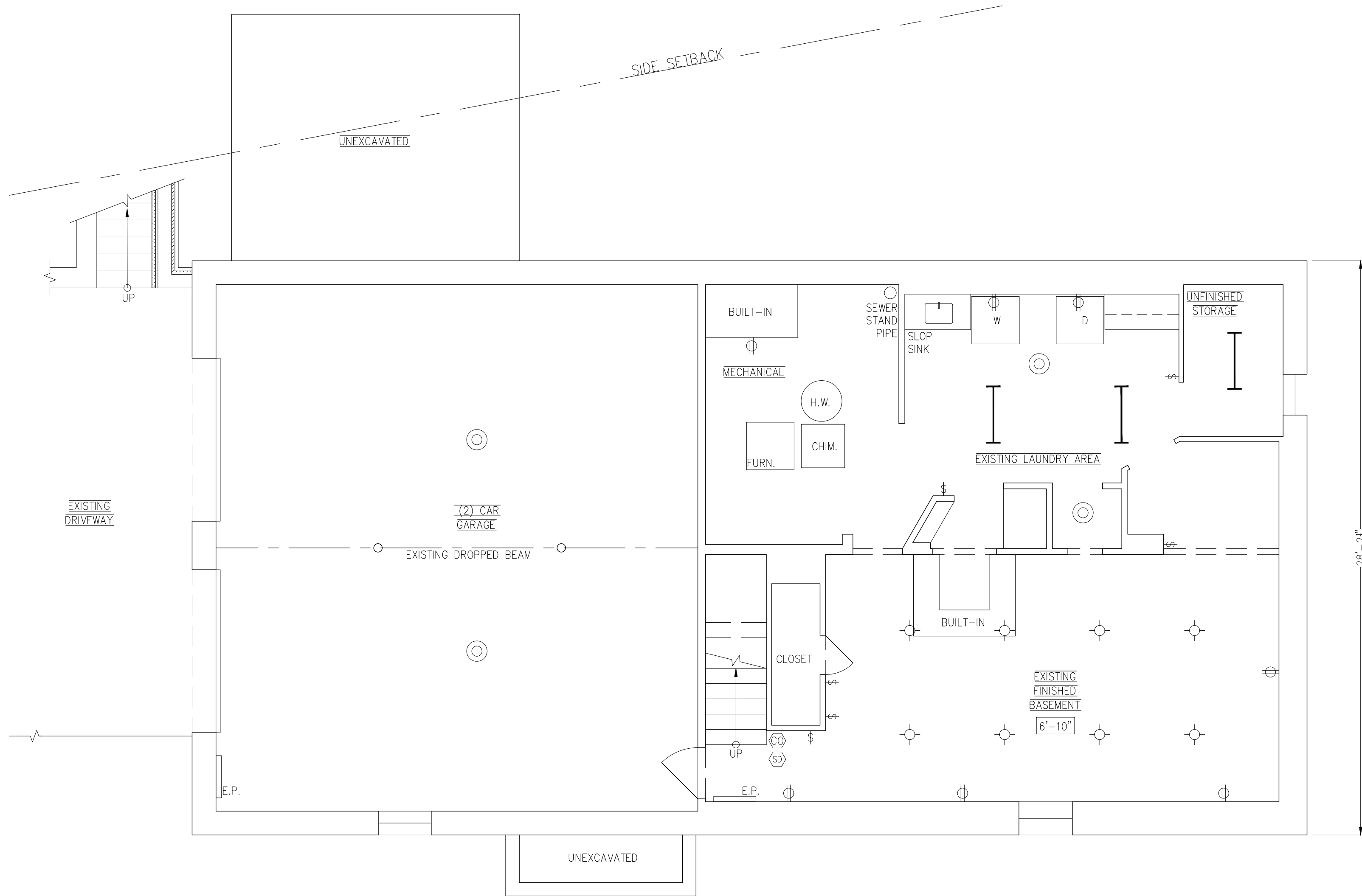
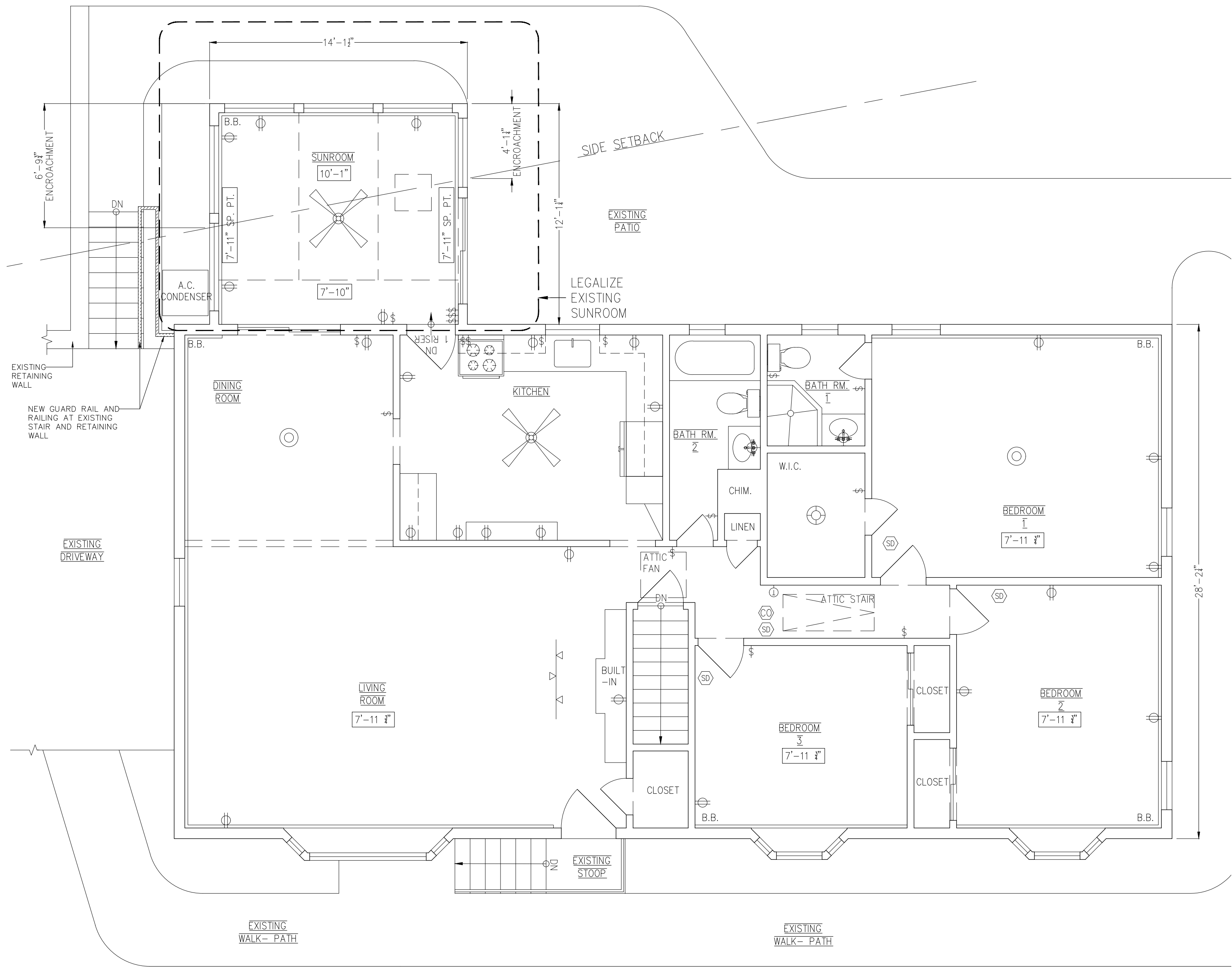


