

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	MTD.	MOUNTED
BOT.	BOTTOM	MTL.	METAL
CLG.	CEILING	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	PTD.	PAINTED
FIXT.	FIXTURE	TYP.	TYPICAL
CONC.	CONCRETE	U.N.O.	UNLESS NOTED OTHERWISE
GC	GENERAL CONTRACTOR	V.C.T.	VINYL COMPOSITE TILE
GWB	GYPSUM WALL BOARD	V.I.F.	VERIFY IN FIELD
GL.	GLASS	WD.	WOOD
HT.	HEIGHT		

LEGEND

SYMBOL	DESCRIPTION
	DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET
	SECTION OR ELEVATION REFERENCE
	REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE
	DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION.
	EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED
	WINDOW SYMBOL
	EXISTING CONSTRUCTION TO REMAIN
	SWINGING DOOR WITH SIZE-TYPE IDENTIFICATION (2068-A DENOTES 2'-0" X 6'-8" TYPE A DOOR)
	NEW CONSTRUCTION WALL REFERENCE, LETTER WITHIN DIAMOND CORRESPONDS TO CONSTRUCTION DETAIL OR SPECIFICATIONS
	ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE WHERE REQ'D (GF-1 DENOTES GROUND FAULT INTERRUPTER)
	NEW ELECTRICAL QUADRUPLUX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
	TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
	NEW FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE
	ELEC. JUNCTION BOX, (USE SMALLEST FOR SCENCES)
	RECESSED 6" DIAMETER LED LIGHTING FIXTURE "PROGRESS" OR EQ. WITH WHITE TRIM, 1500 MIN LUMEN LAMP, 3000 K CRI, LOWERCASE LETTER DESCRIBES CIRCUIT AND SWITCH CONTROL WHERE SHOWN
	SCONCE FOR BATHROOMS BY "REJUVENATION" SILETZ #578, WITH SHADE 143 L, 2 LED LAMPS, WET LOCATION
	EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE "PROGRESS" P5671-50 WITH W/ LED CANDELABRA LAMPS MILLSTONE (DULL SILVER FINISH)
	FLOOD LIGHT WITH 150 W PAR LAMPS
	RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE, "PROGRESS" OR EQ., 1500 MIN. LUMEN LAMP, 3000 K WHITE TRIM
	SURFACE INCANDESCENT LIGHTING FIXTURE "REJUVENATION", MORELAND, #CC065, SHADE #018CE BRUSHED NICKEL FINISH, LED LAMPS
	FLUORESCENT LIGHT FIXTURE WARM WHITE T8 LAMPS
	PORCELAIN SOCKET, LED LAMPS
	FANLIGHT, DUCT TO EXTERIOR, WET LOCATION "PANASONIC" MODEL ###
	SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES 3-WAY SWITCH) COORDINATE LOCATION WITH TRIM.
	SMOKE DETECTOR, HARDWIRED & INTERCONNECTED
	HEAT DETECTOR HARDWIRED & INTERCONNECTED
	CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED
	FIRE EXTINGUISHER, A-B-C RATED 5 LB
	HOSE BIB (FROST FREE)
	CEILING DIFFUSER (SUPPLY), WHITE
	CEILING REGISTER (RETURN), WHITE

OUTLINE SPECIFICATIONS

1. GENERAL REQUIREMENTS
 GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
 GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION AND RELATED PERFORMANCE CRITERIA. GENERAL CONTRACTOR SHALL CONTACT STEVEN SECON ARCHITECT REGARDING ANY DEVIATIONS OR FIELD CONDITIONS CONFLICTING WITH THE DRAWINGS.
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED.
 ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED, STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
 ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE WRITTEN APPROVAL FROM STEVEN SECON ARCHITECT PRIOR TO INSTALLATION.
 REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES.
 SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.
 PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE WORK. PROVIDE P.E. ENGINEERING DRAWINGS AS REQUIRED BY LOCAL MUNICIPALITY.
 PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED WORK AND PERSONNEL.
 ALL MECHANICAL/ELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FIXTURES OR CONSTRUCTION SHOWN MECHANICAL/ELECTRICAL, AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED TRADESMAN.
 THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM ARCHITECT.
 THE GC SHALL COORDINATE THE WORK OF ALL TRADES.
 THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL.
 SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN OWNER-CONTRACTOR AGREEMENT IN AIA G702 FORMAT. PROVIDE UNIT PRICES AND ALLOWANCES AS PER OWNER-CONTRACTOR AGREEMENT.
 ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.
 PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION.
 WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER.
 PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES.
 WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION.
 THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED WORK EXPERIENCE ON PROJECTS OF THE PROJECT PLUS 2 YEARS.
 WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS.
 CONTRACTOR SHALL PROVIDE SEGREGATED ACCOUNTING RELATED TO ENERGY SAVINGS FOR OWNERS TAX CREDIT PURPOSES. THIS INCLUDES, BUT IS NOT LIMITED TO WINDOWS, EXTERIOR DOORS, INSULATION, ROOF SHEATHING, HVAC SYSTEMS, CALCULUS, WEATHERSEALS, HOT WATER PRODUCTION, ENERGY SAVING LAMPS.
 CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.
 CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS. OWNER SHALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING PLUS CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION.

2. METALS
 1. THE DESIGN, FABRICATION, TRANSPORTATION, AND ERECTION OF ALL STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STEEL CONSTRUCTION MANUAL", THE AISC.
 2. WELDING OF STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STRUCTURAL WELDING CODE", THE AWS, D1.1.3. WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW HYDROGEN.
 3. WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW HYDROGEN FOR FIELD WELDING.
 4. STRUCTURAL STEEL FOR HOT ROLLED PLATES, ANGLES, CHANNELS SHALL BE ASTM A36.
 5. STRUCTURAL STEEL FOR W SECTION BEAMS SHALL BE 50 KSI A-992.
 6. STRUCTURAL STEEL PIPES SHALL BE IN COMPLIANCE WITH ASTM A501, WHERE USED FOR COLUMNS, THE CENTER VOID SHALL BE ENTIRELY GROUT FILLED SOLID.
 7. STRUCTURAL TUBING SHALL BE IN CONFORMANCE WITH ASTM A500, GRADE B.
 8. ALL STRUCTURAL STEEL SHALL RECEIVE SURFACE PREPARATION IN ACCORDANCE WITH SSPC-SP3 FOR POWER TOOL CLEANING.
 9. PRIMING PAINT FOR STRUCTURAL STEEL SHALL BE "4-55 VERSARE PRIMER" AS MANUFACTURED BY THE TITANCO CO.
 10. STEEL RAILINGS TO BE FABRICATED PER ASTM A500 & ASTM A53 FROM 1/2" BAR-STOCK AT BALUSTERS, 2" SQ. TUBE NEMELS, 2" SHAPED HANDRAILINGS, BALL CAPS AT NEWELS PROVIDE EPOXY GROUT SLEEVE ANCHORAGE WITH 8" MIN. EMBEDMENT. RAILINGS MUST WITHSTAND 200LBF AS GUARDRAILS, 50LBF AS HANDRAILS.
 11. ALUMINUM RAILINGS MADE OF EXTRUDED BAR OR TUBE PER ASTM B221, ALLOY 6063-T5/T52. STAINLESS STEEL TUBING PER ASTM A554. SUBMIT 2" X 2" MINIMUM SAMPLE FOR APPROVAL OF EACH FINISH CLEAR ANODIC ANAA 6071.
 12. LIGHT GAUGE METAL FRAMING SHALL BE IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE PUBLICATIONS.
 13. PROVIDE 1/2" THIN STEEL STIFFENER PLATES AT POINT LOADS. PROVIDE 1/2" THIN STEEL BEARING AND BASEPLATES AT COLUMN LOCATIONS, BEAM POINTS OF JOINTS/FUNCTION WALLS.
 14. STEEL FOR FLITCHPLATES SHALL BE A-50, PRE-DRILLED AND CONTINUOUS IN LENGTH

3. WOOD AND PLASTICS
 1. THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER CONSTRUCTION MANUAL", THE AIA AND "MANUAL FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST EDITION.
 2. ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES: F(B) = 1,350 PSI F(W) = 75 PSI E = 1,350,000 PSI F(T) = 875 PSI F(C) = 125 PSI(PARA) F(C) = 825 PSI(PARA)
 3. ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%.
 4. SILLS, NAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE.
 5. THE DESIGN, TRANSPORTATION AND ERECTION OF ALL PLYWOOD SHALL BE IN ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
 6. PLYWOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL I INT-DPFA"
 7. PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL I EXT-DPFA"
 8. JOIST/HANGER HANGERS SHALL BE #18 GAGE GALVANIZED STEEL UNO BY TECO OR SIMPSON, USE COMPATIBLE NAILS AS RECOMMENDED BY MANUF.

