



VILLAGE OF DOBBS FERRY BOARD OF TRUSTEES
REGULAR MEETING AGENDA

MEETING DATE: January 24, 2023
AGENDA ITEM SECTION: Presentations
AGENDA ITEM NO. : 2
AGENDA ITEM: 10 Hamilton – Site Plan approval
ITEM BACKUP DOCUMENTATION: 1. Planning Board Resolution 4-2023 2. Letter dated January 12, 2023 from Mr. Paddy Steinschneider/Gotham Design to Mr. Dan Roemer/Building Inspector, Mayor Rossillo and the Board of Trustees 3. 10 Hamilton drawings



VILLAGE OF DOBBS FERRY
112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8500 • FAX: (914) 693-3470

RESOLUTION 4-2023

**VILLAGE OF DOBBS FERRY PLANNING BOARD/ARCHITECTURAL AND HISTORIC
REVIEW BOARD (AHRB) RECOMMENDATION RESOLUTION**

Property: 10 Hamilton Avenue (Section Block and Lot 3.180-156-2 and CP Zone)

Background

WHEREAS, Mario Lombardo (the "Applicant") is seeking Site Plan and Architectural and Historic Review approval to construct a 859 square foot pergola with a retractable roof and walls for exterior dining for up to 58 patrons. The property is located at 10 Hamilton Ashford Avenue, Section Block and Lot 3.180-156-2 ("Project Site") and is located in the CP, Chauncey Park, zoning district; and

WHEREAS, this application requires Site Plan approval by the Village Board of Trustees and a recommendation by the Planning Board per Section 300-52 of the Zoning chapter; and

WHEREAS, The Planning Board and AHRB has carefully examined the Application and the Applicant's materials as follows:

1. Letter to Planning Board by Gotham Design Planning And Development Ltd. dated December 18, 2022
2. Site Plans by Gotham Design Planning And Development Ltd last revised November 29, 2022

WHEREAS, the Planning Board has also reviewed and examined letters, reports, and memorandum from the Board's consulting engineer and planner; and

WHEREAS, the Planning Board deliberated in public on the Applicant's request for recommendation; and

Planning Board Determination

NOW, THEREFORE, BE IT RESOLVED, the Planning Board/AHRB recommends the application for Site Plan approval with the following additional recommendations as set forth below:

1. The Planning Board is recommending the ADA-compliant site plan shown on sheet A-2.2. This is the only plan in which the Building Department will be able to issue a Building Permit.
2. The Village Board should require the Applicant to address to the full satisfaction of the Village Engineer, all outstanding stormwater, and engineering issues, specifically the stormwater discharge of the system.
3. The Planning Board/AHRB is recommending the following colors: silver for the exterior structure and the brick for the interior roof color.

Motion By:

Seconded by:

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input checked="" type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1ST ALTERNATE MEMBER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text"/> NAY	<input type="text"/> ABSTAIN	<input type="text"/> RECUSE	<input type="text" value="1"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

I hereby attest that the above Resolution was approved by the Planning Board at its January 5, 2023 meeting, and that I have been authorized to sign this Resolution by decision of the Planning Board.

Chairman Hunter

Date: January 10, 2023



January 12, 2023

Dan Roemer, Building Inspector
Dobbs Ferry Board of Trustees
Village Hall - 112 Main Street
Dobbs Ferry, New York 10522

Re: Lombardo's Restaurant - 10 Hamilton Street

Dear Building Inspector Roemer, Mayor Rossilo, and Members of the Board of Trustees:

This letter is to request that the above referenced application be placed on the next available agenda of the Board of Trustees. Due to the fact that this property is located in the Chauncey Park (CP) zoning district, the Final Site Plan Approval has to be granted by the Board of Trustees. The Planning Board conducted the Site Plan Review for this application and adopted a Resolution at its January 5, 2023 Public Hearing recommending approval of this project.

Attached is the same set of Site Plan drawings that were submitted to the Planning Board for the Public Hearing. They are now submitted for consideration by the Board of Trustees.

This project consists of the proposed installation of a Pergola to provide weather cover for the Terrace area in front of Lombardo's Restaurant, which has been used for outdoor dining for the past several years. This Terrace is private property that the owner of Rivertowns Square has included in the facility leased by the owners of the Restaurant. This proposed work does not affect the public right-of-way of Hamilton Street.

The Pergola design is a system owned by Palma Pergola, which is a company founded by Emre Uzun, the engineer who designed the system. Mr. Uzun has appeared before the Planning Board and presented the qualities of the design. The Pergola has a retractable roof and glass panels on the walls that can be lowered into the lower panel of the exterior partitions. The intent of this structure for the Restaurant owner is to extend the use of the exterior dining area. Rainy and/or windy days would no longer interfere with the use of the Terrace. Similarly, while the structure is not heated, the use of the Terrace can be extended into the winter, which now seem to have a good number of days when the temperatures are in the 50s and 60s. The impetus for this structure was CoVid. While we are all eager to reach the point when CoVid is no longer an issue, the fact is that it continues to be a concern that affects the comfort of people considering public dining. Having an open plan in which people can maintain a distance from one another has proven to be key in the ability of restaurants to remain economically viable.

