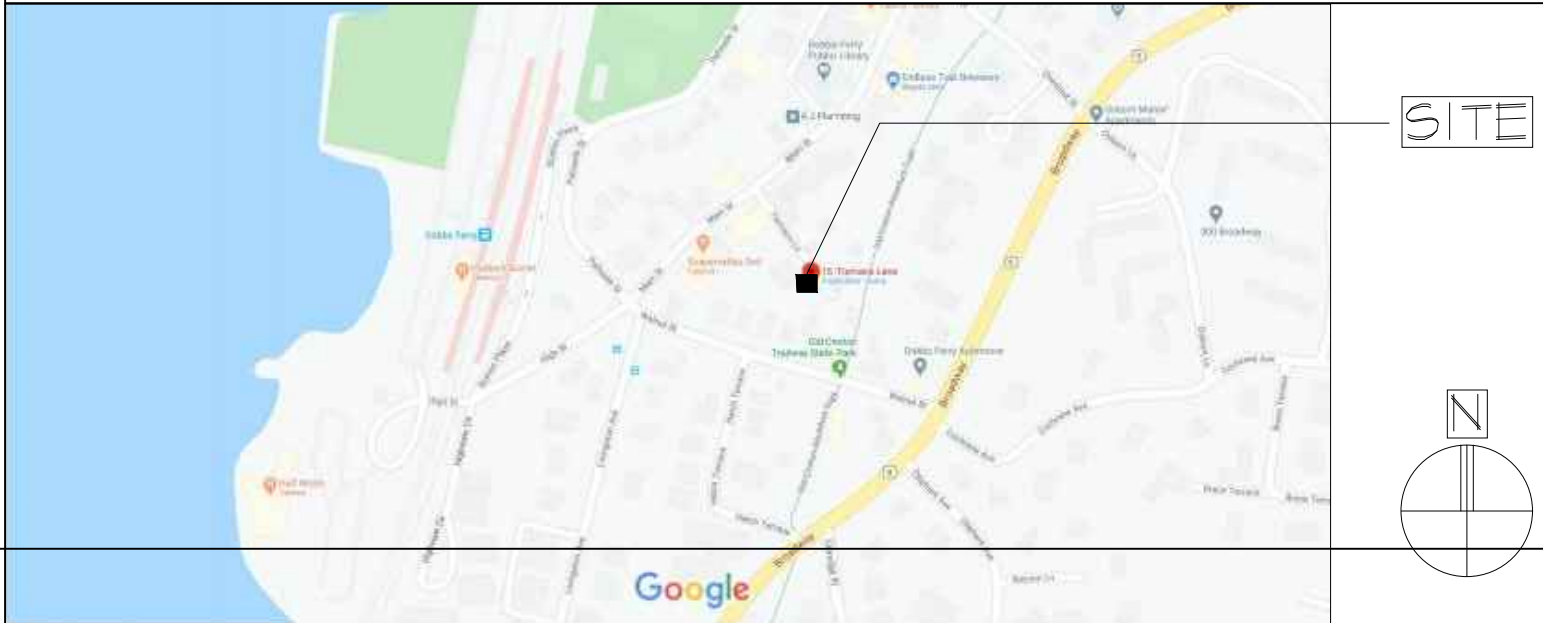
Materials and indoor environmental quality.

- A. Paints, wood finish, and other finishing materials.
- Paints, coatings, and primers applied to interior surfaces shall not exceed the following VOC content limits (as established by Green Seal Standard GC-11, Paints, Edition 3.1, July 2013, as amended):

Flat Paint: 50g/L flat
Non-Flat Paint: 150g/L non-flat

Varnish: 275g/L
Laquer: 275g/L
Shellac: 730 g/L clear, 550 g/L pigmented
Sealers: 100 g/L waterproofing, 275 g/L sanding,
100 g/L all others
 - Carpet adhesive shall not exceed a VOC content limit of 50g/L.
 - No materials shall contain added urea formaldehyde.
 - A list of permissible low-VOC finishes applicable to this section shall be maintained by the Building Department. Documentation of compliance with this section shall be submitted to the Building Inspector.
- B. Roofing materials. All new roofing materials used shall have an SRI of at least 0.78 for Low Slope Roofs and an SRI of at least 0.29 for Steep Slope Roofs. Green/Vegetated Roof areas that cover at least 50% of the roof will satisfy this provision. This section does not apply to Additions and Alterations if new roofing materials are to be matched in roof type or color to existing roof areas.
- C. Construction waste management. A minimum of 25% of construction waste by weight shall be recycled, repurposed and/or reused and not sent to a landfill or incinerator. Documentation of compliance with this section shall be submitted to the Building Inspector.

SITE PLAN



GENERAL NOTES

- ALL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE WITH NEW YORK'S SUPPLEMENTS AS AMENDED TO DATE, NEW YORK STATE MODEL ENERGY CODE AS AMENDED TO DATE AND ALL GOVERNMENT AUTHORITIES, LAWS, BY-LAWS, OR ORDINANCES, AND REGULATIONS HAVING JURISDICTION OVER THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND NOTES WITH ALL SEPARATE CONTRACT (PLUMBING, ELECTRICAL AND HVAC) AND TRADES AND SHALL BE RESPONSIBLE FOR COORDINATING THE WORK AMONG THE SEPARATE CONTRACT AND TRADES SO THAT INSTALLATION BY ONE SHALL NOT INTERFERE WITH THE WORK OF OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE VARIOUS SEPARATE CONTRACTS AND VARIOUS TRADES OF WORK REQUIRED DUE TO WORK WITH OTHER CONTRACTOR AND OR TRADES NOT SPECIFICALLY MENTIONED ON THE DRAWINGS.
- PATCHING, EXTENDING AND MATCHING: WHERE REQUIRED PATCH WALLS, FLOORS AND CEILINGS WITH FINISH MATERIALS TO MATCH ADJOINING SURFACES WHERE DAMAGED DURING COURSE OF CONSTRUCTION.
- PROVIDE FIRESTOPS WITHIN WALLS AT DIFFERENT FLOOR LEVELS IN ACCORDANCE TO UL DESIGN SYSTEMS AND THE REQUIRED RATING THAT MUST BE MAINTAINED.
- PROVIDE 3/4" FRT PLYWOOD AT REAR OF ELECTRICAL PANEL OR TELEPHONE PANELS. SIZE TO ACCOMMODATE SIZE OF PANELS.
- PROVIDE MISCELLANEOUS WOOD BLOCKING OR GROUNDS WITHIN WALLS FOR SECUREMENTS OF CABINETS, (SUCH AS KITCHEN CABINETS) RAILINGS, FIXTURES ETC.
- ALL DIMENSIONS AREA TAKEN TO FACE OF STUD WALLS AT EXTERIOR AND INSIDE FINISH FACE OF INTERIOR STUD WALLS.
- DO NOT SCALE DRAWINGS, NUMERICAL VALUES GOVERN.
- COORDINATE THE LOCATION AND PROVIDE ACCESS PANELS WITHIN THE WALLS, FLOORS, CEILINGS FOR VALVES, CLEANOUT, COORDINATE WITH DIFFERENT TRADES AND ARCHITECT BEFORE PROVIDING ACCESS PANELS
- CONTRACTOR TO SUBMIT TO ARCHITECT, SHOP DRAWINGS OF ACTUAL CONNECTORS TO BE USED. SIMPSON OR APPROVED EQUAL
- PROVIDE PREFABRICATED METAL HANGERS FOR FRAMING MEMBERS WHICH DO NOT BEAR DIRECTLY ON TOP OF SUPPORTING MEMBERS. BEAM HANGERS SHALL BE TOP FLANGE BEARING. HANGERS SHALL BE AS MANUFACTURED BY SIMPSON STRONG - TIE CO, INC, SAN LEANDRO, CA.
- PLUMBING AND ELECTRICAL CONTRACTORS TO BE LICENSED IN THE VILLAGE OF HASTINGS, TOWN OF GREENBURGH, WESTCHESTER COUNTY.
- PROVIDE SMOKE DETECTORS AND HEAT DETECTORS ELECTRICALLY CONNECTED AT EACH BEDROOM AND AT HALLS IN FRONT OF EACH BEDROOM.
- PROVIDE CARBON MONOXIDE DETECTORS THROUGHOUT ENTIRE DWELLING AS PER NYS CODE.
- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS THROUGHOUT ENTIRE DWELLING AS REQUIRED BY NYS CODE.
- All materials, assemblies, forms and methods of construction and service equipment shall comply with the requirements of the New York State Building Construction Code and all other applicable codes having jurisdiction.
- All Contractors shall furnish adequate liability insurance and bonding.
- Any dimensional discrepancies between the plans, sections, elevations and details must be brought to the attention of the Architect by the Contractor for resolution prior to the start of work or as soon as detected.
- Any inconsistencies in the notes, symbols, legends must be brought to the attention of the Architect by the Contractor for resolution prior to the start of work or as soon as detected.
- All Contractors and subcontractors must check and verify all existing conditions and dimensions and report any discrepancies to the Architect prior to the start of work.
- Care shall be taken to protect the work area to be safe both interior and exterior.
- Construction Contractor shall provide solid dustproof plywood enclosure (as described above) at all new window openings until installation of windows.
- Damage to site and building property shall be corrected by the contractor so involved at no cost to the owner.
- Construction Contractor shall provide portable toilets or as prescribed by OSHA at staging area for the use of all Contractor's employees.
- Parking locations for Contractors' vehicles, acceptable hours for demolition, construction and material delivery or removal, and any other special requirements are to be verified with the Municipality.
- All Contractors shall comply with OSHA rules and regulations.
- Unless a longer guarantee is specified, all work shall be guaranteed against defects for one year unless otherwise noted (i.e. product warranties). Any portions of the work which develop defects during the guarantee period shall be replaced or in a manner satisfactory to the Architect and Owner.
- The Contractor shall maintain one set of all submissions (shop drawings, samples, product literature etc.) on the job site and available for reference. Mock-ups and accepted samples shall be available for reference. Contractors shall provide as many mock-ups or samples as necessary in order to obtain owner/architect's approval.
- Where designated on drawing "to match existing", the Contractor shall visit the site, obtain a sample or profile of the existing element, and duplicate. All custom fabrications shall be submitted for review by Architect.
- Dimensions of new walls are taken to face of finish unless otherwise noted. All symbols and finish schedule designations of materials indicate new material unless otherwise noted.
- All new installed equipment shall be UL labeled. All lighting fixtures shall be reviewed and approved by Architect and consulting engineer and shall have UL Label.
- All field welding work shall be accompanied with a fire extinguisher and fire watch.

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HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