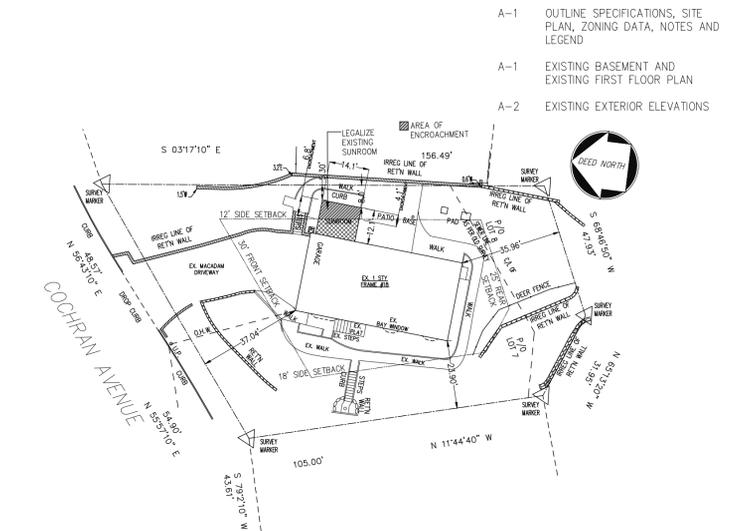
4. FINISHES
 9. NAILING SCHEDULES SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS:
 PLYWOOD OVER JOISTS - 6" O/C, MIN 16D NAILS
 PLYWOOD OVER WALL STUDS - 6" O/C @ INTER MEMBERS; MIN 16D NAILS 4" O/C @ PANEL EDGES; MIN 16D NAILS
 10. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACC-PRESSURE TREATED PRESERVATIVE. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSEED WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED C-185 PROCESS.
 11. PLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2" THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS. ALL PLYWOOD SHALL BE APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA A9-C1.
 12. ENGINEERED LUMBER BY TRUS-JOIST MCMLLAN INSTALLED PER MANUFACTURERS INSTRUCTIONS.
 DO NOT CUT HOLES IN DIMENSIONAL LUMBER EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCH. FOR REINFORCEMENT STRUCTURES. DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING SHALL BE IN ACCORDANCE WITH MANUF. RECOMMENDATIONS.
 INSTALL PRESSURE TREATED SILL PLATES AT TOP OF FOUNDATION WALL AND CHD WITH 1/2" DIA. 8" LONG ANCHOR BOLTS AT 6" O.C. MAX. OVER SILL SEAL. PROVIDE METAL TERMITE SHIELD AT BASE OF SILL PLATES.
 CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.
 FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS AND WHERE REQUIRED BY CODE.
 PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL PARTITIONS.
 MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR DIM. LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.
 PRE-FAB WOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION". SUBMIT SHOP DRAWINGS FOR APPROVAL.
 PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE JOISTS.
 FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURAL WOODWORK QUALITY STANDARDS"-PREMIUM QUALITY LEVEL.
 MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE CLEAR POPLAR OR PINE. ALLOW WOOD TO SEASON ON SITE. SCARF JOINTS.
 EXPOSED ENDS OF POSTS, BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT PRESERVATIVE CONTAINING 3-1000-2PROMPYL CARBAMATE COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT.

5. THERMAL AND MOISTURE PROTECTION
 BUILDING WRAP BY "HYDROGAP" DRAINABLE HOUSEWRAP BY BENJAMIN OBDYKE OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL PREFORMED FLASHING, SEAL. PROVIDE END DAMS WHERE REQUIRED. USE FLASHING TAPE AT OPENINGS BY "HYDROFLASH" SELF ADHERED FLASHING TAPE.
 BATT INSULATION TO BE FIBERGLASS BATTIS W/ WITH VAPOR BARRIER, R-21 WALLS, R-49 CEILINGS/ROOF OR FLOORS/CEILING W/ UNHEATED SPACES BELOW. VAPOR BARRIER TO WARM SIDE. FIRE-RETARDANT WHERE REQUIRED.
 RIDG INSULATION TO BE POLYISOCYANURATE: 2" AT SLAB EDGE AND FDN PERIMETER, 24" DOWN AND 24" IN.
 "CERTASPRAY", SPRAY POLYURETHANE FOM INSULATION SHALL BE CLOSED CELL TYPE BY CERTAINTED IN MAXIMUM THICKNESS. INSTALLED PER MANUFACTURER DIRECTIONS.
 VAPOR BARRIER TO BE 6 MIL POLYETHYLENE. OVERLAP AND TAPE SEAMS.
 FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AND FLASHING TAPE FOR WATERPROOF SEAL. PROVIDE SMALL DRIP EDGE. SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED WIND LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL-FLASHED CRICKETS AS REQUIRED.
 PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C920.
 PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES PER ASTM E 814 BY TREMO OR 3M FIRE PRODUCTS.
 WOOD SIDING TO BE REBUTTED AND REJOINED RED CEDAR SIDING, 7" EXPOSURE, FULLY BACK-FRAMED. USE NO 1. BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND SHINGLE BUREAU MANUAL.
 PREMIUM VINYL SIDING BY "ALCOA" MASTIC SERIES, CEDAR SHAKE PATTERN CD-TOP. INSTALL PER ASTM D3679 .06 MIN. THICKNESS WITH MATCHING FACTORY FINISHED POLYESTER-COATED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS.
 PROVIDE SAMPLES IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR APPROVAL. USE MAXIMUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO PROJECT.
 WOOD TRIM TOP BE SELECT PINE OR POPLAR, FULLY BACK PRIMED. PROVIDE CAP FLASHING AT WINDOW HEADS AND SILLS, TRIM BOARDS, WATERTABLES, TRANSITIONS BETWEEN SHINGLE STYLES.
 PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO DRYWELLS (V.I.F) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS. PROVIDE CORRUGATED HOPE BOOT AT GRADE TO JOIN SUBGRADE PIPING.
 PROVIDE RIDGE VENT, CAVITY BAFFLES AND EAKE VENTS. 3/8" MIN. VENT TO SF RATIO.
 ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE", 40 YEAR, 3 TAB ARCH. ASPHALT ON 30# ROOF FELT AT SLOPES 3:12 AND OVER. USE ICE & WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS; BELOW 3:12 USE ICE & WATER SHIELD THROUGHOUT PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A. RESIDENTIAL ASPHALT ROOF MANUAL.
 PROVIDE WATER-PROOFING AT THE OUTSIDE OF THE FOUNDATION WALLS CONSISTING OF "BITUTHENE" 4000 (OR EQUAL) 60 MIL SHEET WITH 1/4" ASPHALTIC PROTECTION BOARD AND Dimpled DRAINAGE BOARD.
 APPLY COLO-APPLIED ASPHALT EMULSION DAMPROOFING TO THE CAVITY FACE OF WALLS AS SELECTED BY OWNER OR AS REQUIRED TO MATCH EXISTING WINDOW HARDWARE FINISH AS SELECTED BY OWNER. TEMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW BEFORE PURCHASE. ALL WINDOWS TO BE WEATHER STRIPPED, FLASHED AND CAULKED.
 INSULATE MECHANICAL SERVICE LINES AND EQUIP. IN ACCORDANCE WITH BEST INDUSTRY AND TRADE PRACTICES.