The Planning Board member, in their consideration of this application, also cited that they appreciate the vitality and energy that this structure and its use brings to Rivertowns Square. The review confirmed that there were no issues with parking or other requirements determined by zoning.

Letter to Building Inspector Roemer, Mayor Rossillo, and the Board of Trustees

Re: Lombardo's Restaurant Site Plan Review

January 12, 2023

Page two of two.

Additional documents were submitted to the Village for the Planning Board meeting and these are already available on the agendas of the Planning Board. If additional information or an of these documents are required for your review, please let us know and we will provide.

We look forward to meeting with you at your next available meeting.

Thanks,

Gotham Design Planning & Development Ltd.

Padriac Steinschneider, President

As Agent for Peter and Mario Lombardo, Owner

1. THIS PROJECT CONSISTS OF THE INSTALLATION OF A PREFABRICATED PERGOLA STRUCTURE THAT WILL BE ATTACHED TO THE EXISTING BUILDING AND TO THE EXISTING CONCRETE PAVING ADJACENT TO THE EXISTING BUILDING. IT IS TECHNICALLY A "TEMPORARY STRUCTURE" IN THAT IT CAN BE REMOVED IN THE FUTURE WITH MINIMAL RESTORATION OF THE EXISTING BUILDING AND PAVING REQUIRED.
2. THE EXISTING PAVING AND BUILDING WILL REMAIN WITHOUT MODIFICATION EXCEPT FOR THE ATTACHMENTS OF THE PROPOSED PERGOLA.
3. NO LANDSCAPING OR TREE REMOVAL IS REQUIRED FOR THIS WORK.
4. NO CHANGES WILL BE REQUIRED TO THE EXISTING STORM DRAINAGE SYSTEM FOR THIS PROJECT.
5. NO CHANGES WILL BE REQUIRED TO THE EXISTING UTILITY SERVICE LINES FOR THIS PROJECT.
6. THE PROPOSED PERGOLA IS A PRE-ENGINEERED STRUCTURE AND IS SELF-SUPPORTING. WHILE IT IS REQUIRED TO BE SECURED TO THE SITE, IT DOES NOT HAVE A FOUNDATION AND DOES NOT IMPOSE ADDITIONAL LOADS ONTO THE EXISTING BUILDING OR OTHER STRUCTURES.
7. THERE ARE NO NATURAL FEATURES, WETLANDS, HYDROLOGIC FEATURES AFFECTED BY THIS PROJECT.
8. THE PROPOSED PERGOLA DOES NOT CHANGE THE STATUS OF THE EXISTING DEVELOPMENT OF RIVERTOWNS SQUARE TO THE FLOODPLAINS OF THE SAW MILL RIVER.
9. THE PROPOSED PERGOLA DOES NOT CHANGE VEHICULAR WAYS INCLUDING INGRESS AND EGRESS.
10. THE PROPOSED PERGOLA WILL OCCUPY AN EXISTING PAVED AREA THAT IS DESIGNATED AS THE EXTERIOR DINING AREA FOR THE EXISTING RESTAURANT. IT WILL NO LONGER BE POSSIBLE FOR PEDESTRIANS TO WALK THROUGH THE EXTERIOR DINING AREA WITHOUT HAVING ACCESS TO THE DOORS TO THE PERGOLA. HOWEVER, THE PERGOLA WILL NOT AFFECT ACCESS FROM THE SIDEWALK ON HAMILTON STREET VIA THE ADA RAMP TO THE OTHER BUSINESSES ADJACENT TO THE RESTAURANT ON HAMILTON. SIMILARLY, THERE IS AN ADA RAMP ADJACENT TO THE ELEVATOR ON HAMILTON THAT PROVIDES ACCESS TO THE PARKING LOT AND THE OTHER BUSINESSES THAT ARE ON THE PARKING LEVEL. SO PEDESTRIAN INGRESS AND EGRESS WILL NOT BE AFFECTED TO THE LOT AND THOSE STORES EITHER.