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1 EXISTING BASEMENT PLAN
1/4"=1'-0"

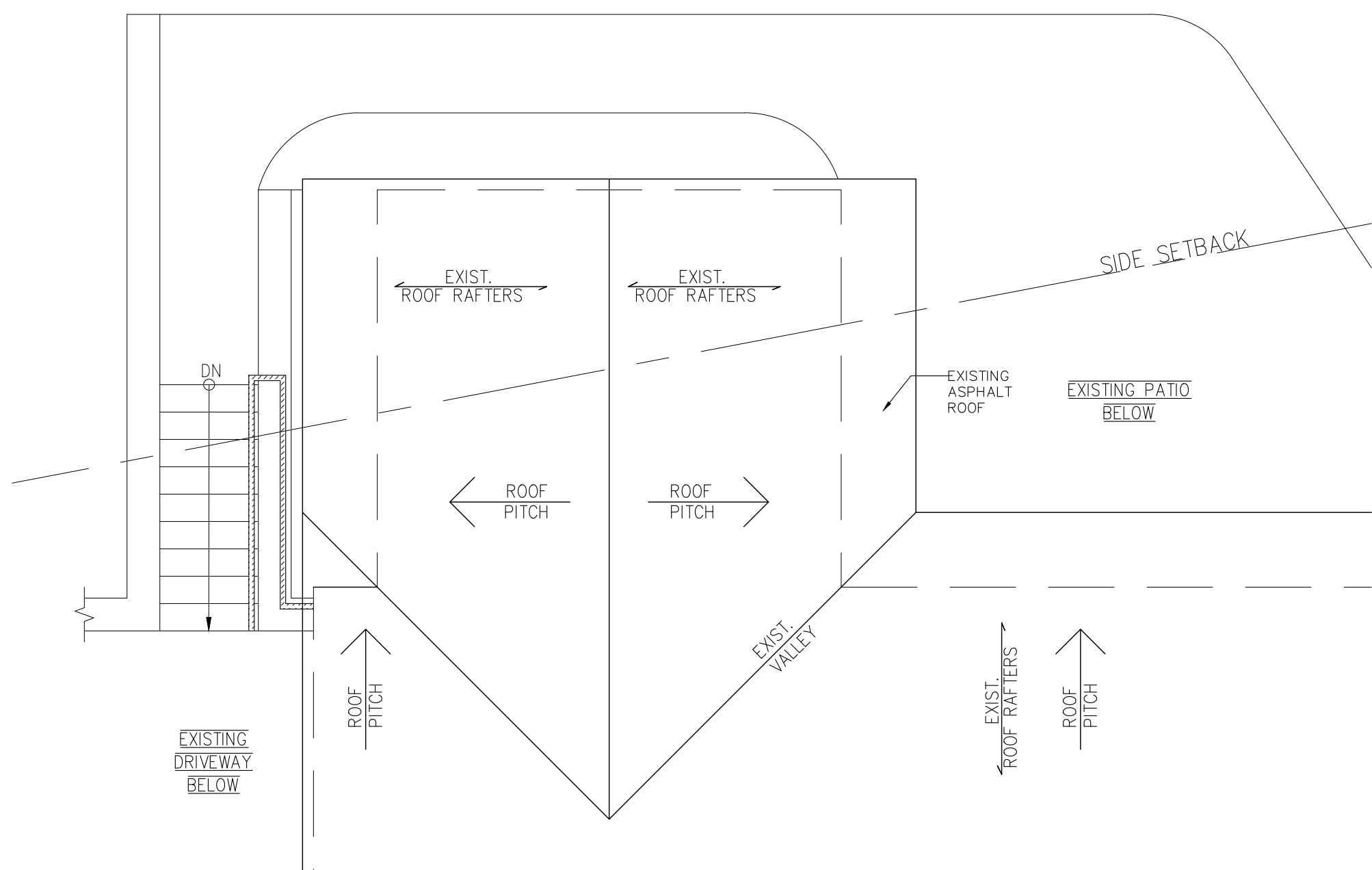


2 EXISTING FIRST FLOOR PLAN
1/4"=1'-0"

CODE COMPLIANCE NOTES:

LIGHT CALCULATIONS:
AS PER 2015 IRC Chapter 3 - Building Planning - Section R303.1
SUNROOM
Req'd - Glazing min. 8% floor area =171 sf x .08 = 14 sf
Existing Glazing = (6) sliding casement windows and glass french sliding door total: 103 sf
NO ADDITIONAL ILLUMINATION REQUIRED
VENT CALCULATIONS:
SUNROOM
Req'd - venting min. 4% floor area =171 sf x .04 = 6.84 sf
(1) French sliding door = 27 s.f. of glazing
(6) Sliding casements = 39 s.f. glazing
52.5 > 6.84 s.f.
NO ADDITIONAL VENTILATION REQUIRED

- LIGHTING AND CEILING SYMBOLS**
- ELECTRICAL SYMBOLS**
- DUPLEX RECEPTACLE DENOTES EXISTING LOCATION
 - NEW DUPLEX RECEPTACLE
 - NEW APPLIANCE DEDICATED RECEPTACLE
 - DUPLEX RECEPTACLE, GFI
 - SWITCH, SINGLE POLE
 - EXISTING SURFACE MTD. FIXTURE
 - EXISTING RECESS LIGHT
 - EXHAUST FAN
 - CARBON DETECTOR
 - SMOKE DETECTOR