6. WINDOWS AND DOORS
 WINDOWS ARE MARVIN WINDOWS, WOOD W/ VINYL CLAD, ARGON INSUL., LOW E (.34 U MAX.) GLAZING WITH SCREENS, EXTENSION JAMBS AS REQ'D. (NOTE DIFFERENT WALL THK'S) FINISH AS SELECTED BY OWNER OR AS REQUIRED TO MATCH EXISTING WINDOW HARDWARE FINISH AS SELECTED BY OWNER. TEMPERED GLASS WHERE REQUIRED BY CODE. PROVIDE WINDOW ORDER-LIST FOR REVIEW BEFORE PURCHASE. ALL WINDOWS TO BE WEATHER STRIPPED, FLASHED AND CAULKED.
 HARDWARE AS MANUFACTURED BY: HINGES-"STANLEY", LOCKSETS AND LATCHSETS-"YALE", SELF-CLOSING HINGES-"BOMBER", SLIDING DOOR SETS & POCKET SLIDERS-"HAZEL", WEATHERSTRIPING & THRESHOLDS-"PEMCO", DOOR SETS & BIFOLD DOOR SETS-"STANLEY", FINISH AS SELECTED OR AS REQUIRED TO MATCH EXISTING. HARDWARE FUNCTIONS PER BUILDERS HARDWARE MANUFACTURERS ASSOCIATION STANDARDS.
 EXT. DOORS ARE BASED ON "MORGAN" EXTERIOR GRADE 1 3/4" PINE 7000 SERIES, WITH ADJOINING SLOEGHTS AS SHOWN, WITH FRAME. (OR AS NOTED ON DRAWINGS) OR GLENEN INSULATED PREFRISHED DECKING-FIBERGLASS DOORS. ###
 INTERIOR DOORS ARE BASED ON "MORGAN" INT. GRADE 1 3/8" THICK, PANELED CONTOURING TO MATCH EXISTING OR WOOD 1000 SERIES WITH FRAME. SEE DOOR TYPES. STEEL DOORS FOR EXTERIOR USE SHALL BE INSULATED 14 GA. FRAMES, AND 16 STEEL FACE DOOR, INTERIOR USE SHALL BE 16 GA. FRAMES WITH 18 GA. STEEL FACE DOOR.