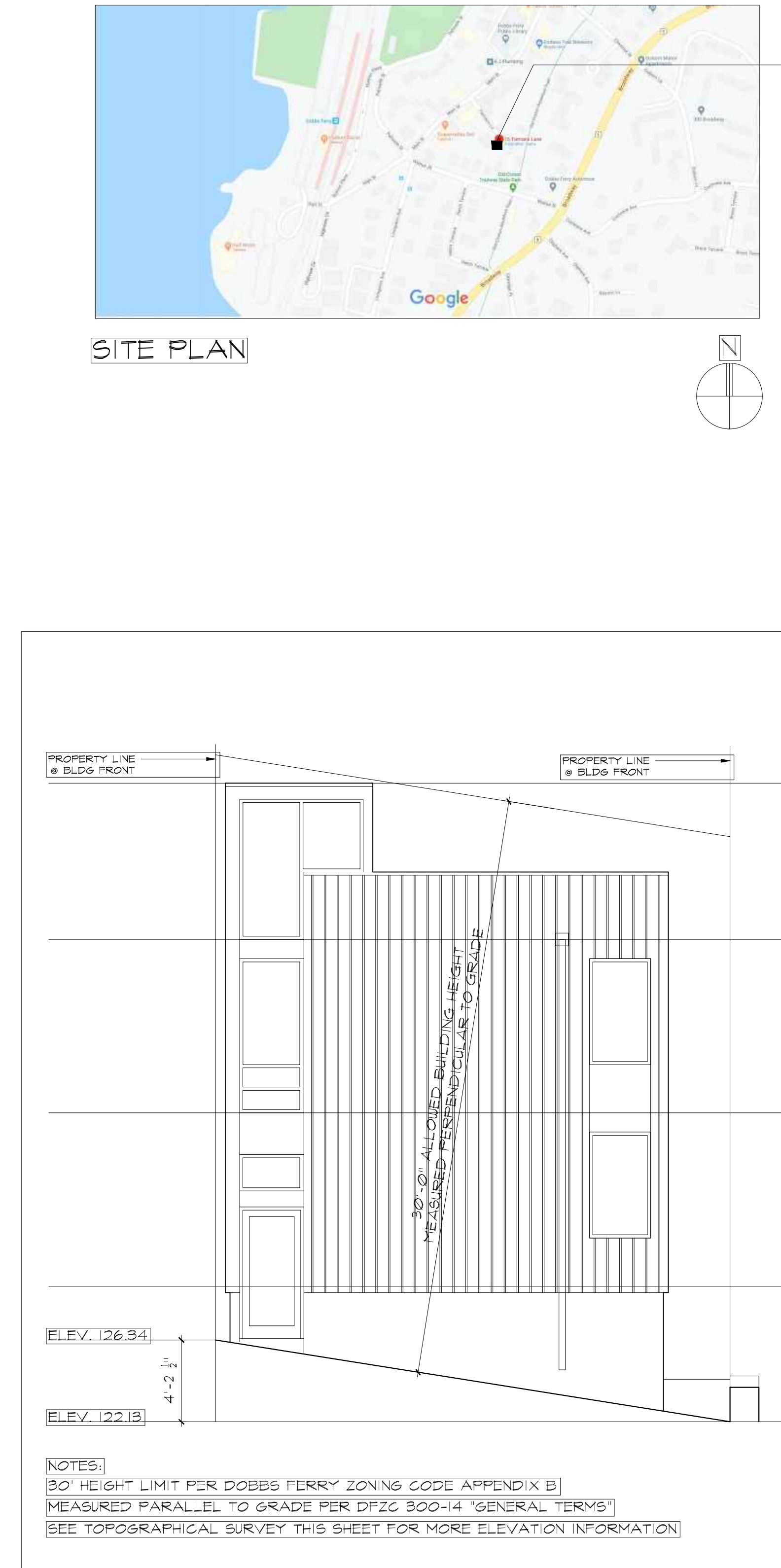
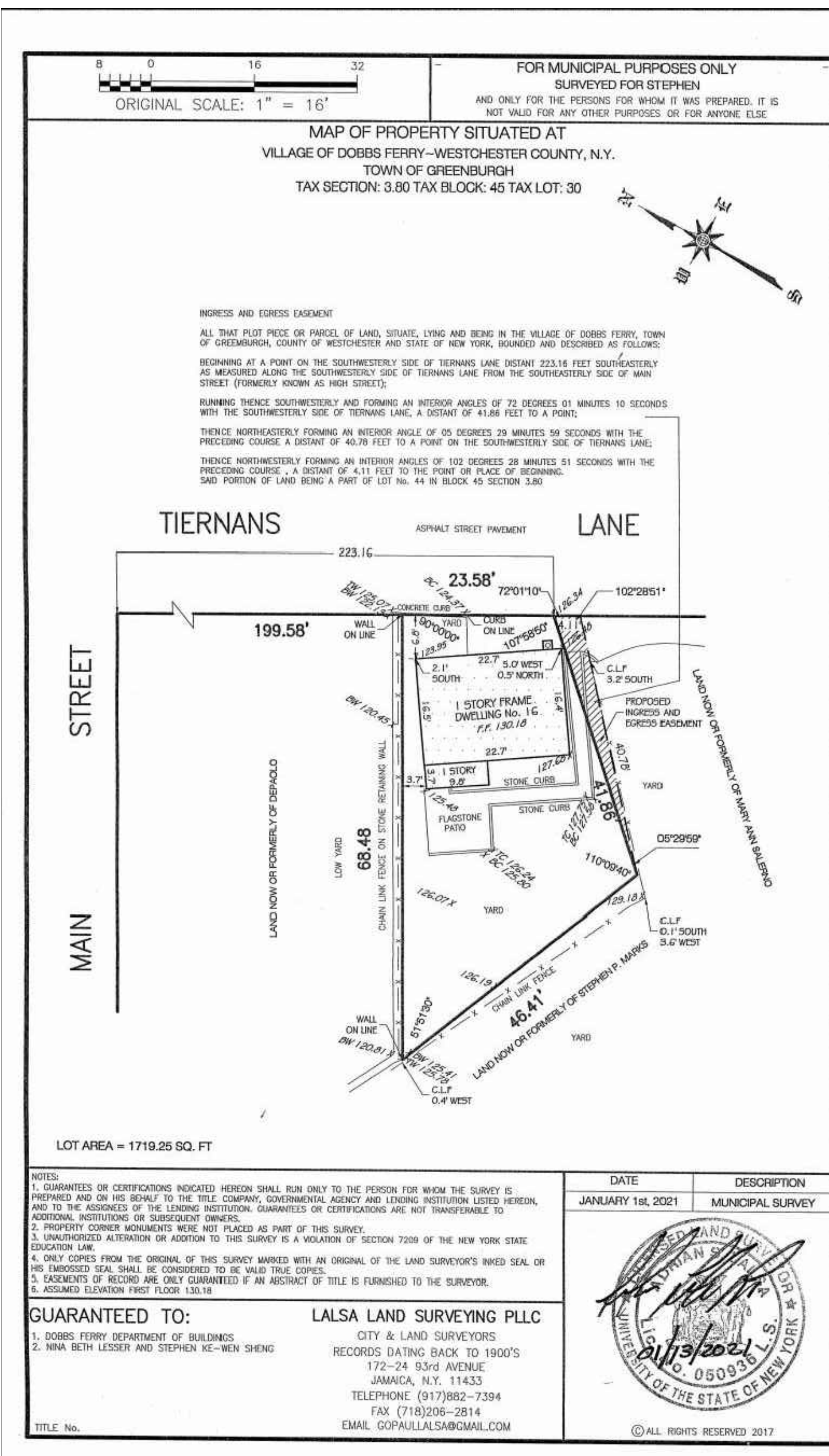
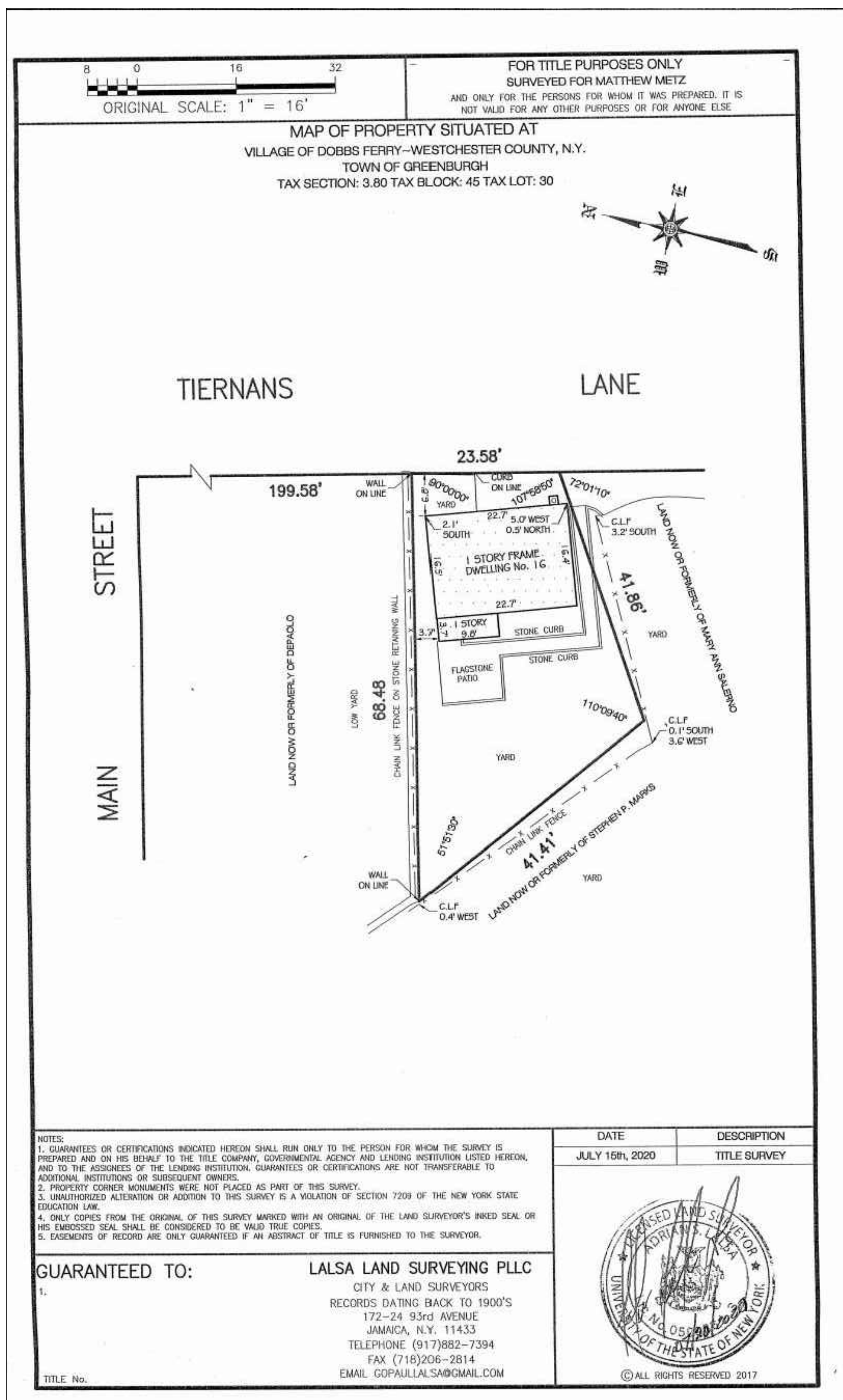
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- All works by contractor unless otherwise noted.

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TITLE SHEET

Revision Issue for Plan Check Δ1Response to DF Plan Check Comments Issue for AHRB Issue for ZBA		Date 05 DEC 2020 19 JAN 2021 10 MAR 2021 10 MAR 2021	
Scale:	NTS	Date:	200817
Drawn by:	NL	Checked by:	NL
Drawing number		Rev. number	
A000		-	

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SITE

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HOUSE RENOVATION


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SITE SURVEYS, SITE PLAN HEIGHT FROM GRADE DIAGRAM

Revision	Date
Issue for Plan Check	05 DEC 2020
 Response to DF Plan Check Comments	19 JAN 2021
Issue for Zoning Board Approval	05 MAR 2021