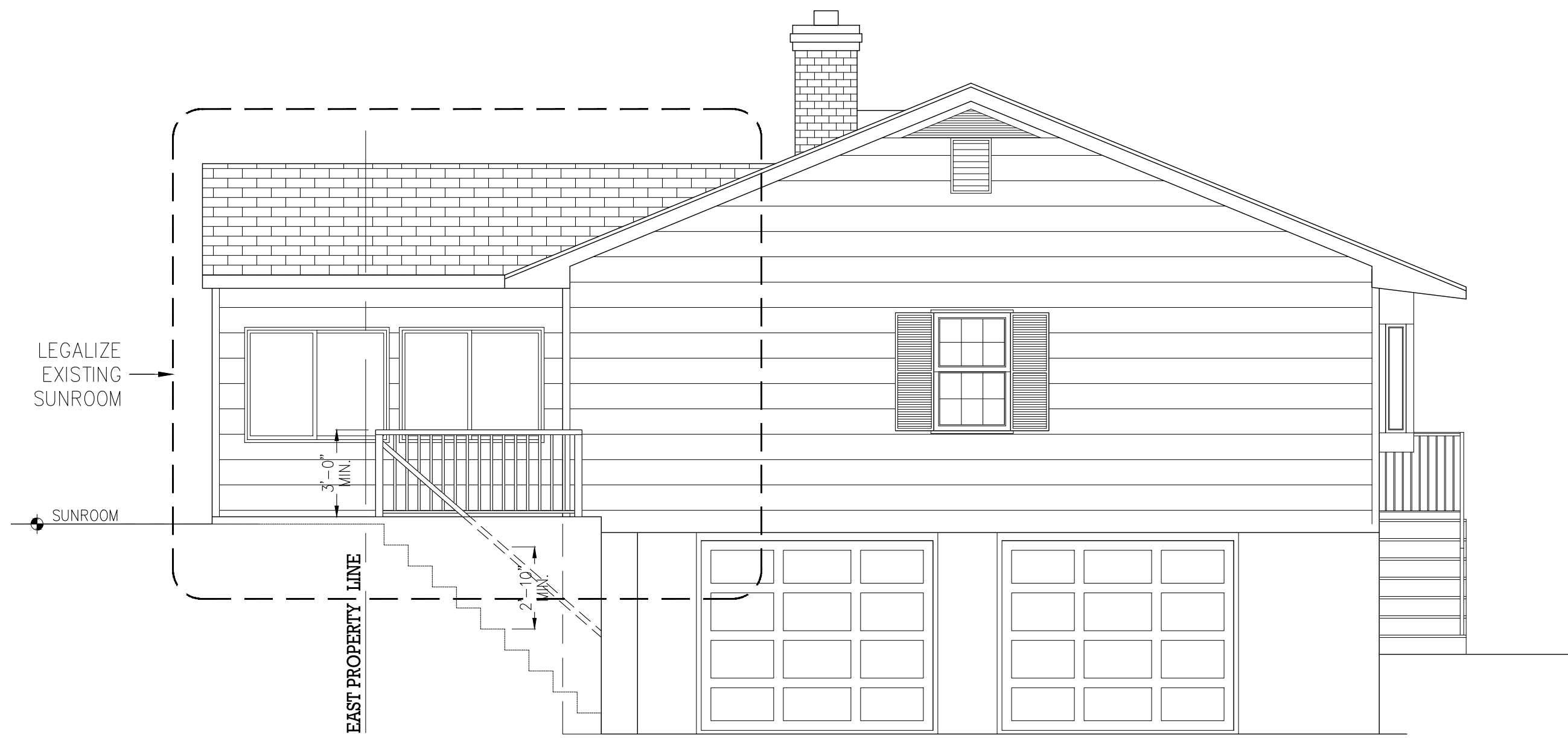


3 PARTIAL ROOF PLAN @ SUNROOM
1/4"=1'-0"