11. THERE IS AN EXISTING REQUIRED EXIT DOOR FROM THE RESTAURANT THAT CURRENTLY ACCESSES THE EXISTING EXTERIOR DINING AREA. THIS DOOR WILL REMAIN UNCHANGED EXCEPT THAT IT WILL NOW ACCESS THE PERGOLA. THERE ARE TWO DOUBLE DOORS INTEGRAL TO THE PERGOLA THAT PROVIDE EGRESS AND EGRESS TO THE PERGOLA. THESE DOORS WILL BE REQUIRED FOR THE REQUIREMENTS FROM THE RESTAURANT. THE EGRESS UNITS IN COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE HAS BEEN INCLUDED IN A TABLE ON THE CONSTRUCTION DOCUMENTS.
12. THE PROPOSED PERGOLA PROVIDES 60 SEATS, WHICH MATCHES THE EXISTING EXTERIOR DINING AREA. THERE IS NO CHANGE TO THE PARKING REQUIREMENTS AS A RESULT OF THE PROPOSED PERGOLA. NO EXISTING PARKING SPACES WILL BE AFFECTED BY THE PROPOSED PERGOLA.
13. THE EXISTING SIGNAGE ON THE BUILDING WILL NOT BE AFFECTED BY THE PROPOSED PERGOLA. ANY ADDITIONAL SIGNAGE WILL BE HANDLED BY SEPARATE APPLICATION. NO NEW SIGNAGE IS INCLUDED FOR THE PROPOSED PERGOLA.
14. NEW LIGHTING FIXTURES COMPLIANT WITH NIGHT SKY POLLUTION AND LIGHT TRIPASS REQUIREMENTS IN SECTION 301-11.4 IN THE DOBBS FORD ZONING CODE. A DETAIL FOR CONCRETE SIDEWALK REPAIR HAS BEEN INCLUDED ON THE CONSTRUCTION DOCUMENTS.
15. NO PUBLIC ADDRESS SYSTEM IS PROPOSED FOR THE PERGOLA.
16. IN THE EVENT THAT THE PROPOSED WORK AFFECTS AN EXISTING SIDEWALK OR CONCRETE PAVED AREA, EACH SLAB OF CONCRETE THAT IS DAMAGED SHALL BE REPLACED BY NEW CONCRETE AND NO PATCHING WILL BE PERMITTED. A DETAIL FOR CONCRETE SIDEWALK REPAIR HAS BEEN INCLUDED ON THE CONSTRUCTION DOCUMENTS.
17. THIS PROJECT DOES NOT ANTICIPATE ANY WORK BEING DONE ON OR IN THE VICINITY OF THE EXISTING PAVED ROADWAY, EXISTING CURBS, OR THE EXISTING PAVED PARKING AREA.
18. SITE INGRESS AND EGRESS WILL NOT BE AFFECTED BY THIS PROJECT.
19. NO SITE GRADING IS PROPOSED BY THIS PROJECT.
20. NO WORK ON OR IN THE VICINITY OF THE EXISTING UTILITIES IS PROPOSED BY THIS PROJECT.
21. THIS PROJECT DOES NOT AFFECT THE EXISTING SNOW PILING AREAS, THE EXISTING REFUSE AREAS WITH ENCLOSURES, ANY EXISTING TREES OR LANDSCAPING, OR RETAINING WALLS.
22. THE PROPOSED PROJECT DOES NOT INCLUDE ANY LANDSCAPING OR CHANGE TO EXISTING GRADING AND STORM WATER DRAINAGE.
23. THE PROPOSED PROJECT WILL NOT INCREASE THE NOISE LEVEL OF THE EXISTING PROPERTY USE.
24. THE PROPOSED PROJECT IS FULLY ADA COMPLIANT.
25. NO SWPPPS IS REQUIRED FOR THIS PROJECT.