7. FINISHES
 UNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARD TO BE 1/2 TYPE X. USE WR (GREENBOARD) TYPE X AT ALL WALLS ADJACENT TO PLUMBING FIXTURES, SCREWED AND QUIED PER LEVEL 5 GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUBGRADE LEVELS AND NON-COITIONED SPACES (MOLD-TOUGH BY USG OR EQUAL).
 PROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE AND SPAKLE ALL JOINTS, 3 COATS, FEATHERED.
 STUCCO PORTLAND CEMENT PLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH, PROVIDE CONTROL JOINTS AT 20' MAX AND AT FLOOR LEVEL JUNCTURE. ALIGN WITH NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREENS, CORNER BEADS, AND ACCESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.
 WOOD FLOOR TO BE 3/4" X 2 1/4" T & G OAK TO MATCH EXIST'S (SEE FIN. SCHED./W/ BLDG FELT AND CAVITY INSUL WHERE REQ. ALLOW WOOD FLOOR MATERIAL TO SEASON ON SITE PER MANUF. GUIDELINES, ALLOW GAP AT EDGES FOR EXPANSION PER MANUFACTURERS RECOMMENDATION.
 CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS. PROVIDE COVE, BULLNOSED AND SPECIAL SHARPO TILE GROUT AND SEAL. USE GROUT AS RECOMMENDED BY TILE MANUF. COLOR TO BE SELECTED. SEAL GROUT. PROVIDE MARBLE SADDLES AT FL. TILE USE MUDSET TILING APPLICATION FOR SHOWER ENCL. TO DRAIN W/ FULLY BONDED PVC LINER-PAN BELOW.
 USE 1/2" CEMENT BACKER BOARD BEHIND CER. TILE AT TUB/SHWR SURROUND.
 PROVIDE WATERPROOF VINYL MEMBRANE (OR EQUAL) BELOW CER. & MARBLE FLOOR TILE. TURN UP 4" AT WALLS.
 PAINT SHALL BE "PRATT AND LAMBERT" EXTERIOR LATEX, FLAT-SIDING SATIN- FOR TRIM AND DOORS, INTERIOR QWB; EGGSHELL LUSTER- WALLS SATIN- TRIM AND DOORS; PREP ALL SURFACES PER MANUF. INSTRUCTIONS PRIME AND PAINT ALL SCHEDULED SURFACES 2 COATS MIN. COLORS TO BE SELECTED. PROVIDE 2" X 2" MCKUP FOR APPROVAL OF EACH COLOR. APPLY PAINT WITH AREAS LIGHTED AT A MINIMUM 100 FOOTCANDELS.
 PROVIDE 100% ATTIC STUCCO TILE & PAINT FOR FUTURE OWNER USE.
8. SPECIALTIES
 TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE BLOCKING AND ANCHORAGE WHERE REQUIRED.
9. EQUIPMENT 12, 13, 14 NOT USED
 INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO : DISHWASHER, M.W. OVEN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL.
 KITCHEN CABINETS AND VANITIES SHALL BE PREM. GRADE, 3/4" PLYMD FINISH CONSTR. IN STOCK SIZES WITH FILLER PANELS AS REQ. (KRAFTMAID OR EQUAL) SOLID RECESSED PANEL SHAKER STYLE DOORS, W/ FULL EXTENSION HEAVY DUTY DRAWER GLIDES, RECYCLING BINS, ROLL-OUT SHELVES AND ACCESSORIES AS REQD LIGHT HONEY FINISH PINE. SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER MANUF. SECTION 1700, STRAIGHT, LEVEL AND FREE OF DISTORTION TO ALLOW FOR UNENCUMBERED OPERATION. CABINET HARDWARE SHALL COMPLY WITH BHMA A156.9.
 PROVIDE CABINET SHOP DRAWINGS FOR REVIEW AND APPROVAL.
 KITCHEN COUNTERTOPS TO BE 1 1/4" MED. GREY PIEDRO CORDOZA WITH 4" STONE BACKSPLASH. COUNTERTOP SHALL HAVE LEADING BULLNOSED EDGE. BACKSPLASH SHALL BE TILED ABOVE SONE BACKSPLASH TO BOTTOM OF WALL CABINET. PROVIDE STONE SAMPLES OR SHOWMO VISIT FOR APPROVAL. MIN. 3/4" OVERHANG BEYOND BASE CABINETS. COORDINATE ALL CUTOUTS AND TEMPLATES WITH OTHER TRADES. INSTALL WITH FEWEST SEAMS POSSIBLE.
 PLASTIC LAMINATE CABINETS AND COUNTERTOPS TO COMPLY WITH AM SECTION 400.
 SOLID POLYMER SURFACING SHALL BE FABRICATED WITH THE FEWEST POSSIBLE SEAMS AND INSTALLED ON OPEN WEB SUBSTRATE ON 16" CENTERS.
10. MECHANICAL
 PLUMBING - DOMESTIC WATER PIPING SHALL BE PEX, BONDED JOINTS, SANITARY AND VENT TO BE CPVC, STORM UNDERGR. SHALL BE BLACK IRON. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ABSORB SHOCK. GAS SERVICE LINES SHALL BE BLACK IRON PER CODE.
 PROVIDE 3 FROST FREE HOSEBIBS IF NOT CALLED OUT OR PROPERLY PROTECTED.
 ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PLANS EXTENDED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED. PROVIDE ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES.
 PROVIDE NEW POINT OF USE GAS FIRED HW HEATERS, COORD. LOCATION W/ ARCH. ALL BATHROOM PLUMBING FIXTURES TO BE WHITE. FAUCETS AND FITTINGS TO BE BRUSHED OR SATIN CHROME. FULLY TEST AND MAKE SYSTEMS OPERATIONAL.
 HVAC - PROVIDE AND MODIFY DUCTWORK REGISTERS AND DIFFUSERS, DAMPERS AS REQUIRED TO CONDITION THE NEW AND EXISTING SPACES TO 72 DEGREES INDOORS WHEN OUTSIDE TEMPERATURE REACHES 80 DEGREES, AND TO DECREASE WHEN OUTSIDE TEMPERATURE REACHES 0 DEGREES. PROVIDE FLUSHABLE STEAM HUMIDIFIER. LOCATE NEW HVAC UNIT IN ATTIC, SEPARATELY ZONE 1ST FL. AND 2ND FL. PROVIDE PROGRAMMABLE THERMOSTATS. HVAC UNIT CAPACITIES ARE PRELIMINARY AND SHOULD BE CONFIRMED BY HVAC SUBCONTRACTOR. LOCATE CONDENSOR UNIT WITHIN PROPERTY LINE. SECRACKS ON PRECAST CONCRETE PADS. LOCATE REFRIGERANT LINES WITHIN EXTRA DEDICATED NON-FUNCTIONAL GUTTER LEADERS. PROVIDE RUPTURE PANS AND ALARM AT EACH AHU. MINIMUM A/C SEER VALUE 13. CONDENSOR UNITS MUST MEET APPLICABLE NOISE DB RATINGS.
 PROVIDE EXHAUST VENTILATION FROM BATHROOMS, KITCHENS PER CODE IF NOT OTHERWISE SPECIFIED.
 PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL OF HVAC LAYOUT.
 DUCTS: ALL DUCTS SHALL BE FABRICATED AND RIDGID INSTALLED WITH REQUIRED BRACING AND SUPPORTS. THE MAIN SUPPLY AND RETURN DUCT SHALL BE ISOLATED FROM THE HEATER AND BLOWER BY MEANS OF FABRIC INSULATORS. PROVIDE DUCT DAMPER FOR EACH RUN. INSULATE ALL DUCTS LOCATED IN GARAGE, ATTIC, AND UNHEATED AREAS. ACOUSTICAL INSULATE DUCTS IN OFFICES, MEETING AND MEDIA ROOMS.
 GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM. ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS. FLOOR GRILLS TO BE WOOD TO MATCH WOOD FLOOR WHERE APPLICABLE.
 HEATING: HEATING CONTRACTOR SHALL BALANCE ENTIRE HOUSE SO THAT ALL ROOMS MAINTAIN COOL EVENLY TO THE REQUIRED TEMPERATURE SET ON THE THERMOSTAT.
 HEATING AND AIR CONDITIONING, SHALL BE OIL-FIRED HYDRO AIR SYSTEM, COMPLETE WITH BOILER, HYDRONIC ZONE CONTROL, THERMOSTATS, OIL TANK, ETC. FOR 5 ZONE. PROVIDE DOMESTIC HOT WATER COIL OR SEPARATE CIRCULATING STORAGE TANK IF REQUIRED IN BOILER. PROVIDE AIR HANDLING UNITS, CONDENSERS, INSULATED SUPPLY DUCTS AND VENTS TO EACH ROOM. HEATING AND COOLING SYSTEM TO BE DESIGNED AND GUARANTEED TO CONFORM TO THE LATEST ASHRAE SPECIFICATIONS AND THE ENERGY CODE OF NEW YORK STATE. HEATING SYSTEM SHALL BE DESIGNED AND GUARANTEED TO MAINTAIN 73° DEGREES F INDOOR TEMPERATURE WITH 7° DEGREES F OUTDOOR TEMPERATURE.
 BOILERS TO BE SIZED APPROPRIATELY AND BEAR ENERGY STAR RATING, WITH AFUE RATING OF 80% OR GREATER. PROVIDE MANUAL AND 2 YEAR WARRANTY.
 GRILLS AND REGISTERS: PROVIDE SUPPLY AND RETURN REGISTERS IN EACH ROOM. ALL SUPPLY GRILLS TO HAVE ADJUSTABLE DAMPERS.
11. ELECTRICAL
 PROVIDE AND INSTALL ELECTRICAL DEVICES AND FIXTURES SHOWN. PROVIDE NEW CIRCUITS AS REQUIRED, USE LINE COVER AND SWITCHPLATES, COLOR TO MATCH WALL, STYLE TO MATCH EX.
 USE GROUND FAULT INTERRUPTERS AT ALL AREAS WITHIN 6' OF WATER SOURCE.
 INSTALL ARC-FAULT INTERRUPTERS WHERE REQUIRED.
 ELECTRICAL RADIANT HEAT BY "SUN TOUCH" OR EQUAL, MATS TO BE PROVIDED BELOW PORCELAIN TILE IN PROGRAMMABLE THERMOSTAT.
 ALL ELECTRICAL WORK TO CONFORM TO LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, UNDERGROUND WIRING TO BE ADEQUATELY ENCASED AND PROTECTED, BEED AND LAID IN TRENCH WITH PROTECT-ALERT TAPE ABOVE.
 MODIFY AND/OR SUPPLEMENT DOOR BELL SYSTEM TO SUIT NEW LAYOUT. PROVIDE AT THE MINIMUM FRONT AND REAR SIDE BELLS. PROVIDE WALL LIGHT SWITCHES FOR LIGHTING AT ALL ROOMS AT STRIKE SIDE OF DOOR INSIDE ROOM.
 PROVIDE 3-WAY WALL SWITCHES FOR LIGHTING AT ALL CORRIDORS AND STAIRS AT EACH END OF PASSAGE.
 PROVIDE NEW ELEC. DUPLEX RECEPTABLES AT 12" O/C IN HABITABLE RMS. PROVIDE 6 TELEPHONE RECEPTABLES IN LOCATIONS DIRECTED BY OWNER.
 PROVIDE 3 CABLE TV OUTLETS IN LOCATIONS DIRECTED BY OWNER.
 PROVIDE METAL JUNCTION AND DEVICE BOXES.
 COORDINATE WITH OWNER'S SECURITY AND/OR COMPUTER VENDOR FOR THEIR INSTALLATION REQUIREMENTS AS NEEDED BEFORE DRYWALL INSTALLATION.
 PROVIDE AND INSTALL NECESSARY DEVICES AND WIRING TO ASSURE THAT COMPLETED CONDITIONS COMPLY WITH:
 SECTION R313.1 - REQUIRES THAT ANY/ALL BEDROOMS/COMMON HALLWAYS SHALL BE EQUIPPED W/ HARD WHEED AND INTEGRATED SMOKE DETECTORS (W/ A BATTERY BACK-UP) W/ A CARBON MONOXIDE DETECTOR (OUTSIDE ALL BEDROOMS) IN THE CORRIDOR AND ANY/ALL BASEMENT HABITABLE SPACES AND IN ANY/ALL MECHANICAL ROOM(S)