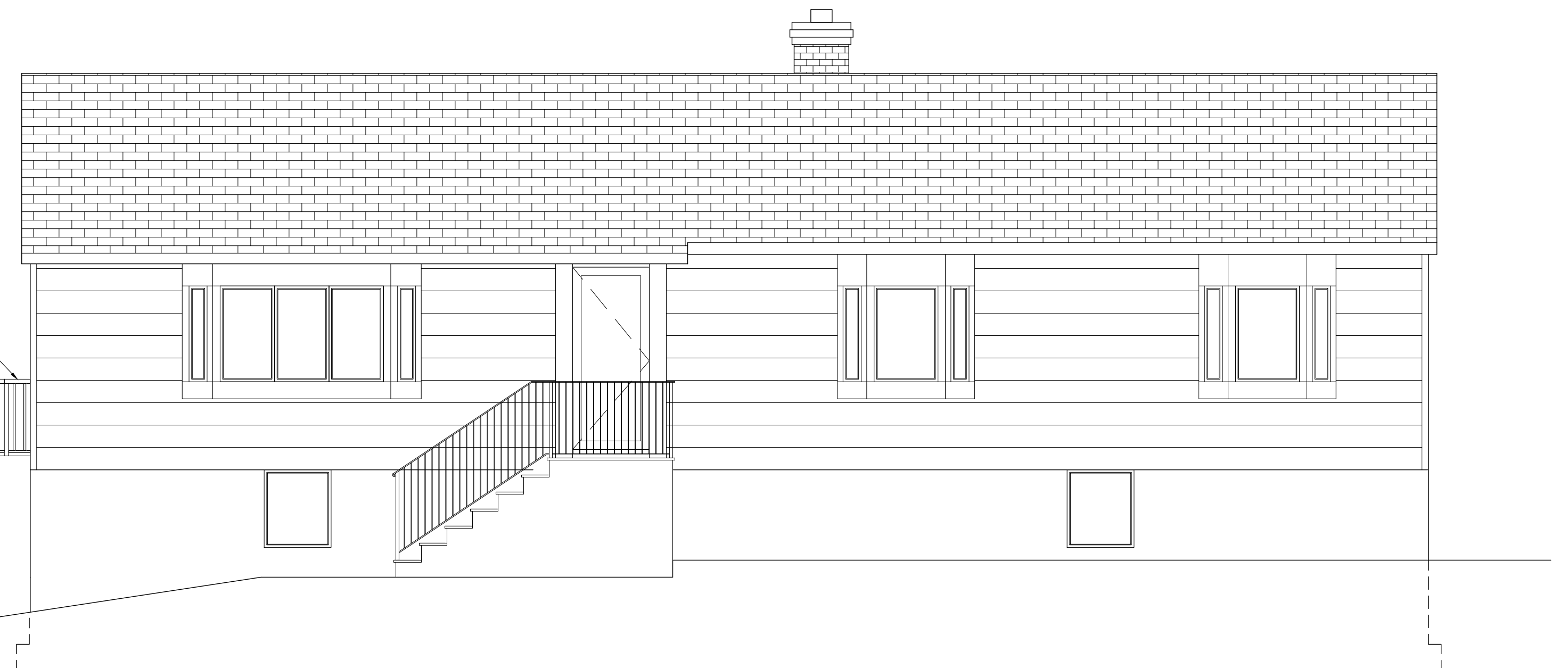
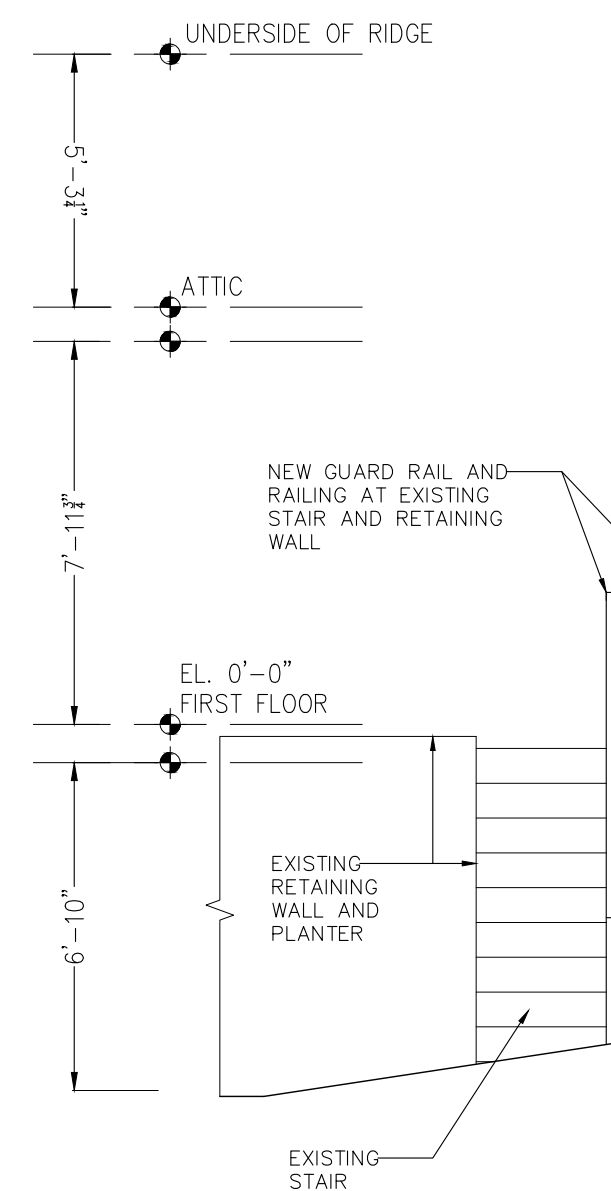
LEGEND