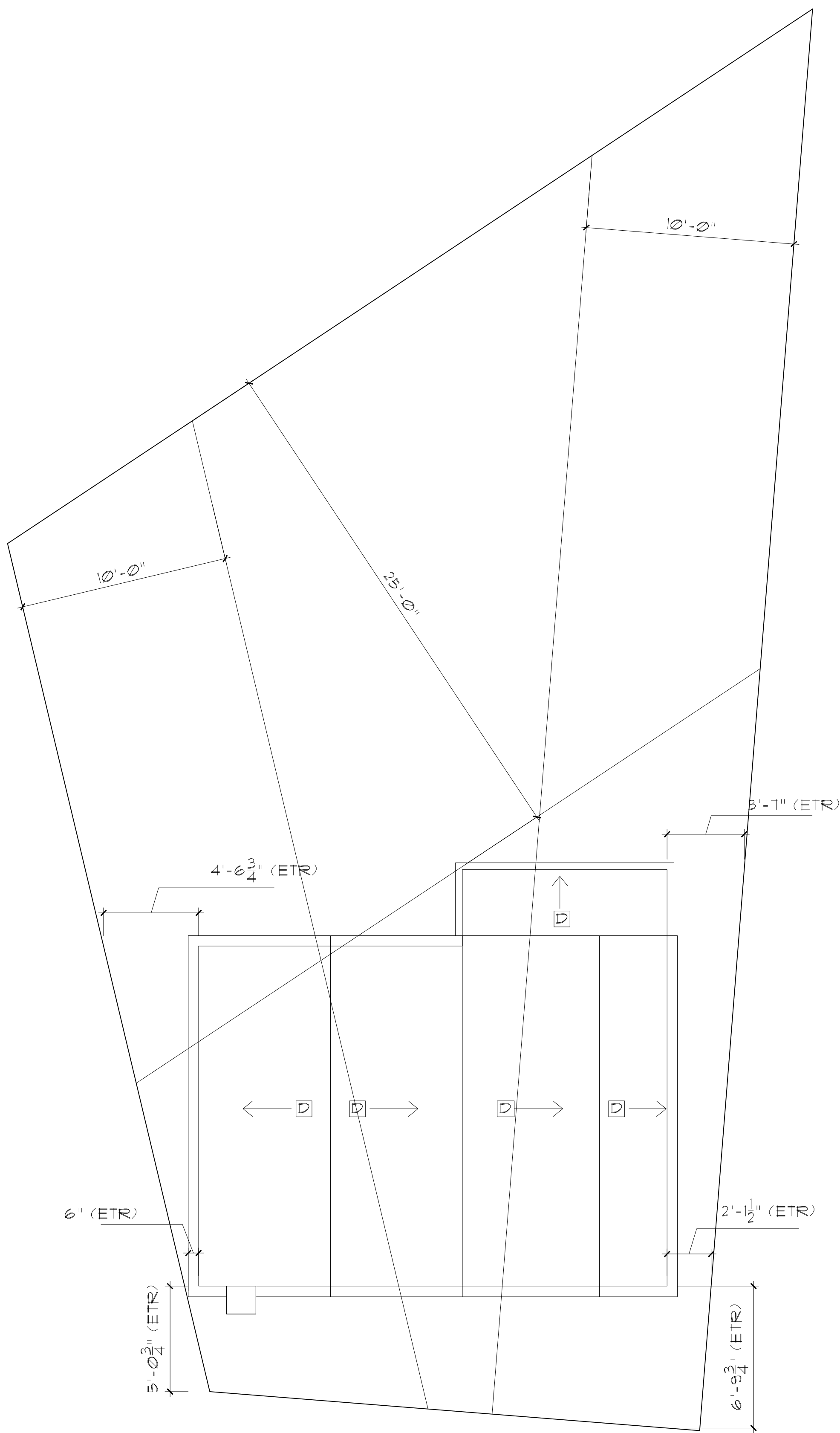
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Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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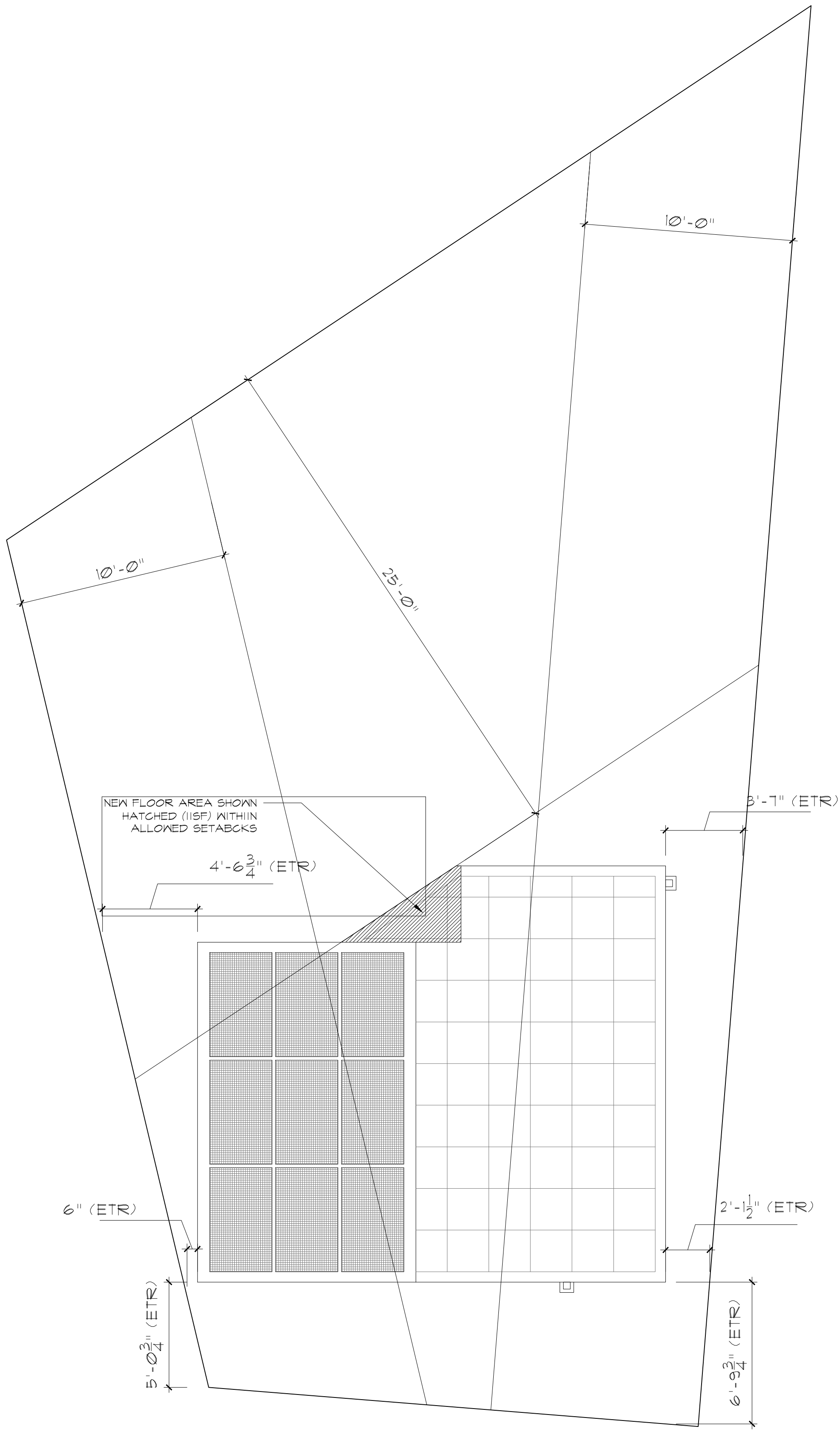
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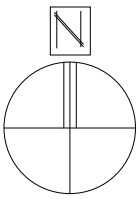


EXISTING SITE SETBACK PLAN
SCALE: 1/8" = 1'-0"



PROPOSED SITE SETBACK PLAN
SCALE: 1/8" = 1'-0"

SITE



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SETBACK ANALYSIS

Revision	Date
Issue for Plan Check	05 DEC 2020
1)Response to DF Plan Check Comments	19 JAN 2021
Issue for AHRB	10 MAR 2021
Issue for ZBA	10 MAR 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

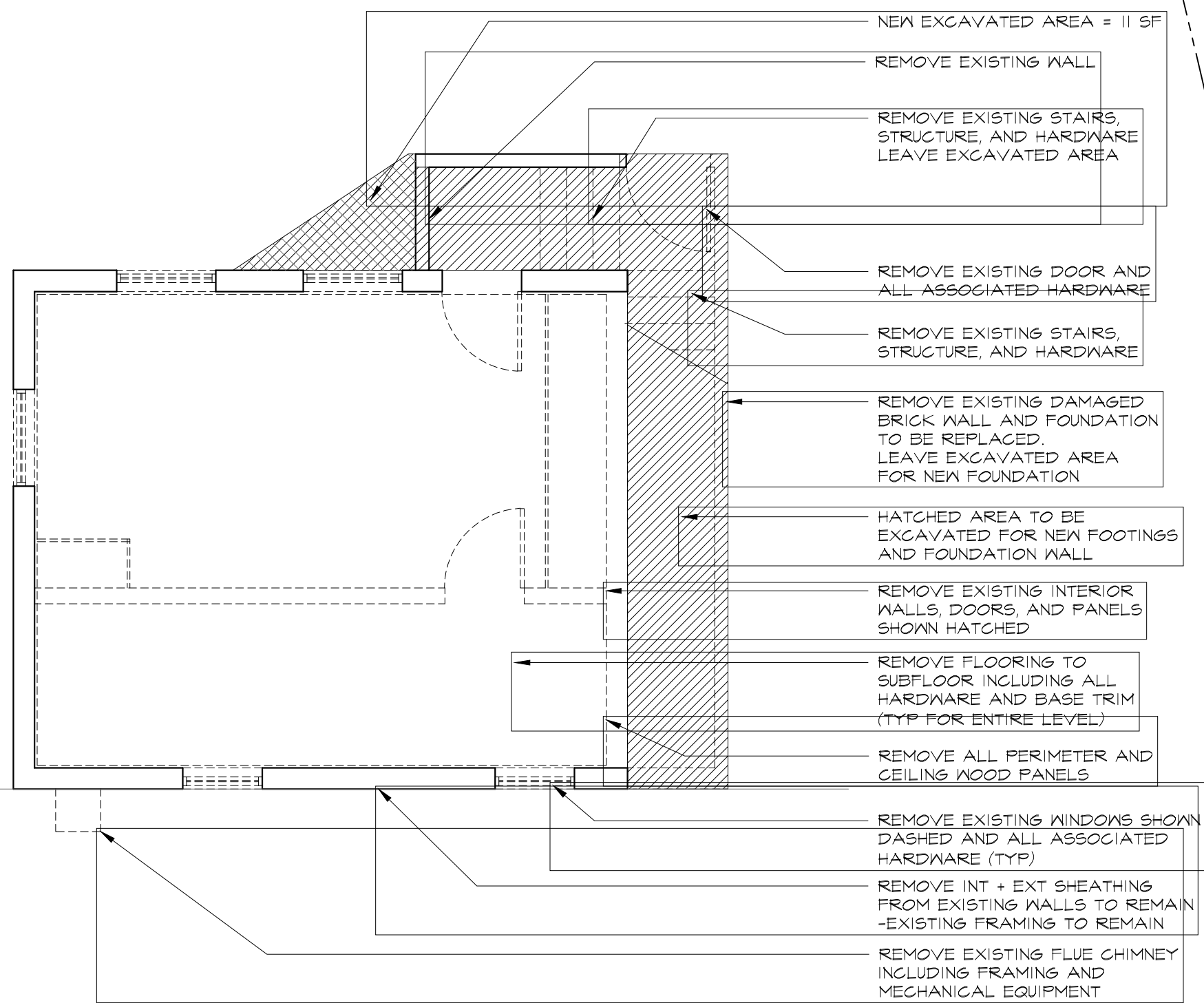
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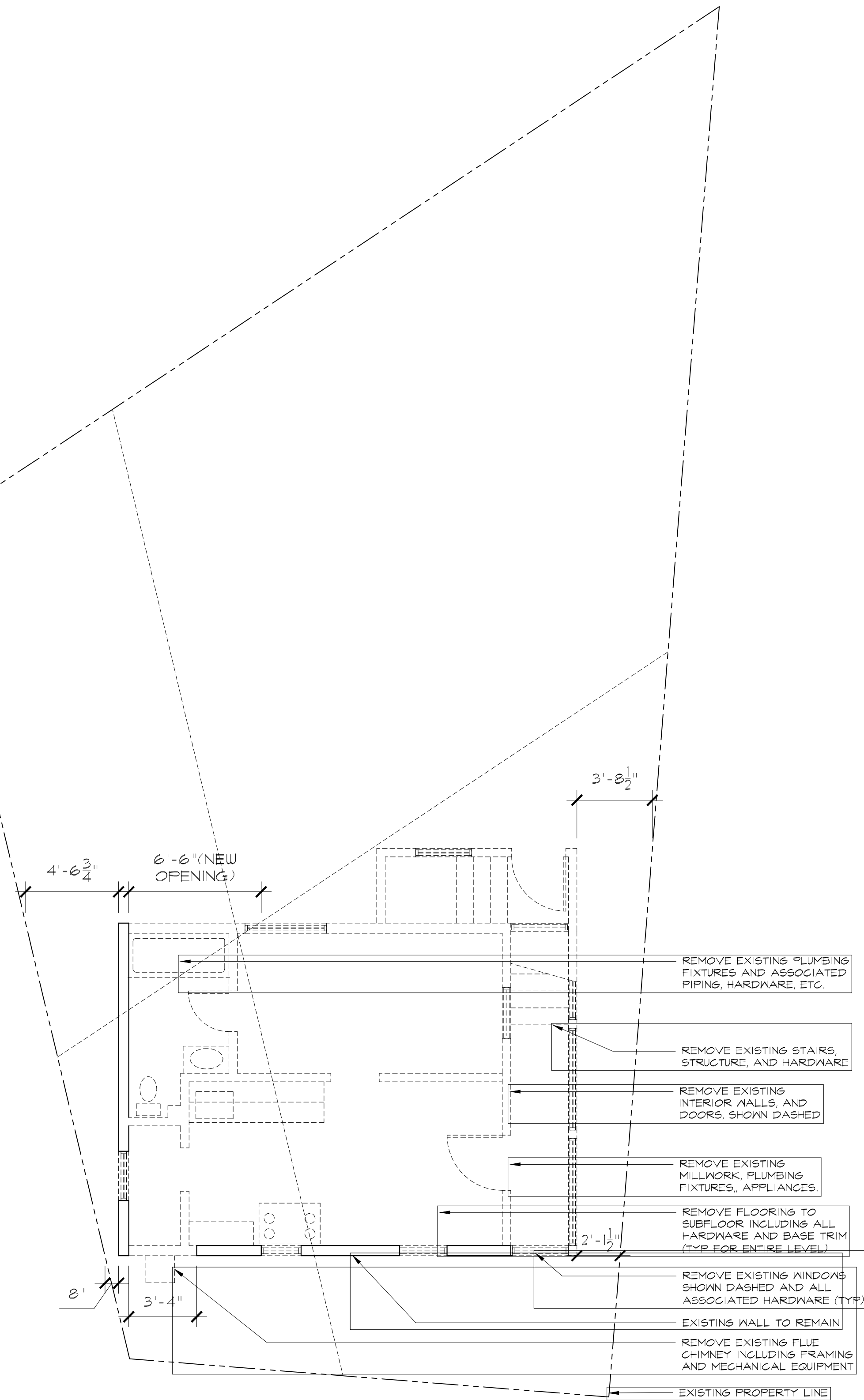
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DEMOLITION NOTES