A. WHILE THE PROJECT WILL NOT REQUIRE ANY ROCK BLASTING, IT IS UNDERSTOOD THAT: SHOULD ROCK BLASTING BE REQUIRED, A PERMIT APPLICATION IN ACCORDANCE WITH CHAPTER 125 - BLASTING AND EXPLOSIVES OF THE VILLAGE OF COBB'S FERRY CODE MUST BE SUBMITTED TO THE VILLAGE BY THE APPLICANT FOR REVIEW/APPROVAL.

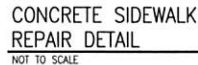
B. THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES, IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

C. WHILE NO WORK ON DRIVEWAYS OR DRAINAGE IMPROVEMENTS IS PROPOSED FOR THIS PROJECT, BUILT PLANS OF THE DRIVEWAY AND DRAINAGE IMPROVEMENTS, IF THEY ARE CHANGED IN ANY WAY SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

D. WHILE NO FILL MATERIAL IS ANTICIPATED AS BEING REQUIRED FOR THIS PROJECT, IF FILL MATERIAL IS IMPORTED TO THE SITE, IT SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON-CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.

E. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTEE, WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

1. NOTIFY ANYONE ANY WORK AT THE SITE. THE GENERAL CONTRACTOR SHALL CONDUCT A SITE MEETING WITH THE CONSTRUCTION MANAGER, PROJECT ENGINEER, AND BUILDING INSPECTOR TO DISCUSS THE SCHEDULE AND CONFIRM SITE CONDITIONS.
2. INSTALL A CHAIN LINK CONSTRUCTION FENCE AROUND THE WORK AREA TO PREVENT UNAUTHORIZED PEOPLE FROM ENTERING THE WORK AREA. THIS FENCING SHALL BE SECURED WITHOUT DISTURBING THE EXISTING CONCRETE SIDEWALKS AND PAVED AREAS. WEIGHTED STAKES SHALL BE USED.
3. ESTABLISH A CONSTRUCTION STAGING AREA FOR THE STORAGE OF CONSTRUCTION COMPONENTS.
4. THE BUILDING INSPECTOR AND VILLAGE ENGINEER MAY REQUIRE ADDITIONAL SITE PROTECTION MEASURES, IF DEEMED NECESSARY TO MAINTAIN SITE CONDITIONS.
5. MAINTAIN THE SITE FREE OF DEBRIS AT ALL TIMES. REMOVE DUMPSTERS WITHIN 24 HOURS OF BEING FILLED.
6. SURVEY AND MARK THE FOOTPRINT OF THE PROPOSED STRUCTURE.
7. WHILE THIS IS A TEMPORARY PERGOLA STRUCTURE, IT SHALL BE SECURED TO THE EXISTING CONCRETE PAVING AND WALKWAYS.
8. DRILL REQUIRED HOLES FOR THE INSTALLATION OF THE ANCHORS THAT WILL SECURE THE PERGOLA STRUCTURE. CARE SHALL BE TAKEN TO AVOID DAMAGING THE EXISTING CONCRETE PAVING AND WALKWAYS. IN THE EVENT THAT ANY OF THE EXISTING PAVING IS CRACKED OR OTHERWISE DAMAGED, THE DAMAGED AREA SHALL BE CUT OUT WITH A CONCRETE SAW AND REPAIRED WITH STEEL BARS ANCHORED TO THE EXISTING CONCRETE AND FLOURED CONCRETE TO MATCH THE EXISTING IN STRENGTH, THICKNESS, COLOR AND FINISH.
9. INSTALL THE BASE STRUCTURE WITH A CASKET SEALING THE JOINT BETWEEN THE BASE STRUCTURE AND THE CONCRETE PAVING TO BE WATER-TIGHT.
10. PROCEED WITH THE INSTALLATION OF THE PERGOLA STRUCTURAL KIT, SECURING THE FRAMING TO THE EXISTING BUILDING AS REQUIRED. CARE SHALL BE TAKEN TO ATTACH THE STRUCTURE MEMBERS OF THE PERGOLA TO THE EXISTING BUILDING WITHOUT DAMAGE TO THE EXISTING BUILDING. ADJACENT AREAS OF THE CONSTRUCTION OF THE PERGOLA STRUCTURE TO THE EXISTING BUILDING SHALL INCLUDE A CASKET AND CAULKING TO CREATE A WEATHER-TIGHT CONNECTION.
11. INSTALL THE ELECTRICAL WORK REQUIRED FOR THE PERGOLA ROOM. ALL ELECTRICAL WORK SHALL BE INSPECTED PRIOR TO BEING COVERED.
12. COMPLETE THE INSTALLATION OF THE PERGOLA STRUCTURE INCLUDING ALL FLASHING, FINISHED MATERIALS AND GLASS ROOF AND WINDOW PANELS.
13. CONFIRM PROPER OPERATION OF ALL RETRACTABLE PANELS AND ADJUST AS REQUIRED FOR PROPER OPERATION.
14. UPON COMPLETION OF THE PERGOLA CONSTRUCTION, HAVE AN AS-BUILT SURVEY PREPARED FOR SUBMISSION TO THE BUILDING INSPECTOR'S OFFICE.
15. AFTER CONSTRUCTION IS COMPLETE REMOVE ALL CONSTRUCTION FENCING.
16. RESTORE ANY ADJACENT AREAS OF PAVING AND THE EXISTING BUILDING AFFECTED BY THE CONSTRUCTION TO PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE VILLAGE, BUILDING INSPECTOR AND THE OWNER.
17. SUBMIT AS-BUILT DRAWINGS OF THE COMPLETED WORK INCLUDING ALL SITE IMPROVEMENTS TO THE BUILDING DEPARTMENT.
18. OBTAIN THE CERTIFICATE OF OCCUPANCY FOLLOWING FINAL INSPECTION BY THE BUILDING INSPECTOR.



SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

IES Integral Engineering Services
27 Main Street, 2d
Dorchester, MA 01912
508.271.8078 • fax
508.274.0542 • cell
info@integraleng.com • e
www.integraleng.com • w