EXISTING CONSTRUCTION TO REMAIN

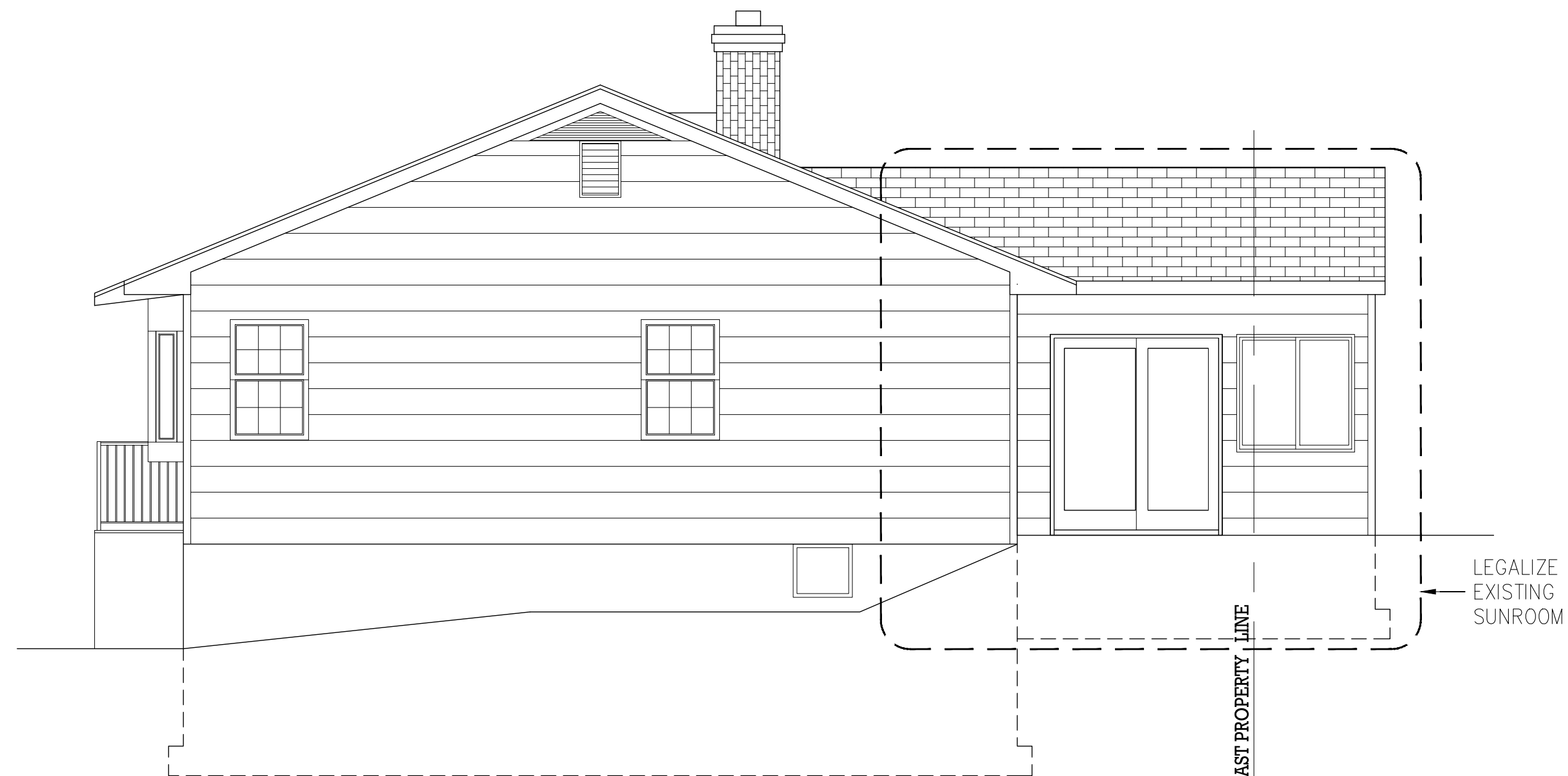
1	10 25 20	REVIEW
NO.	DATE	REVISION/ISSUE
SEAL		
PROJECT	CONROY RESIDENCE -LEGALIZE EXISTING SUNROOM- 18 COCHRANE AVENUE DOBB'S FERRY, NY 10522 SHEET: 3.120 BLOCK: 110 LOT: 32	
DRAWING TITLE	EXISTING FLOOR PLANS	
DATE	SCALE	CAD FILE
08/20/2020	AS NOTED	