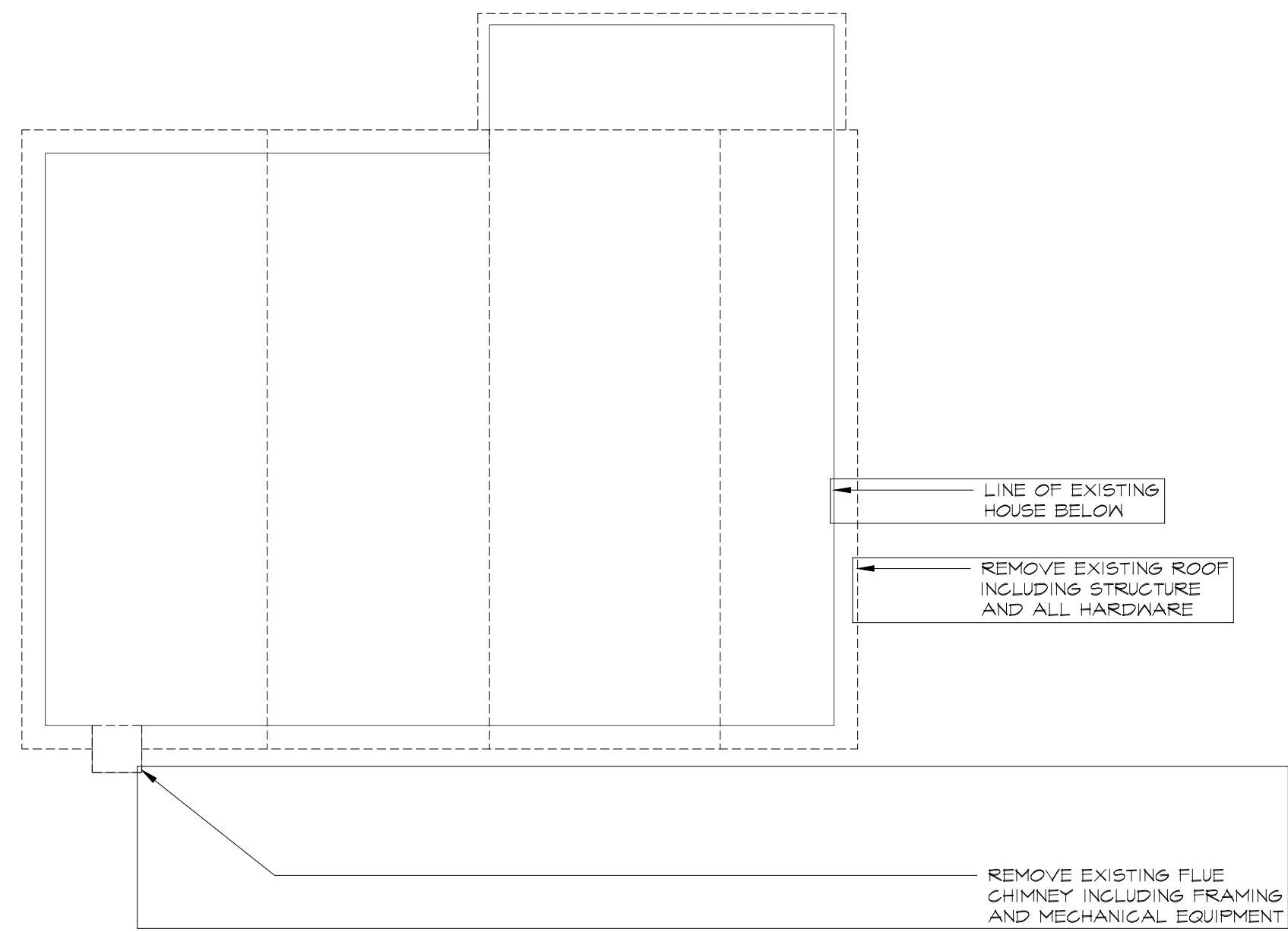
1. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN SECURITY AT ALL TIMES.
3. CONTRACTOR SHALL PROTECT ANY OPENINGS TO THE OUTSIDE FROM WATER INFILTRATION.
4. CONTRACTOR SHALL MAINTAIN FIRE PROTECTION DEVICES AND EMERGENCY EGRESS LIGHTING AS REQUIRED BY CODE AT ALL TIMES.
5. ALL PLUMBING AND ELECTRICAL LINES SHALL BE PROPERLY CAPPED AFTER REMOVAL OF DEVICES.
6. CONTRACTOR SHALL PROVIDE TEMPORARY POWER AS NEEDED.
7. CONTRACTOR SHALL ADVISE OWNER WHEN SERVICES TO THE BUILDING NEED TO BE INTERRUPTED.
8. CONTRACTOR SHALL REFER TO MEP AND FIRE PROTECTION DRAWINGS AND COORDINATE THE WORK OF THESE TRADES.
9. CONTRACTOR SHALL PROVIDE DUMPSTERS FOR DEBRIS AND DISPOSE ALL DEBRIS IN A LAWFUL MANNER. ANY FINES IMPOSED ON THE CONTRACTOR OR OWNER FOR IMPROPER DISPOSAL SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PARTS OF THE BUILDING WHERE WORK IS NOT SCHEDULED TO TAKE PLACE.
11. CONTRACTOR SHALL VERIFY THE INTEGRITY OF THE EXISTING STRUCTURE BEFORE DEMOLISHING ANY WALLS, FLOORS, CEILINGS, AND/OR ROOFING. ANY SHORING OR TEMPORARY SUPPORT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
12. LOAD-BEARING AND/OR STRUCTURAL WALLS SHALL BE REINFORCED BEFORE DEMOLITION, SAW-CUTTING OR ANY FORM OF DISTURBANCE.
13. AFTER VERIFYING EXISTING CONDITIONS AND PROVIDING ANY NECESSARY SUPPORT, SAWCUT EXISTING WALLS FOR OPENINGS AS INDICATED ON PLANS AND ELEVATIONS.
14. REMOVE FINISHED FLOORING UNLESS OTHERWISE NOTED.
15. REMOVE ALL CEILING FINISHES, LIGHTING, DIFFUSERS, AND CEILING-MOUNTED EQUIPMENT UNLESS OTHERWISE NOTED.
16. REMOVE AND DISCARD KITCHEN APPLIANCES, COUNTERS, CLOSETS IN THE KITCHEN UNLESS OTHERWISE NOTED.
17. REMOVE AND DISCARD ALL TOILET ROOM FIXTURES, PARTITIONS, AND ACCESSORIES UNLESS OTHERWISE NOTED.
18. REMOVE AND DISCARD DOORS AND WINDOWS UNLESS OTHERWISE NOTED.



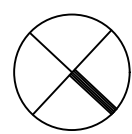
1. BASEMENT DEMOLITION PLAN



2. FIRST FLOOR DEMOLITION PLAN



3. ROOF DEMOLITION PLAN



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HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

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Consultants

DEMOLITION PLANS

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for AHRB	10 MAR 2021
Issue for ZBA	10 MAR 2021

Scale:	1/8"=1'-0"	Date: 5 DEC 20	--
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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A050

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EXISTING ELEVATIONS

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for AHRB	10 MAR 2021
Issue for ZBA	10 MAR 2021

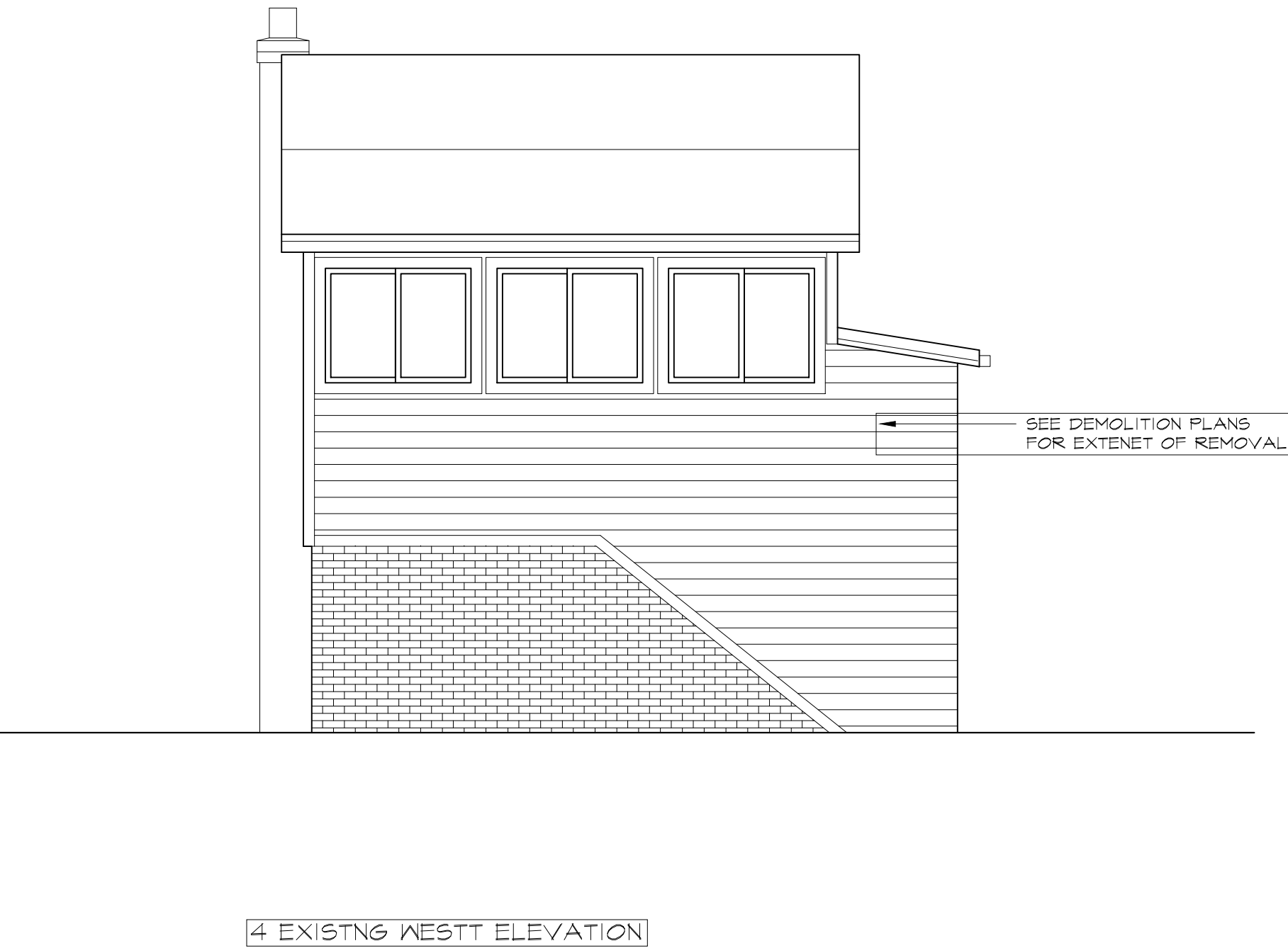
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FLOOR PLANS PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2019
 Issue for DFDOB Plan Check Response	22 JAN 2020
Issue for AHRB	10 MAR 2020
Issue for ZBA	10 MAR 2020

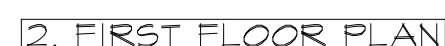
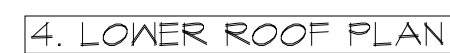
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Drawing number	Rev. number
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EXTERIOR ELEVATIONS
PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
Issue for DFD0B Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021
Issue for ZBA	10 MAR 2021