**GOTHAM
DESIGN**
PLANNING AND
DEVELOPMENT LTD

ISSUED / REVISIONS

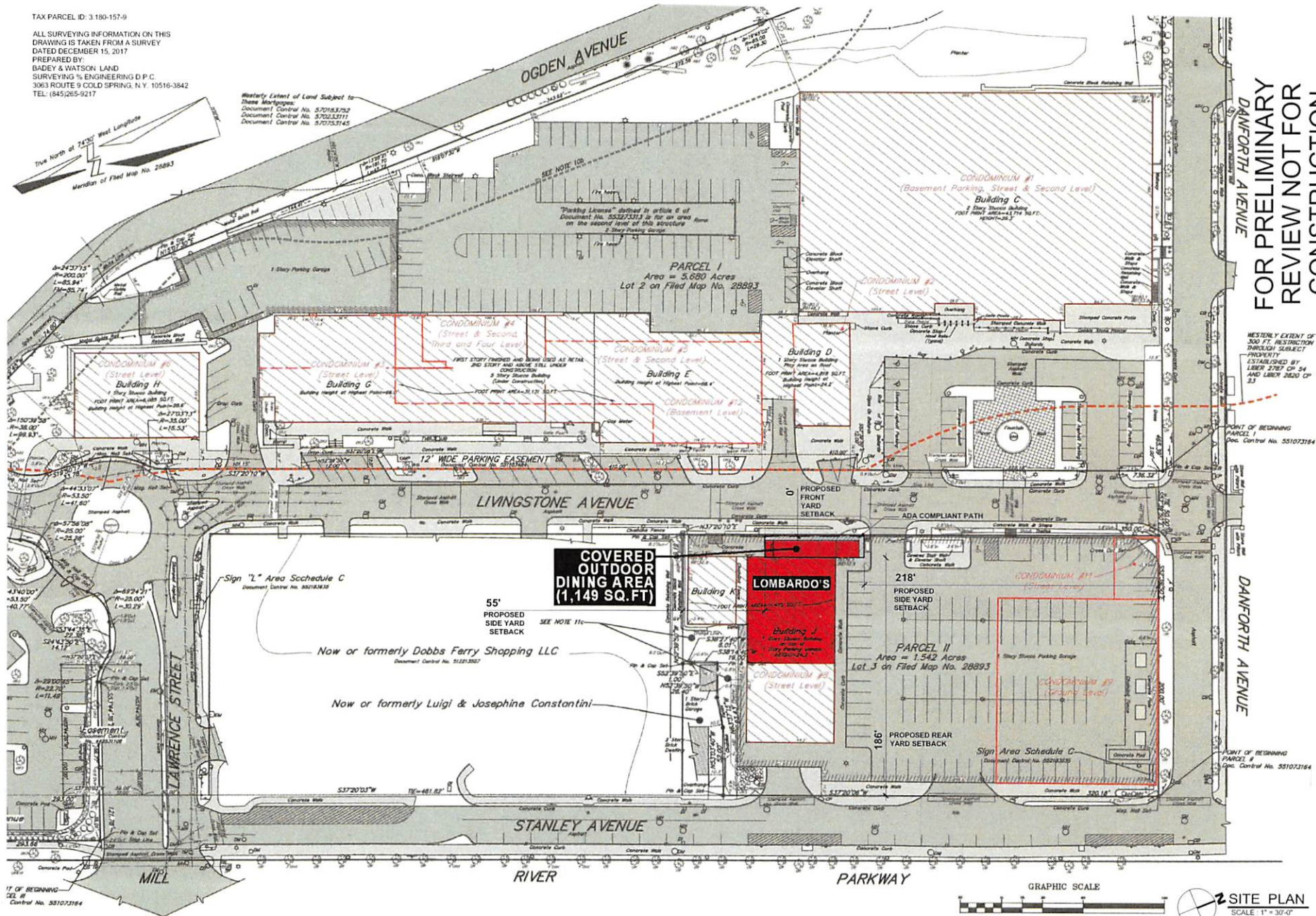
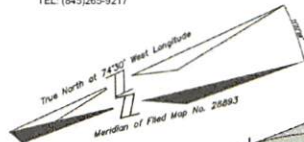
12-16-2022	REVISED
LIGHTING PLAN UPDATED WITH	
SMALLER PERGOLA	

GN

TAX PARCEL ID: 3 180-157-9

ALL SURVEYING INFORMATION ON THIS
DRAWING IS TAKEN FROM A SURVEY
DATED DECEMBER 15, 2017
PREPARED BY:
BADEY & WATSON LAND
SURVEYING % ENGINEERING D.P.C.
3063 ROUTE 9 COLD SPRING, N.Y. 10516-3842
TEL: (845)265-9217

Westerly Extent of Land Subject to
These Mortgages:
Document Control No. 570163362
Document Control No. 570253771
Document Control No. 570753145



FOR PRELIMINARY
REVIEW NOT FOR
CONSTRUCTION



ARCHITECT
329 BROADWAY
DOBBS FERRY, N.Y. 10522
PHONE: (914) 693-5093
FAX: (914) 693-5390
EMAIL: arch329@gmail.com
WWW.ARCH329.COM

PROJECT TITLE
**LOMBARDO'S
RESTAURANT**
10 HAMILTON ST.
DOBBS FERRY, N.Y. 10522
PROJECT NO. 2203

**GOTHAM
DESIGN**
PLANNING AND
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS
07-28-2022
ADDED YARD SETBACKS
12-16-2022
REVISED
SITE PLAN UPDATED WITH
REVISED PERGOLA DIMENSIONS

SHEET TITLE
**PROPOSED
SITE PLAN**
DATE: 4/7/2022
DRAWN BY: SSJ
SCALE: CHECKED BY:
AS NOTED

A-2



HAMILTON ST.