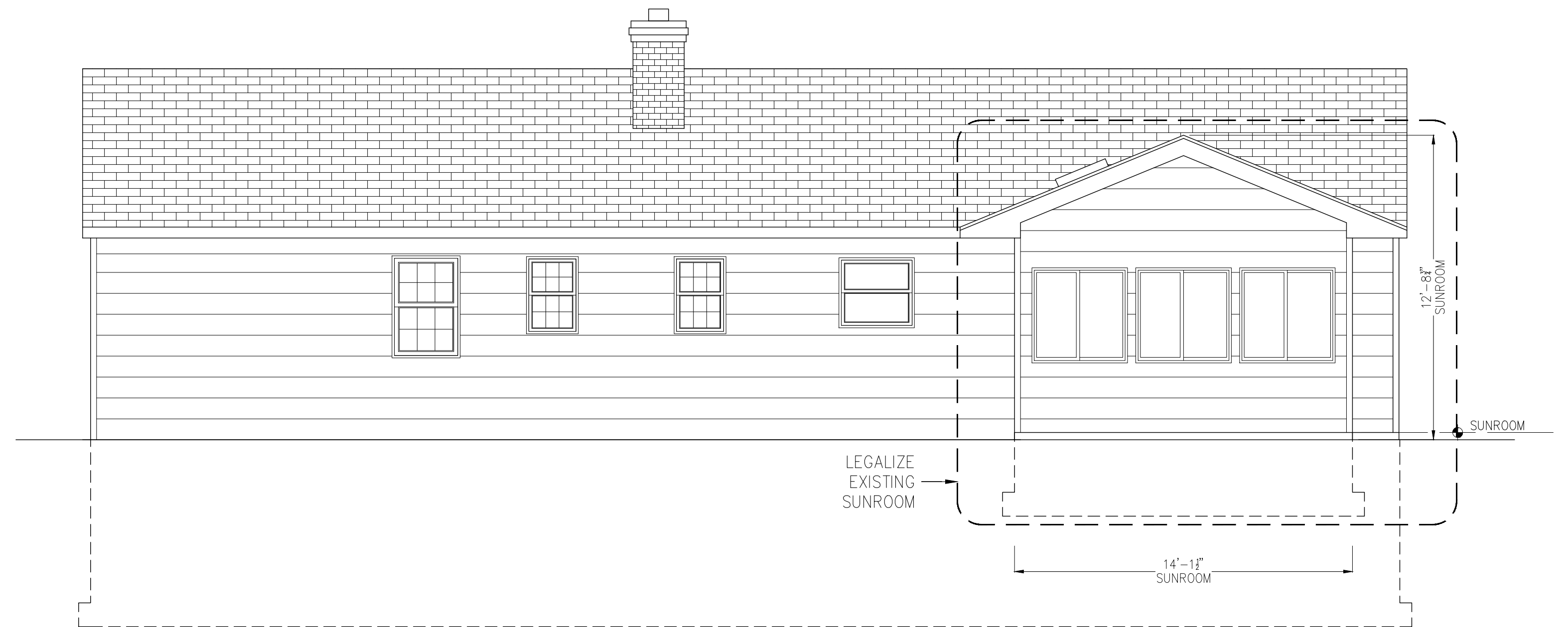
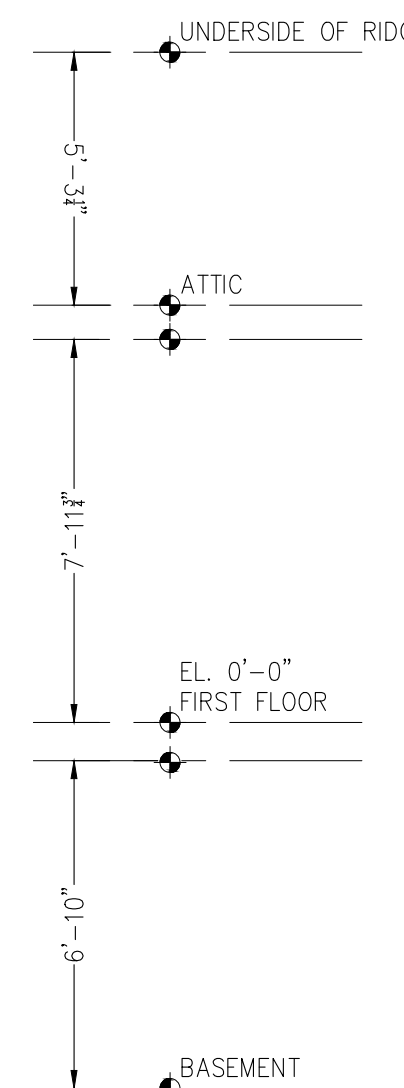
2 NORTH SIDE EXT. ELEVATION
1/4"=1'-0"