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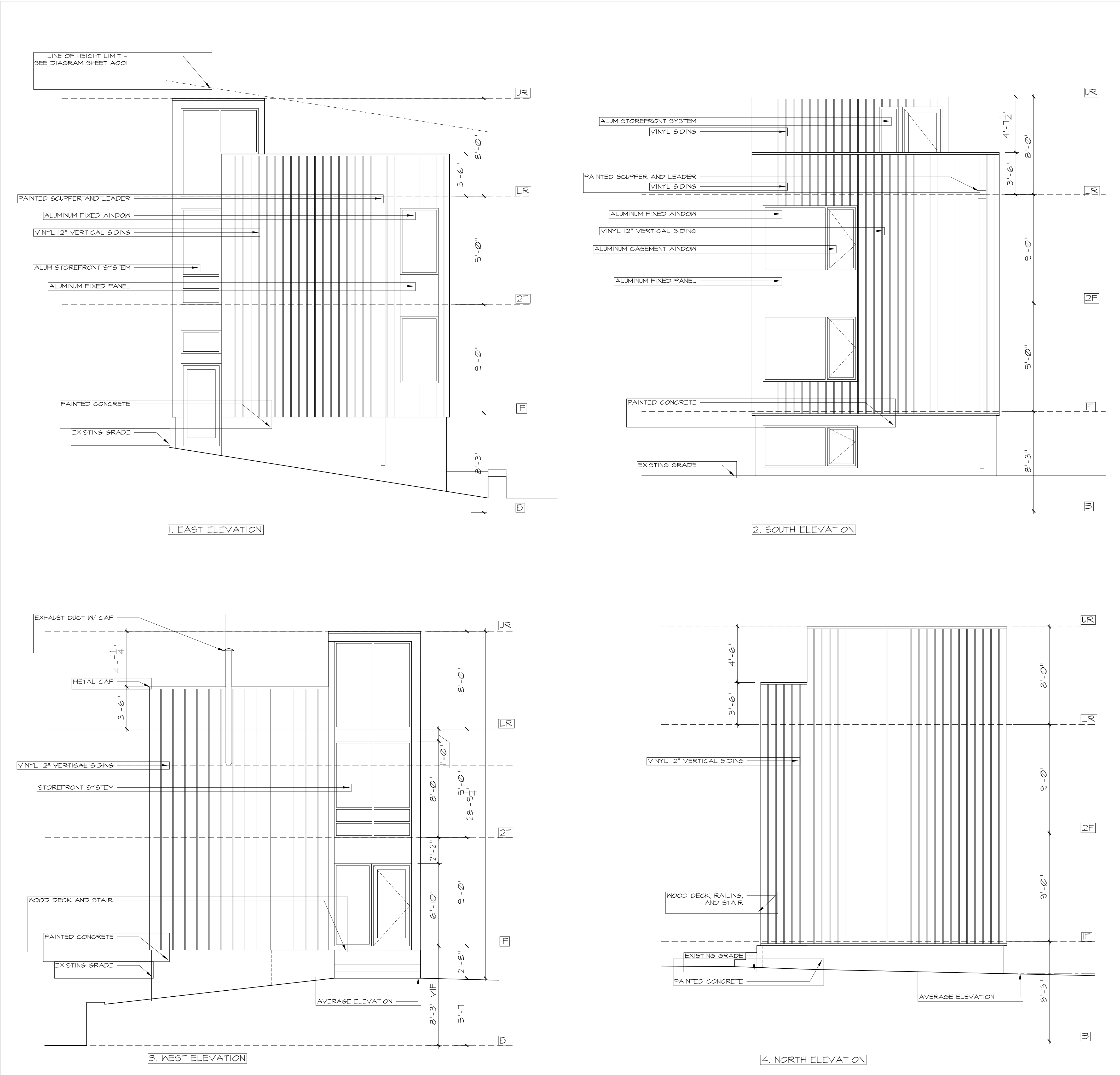
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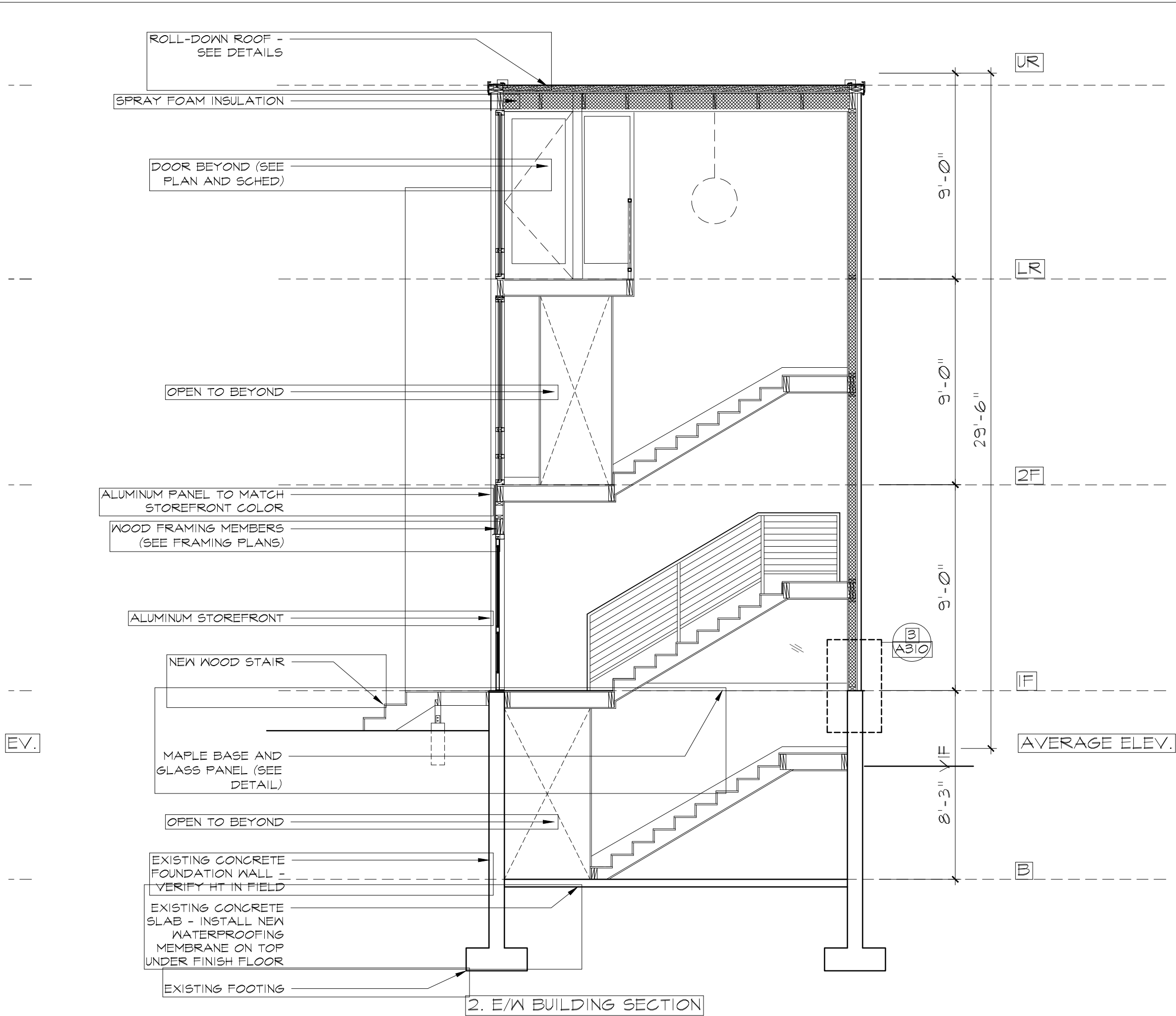
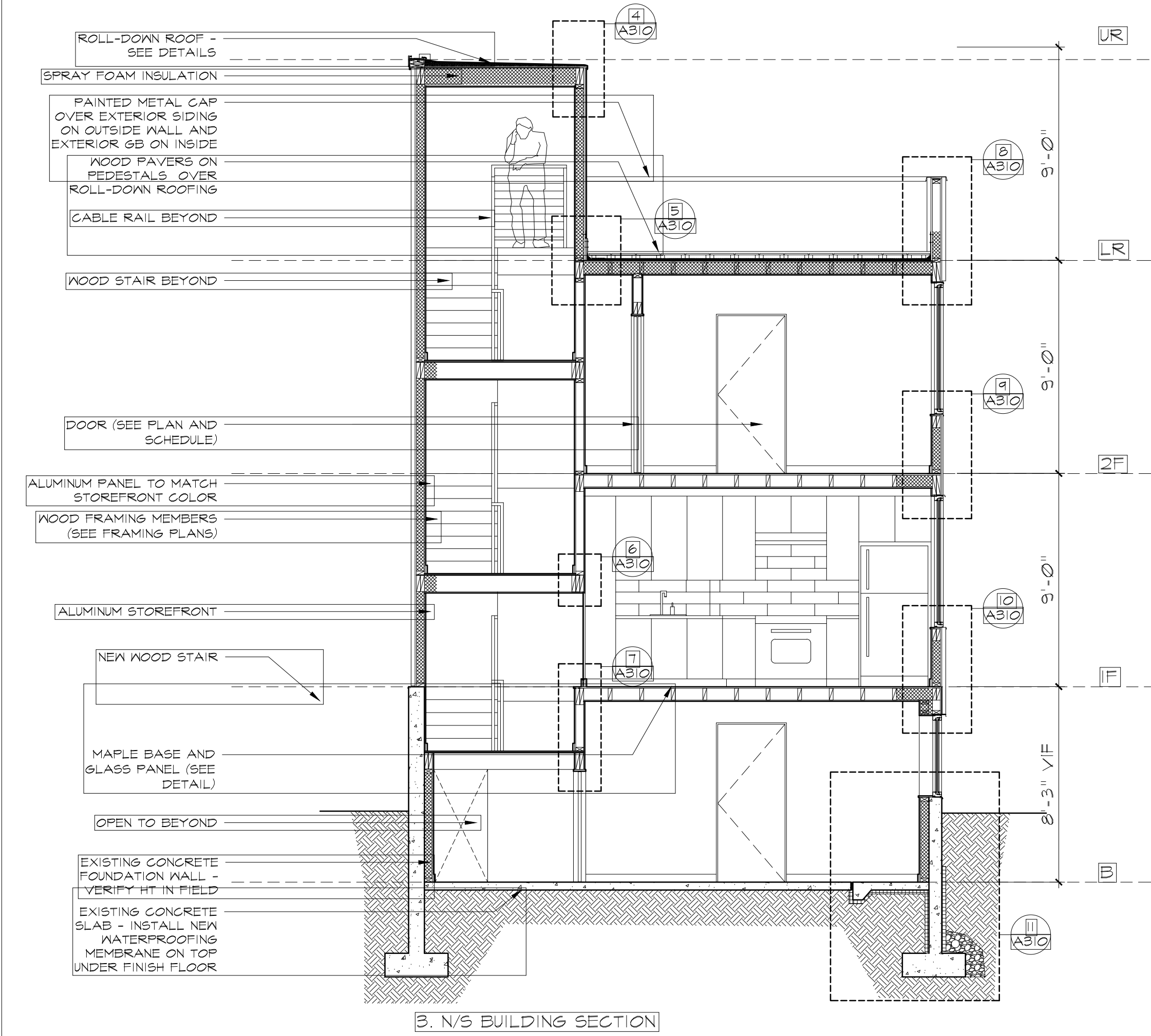
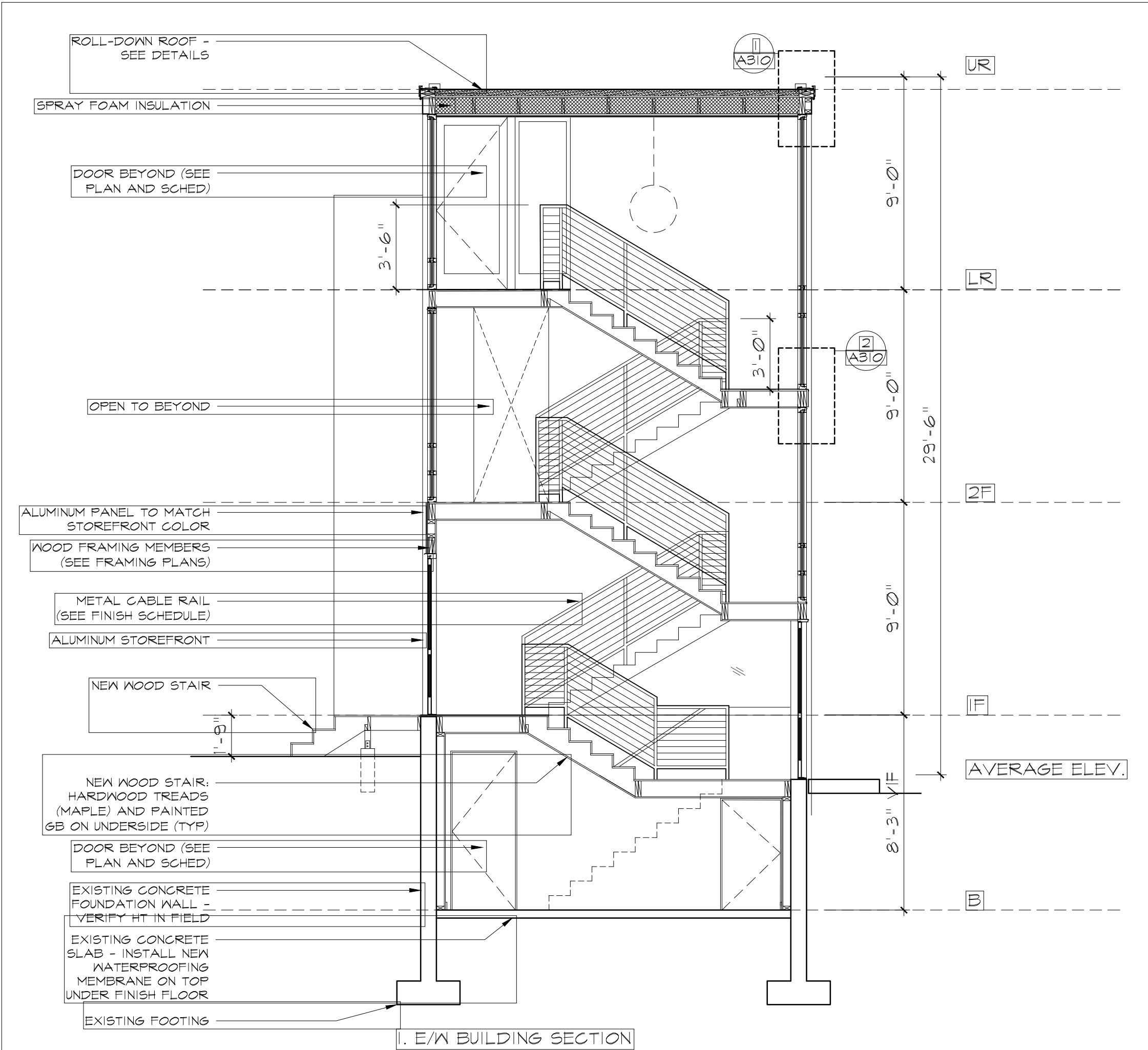
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BUILDING SECTIONS
PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
1. Issue for DFD0B Plan Check Response	2 JAN 2021
Issue for AHRB	10 MAR 2021
Issue for ZBA	10 MAR 2021