SITE PLAN & ZONING DATA



1 SITE PLAN
 1" = 30'-0"

ZONING COMPONENT	ALLOWED	EXISTING	PROPOSED	COMMENT
LOT SIZE	10,000 S.F.	11,381 S.F.	NO CHANGE	N/A
FRONT SETBACK	25 FEET	34.04 FEET	NO CHANGE	N/A
REAR SETBACKS	25 FEET	35.96 FEET	NO CHANGE	N/A
ONE SIDE SETBACK	12 FEET	5.30 FEET	NO CHANGE	VARIANCE REQUIRED
TOTAL SIDE SETBACKS	30 FEET	29.2 FEET	NO CHANGE	N/A
MIN. LOT WIDTH	100	NO CHANGE	NO CHANGE	N/A
MIN. LOT DEPTH	100	NO CHANGE	NO CHANGE	N/A
MAXIMUM LOT COVERAGE BLDG.	22%	13.5%	15%	N/A
MAX. LOT COVERAGE BY IMPERVIOUS SURFACES	40%	36%	37.3%	N/A
HEIGHT - MAIN BLDG	30 FEET	NO CHANGE	NO CHANGE	N/A

SITE PLAN BASED ON SURVEY PROVIDED BY OWNER, SECTION/BLOCK/LOT: 3.120-110-32
 PERFORMED BY : SUMMIT LAND SURVEYING P.C. ADDRESS: 18 COCHRAN AVENUE, DOBBS FERRY, NY 10522
 DATED: UPDATED 6/20/20

SCOPE OF WORK:
 1) LEGALIZE AN EXISTING SUNROOM

ENERGY CODE INFORMATION

6" BATT INSULATION=R-19 OR U =.05
 10" BATT INSULATION= R-30 OR U=.03
 2" RIDG INSULATION=R-10 OR U=.10
 ARGON FILLED WINDOW SASH=R-3 OR U=.34
 SHEATHING,GYP. BD, ROOFING=NEGULIBLE
 WALLS .05 X 1754 SF + .34 X 280 SF. =.10
 2034 SF
 ROOF/FLOOR .03 X 1450 SF. =.03
 1450 SF
 FOUNDATION WALLS .10 X 50 SF. + .34 X 12 62 SF =.15

ASSEMBLY	PROPOSED U VALUE MUST BE LOWER	ALLOWABLE U VALUE
EXTERIOR WALL	.10	.20
ROOF/FLOOR	.03	.05
FOUNDATION WALL	.15	.20

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL TRAINING, THIS PROJECT COMPLIES WITH THE NEW YORK STATE ENERGY AND CONSERVATION CODE.

STEVEN SECON, A.I.A.

I.R.C. CODE INFORMATION

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND LOAD	WIND SPEED MPH	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FROST LINE DEPTH
				WEATHERING	TERMITES	DECAY			
45	40	90	D	SEVERE	MODERATE TO HEAVY	SLIGHT TO MEDIUM	7°	YES	42"

LIST OF DRAWINGS

- A-1 OUTLINE SPECIFICATIONS, SITE PLAN, ZONING DATA, NOTES AND LEGEND
- A-1 EXISTING BASEMENT AND EXISTING FIRST FLOOR PLAN
- A-2 EXISTING EXTERIOR ELEVATIONS

OUTLINE SPECIFICATIONS, SITE PLAN ZONING DATA, NOTES & LEGEND

DATE: 08/20/2020 SCALE: AS NOTED CAD FILE

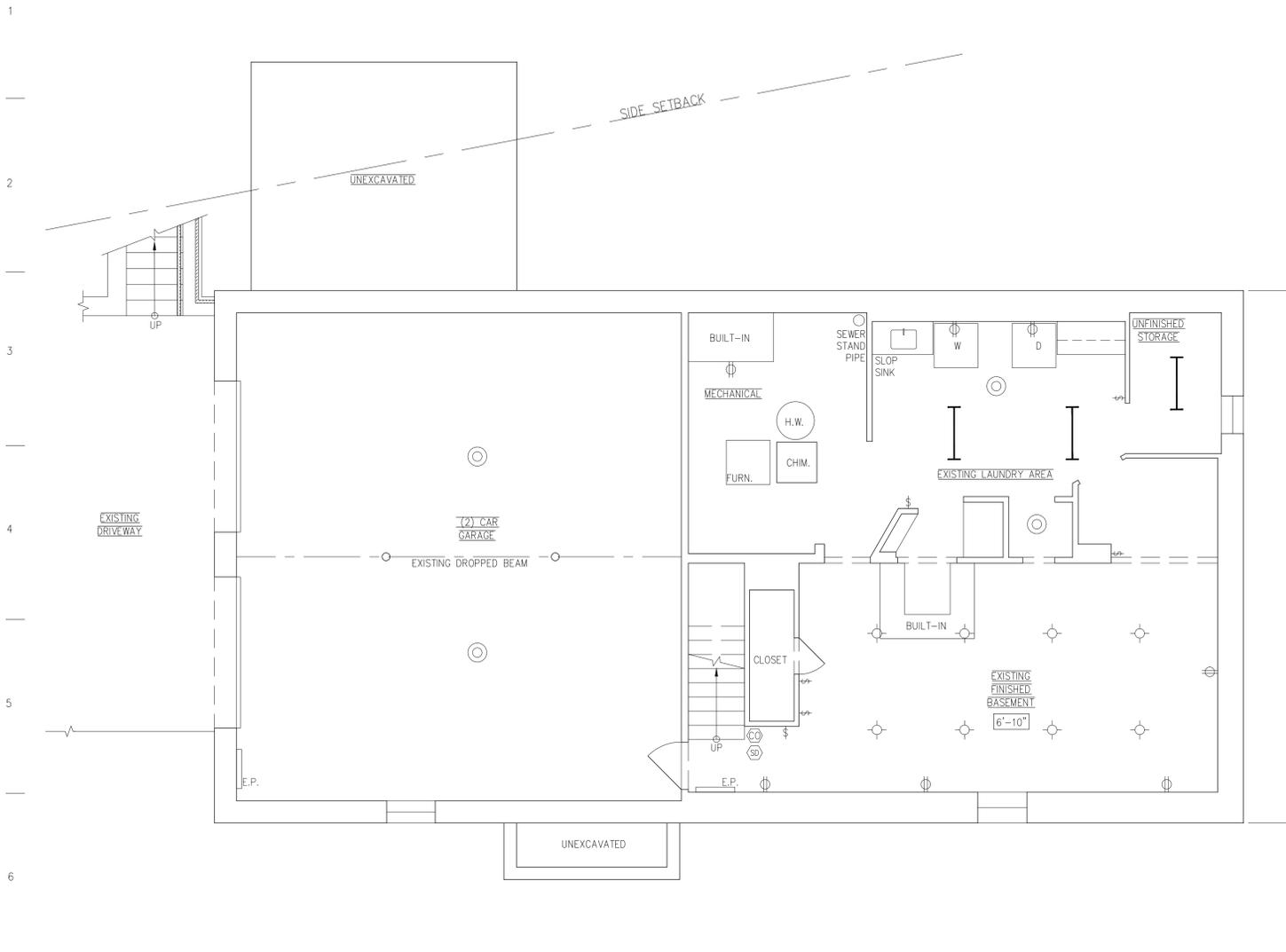
REGISTERED ARCHITECT
 STEVEN SECON
 STATE OF NEW YORK
 025397

PROJECT: CONBOY RESIDENCE -LEGALIZE EXISTING SUNROOM- 18 COCHRAN AVENUE DOBBS FERRY, NY 10522 SHEET: 3.120 BLOCK: 110 LOT: 32