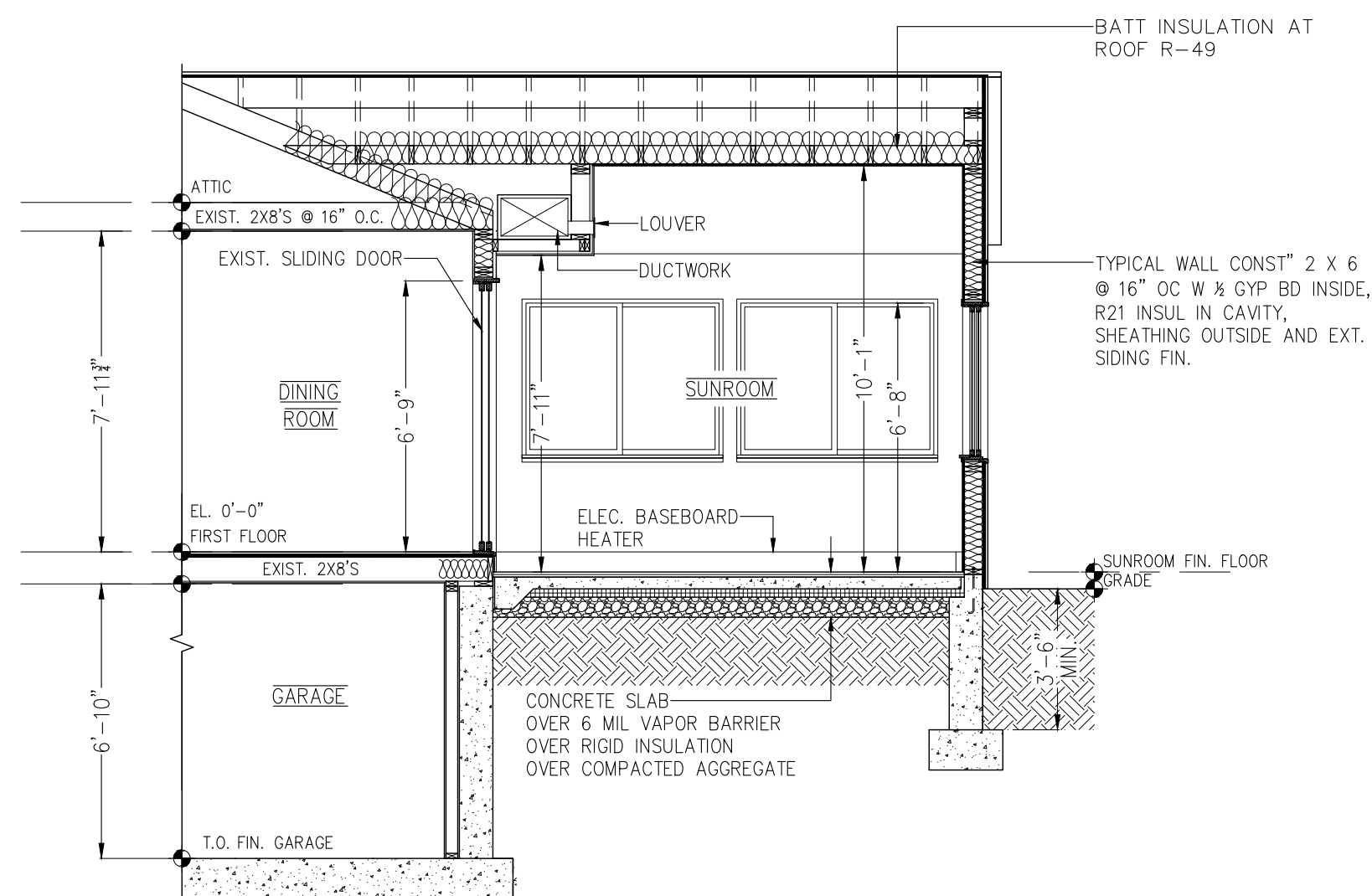
1 FRONT (WEST) EXT. ELEVATION
1/4"=1'-0"