Scale:	1/4"=1'-0"	Date 5 DEC 20:	--
Drawn by:	NL	Checked by:	NL

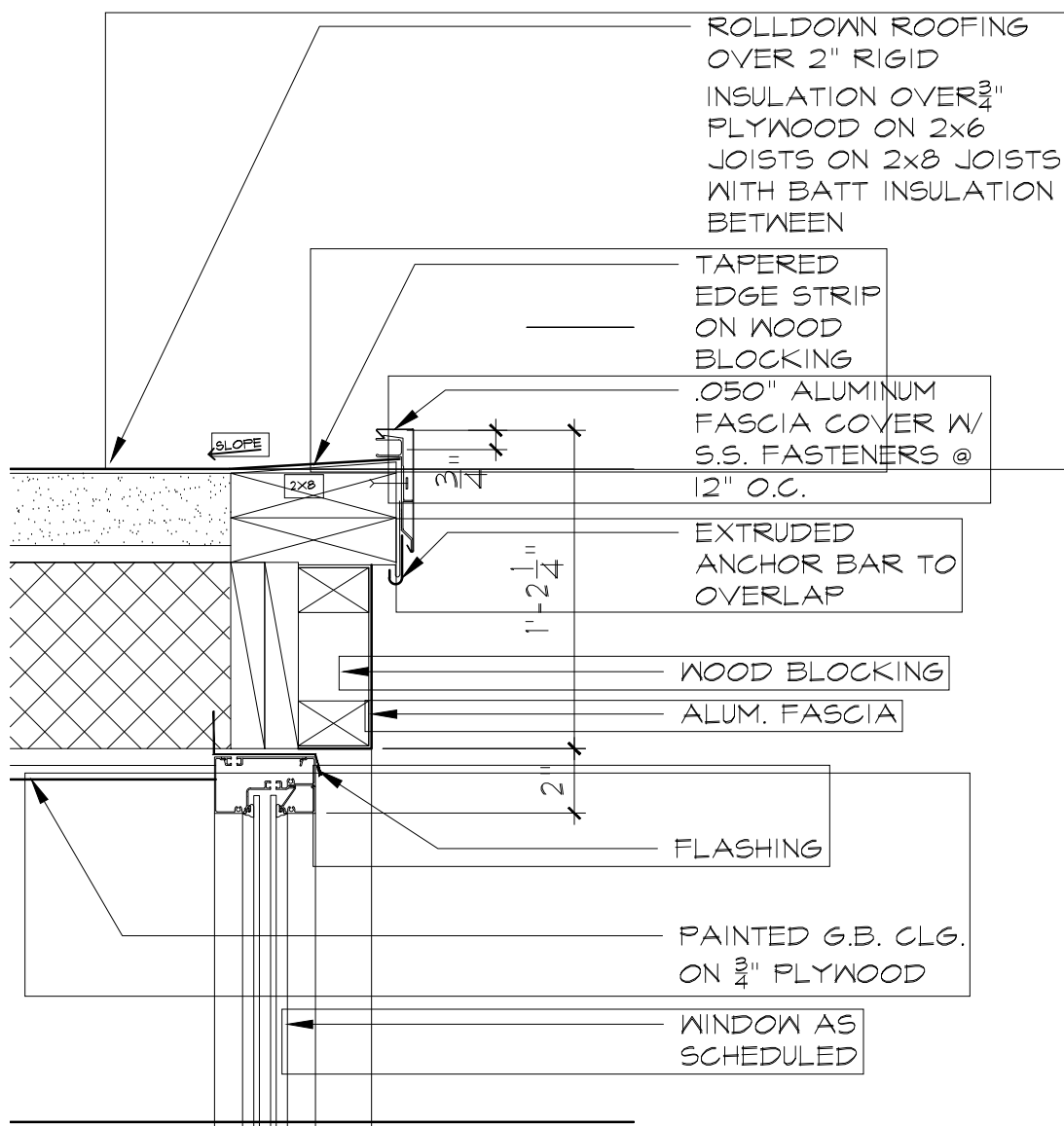
Drawing number	Rev. number
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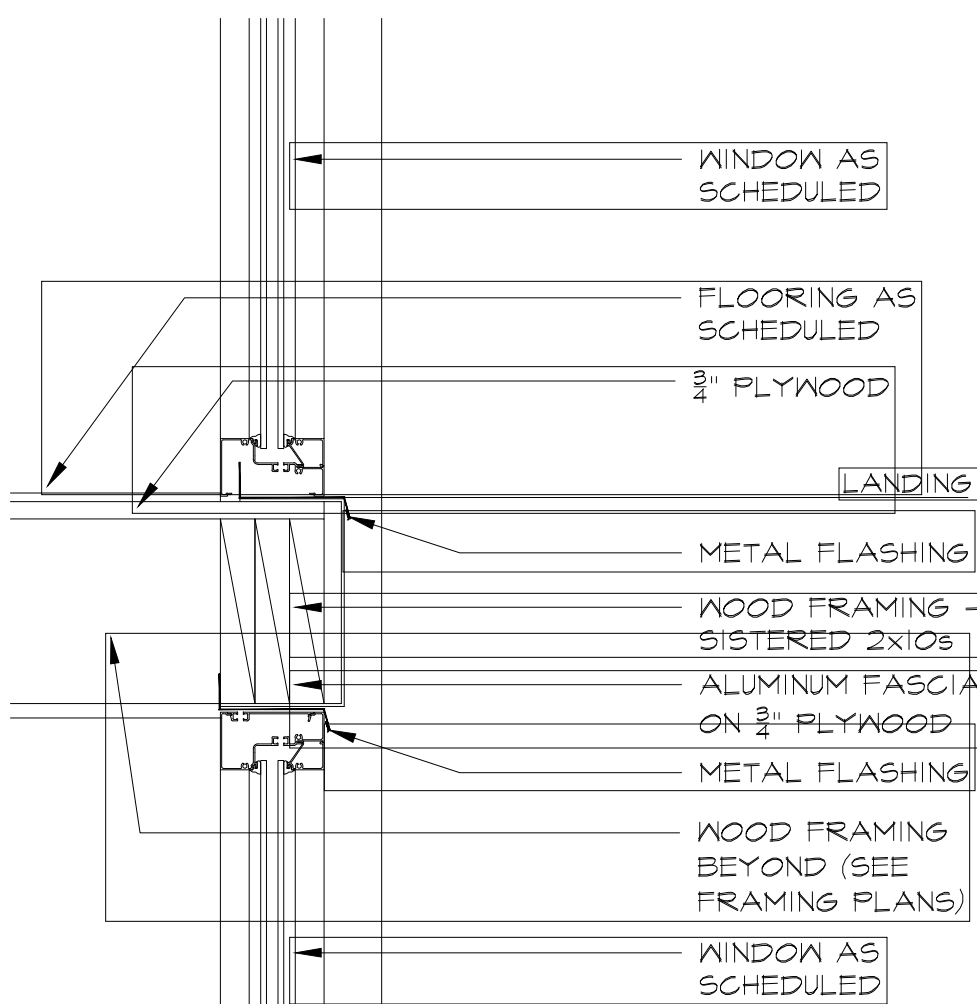
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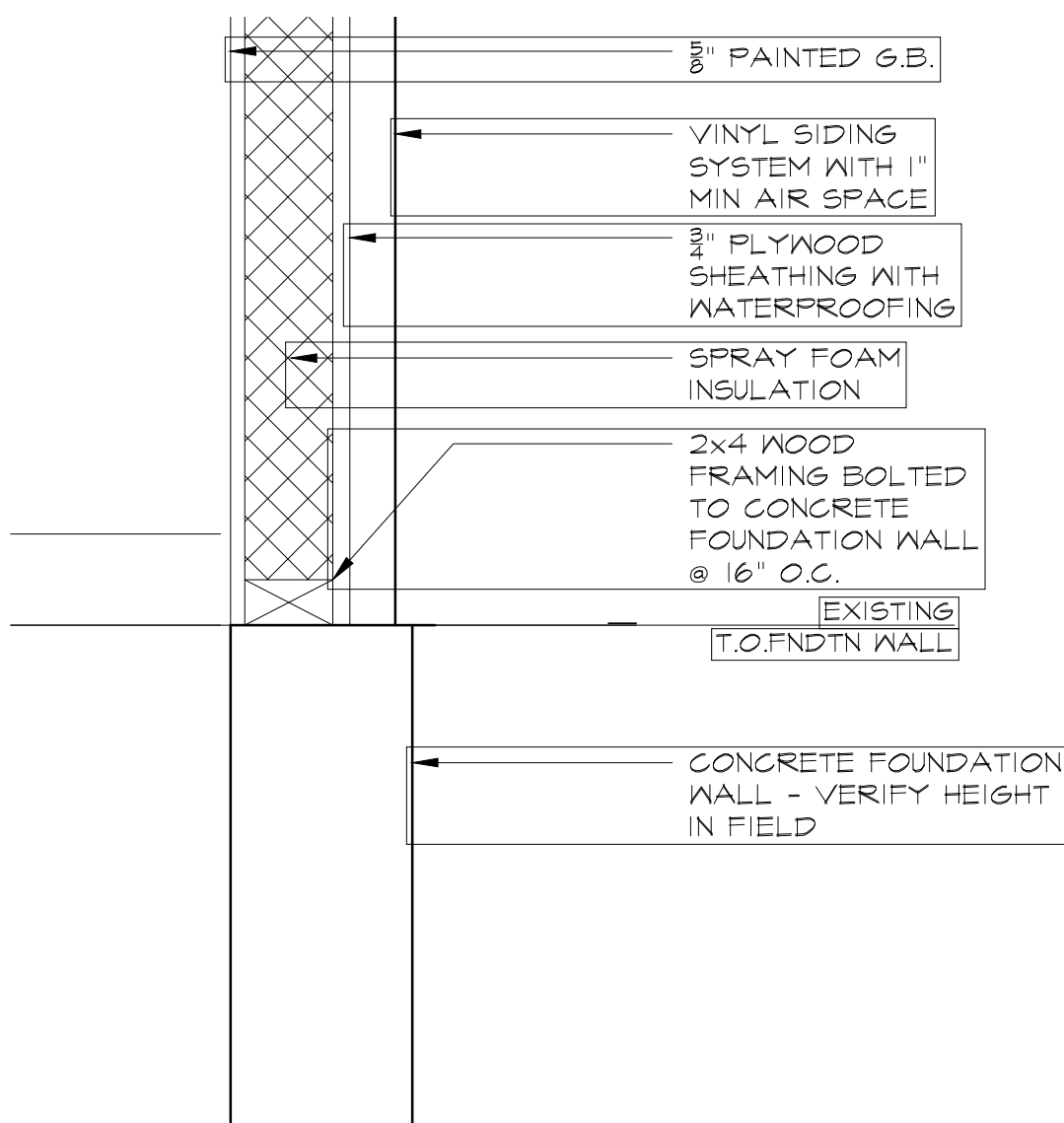
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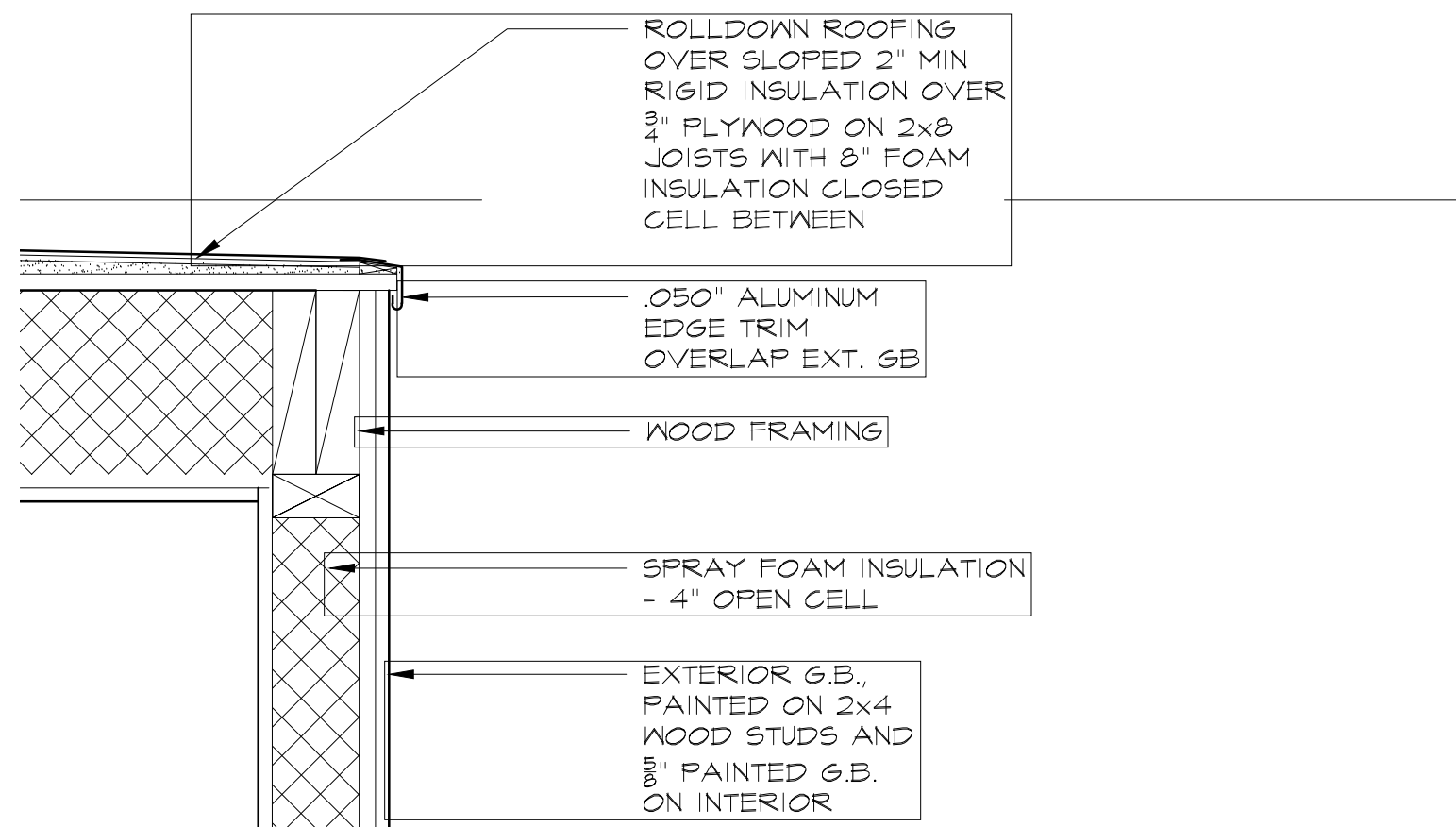
1. DETAIL WALL SECTION