CONCRETE CURB

CONCRETE WALK

RAMP

LANDING

LANDING

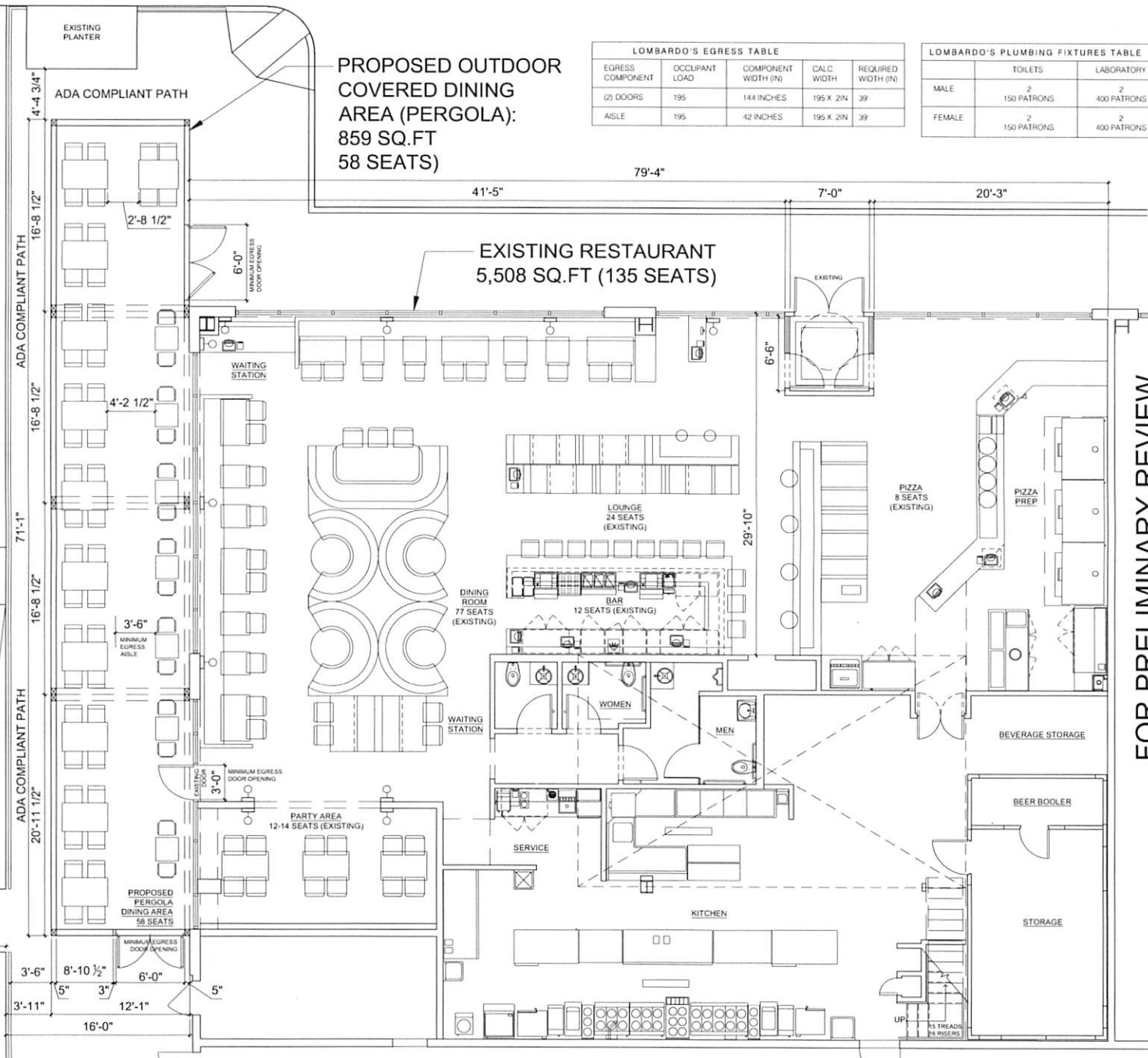
RAMP

LANDING



FLOOR PLAN

SCALE: 1/4" = 1'-0" GRAPHIC SCALE IN FEET



PROPOSED OUTDOOR
COVERED DINING
AREA (PERGOLA):
859 SQ.FT
58 SEATS)

EXISTING RESTAURANT
5,508 SQ.FT (135 SEATS)

LOMBARDO'S EGRESS TABLE				
EGRESS COMPONENT	OCCUPANT LOAD	COMPONENT WIDTH (IN)	CALC. WIDTH	REQUIRED WIDTH (IN)
(2) DOORS	195	144 INCHES	195 X 2IN	39"
aisle	195	42 INCHES	195 X 2IN	39"

LOMBARDO'S PLUMBING FIXTURES TABLE		
	TOILETS	LABORATORY
MALE	2 150 PATRONS	2 400 PATRONS
FEMALE	2 150 PATRONS	2 400 PATRONS

FOR PRELIMINARY REVIEW
NOT FOR CONSTRUCTION



TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, I HAVE UNDERSIGNED THE PLANS HERE SHOWN AND I AM AWARE THAT ANY VIOLATION OF ANY CODE OR ANY OTHER LAW OR REGULATION IN CONNECTION WITH THE DESIGN OR CONSTRUCTION OF THE PROJECT MAY BE CAUSE FOR THE REVOCATION OF MY LICENSE OR THE SUSPENSION OF MY PRACTICE.