4 SOUTH SIDE EXT. ELEVATION
1/4"=1'-0"



3 REAR (EAST) EXT. ELEVATION
1/4"=1'-0"



5 SECTION @ SUNROOM
1/4"=1'-0"

1	10 25 20	REVIEW
NO.	DATE	REVISION/ISSUE



PROJECT	CONBOY RESIDENCE -LEGALIZE EXISTING SUNROOM- 18 COCHRANE AVENUE DOBBS FERRY, NY 10522 SHEET: 3.120 BLOCK: 110 LOT: 32
DRAWING TITLE	EXISTING EXTERIOR ELEVATIONS

DATE	SCALE	AS NOTED	CAD FILE
08/20/2020	AS NOTED		

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VIEW COCHRANE AVENUE



VIEW COCHRANE AVENUE

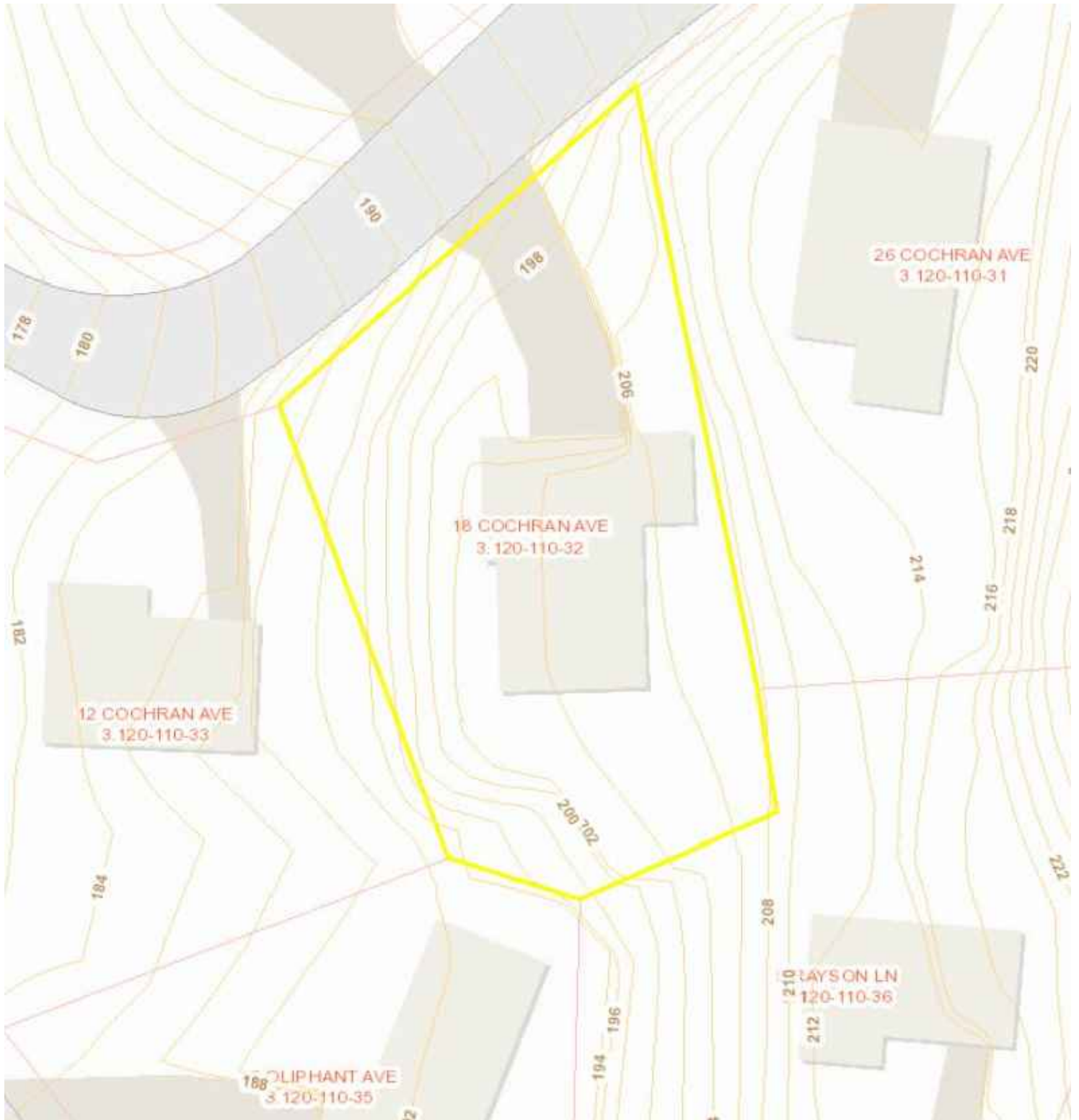


VIEW FROM COCHRANE AVENUE

PROPERTY
LINE



VIEW COCHRANE AVENUE @ DRIVEWAY



GIS MAP FROM WESTCHESTER MAPPING
NEIGHBORING PROPERTIES WITH APPROXIMATE
DISTANCES FROM PROPERTY LINES