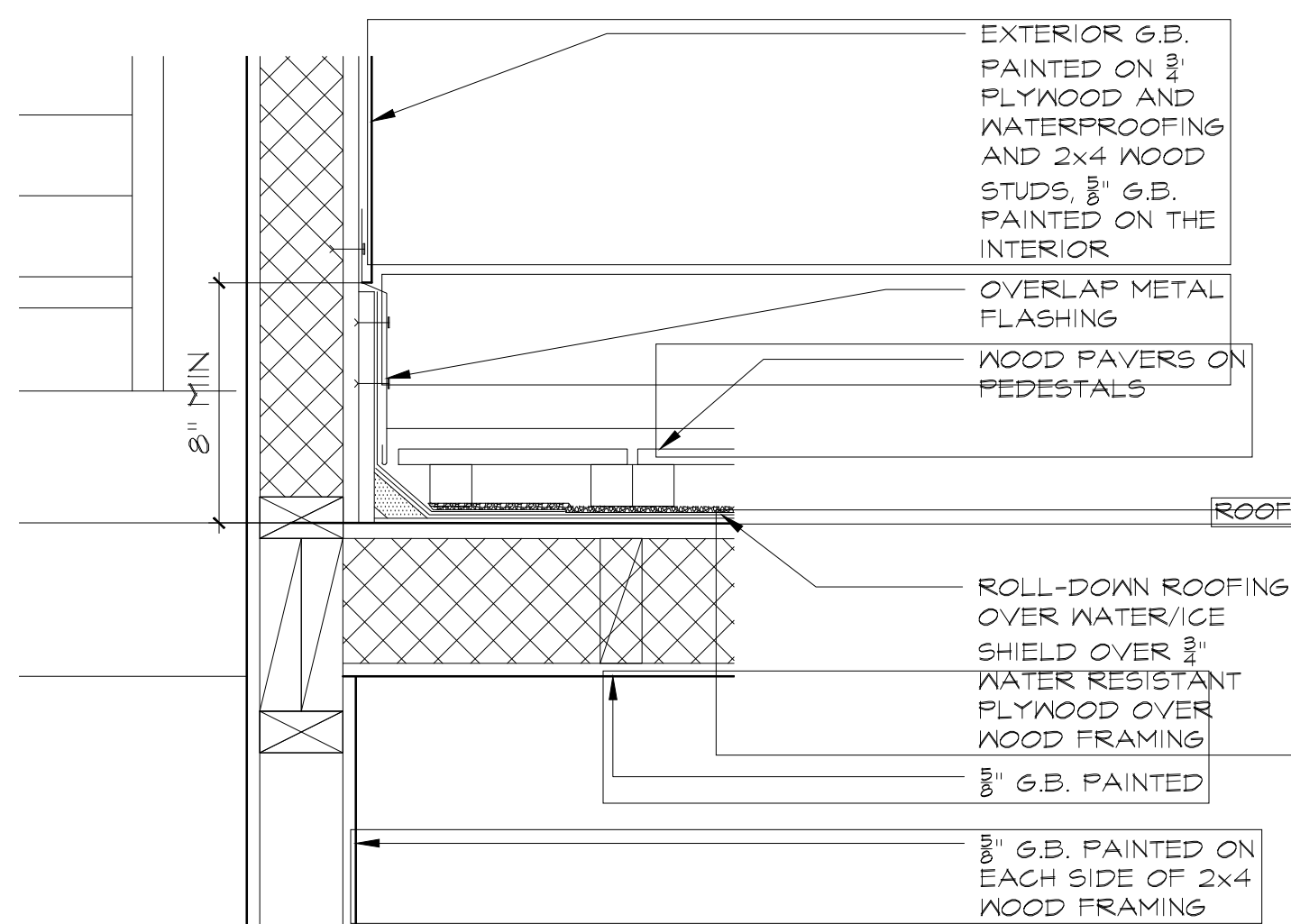
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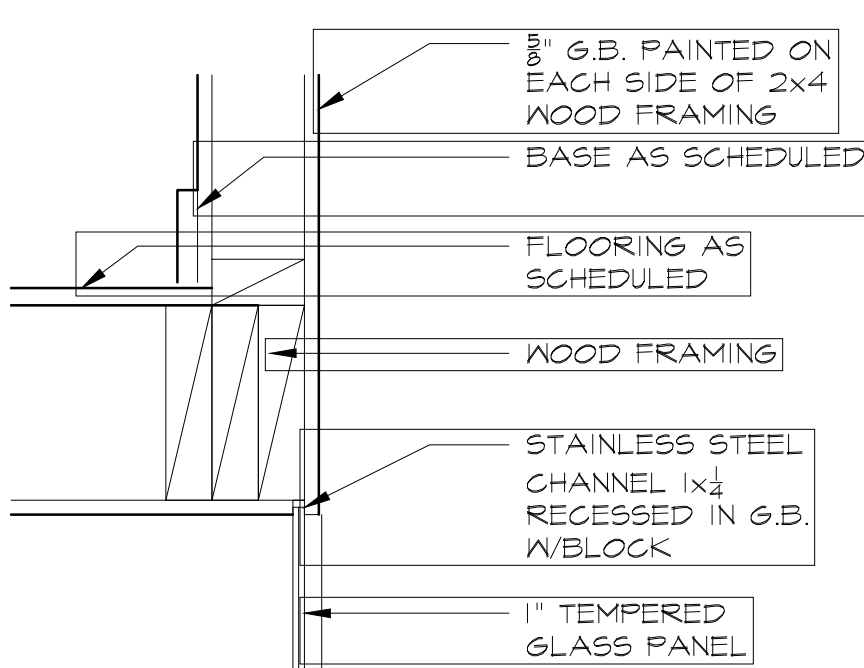
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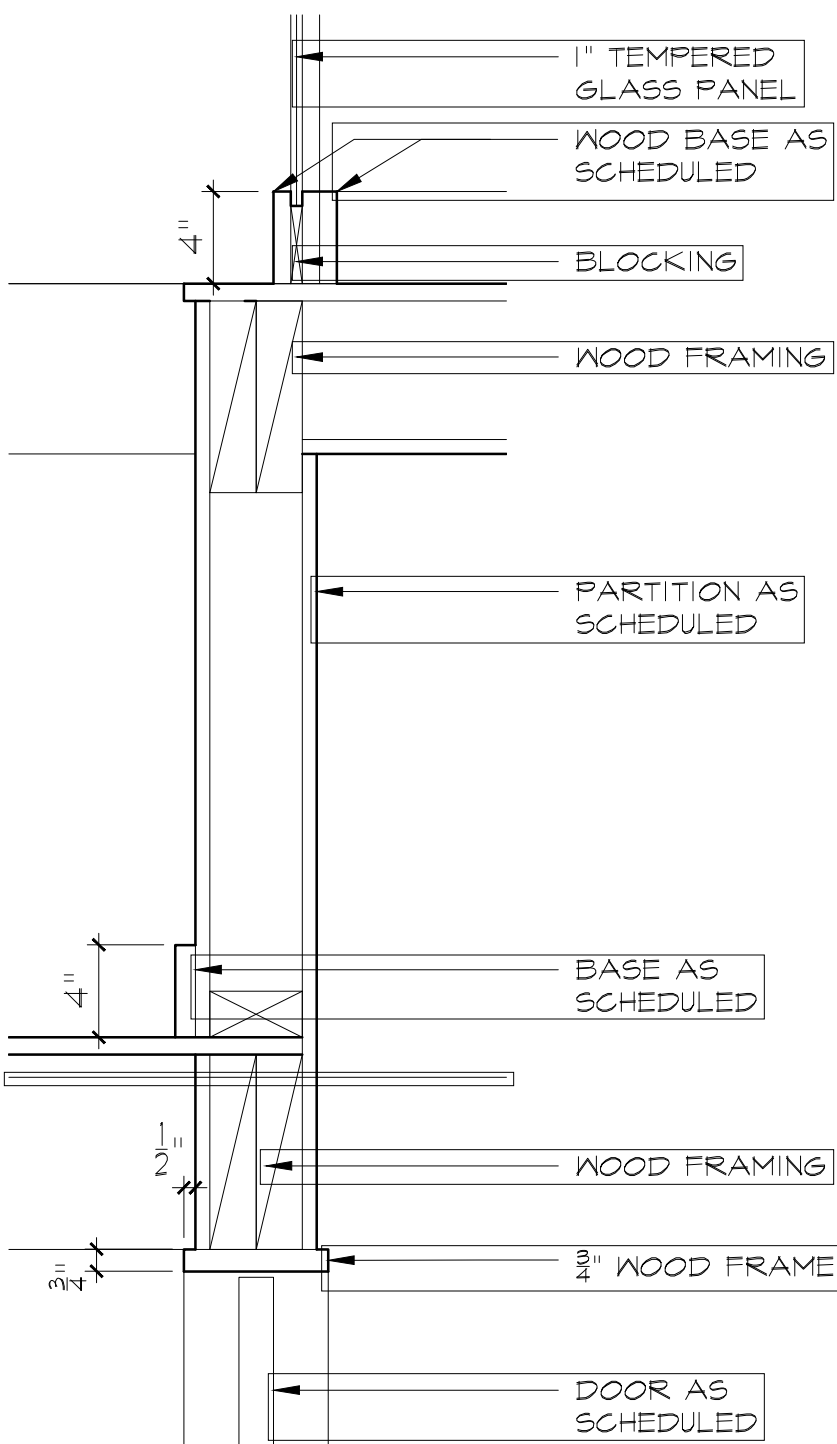
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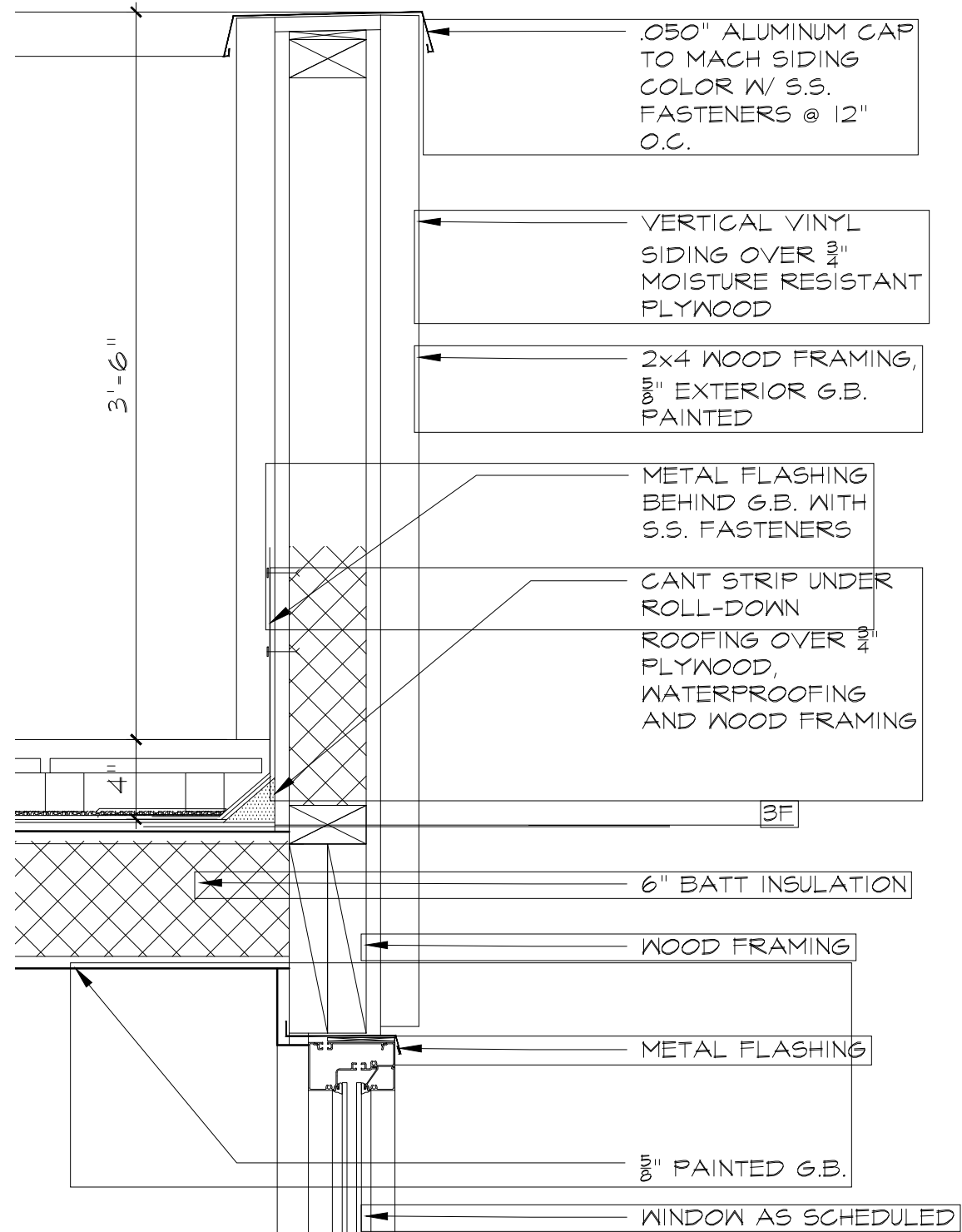
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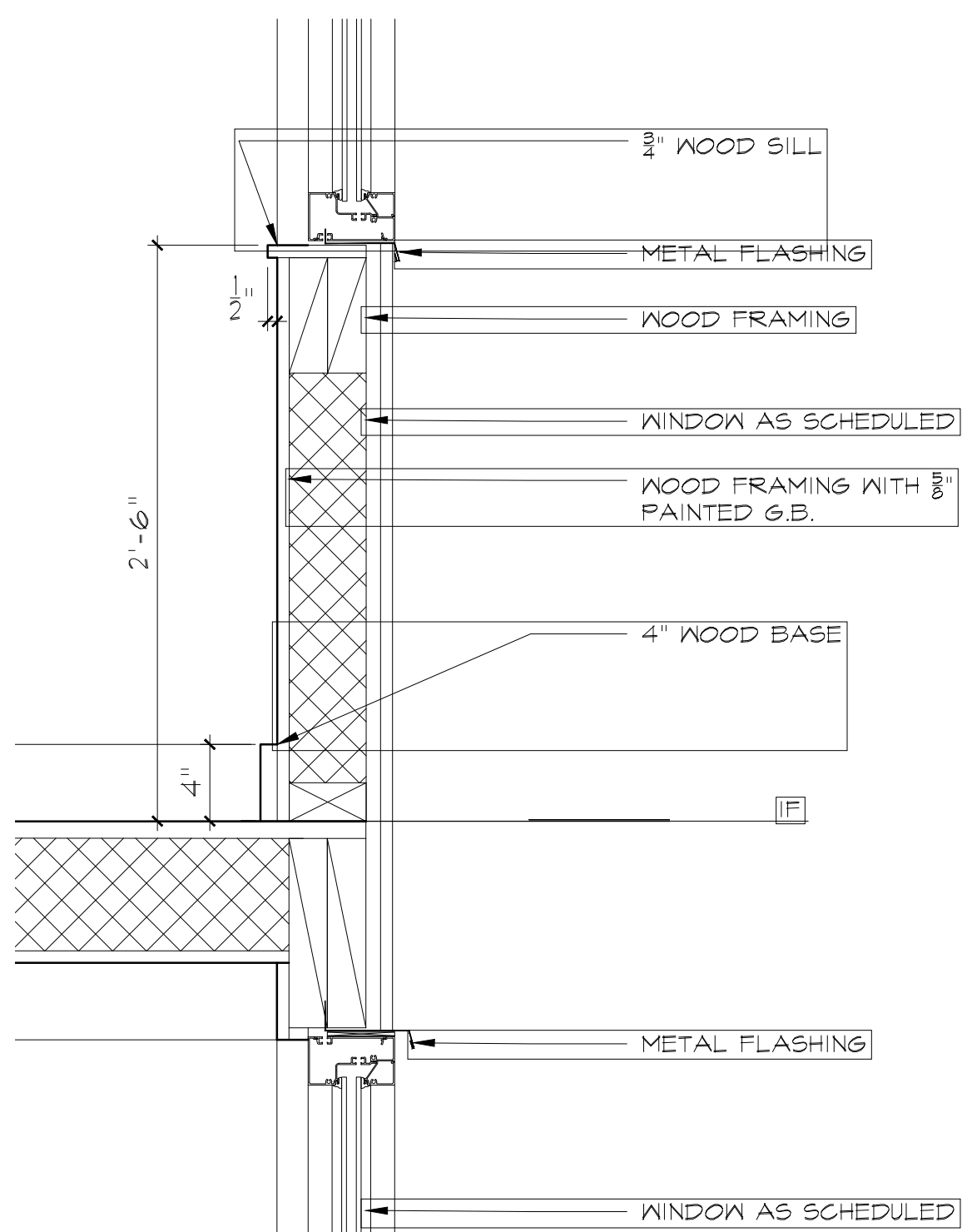
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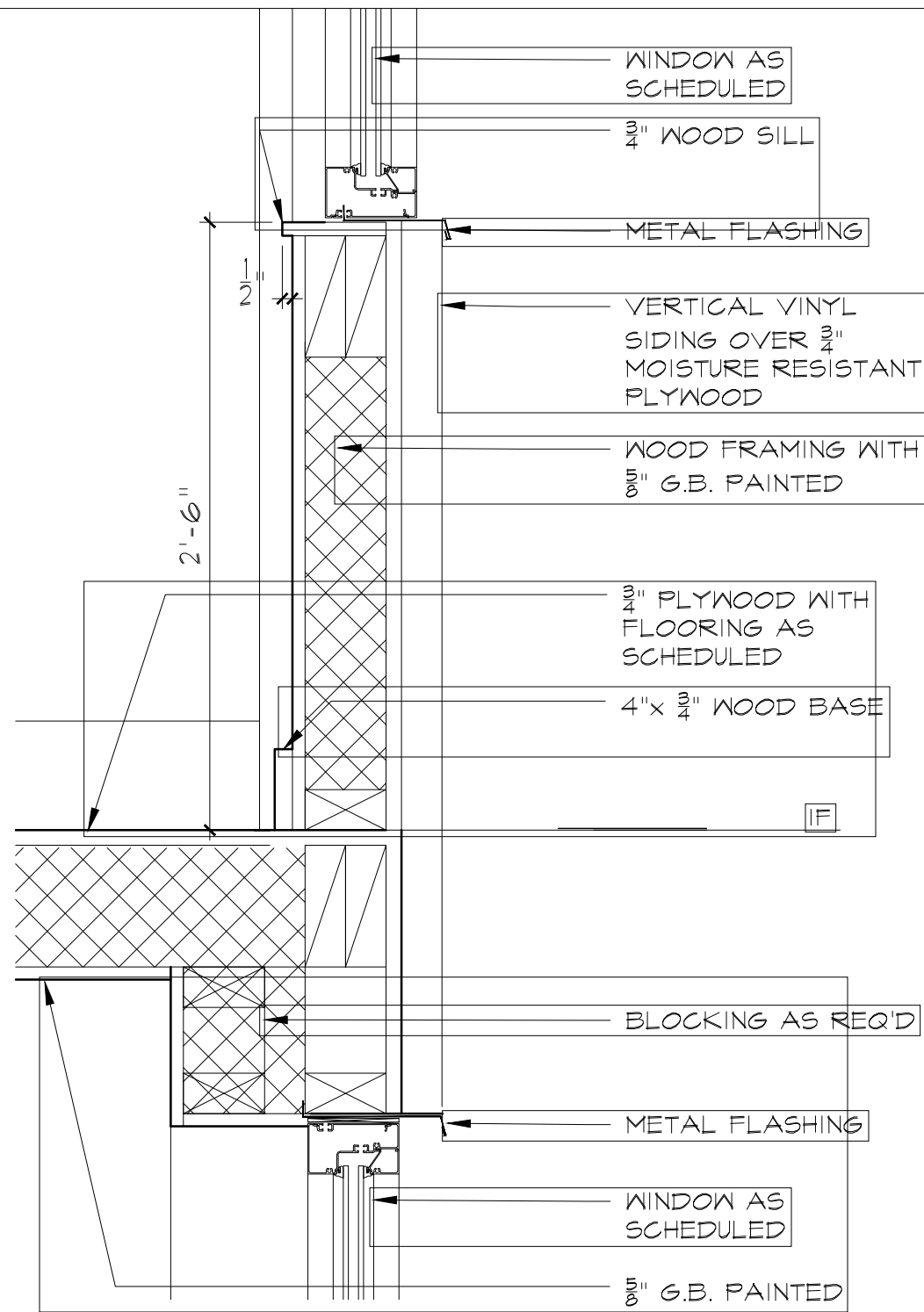
7. DETAIL WALL SECTION