PROJECT TITLE
LOMBARDO'S RESTAURANT
10 HAMILTON ST.
DOBBS FERRY, NY, 10522
PROJECT NO. 2203

GOTHAM DESIGN
PLANNING AND DEVELOPMENT LTD
329 Broadway
Dobbs Ferry, NY 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS
11-29-22
CHANGED THE DIMENSION OF THE PROPOSED PERGOLA TO CREATE ADA PATH FROM PARKING LOT TO URGENT CARE

SHEET TITLE
PROPOSED FLOOR PLAN
DATE: 11/29/2022 DRAWN BY: SSJ
SCALE: AS NOTED CHECKED BY:
A-2.2

FLOOR PLAN
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

A horizontal graphic scale bar with tick marks at 0, 2, 4, and 8 feet. The bar is divided into four equal segments, each representing 2 feet.

CONCRETE WALK

EGRESS COMPONENT	OCCUPANT LOAD	COMPONENT WIDTH (IN)	CALC WIDTH	REQUIRED WIDTH (IN)
(2) DOORS	195	144 INCHES	195 X 2IN	39'
aisle	195	42 INCHES	195 X 2IN	39'

	TOILETS	LABORATORY
MALE	2 150 PATRONS	2 400 PATRONS
FEMALE	2 150 PATRONS	2 400 PATRONS

EXISTING RESTAURANT
5,508 SQ.FT (135 SEATS)

FOR PRELIMINARY REVIEW
NOT FOR CONSTRUCTION

PROJECT TITLE
**LOMBARDO'S
RESTAURANT**

10 HAMILTON ST.
DOBBS FERRY, NY, 10522
PROJECT NO. **2203**

**GOTHAM
DESIGN**
PLANNING AND
DEVELOPMENT LTD

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS
REVISED 12-16-2022
DIMENSION OF THE RAMP

SHEET TITLE:

**PROPOSED
FLOOR PLAN**

DATE: 4/7/2022	DRAWN BY: SSJ
SCALE: AS NOTED	CHECKED BY:

A-2.1



IS A VIOLATION OF THE NEW YORK STATE
OCCUPATIONAL LAW ARTICLE 130 SECTION 1303
OR ANY PERSON, UNLESS HE OR SHE IS
ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ARCHITECT, ENGINEER OR
LAND SURVEYOR TO ALTER AN EXISTING BUILDING





NOTED:
IT IS A CONDITION OF THE NEW YORK CITY OF
RECORDING AND REVIEW OF THE ELEVATION
DRAWINGS THAT THE ARCHITECT SHALL BE
RESPONSIBLE FOR THE ACCURACY OF THE
ELEVATION DRAWINGS AND THE NEW YORK CITY
OF RECORDING AND REVIEW OF THE ELEVATION
DRAWINGS SHALL NOT BE RESPONSIBLE FOR THE
ACCURACY OF THE ELEVATION DRAWINGS.

PROJECT TITLE
**LOMBARDO'S
RESTAURANT**
10 HAMILTON ST.,
DOBBS FERRY, NY, 10522
PROJECT NO. 2203

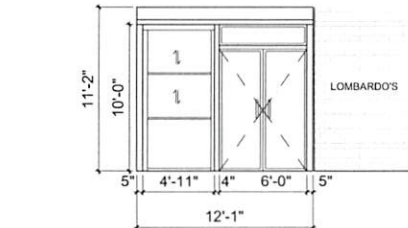
**GOTHAM
DESIGN**
PLANNING AND
DEVELOPMENT LTD
329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS
12-14-22
REVISED ELEVATIONS TO
REFLECT UPDATED PLAN THAT
REDUCES THE SIZE OF THE
PERGOLA AND UPDATED
RENDERINGS

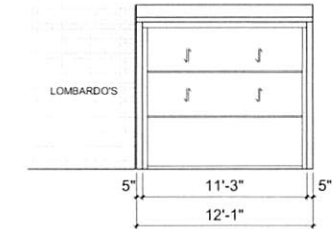
SHEET TITLE
**PROPOSED
ELEVATIONS AND
RENDERINGS**
DATE: 4/7/2022 DRAWN BY: SSJ
SCALE: AS NOTED CHECKED BY:

A-3.1

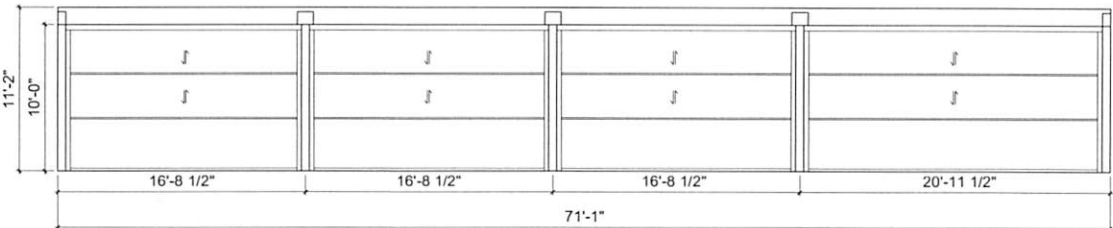
FOR PRELIMINARY REVIEW
NOT FOR CONSTRUCTION