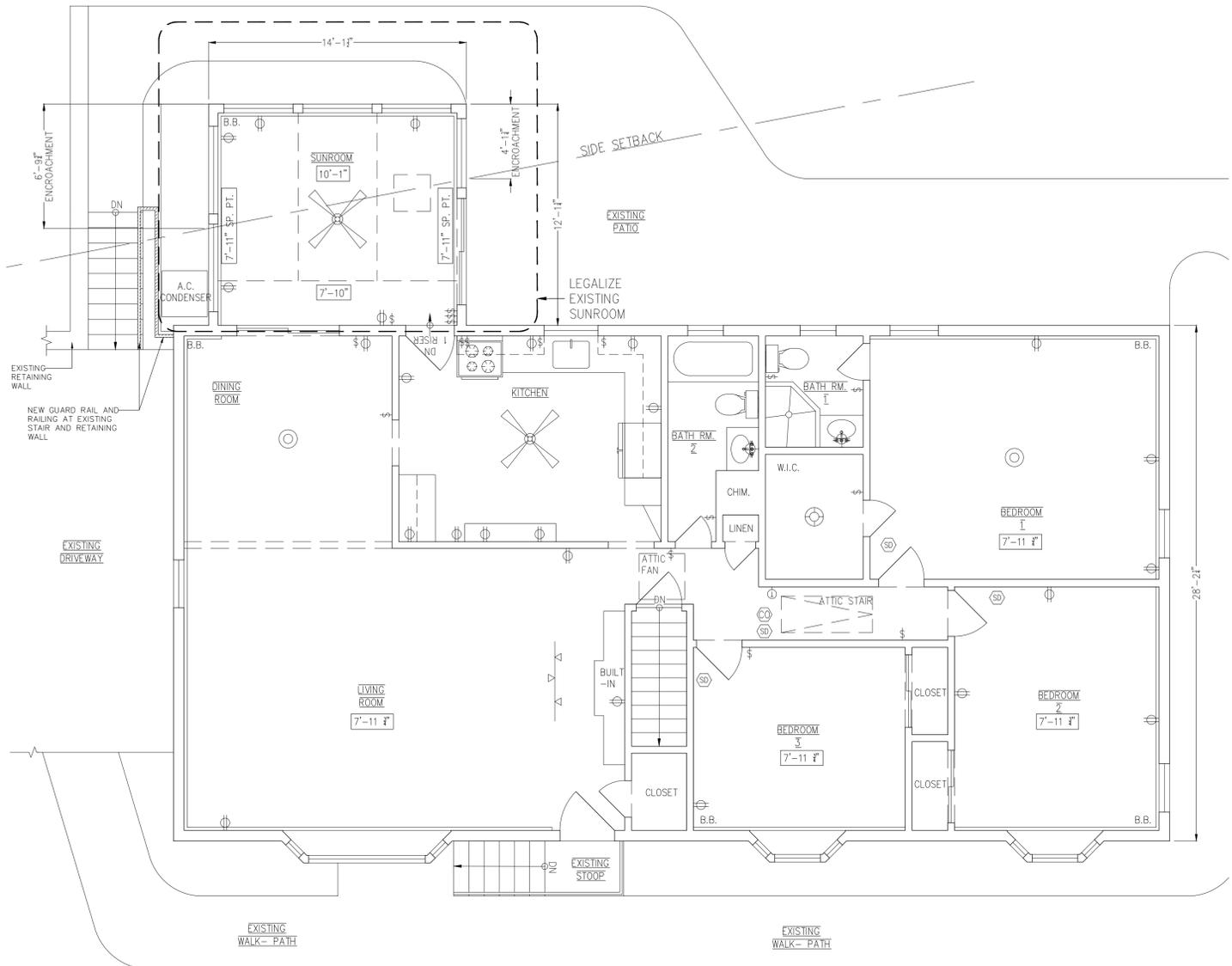
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DATE: 08/20/2020 SCALE: AS NOTED CAD FILE

STEVEN SECON ARCHITECT
 145 Palisade Street, Suite #403
 Dobbs Ferry, New York 10522
 Tel. (914) 874-2880 Fax (914) 893-537



1 EXISTING BASEMENT PLAN
1/4"=1'-0"



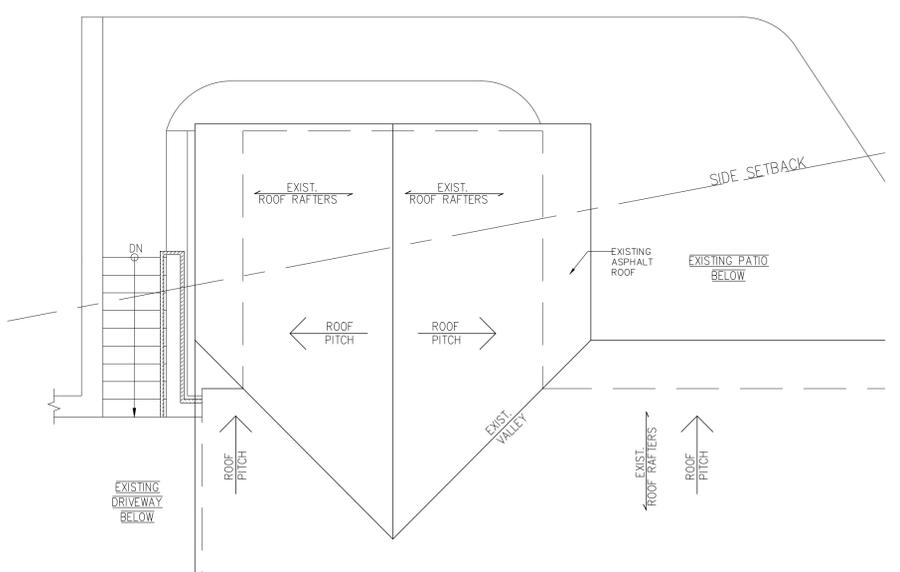
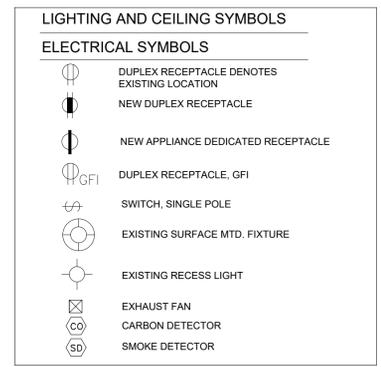
2 EXISTING FIRST FLOOR PLAN
1/4"=1'-0"

CODE COMPLIANCE NOTES:

LIGHT CALCULATIONS:
AS PER 2015 IRC Chapter 3 - Building Planning - Section R303.1

SUNROOM
Req'd - Glazing min. 8% floor area = 171 sf x .08 = 14 sf
Existing Glazing = (6) sliding casement windows and glass french sliding door total: 103 sf
NO ADDITIONAL ILLUMINATION REQUIRED

VENT CALCULATIONS:
SUNROOM
Req'd - venting min. 4% floor area = 171 sf x .04 = 6.84 sf
(1) French sliding door = 27 s.f. of glazing
(6) Sliding casements = 39 s.f. glazing
52.5 > 6.84 s.f.
NO ADDITIONAL VENTILATION REQUIRED



3 PARTIAL ROOF PLAN @ SUNROOM
1/4"=1'-0"

LEGEND

— EXISTING CONSTRUCTION TO REMAIN

NO.	DATE	REVISION/ISSUE
1	10 25 20	REVIEW

PROJECT: CONROY RESIDENCE -LEGALIZE EXISTING SUNROOM- 18 COCHRANE AVENUE DOBBS FERRY, NY 10522 SHEET: 3.120 BLOCK: 110 LOT: 32