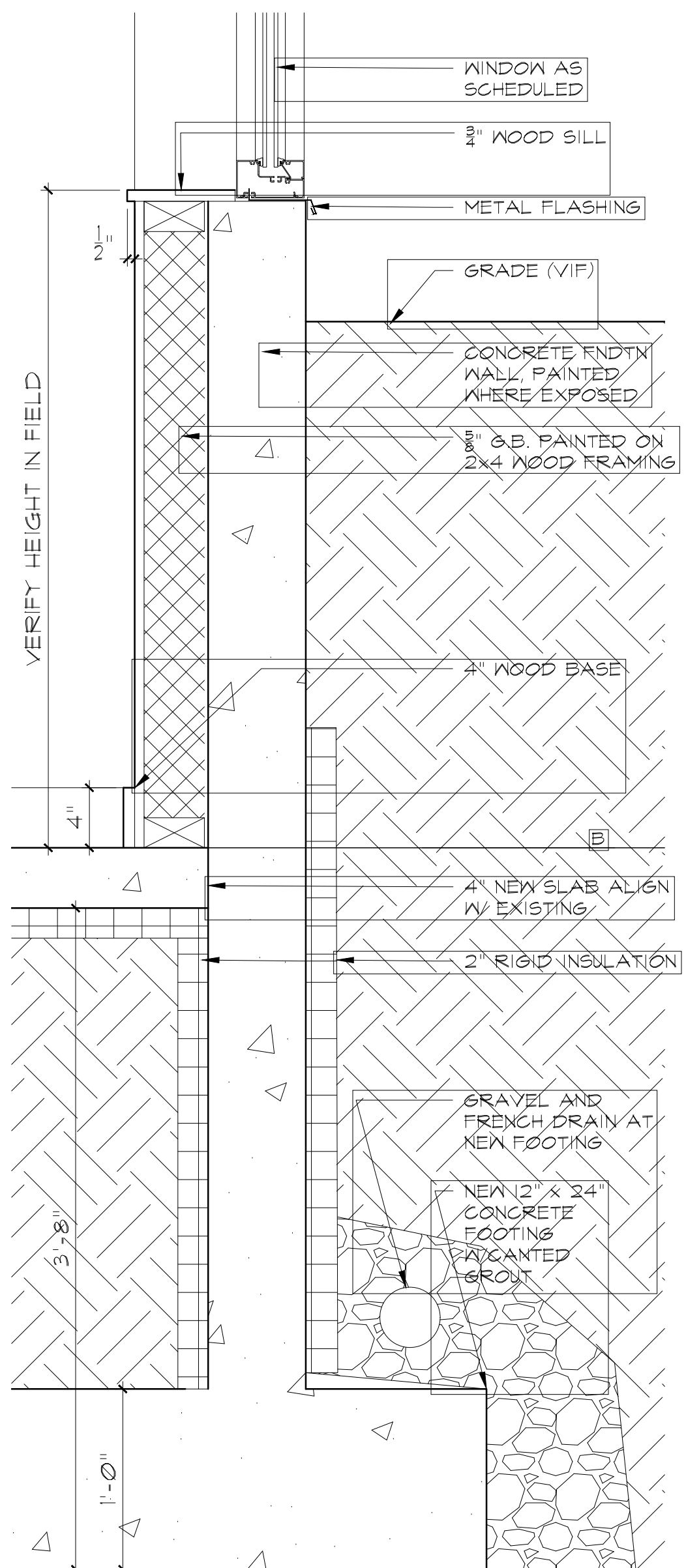
8. DETAIL WALL SECTION



9. DETAIL WALL SECTION



10. DETAIL WALL SECTION



11. DETAIL WALL SECTION

Nina Lesser, RA, LEED AP

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HOUSE RENOVATION

16 Tiernans Lane
Dobbs Ferry, NY 10522

Notes :

1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All 't.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

Consultants

EXTERIOR WALL DETAILS PROPOSED

Revision	Date
Issue for Plan Check	05 DEC 2020
1. Issue for DFD0B Plan Check Response	22 JAN 2021
Issue for AHRB	10 MAR 2021
Issue for ZBA	10 MAR 2021

Scale:	1/8"=1'-0"	Date: 5 DEC 20	--
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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A301

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