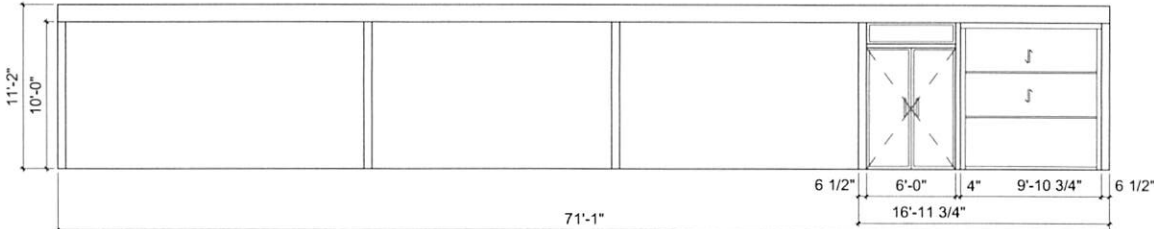
NORTH ELEVATION
SCALE: 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8



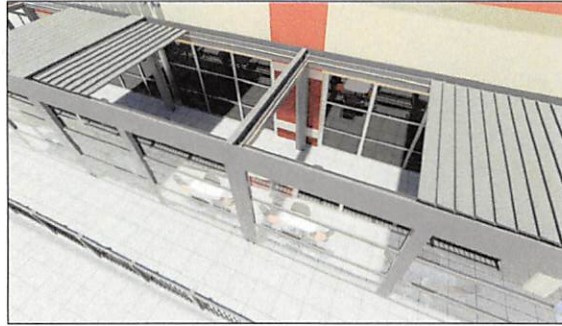
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8

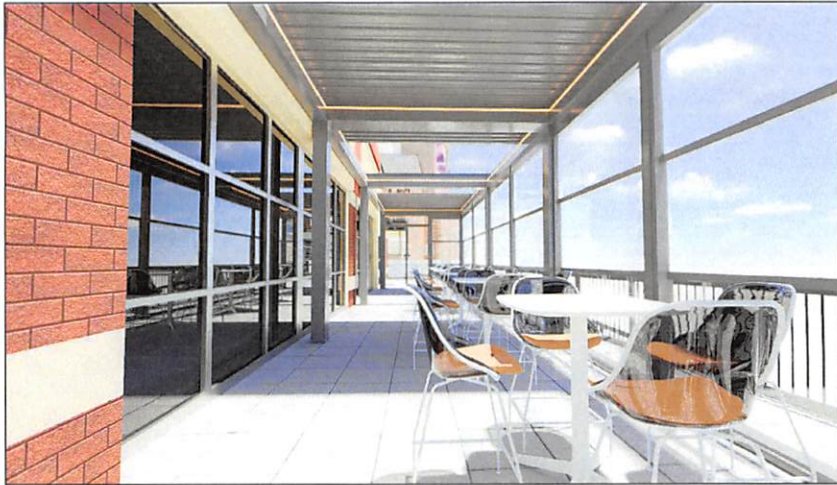


WEST ELEVATION
SCALE: 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8



EAST ELEVATION
SCALE: 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8





RENDERINGS OF STRUCTURE BY DESIGNER.
COLOR SI-9006 "FINE STRUCTURE MATT"

CLOSELY MATCHES THE EXISTING COLOR
OF THE ALUMINUM STOREFRONT.
ROOF COLOR MATCHES THE EXISTING
COLOR OF THE STONE FACADE.



ROOF COLOR FROM
EXAMPLE BY DESIGNER



PICTURE OF EXISTING
CONDITIONS

The image was taken outdoors in daylight.
It may differ 20% with the actual appearance.



FOR PRELIMINARY REVIEW
NOT FOR CONSTRUCTION



TO THE BEST OF MY KNOWLEDGE, BELIEF
AND PROFESSIONAL JUDGMENT, THE
SPECIFICATIONS SET FORTH ON THESE
DRAWINGS ARE IN ACCORDANCE WITH THE
APPLICABLE PROVISIONS OF THE NEW YORK
STATE DEPARTMENT OF PRESENTATION AND
BUILDING CODE AND THE NEW YORK STATE
ENGINEERING PROFESSIONAL CONSTRUCTION
CODE CURRENTLY IN EFFECT.

PROJECT TITLE
**LOMBARDO'S
RESTAURANT**
10 HAMILTON ST.
DOBBS FERRY, N.Y. 10522
PROJECT NO. 2203

**GOTHAM
DESIGN**
PLANNING AND
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

ISSUED / REVISIONS

SHEET TITLE	
STRUCTURE DETAILS	
DATE 12/19/2022	DRAWN BY SSJ
SCALE AS NOTED	CHECKED BY

A-3.2