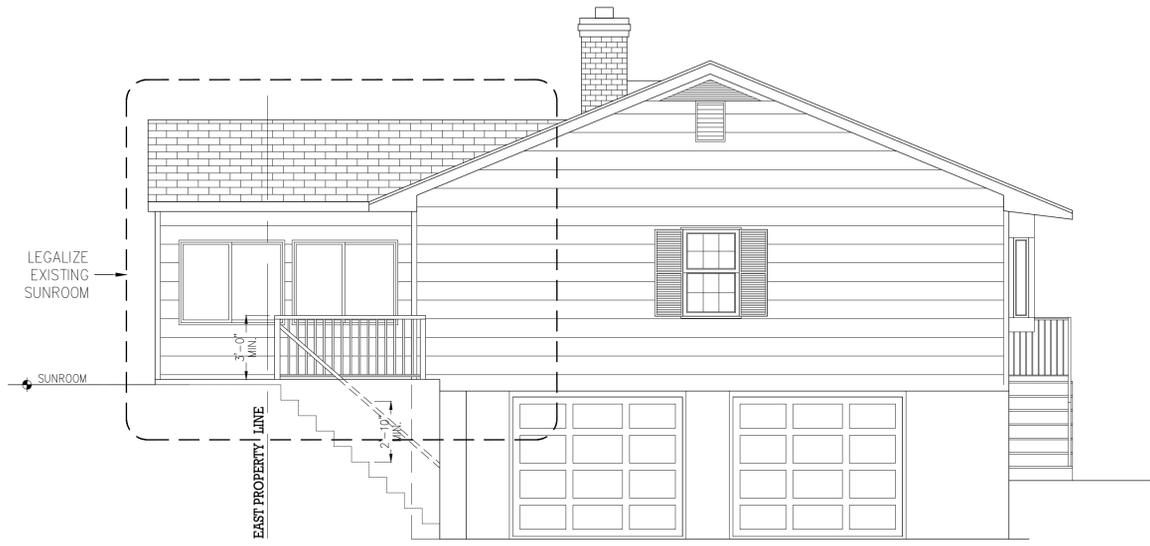
DRAWING TITLE: EXISTING FLOOR PLANS

DATE: 05/20/2020 SCALE: AS NOTED CAD FILE

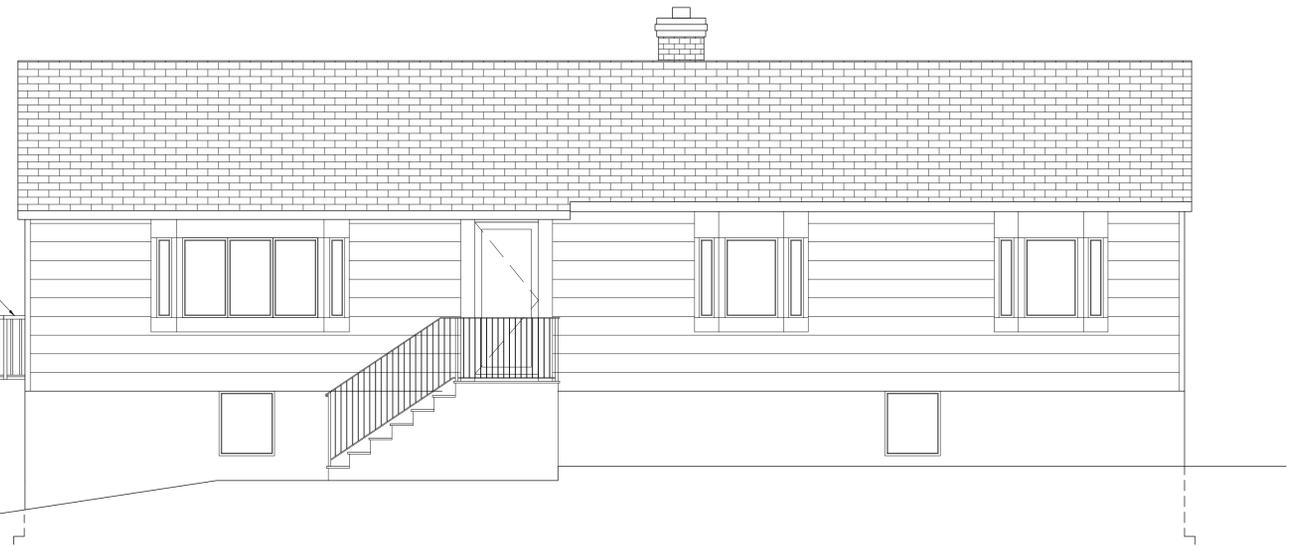
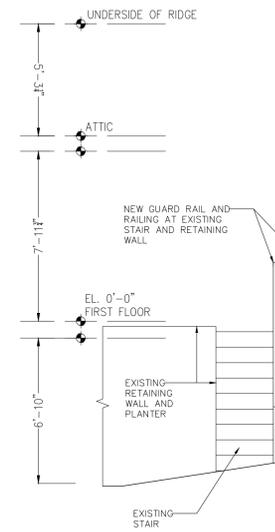


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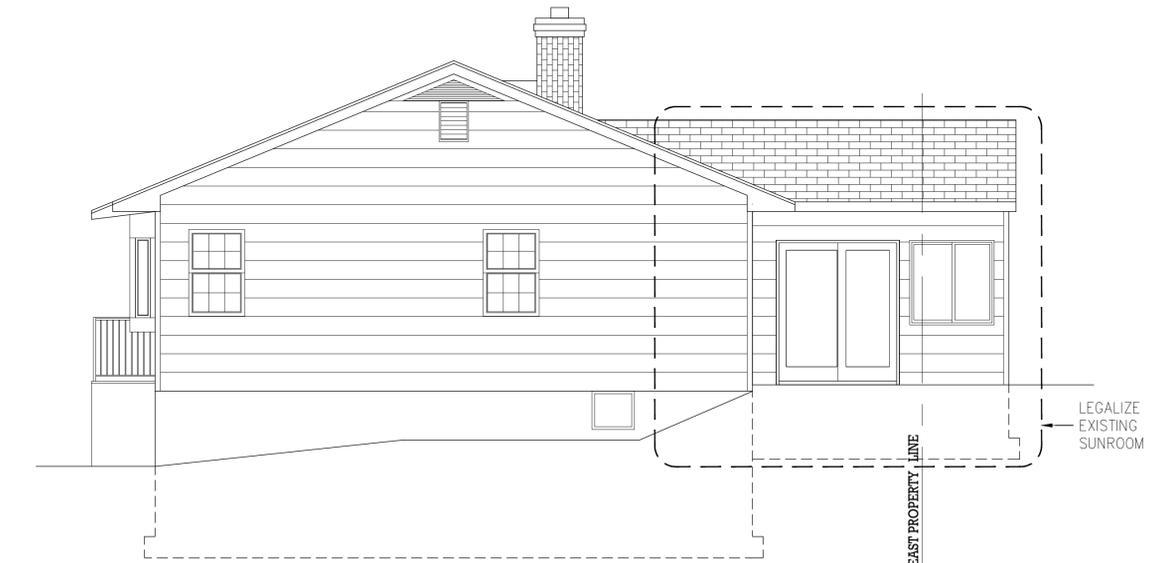
A-2



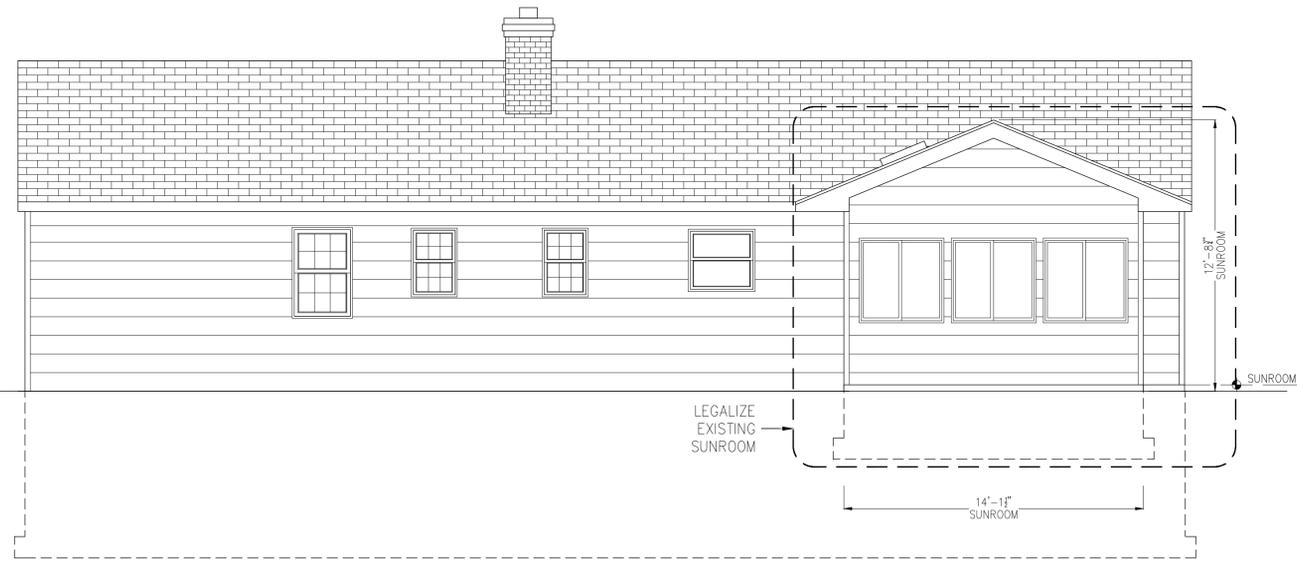
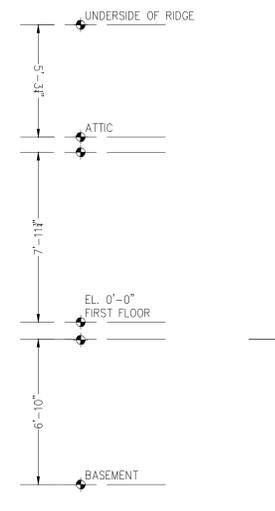
2 NORTH SIDE EXT. ELEVATION
1/4"=1'-0"



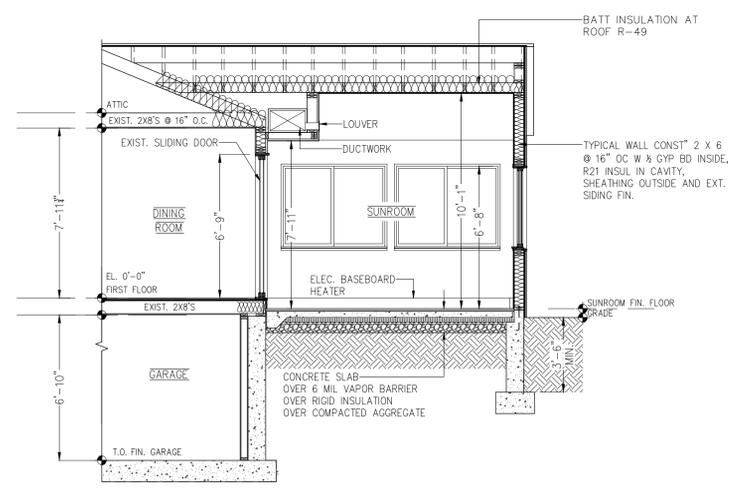
1 FRONT (WEST) EXT. ELEVATION
1/4"=1'-0"



4 SOUTH SIDE EXT. ELEVATION
1/4"=1'-0"



3 REAR (EAST) EXT. ELEVATION
1/4"=1'-0"



5 SECTION @ SUNROOM
1/4"=1'-0"

NO.	DATE	REVISION/ISSUE
1	10 25 20	REVIEW



PROJECT
CONBOY RESIDENCE
 -LEGALIZE EXISTING SUNROOM-
 18 COCHRANE AVENUE
 DOBBS FERRY, NY 10522
 SHEET: 3.120 BLOCK: 110 LOT: 32

DRAWING TITLE
EXISTING EXTERIOR ELEVATIONS

DATE	SCALE	AS NOTED	CAD FILE
05/20/2020	AS NOTED		

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A-3



VIEW COCHRANE AVENUE



VIEW COCHRANE AVENUE

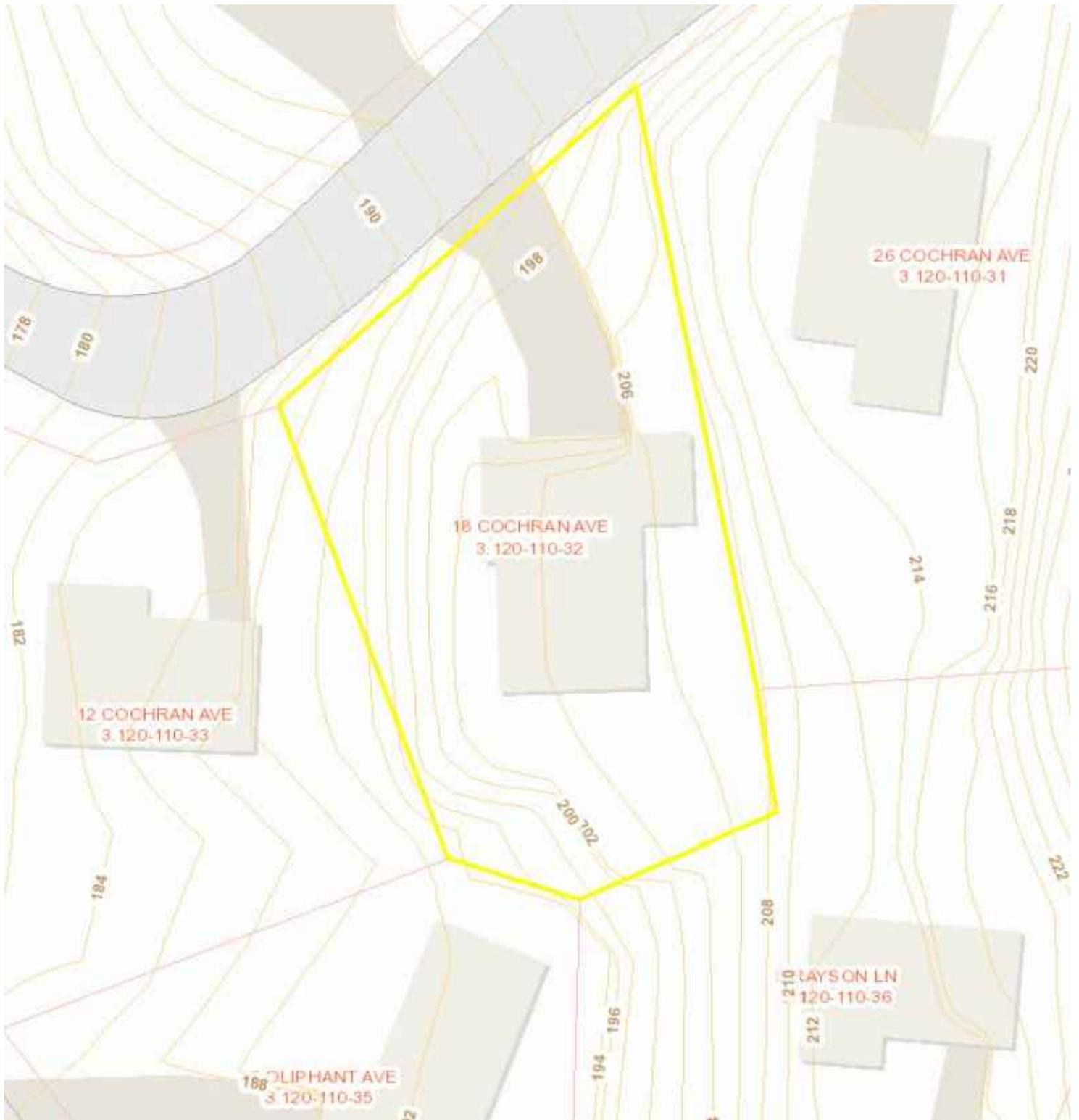


VIEW FROM COCHRANE AVENUE

PROPERTY
LINE



VIEW COCHRANE AVENUE @ DRIVEWAY



**GIS MAP FROM WESTCHESTER MAPPING
NEIGHBORING PROPERTIES WITH APPROXIMATE
DISTANCES FROM PROPERTY LINES**